



GENERAL BUILDING INFORMATION

LOT AREA CALCULATIONS:		SETBACKS:	
LOT AREA:	2,083 SQFT.	REQUIRED FRONT:	7.01'
LOT COVERAGE (EXISTING NON-COMPLIANT):	1,678 SQFT.(80.64%)	EXISTING SIDE:	9'-9 1/2"
		REAR:	3'
			-3 1/2"

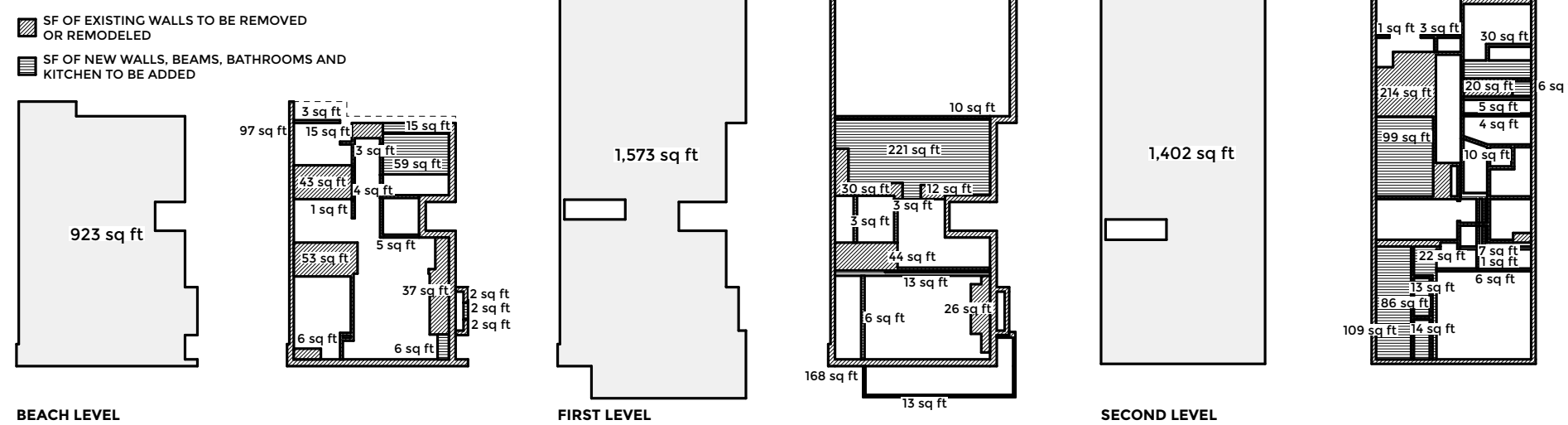
OPEN SPACE:		NON-CONFORMING CONDITIONS:	
REQUIRED:	400 SQFT.	BUILDING HEIGHT:	
EXISTING NON-COMPLIANT:	0 SQFT.	OPEN SPACE:	
PROPOSED:	0 SQFT.	LOT COVERAGE:	
		SIDE SETBACKS:	
		REAR SETBACK:	
		EAVE SETBACK:	
		FIREPLACE SETBACK:	

AREA BREAKDOWN:	
GROUND/BEACH LEVEL:	923 SQFT.
FIRST LEVEL:	1,572 SQFT.
SECOND LEVEL:	1,422 SQFT.
TOTAL AREA:	3,917 SQFT.

GARAGE:	547 SQFT.
BALCONIES:	116 SQFT.

JUSTIFICATION FOR LESS THAN 50% REMODEL

*SEE A-2 FOR PROJECT EVALUATION FORM



	EXISTING SF	REMODELED SF	% OF HOME REMODELED
BEACH LEVEL	923 SF	340 SF	36.84%
FIRST LEVEL	1,572 SF	549 SF	34.92%
SECOND LEVEL	1,402 SF	650 SF	46.36%
TOTAL	3,897 SF	1,539 SF	39.49% < 50%

17.52.030 B ANY EXISTING NONCONFORMING PORTIONS OF THE STRUCTURE (E.G. A WALL NONCONFORMING TO A YARD REQUIREMENT, OR A ROOF NONCONFORMING TO HEIGHT REQUIREMENTS) MAY BE PARTIALLY MODIFIED OR ALTERED ONLY TO THE EXTENT NECESSARY TO SATISFY THE UNIFORM BUILDING CODE AS RECOMMENDED BY A CERTIFIED STRUCTURAL ENGINEER BUT SHALL NOT BE COMPLETELY REMOVED AND REPLACED, AND IF COMPLETELY REMOVED MUST BE BROUGHT INTO COMPLIANCE WITH CURRENT REQUIREMENTS.

PROJECT INFORMATION

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

LEGAL DISCRPTION:
LOT 11 / BLOCK 1 / CITY:REGION/CLUSTER: 14/14161 \ TRACT NO. 6210.02

APN#:
4181-034-009

ZONE:
HBRI

SITE AREA (NET):
2,083 SF

(E) LIVING:
3,181 SF

(N) LIVING:
0 SF

REMODELED SF:
1,466 SF

STORIES:
3 STORIES

BUILDING CODES:
2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2013 CMC, 2013 CEC, 2013 CPC, 2013 CRC

OCCUPANCY GROUP:
R3/U

CONSTRUCTION TYPE:
V-B

FIRE SPRINKLERS:
YES

SCOPE OF WORK:
INTERIOR REMODEL OF (E) SINGLE FAMILY RESIDENCE, REPLACEMENT OF SIDING AND STONE VENEER, NEW GARAGE DOORS, RE-ROOFING, REPLACEMENT OF WINDOWS AND DOORS, REPLACEMENT OF BALCONY GUARDRAIL, REPAIR AND REPLACEMENT OF FASCIA BOARDS LIKE-FOR-LIKE, THERE SHALL BE NO PROPOSED CHANGES TO THE (E) BUILDING HEIGHT OR (E) ROOF STRUCTURE OR (E) NON-CONFORMING YARD WALLS. ANY (E) NON-CONFORMING PORTIONS OF THE STRUCTURE MAY BE PARTIALLY MODIFIED OR ALTERED ONLY TO THE EXTENT NECESSARY TO SATISFY THE UNIFORM BUILDING CODE AS RECOMMENDED BY A CERTIFIED STRUCTURAL ENGINEER BUT SHALL NOT BE COMPLETELY REMOVED AND REPLACED, AND IF COMPLETELY REMOVED MUST BE BROUGHT INTO COMPLIANCE WITH CURRENT REQUIREMENTS.

