

VICINITY MAP

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- O2 PRELIMINARY GRADING PLAN
- L1 LANDSCAPE PLANTING PLAN

AIR PARK TOWN HOMES

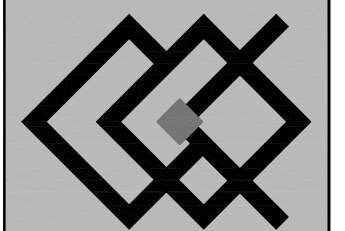
683 AIR PARK DRIVE, OCEANO, CA

PROPOSED SITE PLAN

1. AREA OF 10'-0" PROPOSED VACATION OFF AIR PARK AVENUE.
2. AREA OF 3'-0" PROPOSED VACATION OFF OF MENDEL DRIVE.
3. NEW CURB, GUTTER AND SIDEWALK.
4. NEW DRIVEWAY PER COUNTY STANDARDS W/ ADA SIDEWALK EXTENSION.
5. 6'-0" WOOD FENCE BETWEEN PRIVATE YARDS AND AT FRONT ELEVATION OF UNITS B & C.
6. 24" WIDE CONCRETE DRAINAGE SWALE.
7. SPLIT-FACED CONCRETE BLOCK RETAINING WALL W/ 6'-0" WOOD FENCE ABOVE.
8. GUEST PARKING SPACE.
9. CONCRETE BRICK (EUROCOBBLE) DRIVEWAY.
10. CONCRETE WALKWAY FROM SIDEWALK TO FRONT PORCH OF UNIT.
11. FRONT PORCH EXTENSION INTO FRONT YARD SETBACK.
12. EXISTING FIRE HYDRANT TO REMAIN.
13. EXISTING STREET LIGHT TO REMAIN.
14. EXISTING HOUSE TO BE DEMOLISHED.
15. PROPOSED DROOP INLET DRAIN.
16. EXISTING GAS METER TO BE REMOVED.
17. NEW ELECTRICAL OR GAS METER.
18. NEW SEATING AREA.
19. EXISTING CONTOUR LINES. SEE PRELIMINARY GRADING PLAN FOR PROPOSED GRADING PLAN.
20. EXISTING UTILITY POLE TO REMAIN.
21. EDGE OF EXISTING ASPHALT PAVING OF ROADWAY.
22. EXISTING CURB, GUTTER AND SIDEWALK.
23. EXISTING UTILITY LINES.
24. UNDERGROUND ELECTRICAL LINES TO NEW UNITS FROM EXISTING UTILITY POLE.
25. UNDERGROUND WATER/ GAS LINES TO THE UNITS.
26. NEW WATER METERS MOUNTED FLUSH WITH SIDEWALK.
27. NEW MAILBOX.
28. NEW CONCRETE BLOCK RETAINING WALL WITH OPEN WROUGHT IRON FENCE ABOVE AT ALONG RAILROAD AVE. TOP OF FENCE AT 3'-0". SEE DTL 11/A2.

STATISTICS

OWNERS:	ADAM AND NOEL TANKELL 2122 GRIFFIN PARK BLVD. LOS ANGELES, CA 90039
ADDRESS:	683 AIRPARK DRIVE, OCEANO, CA 93445
ZONE:	RMF (RESIDENTIAL MULTI-FAMILY)
APN:	061-041-016
EXISTS USE:	VACANT LOT
LOT SIZE:	9657 S.F. = 0.222 ACRES
BUILDING AREAS:	<p>UNIT A: RESIDENCE (2 BDRM, 2 BA, 2-STORY, 1 CAR GARAGE) 1ST FLR = 750 S.F. 2ND FLR = 750 S.F. TOTAL = 1,460 S.F. GARAGE = 312 S.F.</p> <p>UNIT B: RESIDENCE (3 BDRM, 2.5 BA, 2-STORY, 2 CAR GARAGE) 1ST FLR = 674 S.F. 2ND FLR = 430 S.F. TOTAL = 1,604 S.F. GARAGE = 523 S.F.</p> <p>UNIT C: RESIDENCE (3 BDRM, 2.5 BA, 2-STORY, 2 CAR GARAGE) 1ST FLR = 604 S.F. 2ND FLR = 839 S.F. TOTAL = 1,443 S.F. GARAGE = 523 S.F.</p>
HEIGHT:	<p>MAX ALLOWED = 25'-0" PROPOSED = 24'-9 1/2" (UNIT B), 24'-4" (UNIT C), 24'-1 1/4" (UNIT A)</p>
PARKING:	<p>REQ'D : 2.0 SPACES/3 BDRM UNIT + 1.5 SPACES/2 BDRM UNIT + 1+0.25 GUEST SPACES/UNIT = (2 x 2)+(1.5 x 1)+1.75 = 4 + 4 + 1.75 = 12.25 = 12 SPACES PROVIDED: 12 SPACES (5 COVERED, 2 OPEN PARKING)</p>
ALLOWABLE DENSITY:	<p>MAXIMUM FLOOR AREA ALLOWED: 48% OF SITE = 9,657 S.F. x 0.48 = 4,635.4 S.F. PROPOSED: UNIT A = 1,460 S.F. UNIT B = 1,603 S.F. UNIT C = 1,449 S.F. TOTAL = 4,512 S.F. = 46.8% OF SITE AREA S.F.</p>
LANDSCAPE AREA:	<p>MINIMUM OPEN AREA ALLOWED: 45% OF SITE = 9,657 S.F. x 0.45 = 4,345.6 S.F. PROPOSED: LANDSCAPING = 4,749.6 (49%)</p>
LOT COVERAGE:	<p>BUILDINGS = 3,366 S.F. (34.8%) PARKING/DRIVEWAYS = 1,402 S.F. (14%) LANDSCAPING = 4,749.6 (49%)</p>
SETBACKS:	<p>UNIT A (LOT 1): 1,042 S.F. UNIT B (LOT 2): 1,191 S.F. UNIT C (LOT 3): 1,121 S.F. TOTAL = 3,366 S.F. 3,366 / 9,657 = 34.8% OF SITE</p> <p>FRONT YARD: REQ'D = 10'-0" PROPOSED = 10'-0" FRONT PORCH PROJECTS TO 5'-8"</p> <p>STREET SIDE YARD: REQ'D = 10'-0" PROPOSED = 10'-0"</p> <p>SIDE YARD: REQ'D = 5'-0" PROPOSED = 3'-0"</p>
AVG. NATURAL GRADE:	<p>UNIT A: (15.22 + 15.22 + 15.22 + 14.55)/4 = 15.05' UNIT B: (20.16 + 20.00 + 19.75 + 19.75)/4 = 19.92' UNIT C: (15.50 + 15.50 + 15.50 + 14.83)/4 = 15.33'</p>
FINISHED FLOOR ELEVATION:	<p>UNIT A: 15.72' UNIT B: 20.50' UNIT C: 16.00'</p>
HEIGHT ABOVE AVG. NAT. GRADE:	<p>UNIT A: 24'-1" UNIT B: 24'-10 1/2" UNIT C: 24'-5 3/4"</p>



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REGISTERED ARCHITECT
GARTH D. KORNREICH
NO. C-14989
ISSUED 04/11/07
STATE OF CALIFORNIA

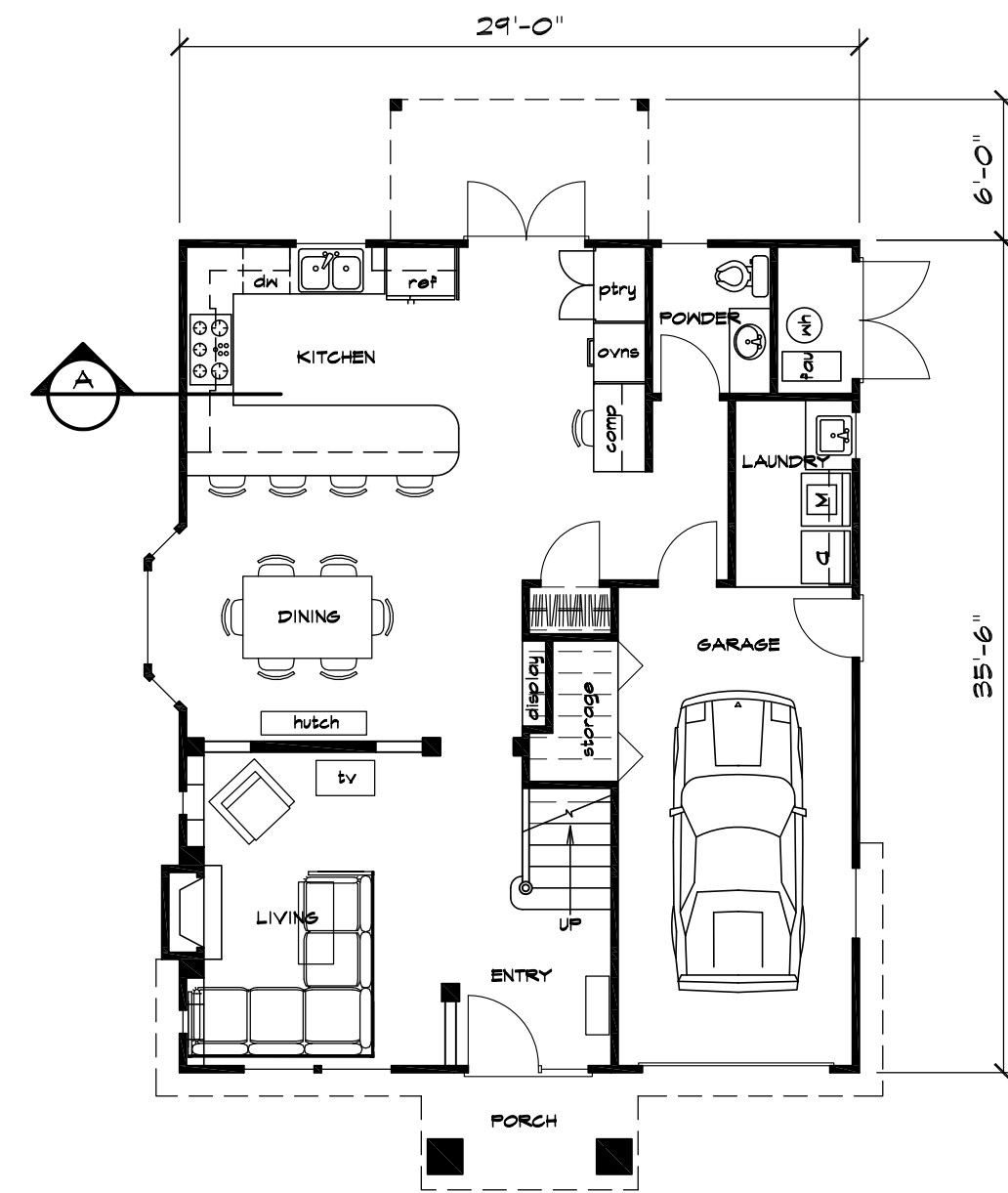
CLIENT
ADAM AND NOEL TANKELL
2122 GRIFFIN PARK BLVD.
LOS ANGELES, CA 90039

PROJECT
AIR PARK TOWNHOMES
683 AIR PARK DRIVE, OCEANO, CA 93445

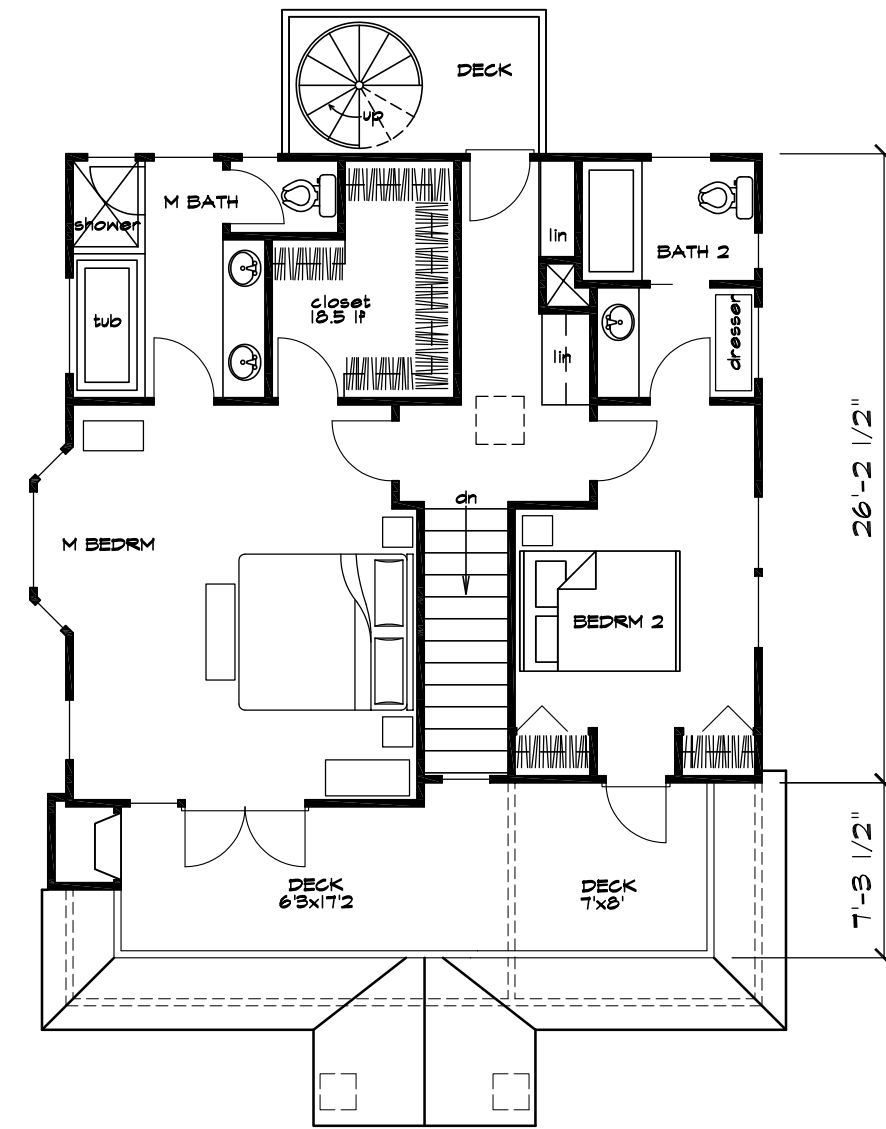
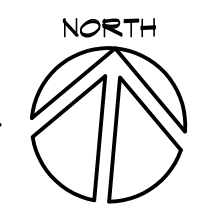
SHEET
SITE PLAN