PARKING:
(E) 3 CAR GARAGE



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



ABBREVIATIONS

@	AT	LAM	LAMINATE
A.F.F.	LAV	LAVATORY	
ACOUS	ABOVE FINISH GRADE	ACOUSICAL	
ADJ	ADJUSTABLE	MECH	MECHANICAL
ALUM	ALUMINUM	MTL	METAL
ANCH	ANCHOR	MIN	MINIMUM
APPROX	APPROXIMATELY	(N)	NEW
ATTEN	ATTENUATION	NIC	NOT IN CONTRACT
BD	BOARD	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER
BLK	BLOCK	P.C.	PROPERTY CORNER
BM	BEAM	P.L.	PROPERTY LINE
B.O.	BOTTOM OF	PLT	PLATE
CA	COMPACT PARKING STALL	PLAS	PLASTER
CAB	CLEAR ANODIZED	PLYWD	PLYWOOD
CER	CERAMIC	R	RISERS
CJ	CONTROL JOINT	RD	ROOF DRAIN
CL	CLOSET	R.O.	ROUGH OPENING
C.L.	CENTER LINE	RAD	RADIUS
CLG	CEILING	RDL	ROOF DRAIN LEADER
CLR	CLEAR	REC	RECESSED
CMU	CONCRETE MASONRY UNIT	REINF	REINFORCED
COL	COLUMN	REQ'D	REQUIRED
CONC	CONCRETE	RES	RESISTANT
CONST	CONSTRUCTION	RESIL	RESILIENT
CONT	CONTINUOUS	RET	RETAINING
DBL	DOUBLE	REV.	REVERSE
DTL	DETAIL	RM	ROOM
DIA	DIAMETER	S.S.	STAINLESS STEEL
DIAG	DIAGONAL	SV	SHEET VINYL
DIM	DIMENSION	SECT	SCHEDULE SECTION
DN	DOWN	SAU	SELF ADHERING UNDERLAYMENT
DS	DOWNSPOUT	SFR	SINGLE FAMILY RESIDENCE
DWG	DRAWING	SHT	SHEET
EA	EACH	SIM	SIMILAR
EL	ELEVATION	SPEC	SPECIFICATION
ELECT	ELECTRICAL	SQ	SQUARE
EQ	EQUAL	STD	STANDARD
EQUIP	EQUIPMENT	STL	STEEL
(E)	EXISTING	STRUC	STRUCTURAL
EXT	EXTERIOR	SUSP	SUSPENDED
FD	FLOOR DRAIN	T	TREADS
FIN.	FINISH	T&B	TOP AND BOTTOM
F.F.E.	FINISH FLOOR ELEVATION	T&G	TONGUE AND GROOVE
FLR	FLOOR	T.O.	TOP OF
FLUOR	FLUORESCENT	T.O.C.	TOP OF CONCRETE
F.O.	FACE OF	TOPPING	
FT	FOOT	TELE	TELEPHONE
FTG	FOOTING	TEMP	TEMPERED
FV	FIELD VERIFY	T.S.	TUBE STEEL
GA	GAUGE	TYP	TYPICAL
GI	GALVANIZED IRON	UNO	UNLESS NOTED OTHERWISE
GALV	GALVANIZED	URM	UNREINFORCED MASONRY
GL	GLASS	VCT	VINYL COMPOSITION TILE
GYP BD	GYP SUM BOARD	W/	WITH
HD	HEAD	WC	WATER CLOSET
HDWD	HARDWOOD	WF	WIDE FLANGE
HORIZ	HORIZONTAL	WP	WATERPROOF
HT	HEIGHT	WD	WOOD
ID	INSIDE DIAMETER	WRB	WEATHER RESISTANT BARRIER
IN	INCH	±	PLUS OR MINUS
INSUL	INSULATION	#	NUMBER
INT	INTERIOR		

SYMBOLS

	SOLID LINE		DOOR MARK
	DASHED LINES INDICATE HIDDEN, OVERHEAD OR ITEMS TO BE REMOVED		WINDOW MARK
	BUILDING FLOOR OR ELEVATION		EQUIPMENT MARK
	PROPERTY LINE		PLUMBING FIXTURES
	BREAK LINE - MATERIAL TO CONTINUE		FINISH DESIGNATION
	GRIDLINE ON CENTER OF COLUMN		KEYNOTE
	GRIDLINE TO FACE OF STRUCTURE		REVISION NUMBER
	DIMENSION TO CENTERLINE		EXISTING ELEVATION
	DIMENSION TO FACE		NEW ELEVATION
	BUILDING SECTION		ALIGN
	WALL SECTION		DEMO WALL
	DETAIL		EXISTING WALL
	INTERIOR ELEVATION - MULTIPLE WALLS		NEW WALL
	INTERIOR ELEVATION - 1 WALL		DIRECTION OF SLOPE TO DRAIN
	EXTERIOR ELEVATION		EXHAUST FAN
	ROOM NAME		FIRE SPRINKLER
	ROOM NUMBER		SMOKE DETECTOR
	WALL TYPE		NORTH ARROW

MATERIALS

	ALUMINUM
	WOOD, FINISH
	CONCRETE
	CONCRETE MASONRY UNIT
	EARTH
	STONE
	GRAVEL
	SAND
	GYP SUM BOARD
	PLASTER IN SECTION & ELEVATION
	CONCRETE IN PLAN & ELEVATION
	CEMENT PLASTER
	BATT INSULATION
	RIGID INSULATION
	PLYWOOD
	GLASS
	STEEL
	CERAMIC TILE
	METAL STUD IN PLAN, METAL TRACK BELOW
	METAL STUD IN ELEVATION

SHEET INDEX

A-1	COVER SHEET
A-2	VALUATION/NOTES
A-3	TITLE 24
A-4	TITLE 24
A-5	TITLE 24
A-6	TITLE 24
A-7	GREEN SHEETS
A-8	GREEN SHEETS
A-9	GREEN SHEETS
A-10	SURVEY
A-11	SITE PLAN
A-12	LANDSCAPE
A-13	ROOF PLAN
A-14	DEMO PLANS
A-15	DEMO PLANS
A-16	FLOOR PLAN & RCP - BEACH LEVEL
A-17	FLOOR PLAN & RCP - FIRST FLOOR
A-18	FLOOR PLAN & RCP - SECOND FLOOR
A-19	ELEVATIONS
A-20	ELEVATIONS
A-21	SECTIONS
A-22	DETAILS
A-23	DETAILS
A-24	DETAILS
A-25	WINDOW AND DOOR SCHEDULE
A-26	WINDOW AREA DIAGRAM