DATE	REMARKS
2-10-06	PC SUB
08-28-06	PLANNING CK
10-25-06	PLANNING CK
PRELIMINARY DRAWINGS	
THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONTRACT BIDS MADE FROM THIS DRAWING. BUILDING DEPARTMENT CORRECTIONS AND FINAL COORDINATION ITEMS HAVE NOT BEEN ADDED TO THIS DRAWING.	
DRAWN GOK, CW, EA	
SCALE 1" = 10'-0"	
JOB NO. 0525	

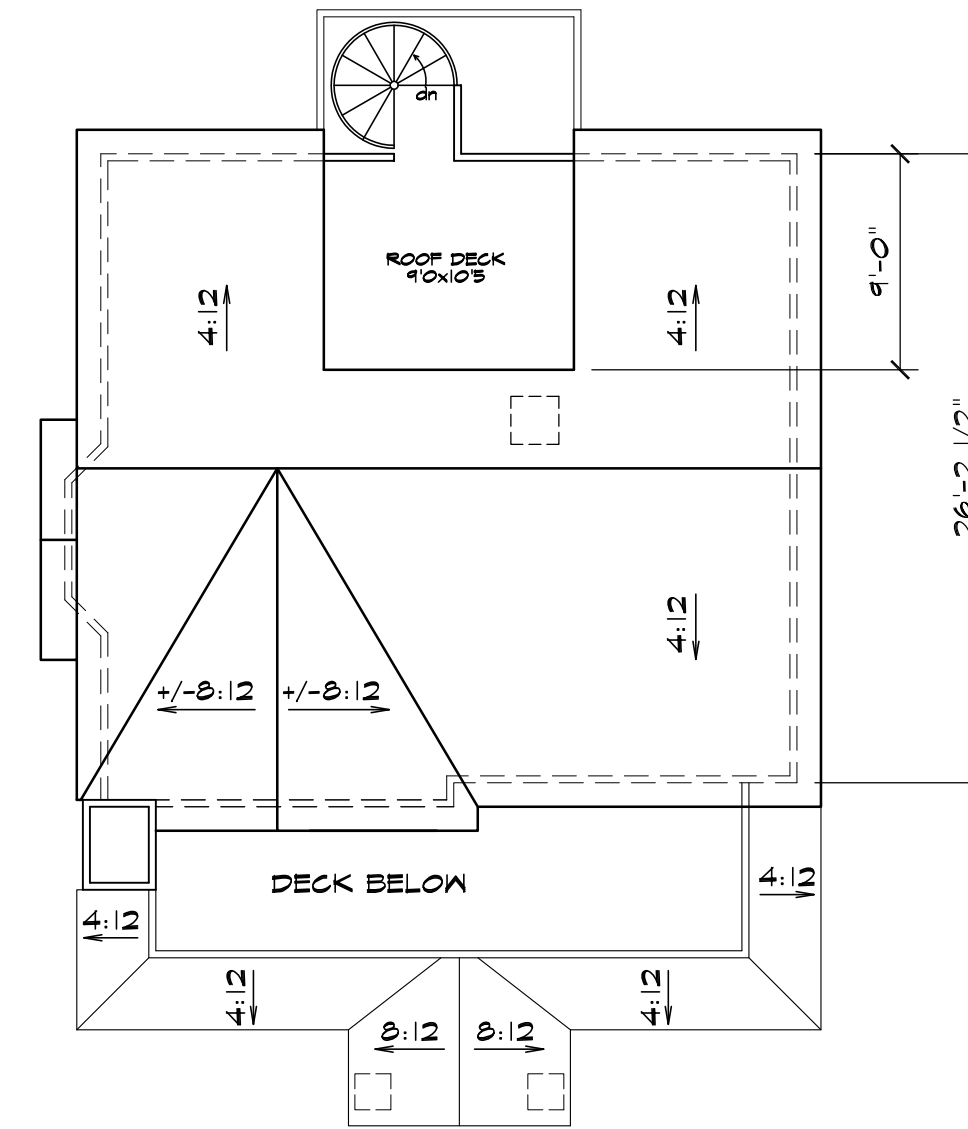
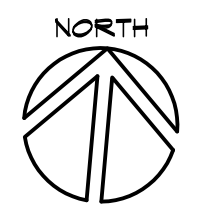
SHEET
A1
OF SHEETS



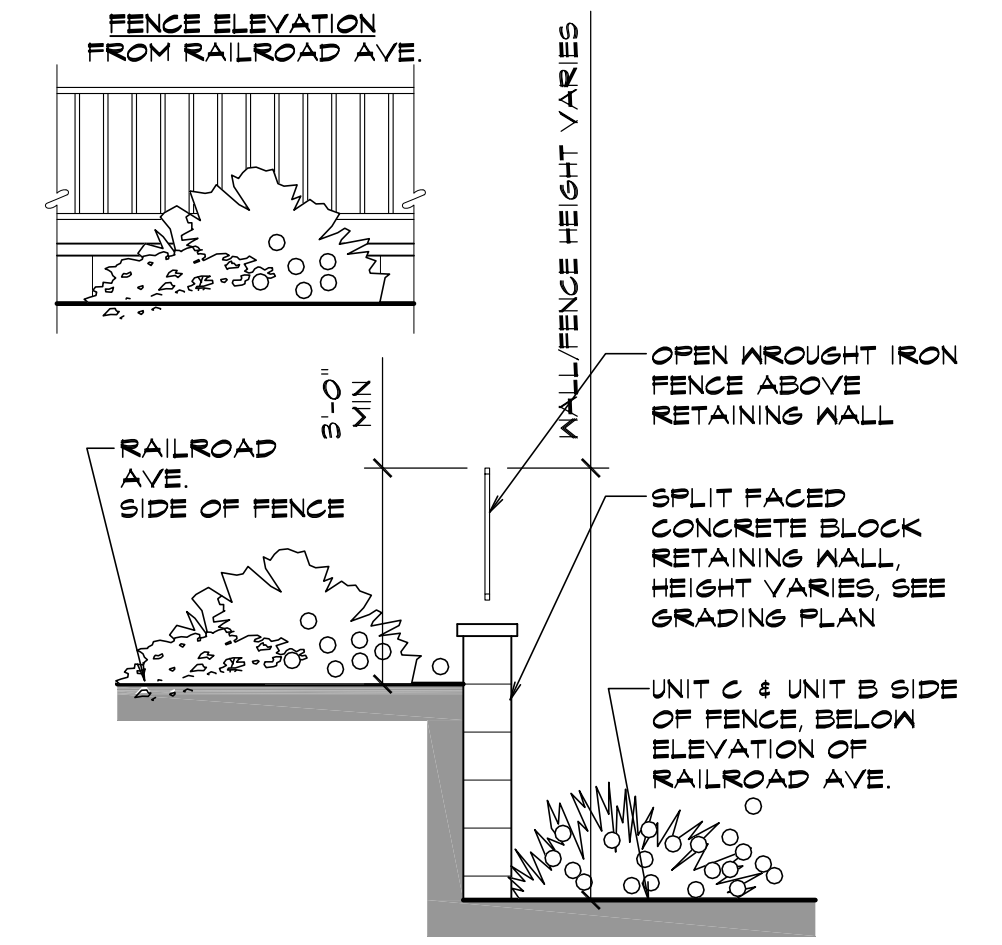
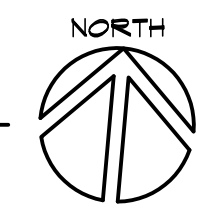
UNIT A - 1st FLOOR
 130 SF RESIDENCE
 312 SQ FT GARAGE
 1/8"=1'-0"



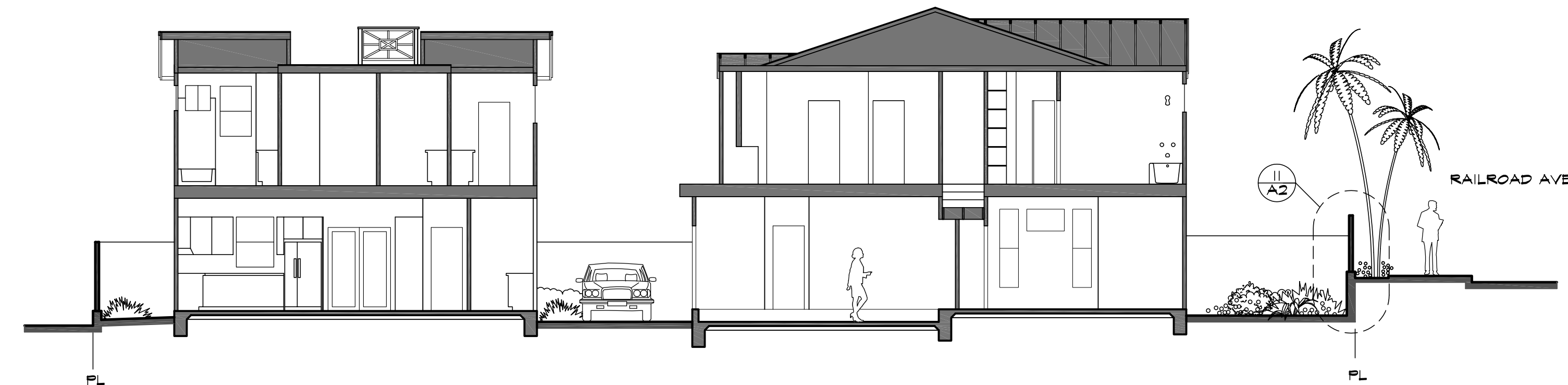
UNIT A - 2nd FLOOR
 133 SF
 DECK = 154.5 SF + 60 SF
 1/8"=1'-0"



UNIT A - 3rd FLOOR
 ROOF DECK = 124 SQ FT
 1/8"=1'-0"

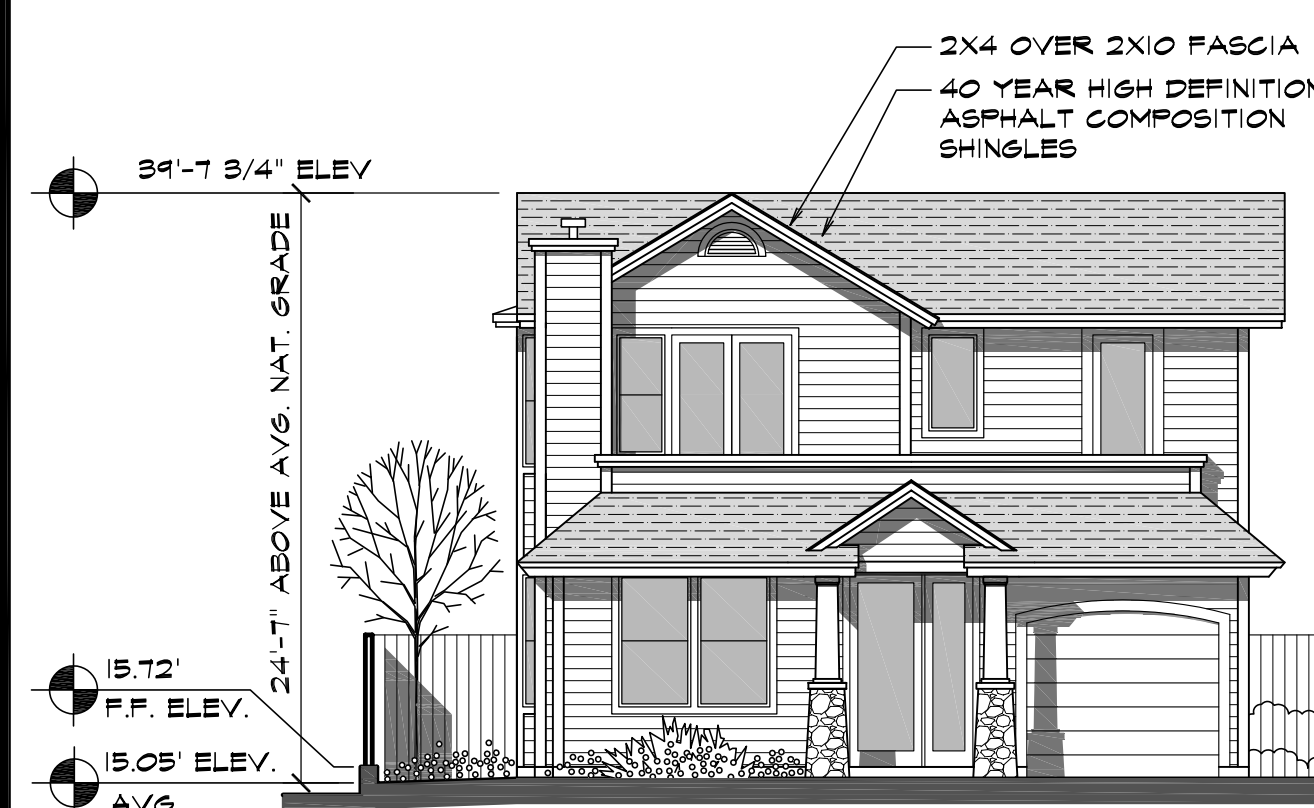


RET. WALL/FENCE SECTION
 3/8" = 1'-0"



SECTION UNIT A
 SCALE: 1/8"=1'-0"

SECTION UNIT C
 SCALE: 1/8"=1'-0"



UNIT A - SOUTH ELEV
 AIR PARK ELEVATION
 SCALE: 1/8"=1'-0"



UNIT A - NORTH ELEV
 SCALE: 1/8"=1'-0"



UNIT A - WEST ELEV
 SCALE: 1/8"=1'-0"



UNIT A - EAST ELEV
 SCALE: 1/8"=1'-0"

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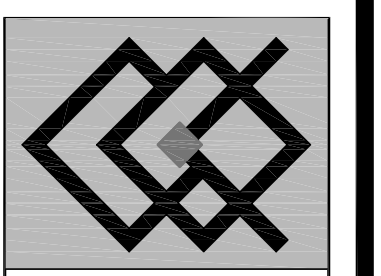
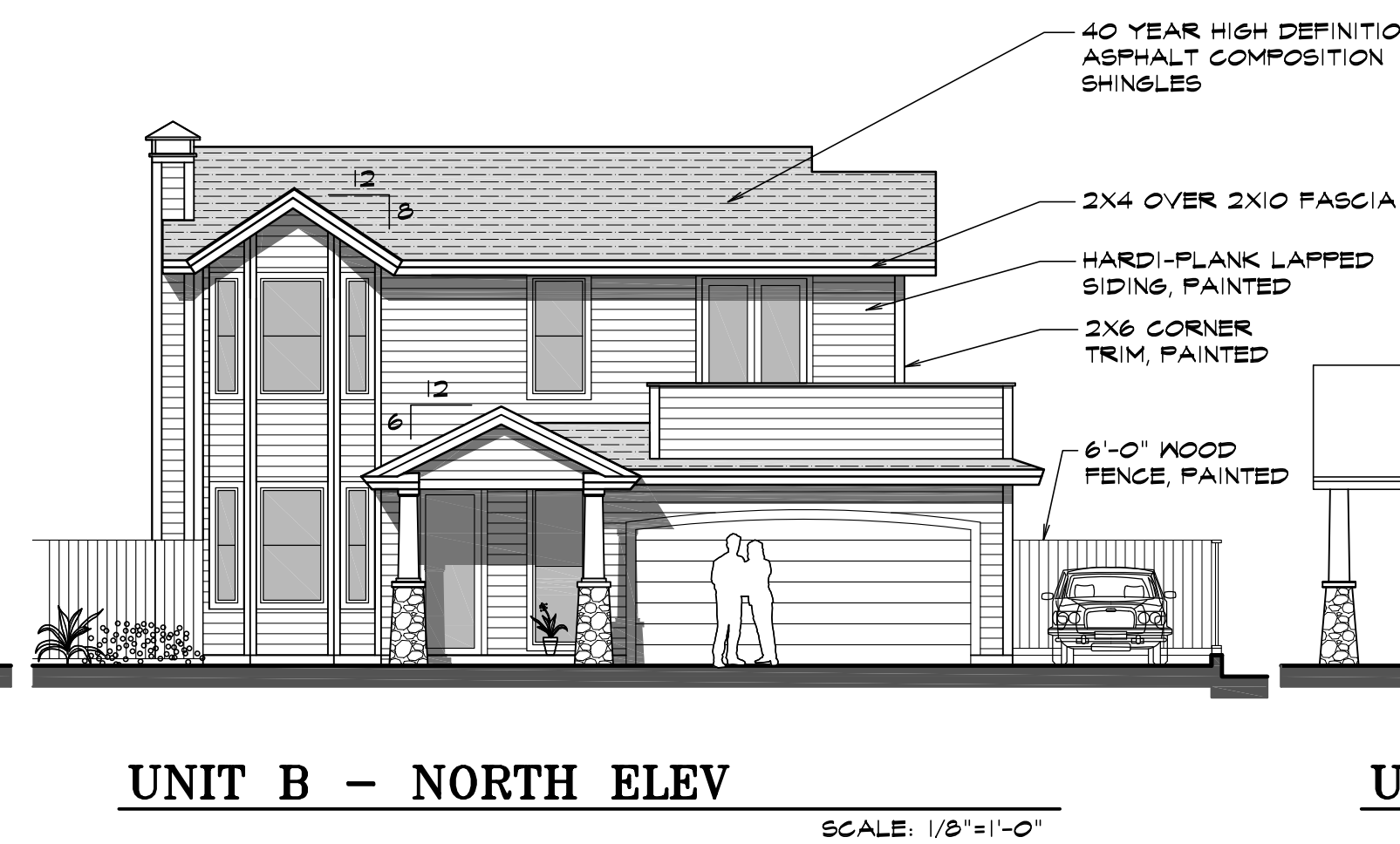
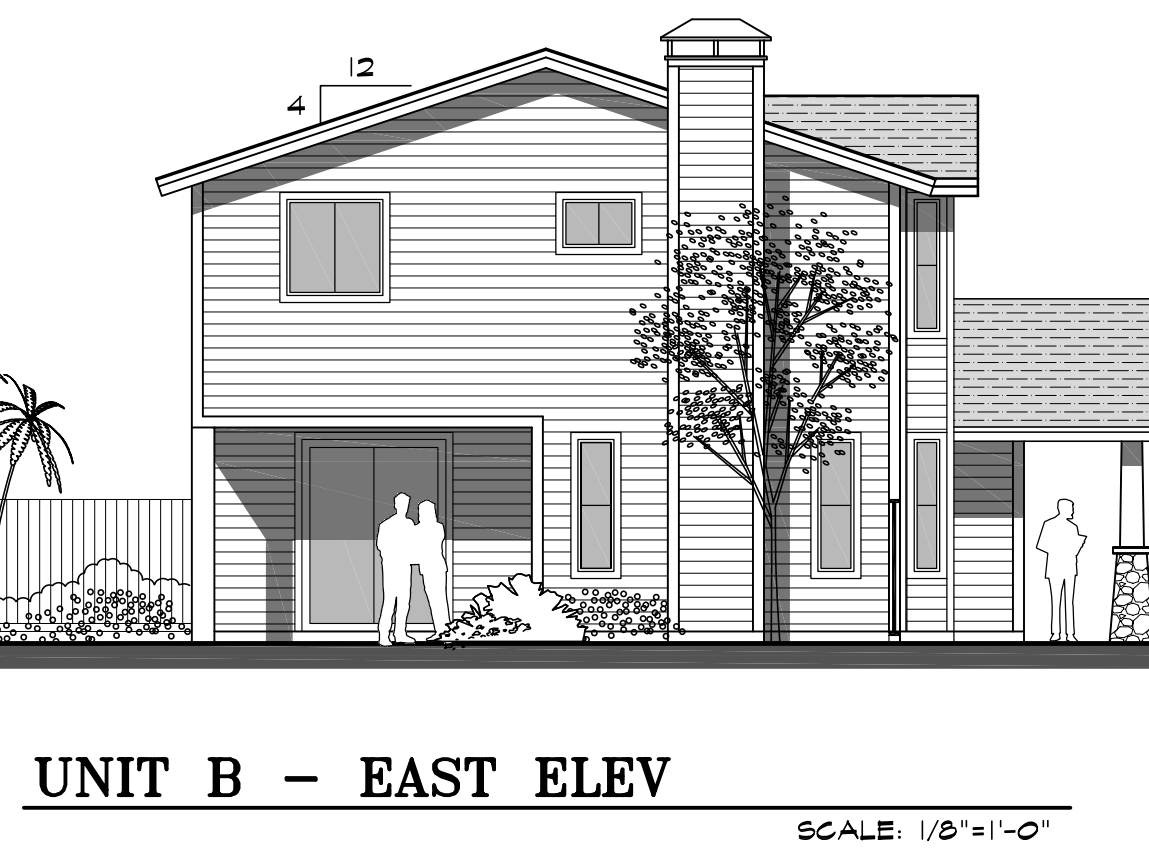
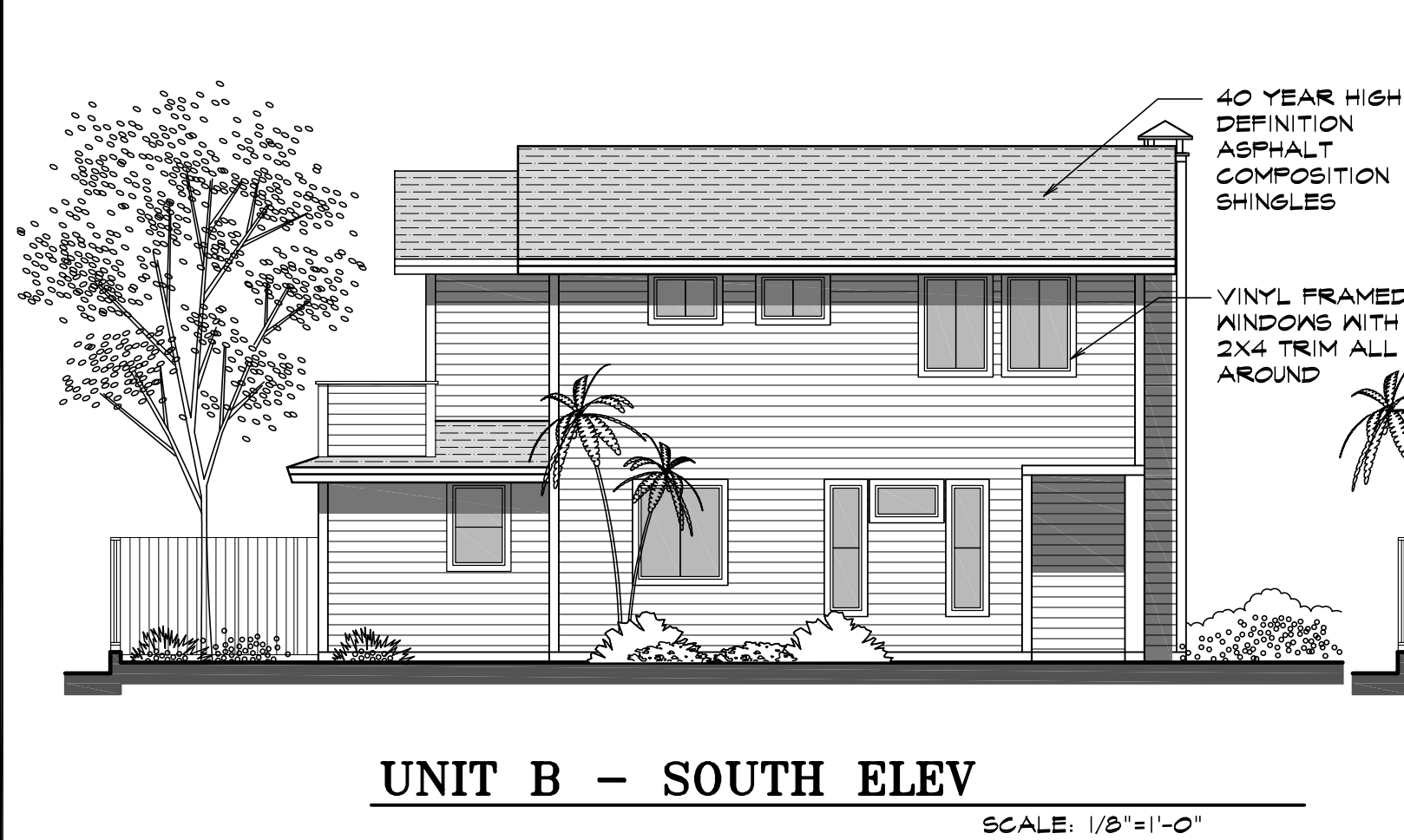
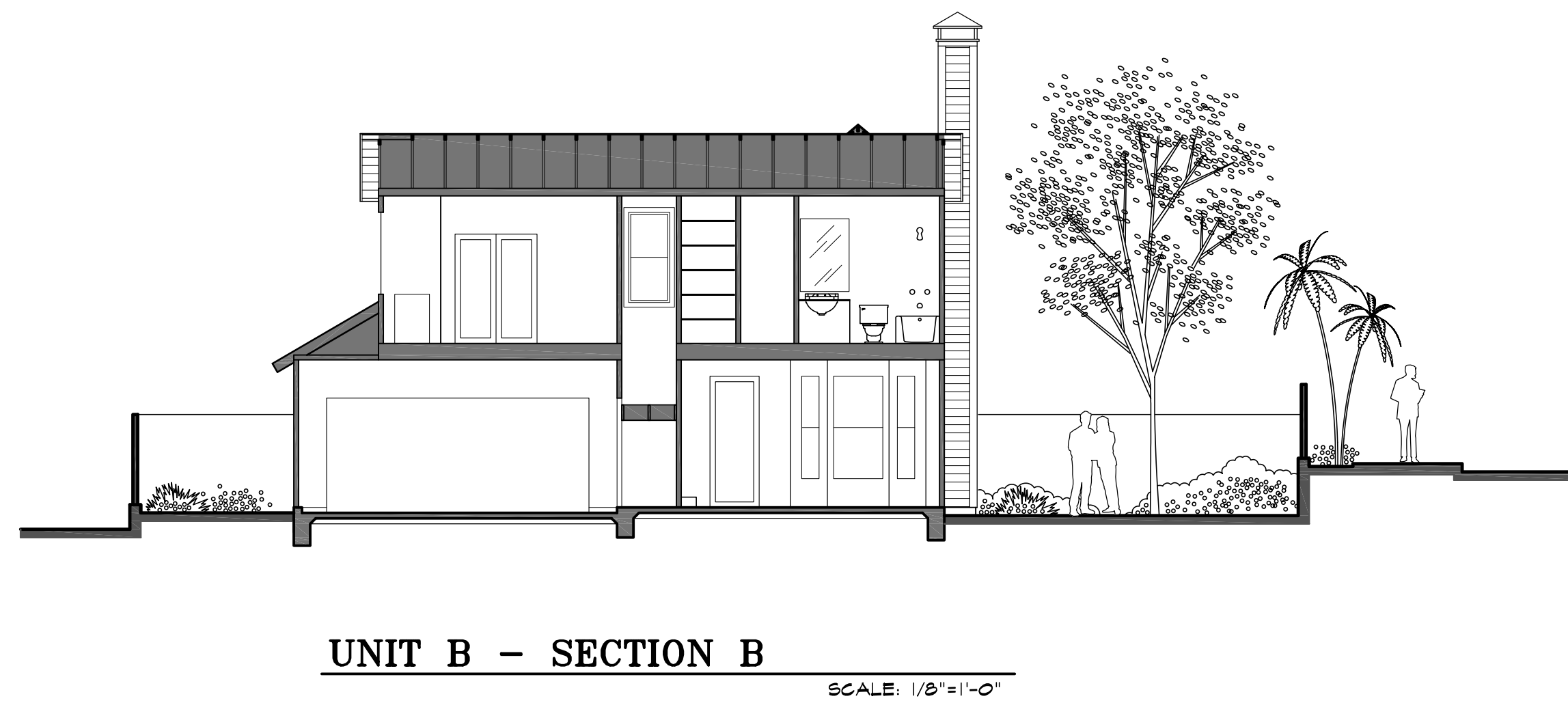
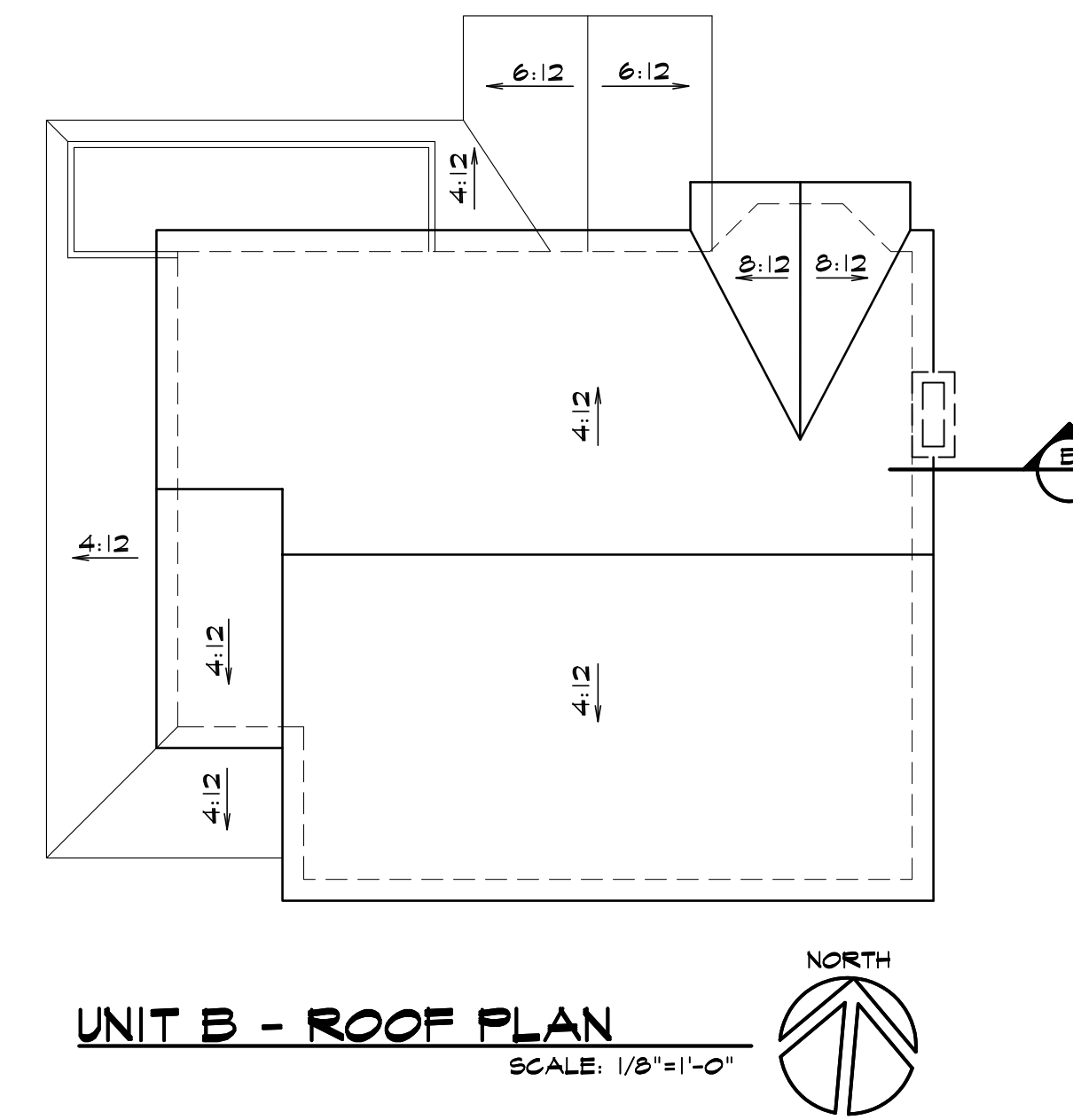
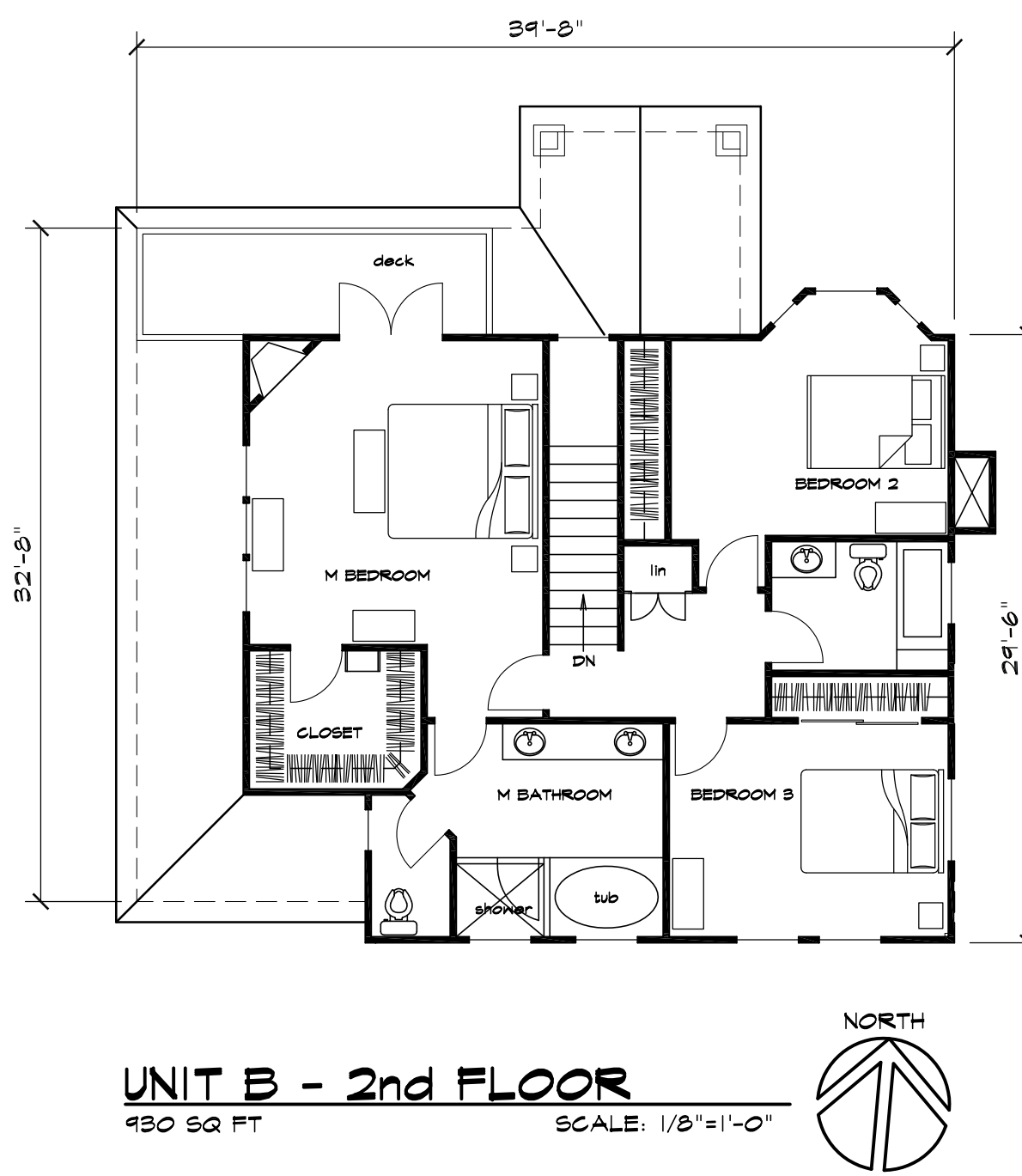
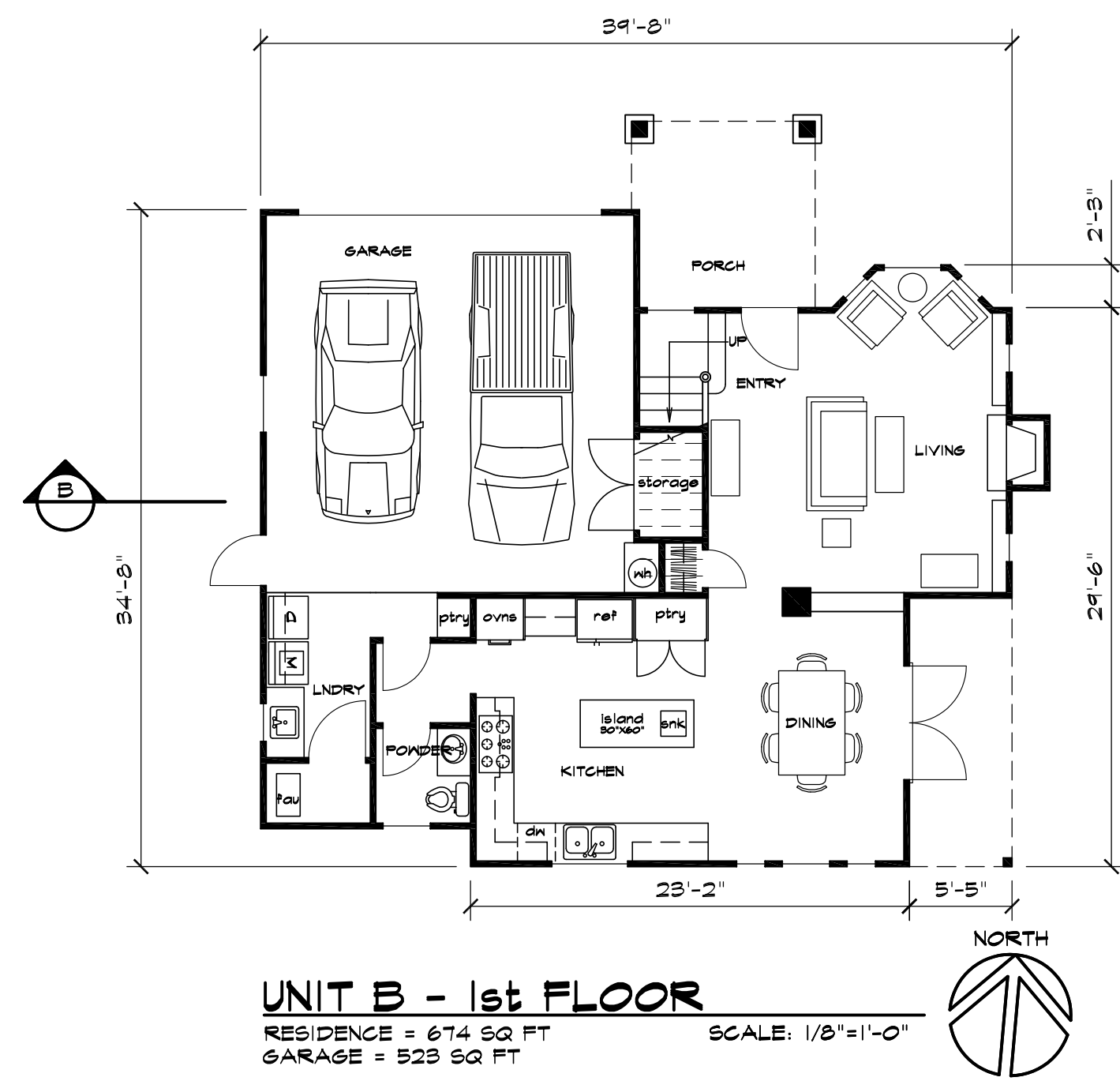
CLIENT
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 LOS ANGELES, CA 90038