PROJECT DIRECTORY

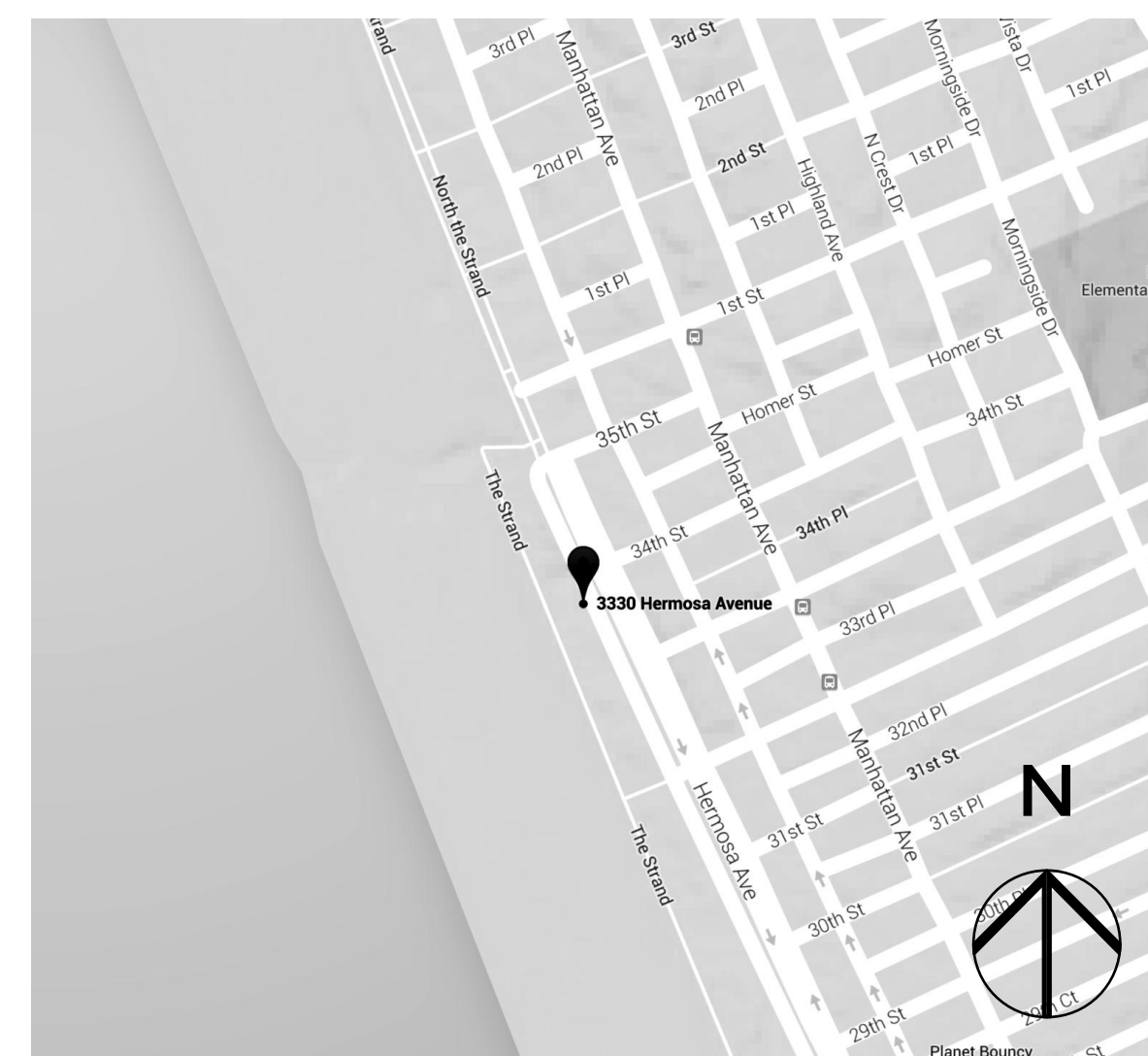
PROJECT OWNER
JEFF DAVID
3330 HERMOSA AVE
HERMOSA BEACH, CA 90254
(310) 874-5333
JDAVID@KINGS.COM

ARCHITECT
ANTHONY LANEY, AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA, CA 90249
ANTHONY@LANEY.LA
(310) 498-2455

STRUCTURAL ENGINEER
BEYOND ENGINEERING INC.
18199 S. PRAIRIE AVE, SUITE 102,
TORRANCE, CA 90504
(310) 793-8410

GENERAL CONTRACTOR
TITAN AND CO., INC.
1601 N SEPULVEDA BLVD #622
MANHATTAN BEACH, CALIFORNIA 90266
(310) 773-3880

VICINITY MAP



PROJECT NO.:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE

COVER SHEET

A-1

SURVEY AND TOPOGRAPHY

FOR
JEFF DAVID
3330 THE STRAND
HERMOSA BEACH, CA 90254
PHONE 916-928-5190

JOB ADDRESS

3330 THE STRAND
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

LOT 11, BLOCK 1
SHAKESPEARE BEACH
M.B. 4-83-84
APN 4181-034-009

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF PROFESSIONAL LAND SURVEYORS' ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECKED BY TSM/W

DRAWN ON AUGUST 15, 2016

REVISIONS
REVISIONS

LEGEND

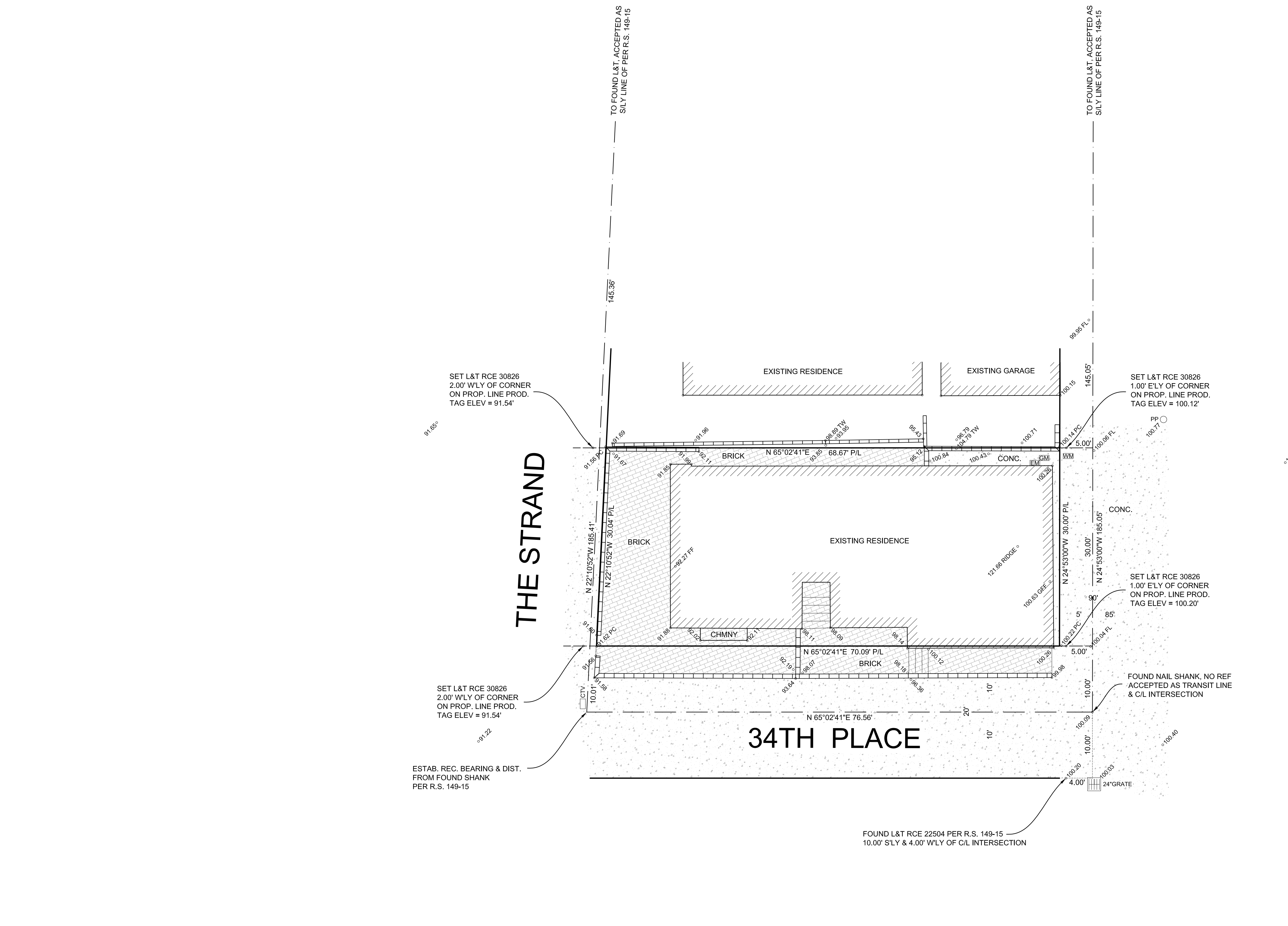
- EXISTING BUILDING
- BRICK
- CONCRETE
- WOOD DECK
- +106.76 EXISTING ELEVATION
- 100 EXISTING CONTOUR
- EXISTING WALL
- EXISTING FENCE
- BCR BEGINNING OF CURB RETURN
- CL CENTERLINE
- C.L.F. CHAIN-LINK
- ELY EASTERLY
- EM ELECTRIC METER
- FD FOUND
- FE FENCE
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GM GAS METER
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- NLY NORTHERLY
- PC PROPERTY CORNER / PROP. CORNER
- PL / PL PROPERTY LINE / PROP. LINE
- PP POWER POLE
- PPT PARAPET
- S&W SPIKE AND WASHER
- SLY SOUTHERLY
- SPK SPIKE
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY SEWER MANHOLE
- STK STAKE
- STLT STREET LIGHT
- TC TOP OF CURB
- TW TOP OF WALL / T.O.W.
- TX TOP OF DRIVEWAY APRON
- WLY WESTERLY
- WM WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT (310) 542-9433, M-F 8:00 AM TO 5:00 PM.