PROJECT
AIR PARK TOWNHOMES
 683 AIR PARK DRIVE, OCEANO, CA 93445

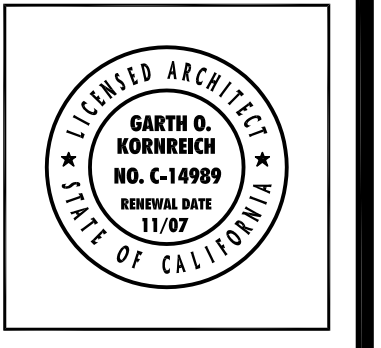
SHEET
UNIT A

DATE	REMARKS
2-10-06	PC SUB
08-26-06	PLANNING CK
10-25-06	PLANNING CK
PRELIMINARY DRAWINGS	
THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONTRACT BIDS MADE FROM THIS DRAWING. BUILDING DEPARTMENT CORRECTIONS AND FINAL COORDINATION ITEMS HAVE NOT BEEN ADDED TO THIS DRAWING.	
DRAWN GOK, CW, EA	
SCALE 1/8" = 1'-0"	
JOB NO. 0525	

SHEET
A2
 OF SHEETS



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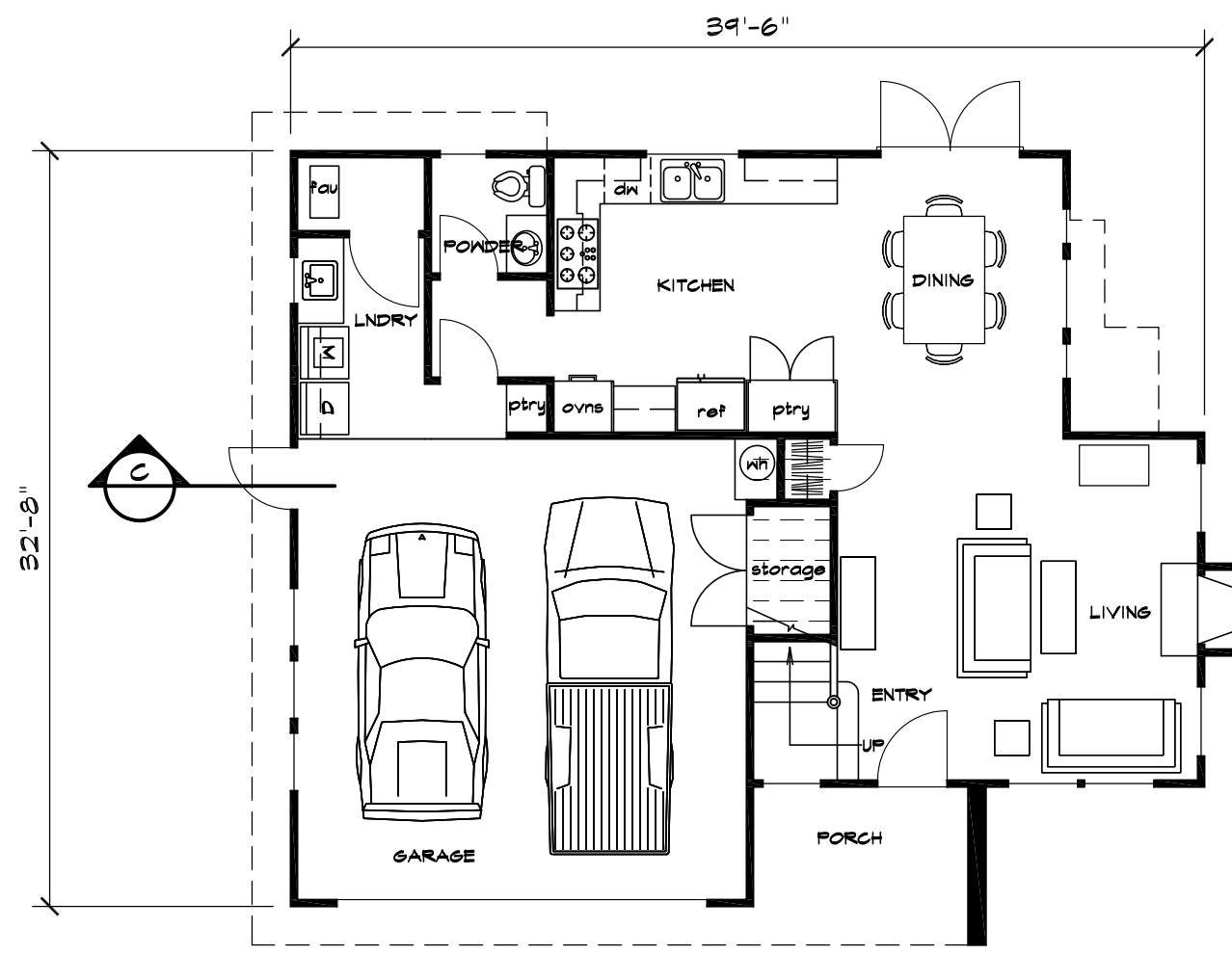
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SHEET
UNIT B

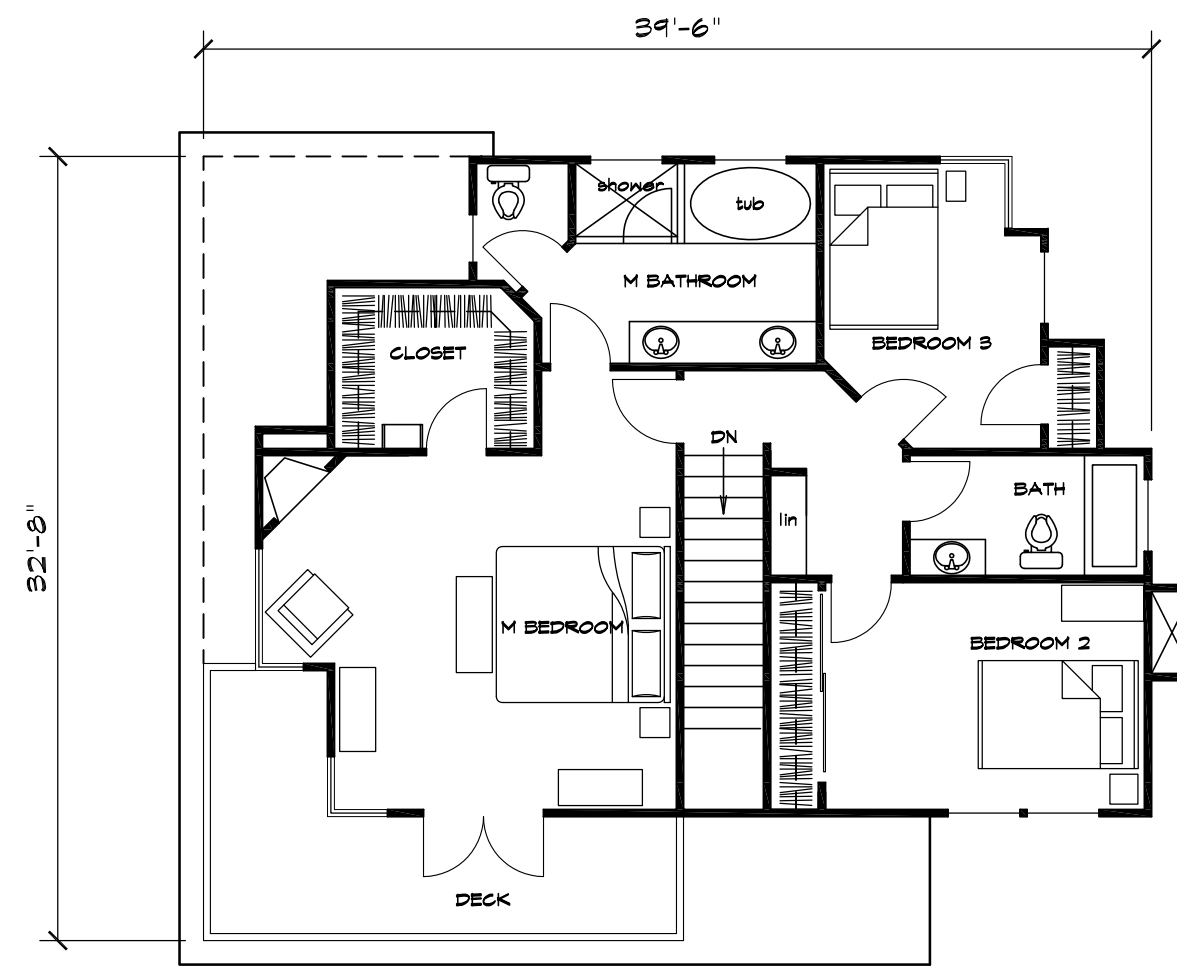
DATE	REMARKS
2-10-06	PC SUB
08-26-06	PLANNING CK
10-25-06	PLANNING CK
PRELIMINARY DRA WINGS	
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DRAWN GOK,CW,EA	
SCALE 1/8" = 1'-0"	
JOB NO. 0525	

SHEET
A3
 OF SHEETS



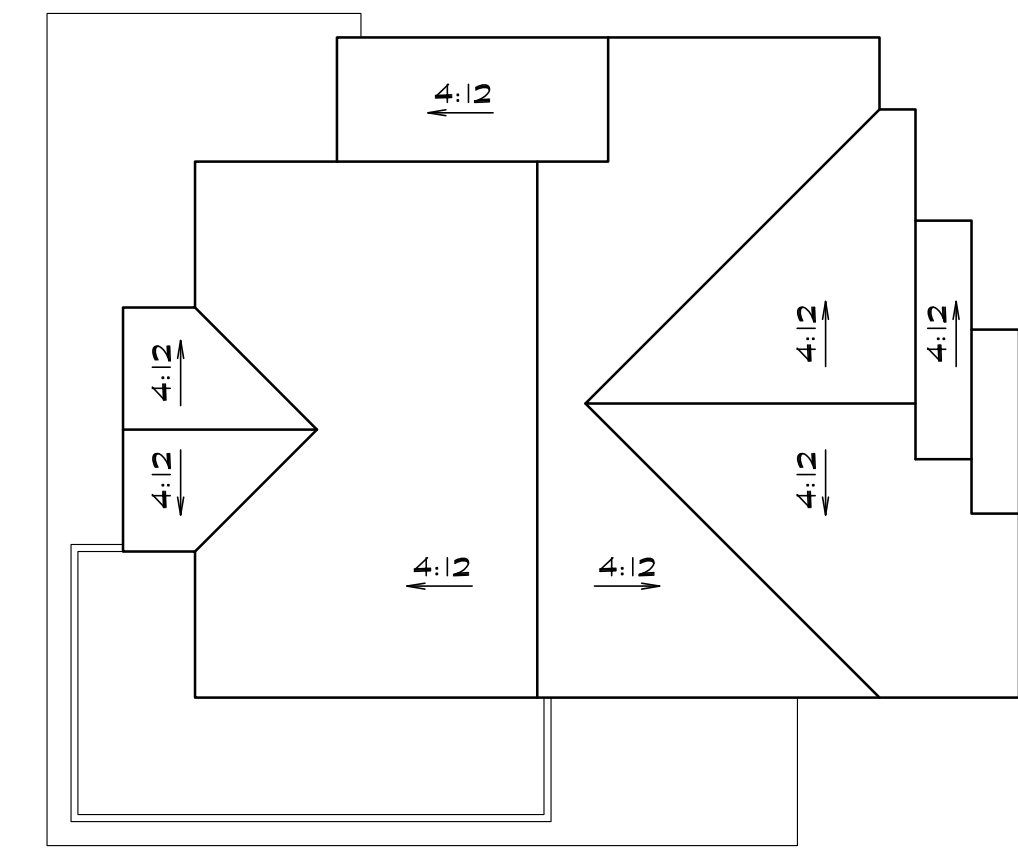
UNIT C - 1st FLOOR

1ST FLOOR = 604 SF
GARAGE = 523 SF
SCALE: 1/8"=1'-0"



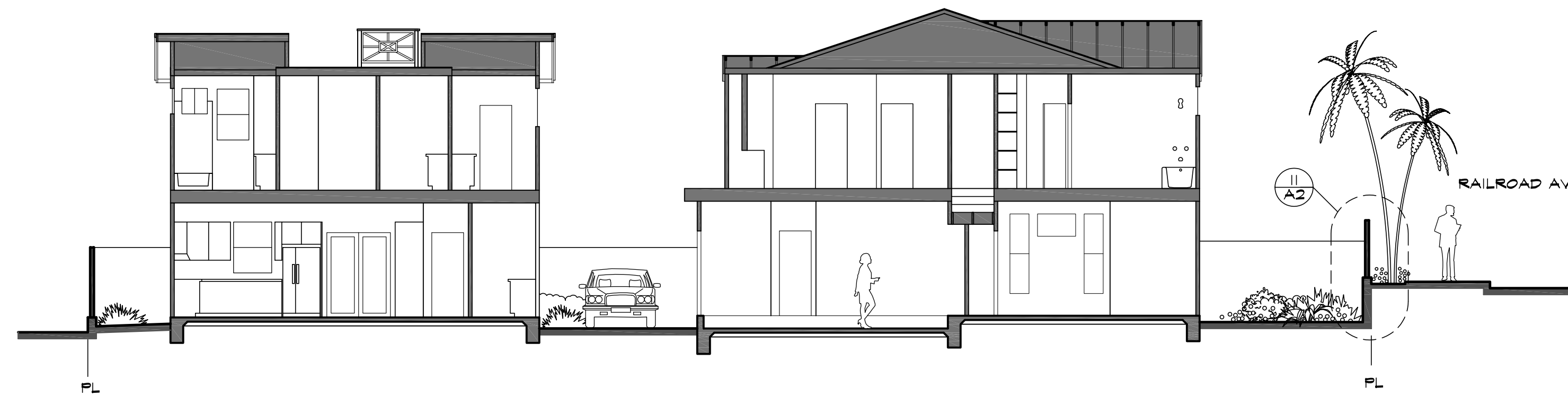
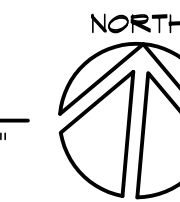
UNIT C - 2nd FLOOR

2ND FLOOR = 889 SF
SCALE: 1/8"=1'-0"



UNIT C - ROOF PLAN

SCALE: 1/8"=1'-0"



SECTION UNIT A

SCALE: 1/8"=1'-0"

SECTION UNIT C

SCALE: 1/8"=1'-0"



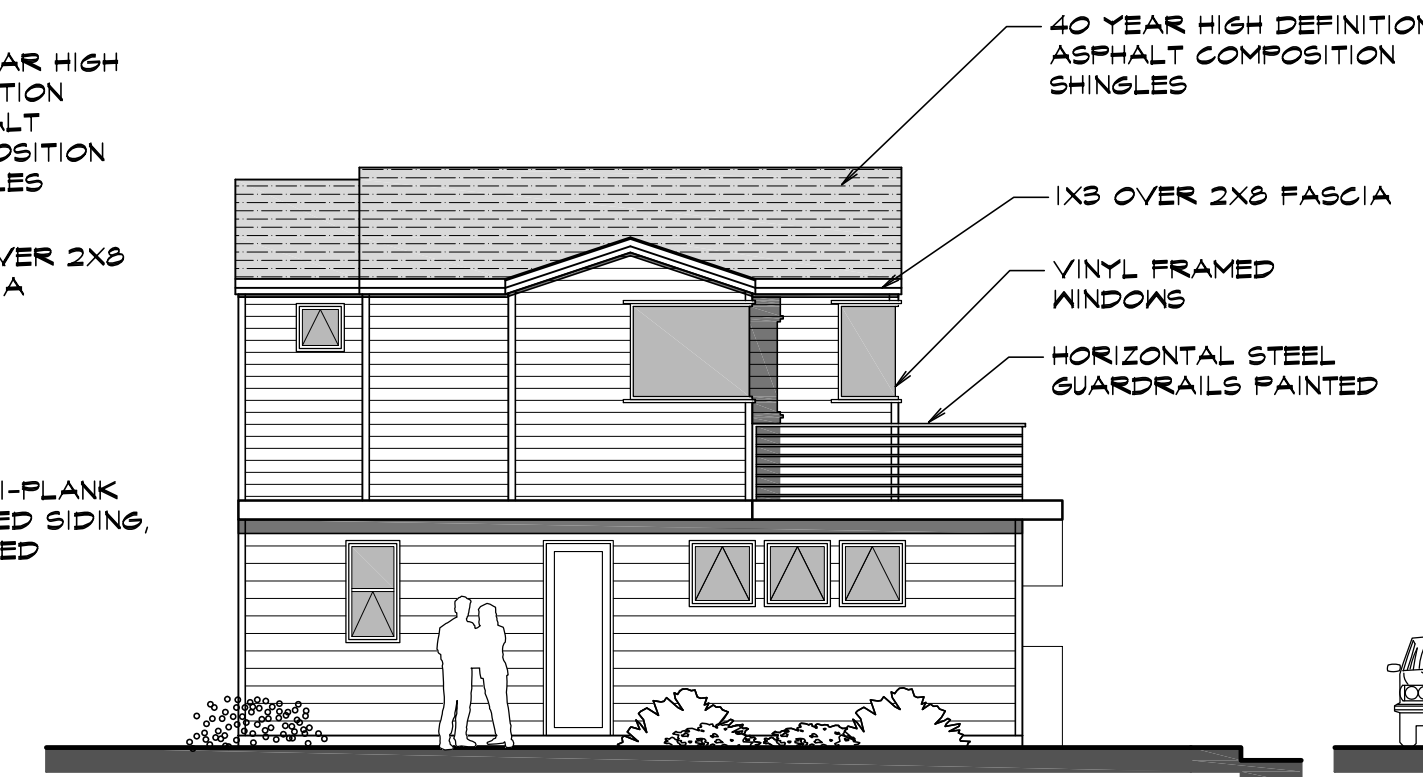
UNIT C - NORTH ELEV

SCALE: 1/8"=1'-0"



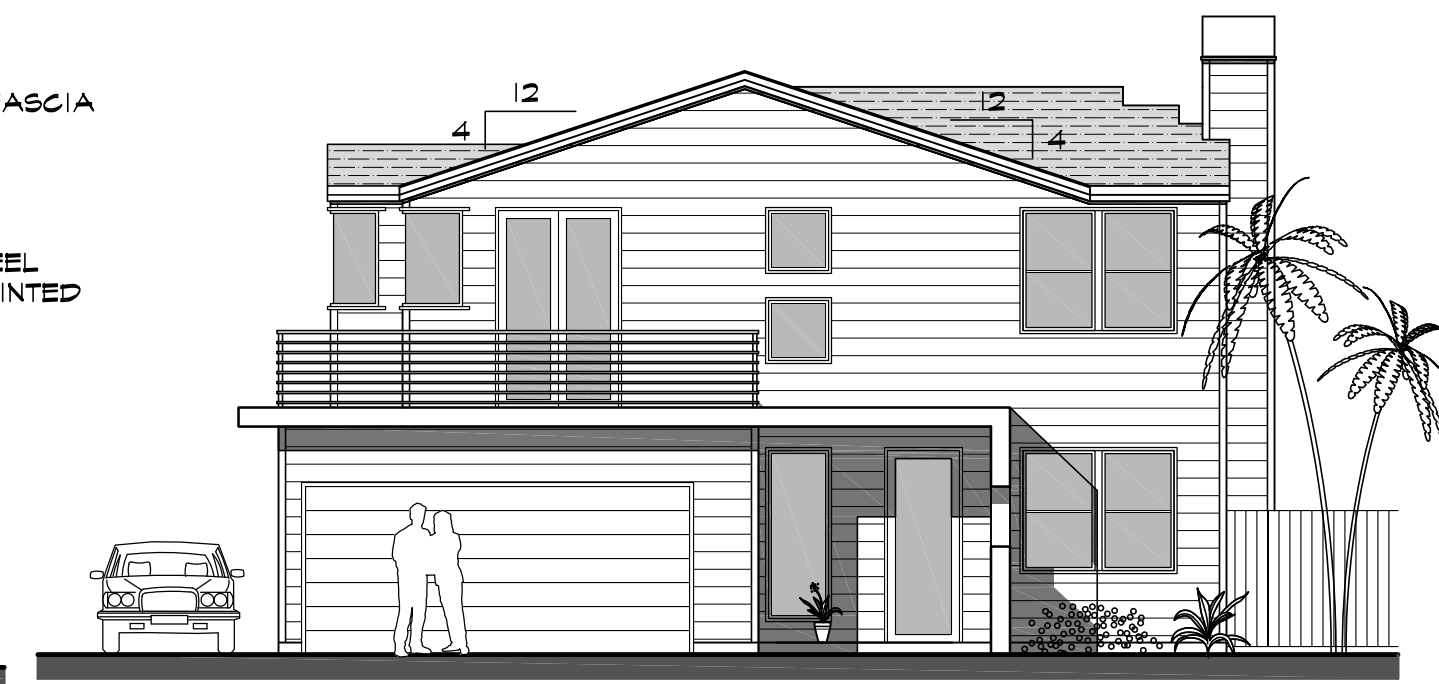
UNIT C - EAST ELEV

RAILROAD AVE. ELEVATION
SCALE: 1/8"=1'-0"



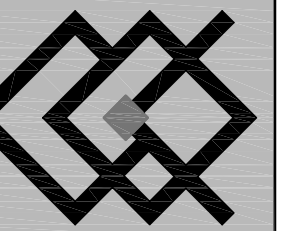
UNIT C - WEST ELEV

SCALE: 1/8"=1'-0"



UNIT C - SOUTH ELEV

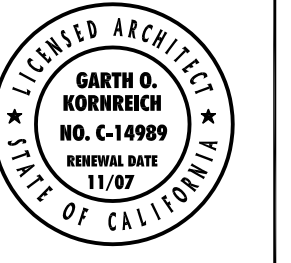
AIRPARK DRIVE ELEVATION
SCALE: 1/8"=1'-0"



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SHEET
UNIT C

DATE	REMARKS
2-10-06	PC SUB
08-26-06	PLANNING CK
10-25-06	PLANNING CK
PRELIMINARY DRAWINGS	

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DRAWN
GOK, CW, EA

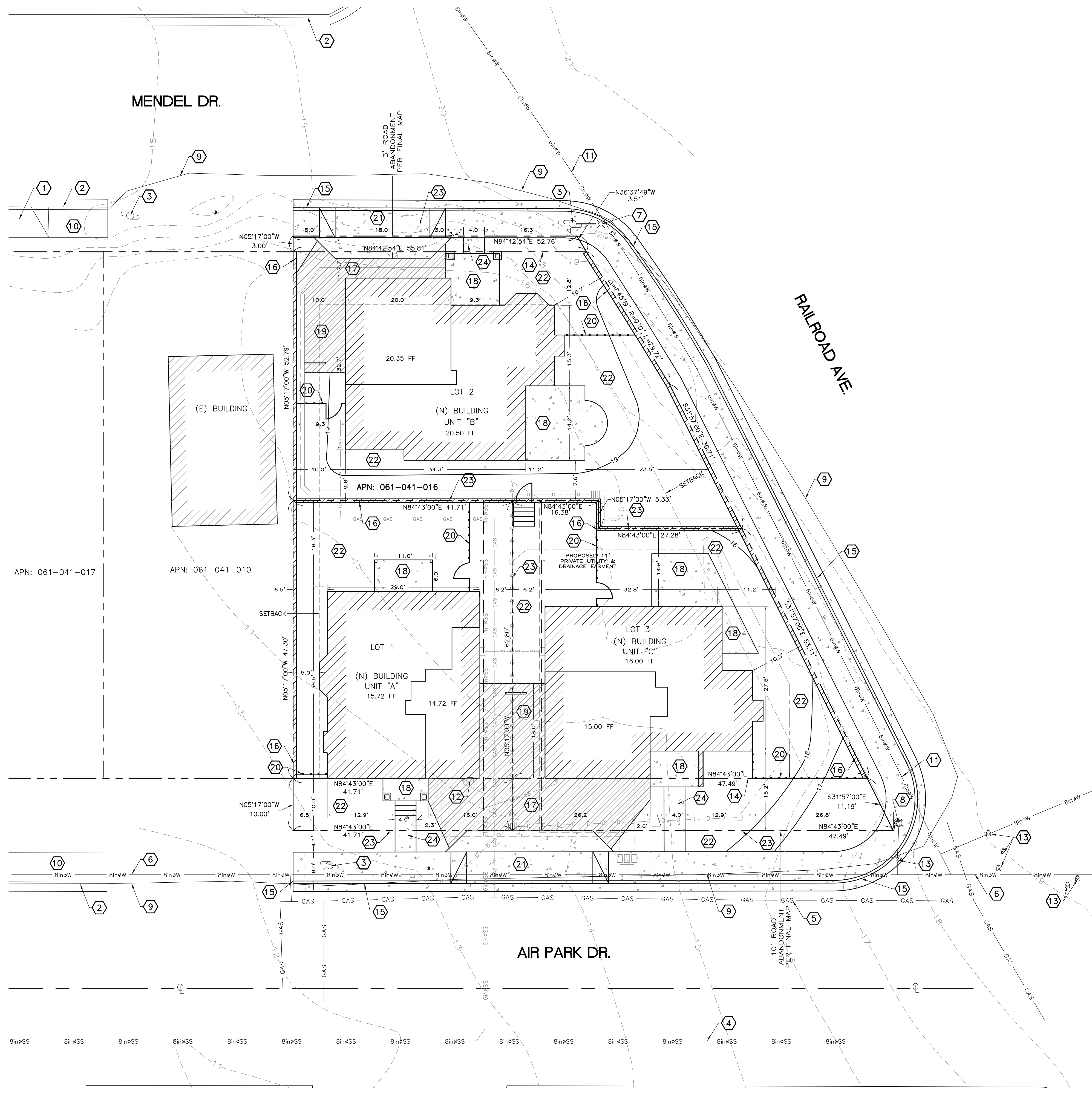
SCALE
1/8" = 1'-0"