COPYRIGHT

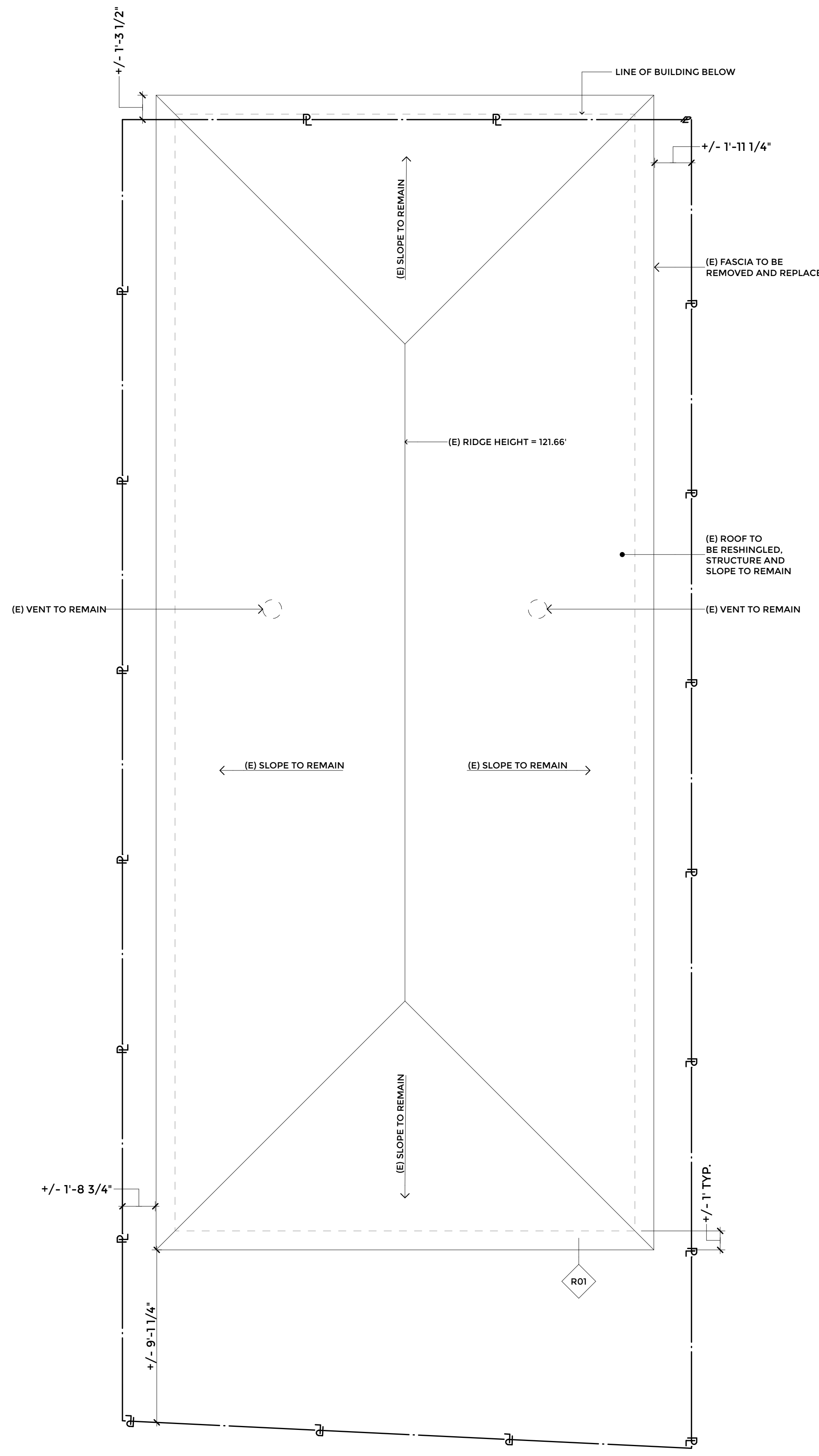
ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEYS' FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.



NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.



SCALE 1" = 8'



ROOF PLAN
SCALE: 1/4" = 1'-0" **1**

18. MATERIAL SAFETY DATA SHEETS: Roofing Sub-Contractor shall possess and maintain a copy of the manufacturer's specifications, MSDS (Material Safety Data Sheets), related documents, Architects Specifications and drawings and any addendum information at all times during the installation of the roofing systems.
19. GUARANTEE / WARRANTY: Provide a minimum Manufacturer and Applicator 15-year Systems Guarantee for all installed decks and roofs, unless a higher limit is required by the Owner, Consultant or by the Construction Specifications.
20. EMERGENCY REPAIRS: Roofing Sub-Contractor shall make all emergency repairs within 24 hours of notification by the Owner throughout the guarantee period.
21. THROUGH ROOF VENT PIPING: All vent pipes, etc., shall extend above the roof surface to allow for proper flashing and shall be painted a color to match or closely blend with the roof color unless otherwise noted.
22. FLASHING: The minimum gauge flashing allowed on the project shall be 24 GA Galvanized Iron, unless specified differently in the drawings or specifications. Follow the details and specifications of SMACNA's (Sheet Metal and Air Conditioning Contractors National Association) Architectural Sheet Metal Manual, its specifications and its standards. This is the minimum standard for this project. No aluminum flashing is allowed unless expressly permitted in writing. All roof penetrations shall be the responsibility of the Contractor to be painted to match surrounding roof surface.
23. DRAINAGE PATH: Where skylights, mechanical platforms or multiple platforms or skylights or any other impediment to the drainage of the roof to drains, the Contractor is responsible for providing a layout that resolves the impediments. Provide shop drawing showing proposed layout that adequately eliminates any and all impediments of the gravitational flow of water to drain. Crickets behind any of these items are a minimum requirement.
24. FLOOD TEST REQUIREMENTS: When approved by the Structural Engineer, Contractor to provide full flood test for a minimum of 24 hours. Utilize special inspections, shoring or other special methods if required to insure a safe and complete flood test.
25. CONTRACTORS RESPONSIBILITIES: Contractor shall be solely responsible for all roofing, decking and flashing installation failures for the warranty period. It is the contractors' responsibility to follow and / or resolve the installation failures with the subcontractor and / or product manufacturer at no cost or imposition to the Owner or Architect.
26. VALUE ENGINEERING: Any Value Engineering or relaxation of these requirements as noted herein, specified or otherwise detailed in the plans and specifications for roofing and / or deck waterproofing undertaken without written consent from the Architect, shall release the Architect from any and all liability for that portion of the project.
27. VENTS: See calculations for size and quantity.
28. COOL ROOF: Utilize cool roof for reduction of heat island effect.

ROOF ASSEMBLY SCHEDULE

R01		(N) ASPHALT SHINGLE ROOFING (E) UNDERLAYMENT (V.I.F.) (E) 1X3 PURLINS/BOARDS (V.I.F.) (E) 2X8 RAFTERS/TRUSSES (V.I.F.)
------------	--	---

STANDARD ROOFING NOTES

1. APPEARANCE AND PERFORMANCE OF ROOF AND DECK: All roofing work shall result in a waterproof enclosure of good appearance, adequate drainage, puddles or standing water will not be permitted on any roof or deck and correction of such shall be at Contractors sole expense. The beginning of the work indicates acceptance of the base to which it is applied. The contractor shall advise the Architect if anything will interfere with the intention of this work.
2. MINIMUM STANDARDS FOR ROOFING AND DECK WATERPROOFING: Architectural and Engineering Drawings, Details and Construction Specifications shall govern over these notes when they are more restrictive or of a higher quality. Under no circumstance and regardless of what is drawn or specified shall the completed roofs and/or decks of this project be less restrictive or inferior in any way to these notes and are the minimum standard required. If conflicts exist the higher quality and standard shall apply.
3. ROOFING CLASSIFICATION: A Class A Roof is required, unless a more restrictive condition is noted in the drawings and specifications. In extreme high fire zones provide appropriate roofing materials, underlayment and installation details as required by local code or ordinance. Decks are subject to same classification requirements regardless of what is specified within the drawings or specifications.
4. FIRE CLASSIFICATION FOR ROOF AND DECKS: Provide roofing and waterproofing that meets with the particular fire zone of the project.
5. MINIMUM CODE COMPLIANCE: The completed installation of all roofs, flashing and roof drainage systems shall fully comply with the California Plumbing Code, the California Building Code, The Los Angeles Building Code - most current edition, and all other local, state and federal codes.
6. NRCA STANDARDS: In the absence of a specific detail or specification regarding roofing, decks over livable areas and all applicable drainage shall follow the accepted standards of the National Roofing Contractors Association handbook, current edition.
7. POSITIVE SLOPE REQUIRED: All Roofing Materials shall be installed with a positive slope to drain. Low Slope Roofs shall have a minimum slope of 1/2" per foot. Drain wells must have no lip at drain for primary drain and 1" per foot slope within the well.
8. DEFLECTION OF STRUCTURAL MEMBERS: Contractor shall verify with the structural engineer the anticipated deflection of supporting materials prior to installation of roof or deck and that deflection shall be approved by the Manufacture of the roofing or decking materials.
9. CRICKETS: Provide crickets as required to insure adequate flow of water to drains, gutters, scuppers and away from habitable spaces, etc.
10. SECONDARY OVERFLOW: Provide a secondary overflow drainage system for roofs and decks as required by the building and plumbing codes. Verify with Architect the desired method if not detailed, drawn or specified. (Scupper, Secondary / Overflow drain, Gutter, etc.)
11. DIMENSIONS: Engineering drawings are often diagrammatic. Dimensions, locations, heights and routes shown on the Architectural drawings shall supersede layouts, dimensions and locations shown on Engineering and Consultant plans or details unless otherwise noted.
12. ROOF DRAIN PIPING: All internal roof drain piping shall be cast iron and acoustically isolated from any and all structural components of the building.
13. ROOF DRAIN PIPING ROUTES TO STORM DRAIN: All internal roof drains shall be routed inconspicuously or as directed by the Architect or as shown in the drawings. Means and methods of the drain routing shall be the sole responsibility of the General Contractor. General Contractor shall coordinate roof drain locations and drain pipe routing between Architectural and Engineering drawings including floor plans, reflected ceiling plans, electrical and lighting plans, mechanical and ductwork layouts, all plumbing fixtures and piping, all structural members and other required or decorative elements of the project. The Architect, prior to any roof drainage piping or drain installation, shall approve of the route and any and all deviations from the drawings or specifications.
14. ROOFING AND DECKING: Provide to the Architect a complete, fully detailed submittal including samples, manufacturer's specifications and proposed guarantees for any roofing, deck waterproofing, flashing or drainage component to be used on this project, a minimum of 14 days prior to the REQUIRED Pre-Roofing Conference to be held on site BEFORE ANY materials are purchased or delivered.
15. PRE-ROOFING CONFERENCE: A Pre-Roofing Conference is required and shall be attended by the Owner or Owners representative, the Architect, Roofing Consultant, the General Contractor, project manager and superintendent, the roofer's superintendent and/or foreman who will be on the job, and the manufacturer's representative. This is mandatory, no exceptions.
16. ROOF APPLICATORS EXPERIENCE REQUIREMENTS: All roofs shall be installed by applicators with a minimum of five years experience-installing materials of types specified and shall have successfully completed at least five projects of similar scope and complexity.
17. QUALITY CONTROL: Quality control is the Roofing Sub-Contractors responsibility and obligation. Poor quality observed or as a result of post installation testing by the Architect, Roofing Consultant or General Contractor will be removed and replaced at Roofing Sub-Contractors own expense.