JOB NO.
0525

SHEET

A4

OF SHEETS



SITE INFORMATION

ZONING: RMF FLOOD ZONE: C
 APN#: 061-041-016
 TOTAL SITE AREA = 0.19 ACRES
 NEW STRUCTURES:
 SINGLE FAMILY RESIDENTIAL BUILDINGS = 4,492 SQ.FT. TOTAL

CALLOUT NOTES

- 1 (E) DRIVEWAY ENTRANCE
- 2 (E) CURB & GUTTER
- 3 (E) UTILITY POLE
- 4 (E) 8" S WER MAIN
- 5 (E) GAS MAIN
- 6 (E) 8" ACP WATER MAIN
- 7 (E) STREET LIGHT
- 8 (E) FIRE HYDRANT
- 9 (E) EDGE OF PAVEMENT
- 10 (E) SIDEWALK
- 11 (E) 6" W WER MAIN
- 12 (E) GAS METER TO BE ABANDONED
- 13 (E) WATER VALVE
- 14 (E) LOT LINE TO BE ABANDONED
- 15 (N) CURB, GUTTER & SIDEWALK
- 16 (N) CMU RETAINING WALL W/6' WOOD FENCE
- 17 (N) ASPHALT DRIVEWAY
- 18 (N) CONCRETE PATIO
- 19 (N) PARKING SPACE
- 20 (N) 6' WOOD FENCE
- 21 (N) DRIVEWAY APPROACH
- 22 (N) LANDSCAPED AREA
- 23 (N) PROPOSED PROPERTY LINES
- 24 (N) CONCRETE WALK

SITE AREA PERCENTAGE CALCULATIONS

(N) BUILDING FOOTPRINT AREA= 3,373 SQ.FT. = 40%
 PAVED AREA = 890 SQ.FT. = 11%
 CONCRETE WALKS & CURB = 607 SQ.FT. = 7%
 LANDSCAPED AREA = 3,507 SQ.FT. = 42%
 TOTAL SITE AREA = 8,377 SQ.FT. = 100%

FENCE + WALL TABLE

TYPE	HEIGHT	LENGTH
(N) CMU WALL	VARIABLES	302 FT
(N) WOOD FENCE	6 FT	387 FT

NOTES
 1. HEIGHTS INDICATED IN THESE PLANS ARE MINIMUM ABOVE FINISH GRADE. UNLESS OTHERWISE NOTED, CONTRACTOR MUST ALLOW FOR FOOTING AND BURY DEPTHS.

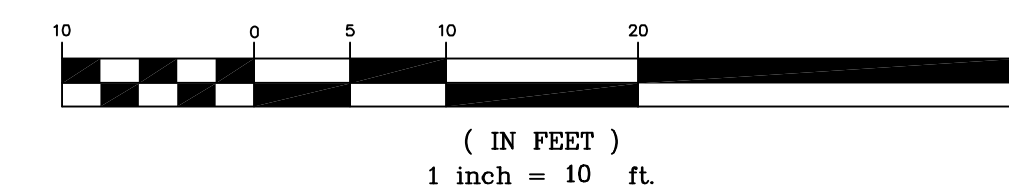
FIRE DEPARTMENT REQUIREMENTS

- ADDRESS NUMBERS SHALL BE CLEARLY VISIBLE FROM THE CENTERLINE OF THE ROADWAY FRONTING THE BUILDING AND THEY SHALL CONTRAST WITH THEIR BACKGROUND.
- "No Parking, Fire Lane" SIGNS SHALL BE POSTED AT EACH ENTRANCE. SIGNS SHALL BE DESIGNED PER SAN LUIS OBISPO FIRE DEPARTMENT SPECIFICATIONS. ALL CURBING NOT WITHIN A PARKING SPACE SHALL BE PAINTED RED TO DESIGNATE THE FIRE LANES.
- FIRE DEPARTMENT ACCESS REQUIREMENTS SHALL BE IN ACCORDANCE WITH CALIFORNIA FIRE CODE, APPENDIX III-D.
- AN "EMERGENCY CONTACT INFORMATION" FORM SHALL BE FILLED OUT & RETURNED TO THE FIRE DEPARTMENT PRIOR TO OCCUPANCY.
- ALL WEATHER SURFACE ACCESS ROADS SHALL BE INSTALLED PRIOR TO THE START OF FRAMING AND MUST MEET FIRE DEPARTMENT MINIMUM STANDARDS.
- DIRECTORY SIGN TO BE LOCATED AT MAIN ENTRANCE DRIVE, LOCATION & SIZE SUBJECT TO FIRE DEPARTMENT APPROVAL.
- WATER LINES SHALL BE INSTALLED PER CITY OF SAN LUIS OBISPO STANDARDS AND N.F.P.A. STANDARDS.

LEGEND

- TW TOP OF WALL
- TF TOP OF FOOTING
- FDW FACE OF WALL
- C.L. CHAIN LINK FENCE
- P PROPERTY LINE
- BOB BACK OF BERM
- TOB TOP OF BERM
- AC TOP OF AC PAVEMENT
- FG FINISH GRADE
- TC TOP OF CURB
- EG EXISTING GRADE
- HWL HIGH WATER LIMIT
- TS TOP OF SURFACE
- (N) NEW
- (E) EXISTING
- WWF WELDED WIRE FABRIC
- CONC. CONCRETE
- C CENTERLINE
- GB GRADE BREAK
- FL FLOWLINE
- WV WATER VALVE
- GM GAS METER
- RD ROOF DRAIN
- FT FOOT
- MIN MINIMUM
- TYP TYPICAL
- CL CHAIN LINK FENCE
- PP POWER POLE
- (E) GUY POLE
- (E) SEWER MANHOLE
- (E) HYDRANT
- (E) STREET LIGHT
- PROPERTY BOUNDARY
- SLOPE INDICATOR
- DETAIL LABEL
- Detail Number
- Detail Page Number

GRAPHIC SCALE

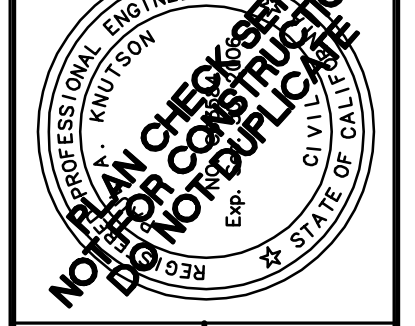


PRELIMINARY SITE PLAN
 SCALE: 1" = 10'

Designed By: PAK
 Drawn By: BFM
 Approved By: PAK
 Sheet: 01 of 02
 Date: 23 OCT 06
 Scale: 1" = 10'
 File: 2:\projects\061-041-016\prelim\prelim.dwg

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ARCHITECTURE - ENGINEERING - SURVEYING
 STRUCTURAL ANALYSIS - PLANNING
 DESIGN/BUILD

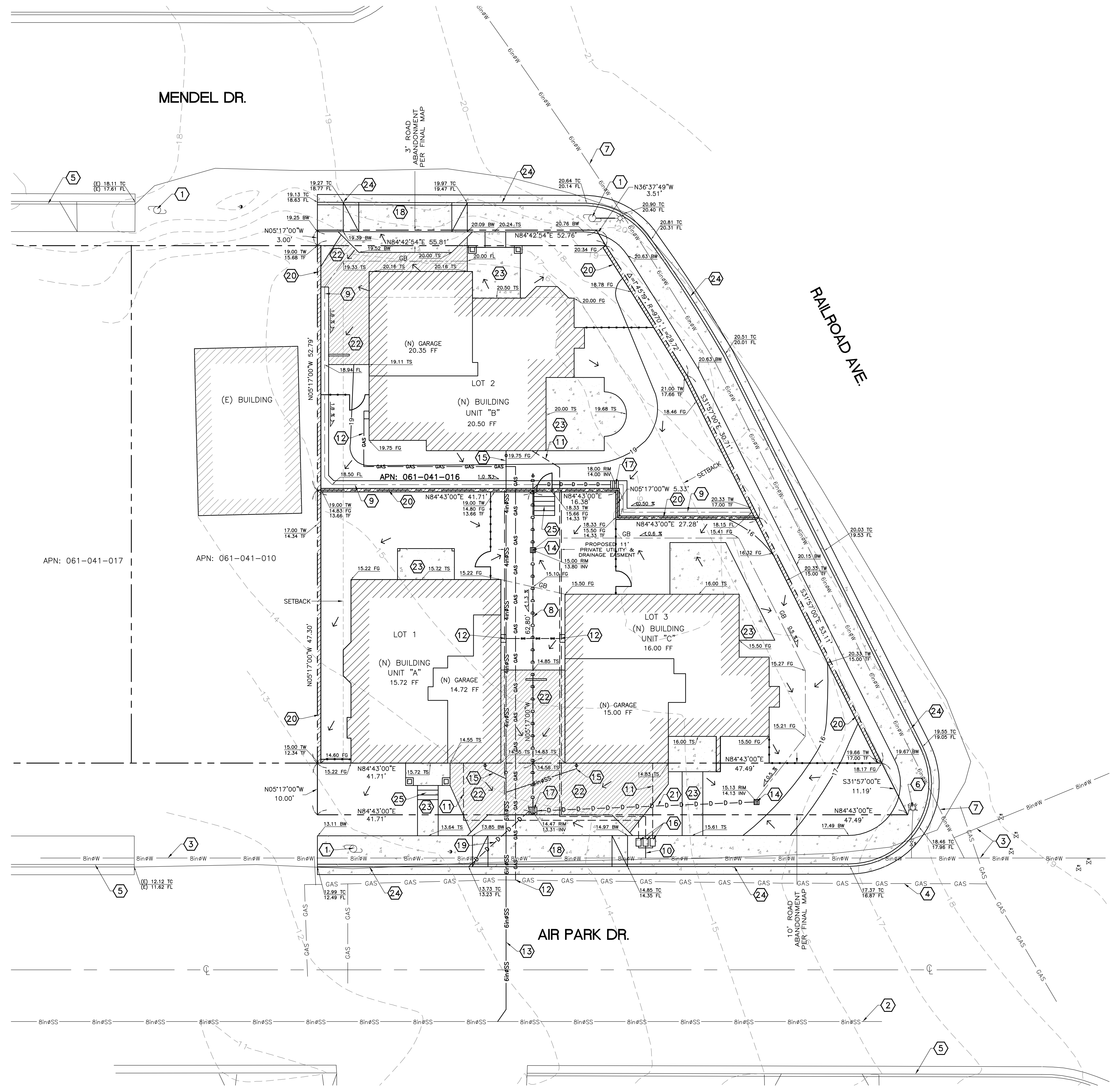


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PRELIMINARY SITE PLAN
 NEW CONSTRUCTION
 683 AIR PARK DRIVE
 OCEANO, CA.

REV	BY	DESCRIPTION

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CALLOUT NOTES

- ① (E) UTILITY POLE
- ② (E) 8"Ø SEWER MAIN
- ③ (E) 8"Ø WATER MAIN
- ④ (E) GAS MAIN
- ⑤ (E) CURB, GUTTER & SIDEWALK
- ⑥ (E) FIRE HYDRANT
- ⑦ (E) 6"Ø WATER MAIN
- ⑧ (N) 6"Ø PVC DRAIN PIPE
- ⑨ (N) 18" CONCRETE SWALE
- ⑩ (N) 2"Ø WATER LATERAL
- ⑪ (N) 1"Ø WATER LINE
- ⑫ (N) GAS SERVICE PER GAS COMPANY REQUIREMENTS
- ⑬ (N) 6" SEWER LATERAL
- ⑭ (N) 12"x12" LANDSCAPE DRAIN
- ⑮ (N) 4"Ø SEWER LINE w/ CLEANOUT
- ⑯ (N) 3/4" WATER METERS
- ⑰ (N) 18"x18" DI W/ TRAFFIC RATED GRATE
- ⑱ (N) DRIVEWAY ENTRANCE
- ⑲ (N) 3 - 3"Ø DRAIN PIPES THROUGH CURB FACE
- ⑳ (N) CMU RETAINING WALL W/ 6' WOOD FENCE
- ㉑ (N) 4"Ø DRAIN PIPE
- ㉒ (N) ASPHALT DRIVEWAY
- ㉓ (N) CONCRETE SURFACE
- ㉔ (N) CURB, GUTTER & SIDEWALK
- ㉕ (N) CONCRETE STEPS TYP.

PRELIMINARY EARTHWORK CALCULATIONS

NOTE: EARTHWORK QUANTITIES ARE BANK CALCULATED FROM EXISTING TO FINISHED GRADE.

CUT = 23 C.Y.
 FILL = 510 C.Y.

BALANCE = 486 C.Y. IMPORT

CALCULATED BY THE PRISMOIDAL METHOD. CONTRACTOR IS RESPONSIBLE FOR BRINCING FINISHED WORK TO THE LINES AND GRADES INDICATED AND IMPORTING OR EXPORTING SOIL OR OTHER MATERIALS NECESSARY TO PROVIDE THE REQUIRED CONSTRUCTION WITHOUT ADDITIONAL COMPENSATION.