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
1	5/2/2017	PROGRESS PDF

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

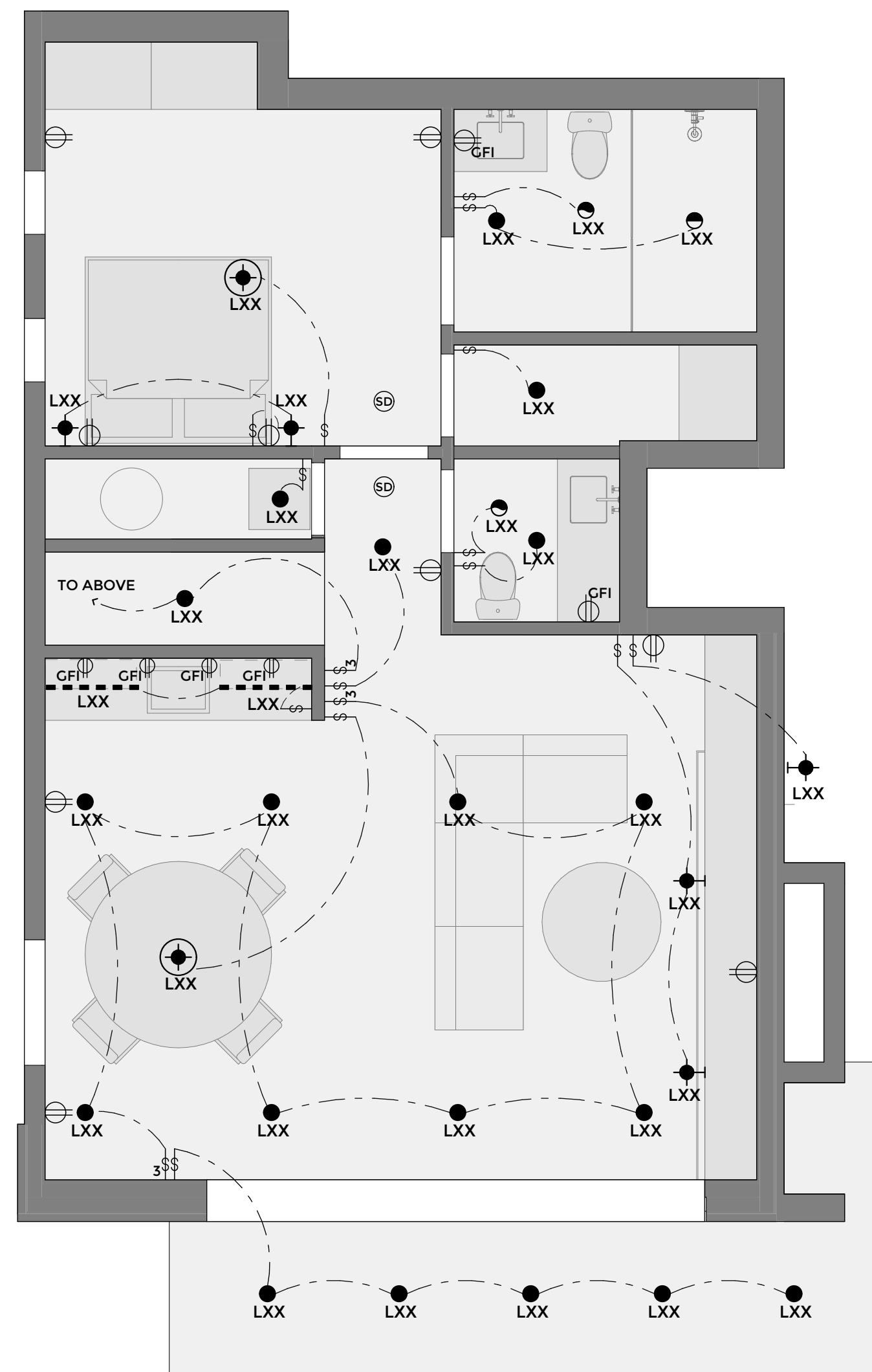
SHEET TITLE
ROOF PLAN

WALL ASSEMBLY SCHEDULE

W1	(N) 5/8" GYP BRD (N) 2X4 STUD WALL @ 16" O.C. (N) 5/8" GYP BRD
W2	(N) WOOD SIDING TO REPLACE, BUT NOT TO EXCEED WIDTH OF (E) SIDING (E) PLYWOOD TO REMAIN (E) 2X6 STUD WALL @ 16" O.C. (N) 5/8" GYP BRD
W3	(N) STONE VENEER TO REPLACE, BUT NOT TO EXCEED WIDTH OF (E) STONE VENEER (E) PLYWOOD TO REMAIN (E) 2X6 STUD WALL @ 16" O.C. (N) 5/8" GYP BRD

WALL LEGEND

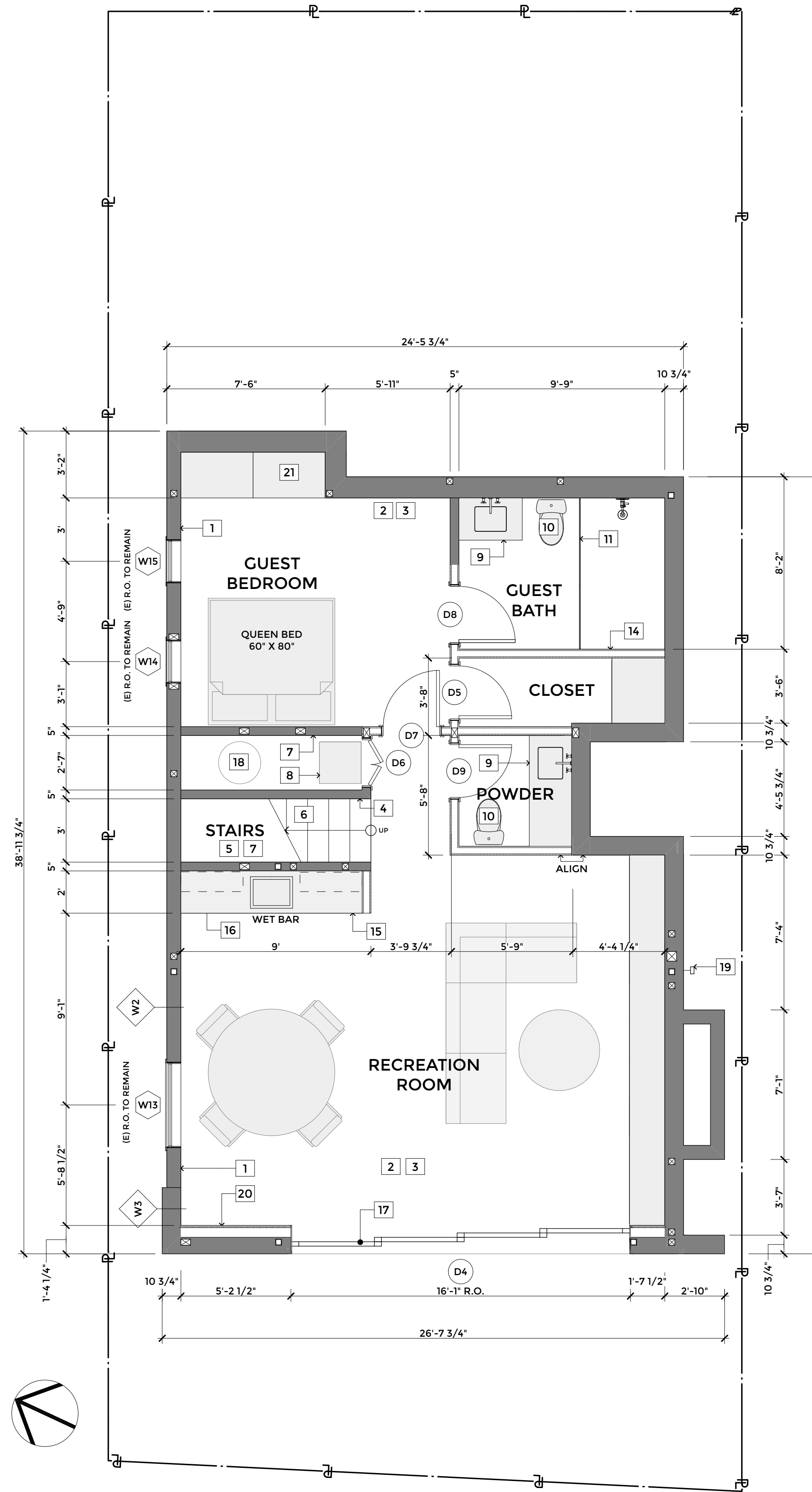
- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (N) WALL