PRELIMINARY DRAINAGE CALCULATIONS

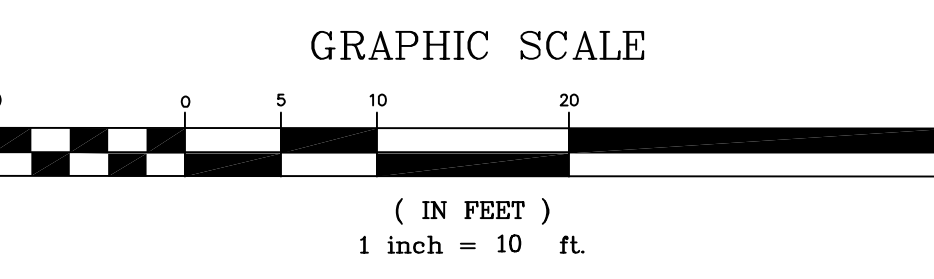
NOTE: DRAINAGE PIPES ARE SIZED FOR WORST CASE FLOW. EXISTING AREA DRAINED ON SITE (WORST CASE) = .19 ACRES SAN LUIS OBISPO COUNTY CALCULATED FLOW $C^*A=Q$.35*.47*.19=.031 .031*10 HRS=1,116 CU.FT.

NEW AREA DRAINED ON SITE (WORST CASE) = .19 ACRES SAN LUIS OBISPO COUNTY CALCULATED FLOW $C^*A=Q$.40*.47*.19=.036 .036*10 HRS=1,296 CU.FT.

INCREASED SITE RUNOFF 1,2196 - 1,116 = 180 CU.FT. THE INCREASED SITE RUNOFF IS ONLY A NEGLIGIBLE AMOUNT AND CONTINUES ON THE HISTORIC PATH OF FLOW. NO ON-SITE RETENTION IS NECESSARY.

MANNINGS $Q=1.49/n*AR^{2/3}*S^{1/2}$

PIPE SIZE REQUIRED:
 $D = 6"$

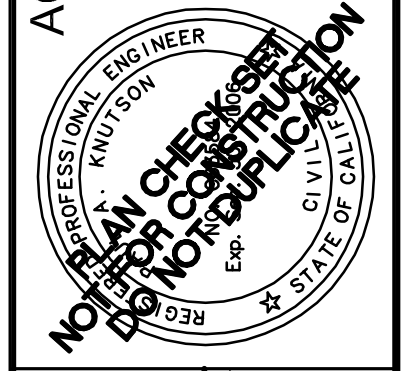


PRELIMINARY GRADING PLAN
 SCALE: 1" = 10'

Designed By: PAK
 Drawn By: BFM
 Approved By: PAK
 Sheet: 02 of 02
 Date: 23 OCT 06
 Scale: 1" = 10'
 File: 2:\projects\061-041-016\new\mech.dwg



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 LOS ANGELES, CA 90039
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PRELIMINARY GRADING PLAN
 NEW CONSTRUCTION
 683 AIR PARK DRIVE
 OCEANO, CA.

REV	BY	DESCRIPTION

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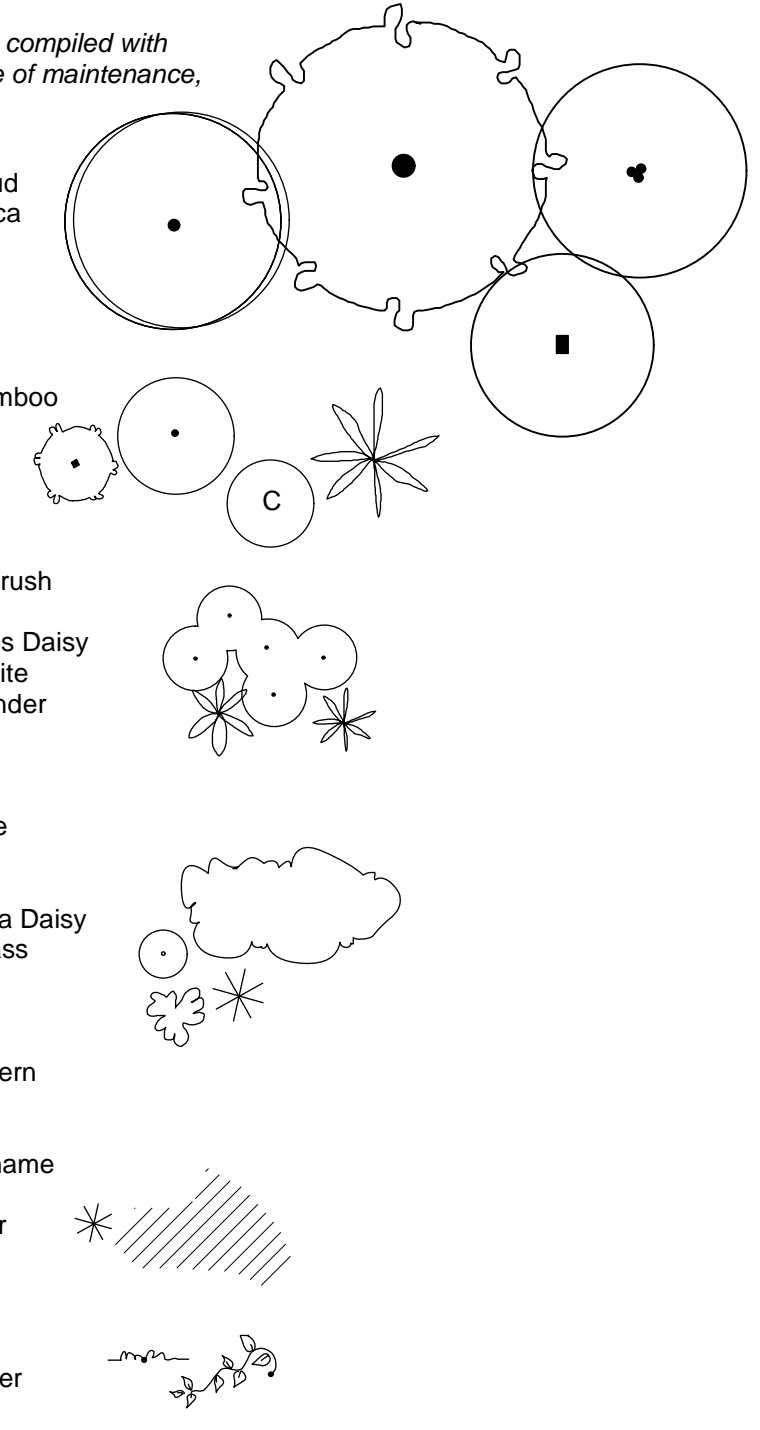
MENDEL DRIVE

PLANT PALETTE

Plant species shall be chosen from the following list which has been compiled with consideration for: 1) the beach cottage theme, 2) aesthetics, 3) ease of maintenance, 4) low to medium water consumption, 5) climate and soil

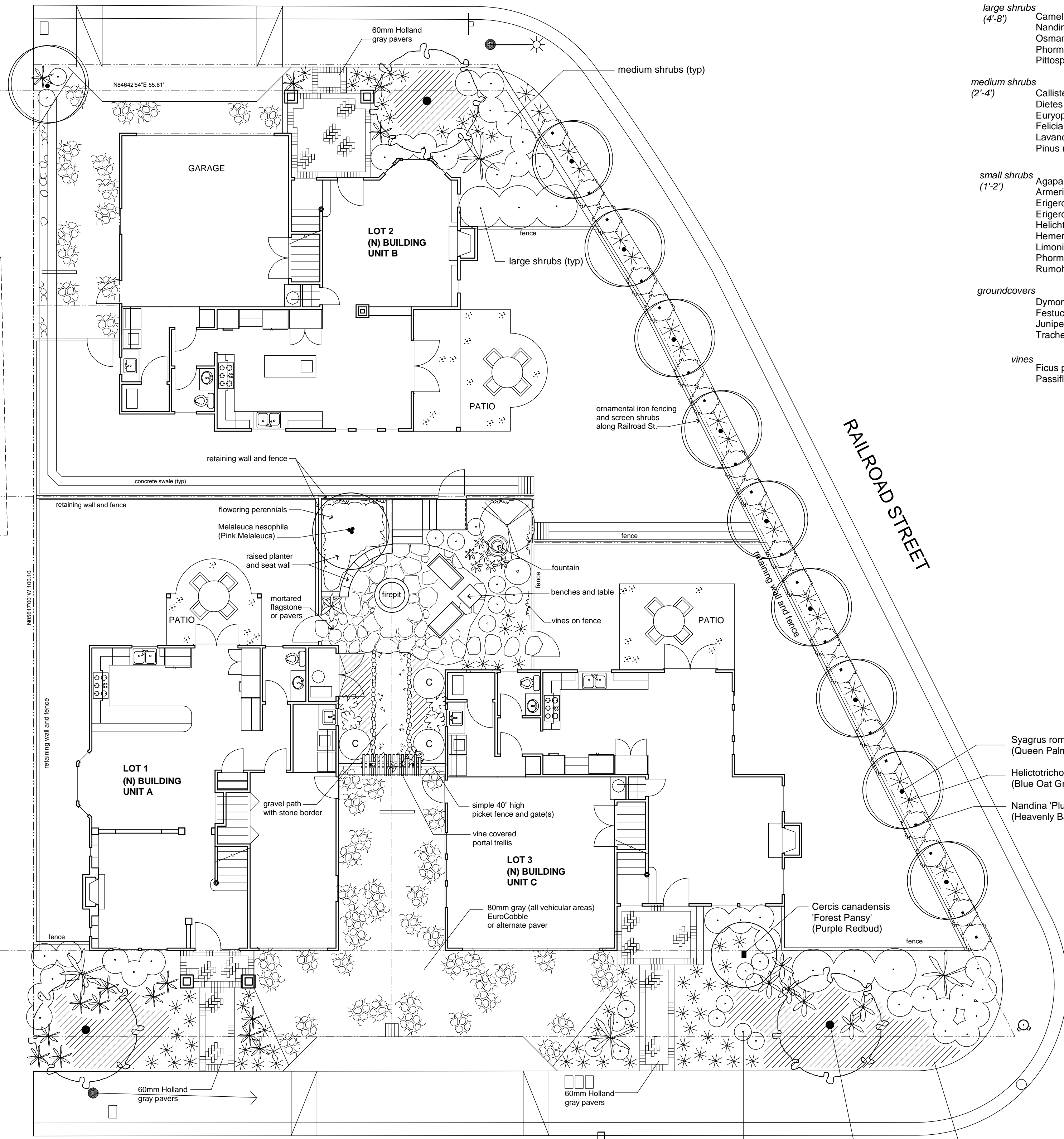
- trees**
 - Cercis canadensis 'Forest Pansy'
 - Melaleuca nesophila
 - Tristania conferta
 - Syagrus romanzoffianum
- large shrubs (4'-8')**
 - Camellia japonica
 - Nandina 'Plum Passion'
 - Osmanthus fragrans
 - Phormium tenax
 - Pittosporum nigricans
- medium shrubs (2'-4')**
 - Callistemon 'Little John'
 - Dietes vegeta
 - Euryops pect. 'Viridis'
 - Felicia amelloides
 - Lavandula angustifolia
 - Pinus mugho mugho
- small shrubs (1'-2')**
 - Agapanthus species
 - Amherstia maritima
 - Erigeron glauca
 - Erigeron karvinskiana
 - Helictotrichon sempervirens
 - Hemerocallis hybrids
 - Limonium perezii
 - Phormium
 - Rumohra adiantiformis
- groundcovers**
 - Dymondia margaretae
 - Festuca 'Elijah Blue'
 - Juniperus conferta
 - Trachelospermum jasminoides
- vines**
 - Ficus pumila
 - Passiflora 'Lavender Lady'

- Purple Redbud
- Pink Melaleuca
- Brisbane Box
- Queen Palm
- Camellia
- Heavenly Bamboo
- Sweet Olive
- Flax
- Pittosporum
- Dwarf Bottlebrush
- Fortnight Lily
- Yellow Euyops Daisy
- Blue Marquette
- English Lavender
- Mugho Pine
- Lily of the Nile
- Sea Pink
- Beach Aster
- Santa Barbara Daisy
- Blue Oak Grass
- Daylilies
- Statice
- Flax
- Leatherleaf Fern
- no common name
- Blue Fescue
- Shore Juniper
- Star Jasmine
- Creeping Fig
- Passion Flower



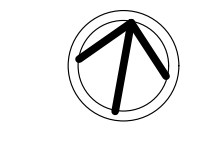
Planting Notes:

All planting shall be done in accordance with Planting Specifications. All plant materials shall be Nursery Grade. All planting areas shall receive 3" approved bark mulch. Irrigation shall consist of drip irrigation where feasible, an automatic controllers and an approved backflow prevention devices. Back yards shall be planted by Owners. Irrigation shall be stubbed out to back yards.



AIR PARK DRIVE

RAILROAD STREET



CONCEPTUAL LANDSCAPE PLAN

scale: 1/8" = 1'-0"



CLIENT
Adam and Noel Tankell
2122 Griffith Park Blvd.
Los Angeles, CA 90039

PROJECT
AIR PARK TOWNHOMES
683 Air Park Drive Ocean, CA
SHEET
Conceptual Landscape Plan

DATE	REMARKS

DRAWN BY:
DNB
DATE
10/24/06
SCALE
1/8" = 1'-0"
JOB NO.
2526
SHEET
L1
OF SHEETS

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