BEACH LEVEL RCP / POWER SIGNAL PLAN

SCALE: 1/4" = 1'-0"

2



BEACH FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

BEACH FLOOR KEYNOTES

- 1 PANELED WAINSCOTTING, TYP.
- 2 POSSIBLE FURR DOWN @ PERIMETER FOR DUCTING
- 3 COVE MOULDING @ PERIMETER OF ROOM
- 4 34" HIGH WOOD HANDRAIL SEE DETAIL
- 5 SEE DETAILS FOR WOOD FRAMING CONSTRUCTION @ STAIRS
- 6 12" TREADS AS SHOWN
- 7 PROVIDE ONE-HOUR CONSTRUCTION UNDER STAIRS, USE 5/8" TYPE-X GYPBOARD @ WALLS AND CEILING
- 8 STACKED WASHER/DRYER
- 9 LAVATORY AND BASE CABINET WITH COUNTERTOP AND BACKSPASH
- 10 WATER CLOSET - SELECTED BY OWNER
- 11 FRAMELESS TEMPERED GLASS ENCLOSURE
- 12 -
- 13 THICKEN WALL @ THIS LOCATION
- 14 SOAP NICHE AND PLUMBING @ WALL
- 15 BUILT-IN WET BAR WITH BASE CABINETS, DISHWASHER, AND MINI FRIDGE
- 16 UPPER CABINETS ABOVE WET BAR
- 17 (N) SLIDING DOORS
- 18 (E) SEWAGE EJECTION PUMP
- 19 (E) OUTDOOR SHOWER TO REMAIN
- 20 (E) WALL TO BE FURRED OUT TO ACCOMMODATE WIDTH OF SLIDING DOORS
- 21 (N) BUILT IN CABINETS WITHIN (E) OPENING

ELECTRICAL SYMBOL KEY

	RECESSED ROUND ADJUSTABLE DOWNLIGHT
	SPECIALITY CAN LIGHTS
	DECORATIVE WALL-MOUNTED FIXTURE
	DECORATIVE CEILING-MOUNTED FIXTURE
	LINEAR LOW-VOLTAGE FIXTURE
	LINEAR FLUORESCENT FIXTURE
	EXHAUST FAN
	WALL OUTLET
	GFI OUTLET
	UNDER COUNTER GFI OUTLET
	220 V OUTLET
	FLOOR OUTLET
	SWITCH
	3-WAY SWITCH
	GARBAGE DISPOSAL SWITCH
	STRIP OUTLETS
	SMOKE/CARBON MONOXIDE DETECTOR (PROVIDE HARD WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP ADJACENT TO AND INSIDE BEDROOMS. BATTERY OPERATED IS ACCEPTABLE IN EXISTING AREAS.)



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



MARK DATE DESCRIPTION

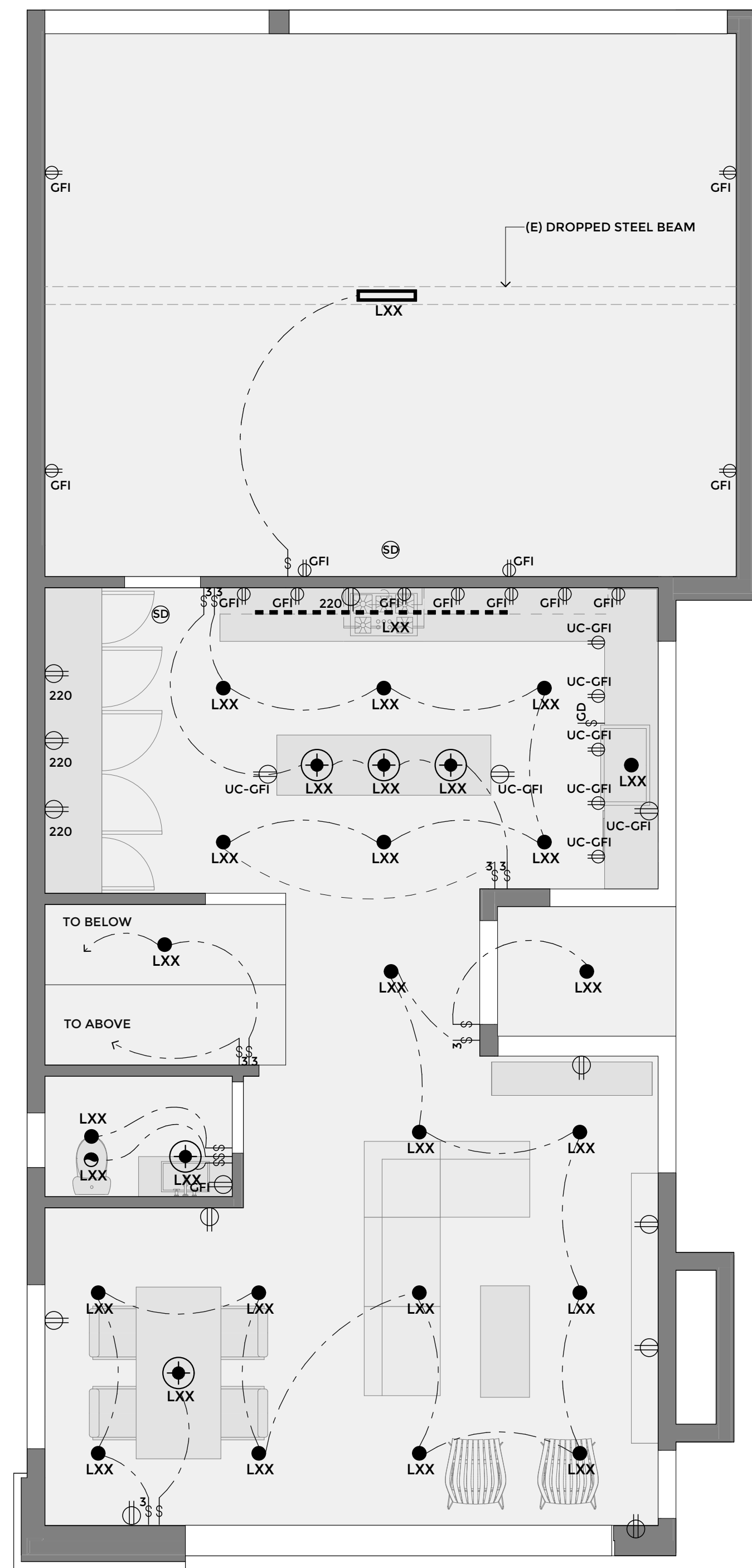
1	5/2/2017	PROGRESS PDF

PROJECT NO.:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE

**FLOOR PLAN & RCP -
BEACH LEVEL**

A-16



FIRST FLOOR RCP / POWER SIGNAL PLAN

SCALE: 1/4" = 1'-0"

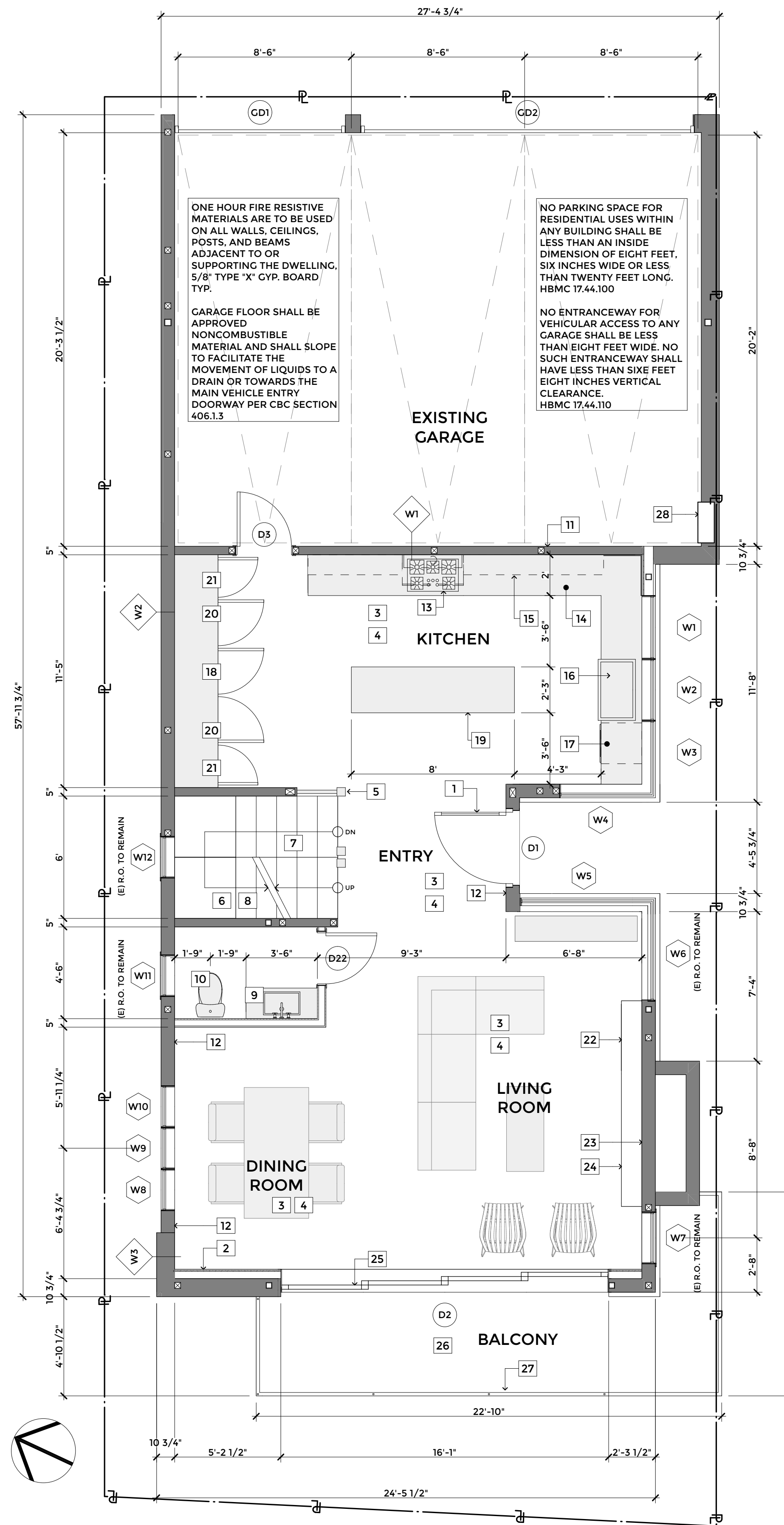
2

WALL ASSEMBLY SCHEDULE

W1	(N) 5/8" CYP BRD (N) 2X4 STUD WALL @ 16" O.C. (N) 5/8" CYP BRD
W2	(N) WOOD SIDING TO REPLACE, BUT NOT TO EXCEED WIDTH OF (E) SIDING (E) PLYWOOD TO REMAIN (E) 2X6 STUD WALL @ 16" O.C. (N) 5/8" CYP BRD
W3	(N) STONE VENEER TO REPLACE, BUT NOT TO EXCEED WIDTH OF (E) STONE VENEER (E) PLYWOOD TO REMAIN (E) 2X6 STUD WALL @ 16" O.C. (N) 5/8" CYP BRD

WALL LEGEND

- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (N) WALL



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

1ST FLOOR KEYNOTES

ENTRY, POWDER ROOM

- 1 (N) ENTRY DOOR
- 2 (E) WALL TO BE FURRED OUT TO ACCOMMODATE WIDTH OF SLIDING DOORS
- 3 POSSIBLE FURR DOWN @ PERIMETER FOR DUCTING
- 4 COVE MOULDING @ PERIMETER OF ROOM
- 5 34" HIGH WOOD RAILING W/ INTERMEDIATE RAILS. SEE A-22/9
- 6 SEE DETAILS FOR WOOD FRAMING CONSTRUCTION @ STAIRS
- 7 12" TREADS AS SHOWN
- 8 PROVIDE ONE-HOUR CONSTRUCTION UNDER STAIRS. USE 5/8" TYPE-X CYPBOARD @ WALLS AND CEILING
- 9 LAVATORY AND BASE CABINET WITH COUNTERTOP AND BACKSPASH
- 10 WATER CLOSET - SELECTED BY OWNER
- 11 PROVIDE ONE-HOUR TYPE-X CYPBOARD @ WALLS AND CEILING
- 12 paneled wainscoting

KITCHEN

- 13 GAS RANGE/OVEN UNIT WITH OVERHEAD HOOD. CONSULT WITH OWNER FOR SPECIFICATION
- 14 STONE COUNTERTOP TYP. WITH CABINETS BELOW
- 15 OUTLINE OF CABINETS ABOVE
- 16 UNDERMOUNT SINK WITH GARBAGE DISPOSAL
- 17 DISHWASHER SPACE
- 18 WINE REFRIGERATOR - CONSULT WITH OWNER FOR SPECIFICATION
- 19 36" HIGH ISLAND WITH SPACE BELOW FOR BAR STOOLS
- 20 BUILT-IN REFRIGERATOR AND FREEZER W/ WATER LINE - SELECTED BY OWNER
- 21 FULL HEIGHT PANTRY

LIVING ROOM, DINING ROOM, BALCONY

- 22 BUILT-IN BOOKCASE WITH FULL HEIGHT SHELVING
- 23 (N) METAL FIREPLACE WITH 36" WIDE OPENING @ FINISHED FLOOR
- 24 20" STONE HEARTH - CONSULT W/ OWNER FOR POSSIBLE RAISED HEARTH
- 25 (N) SLIDING DOORS
- 26 (N) APPLIED WATERPROOF MEMBRANE OVER (E) DECK JOISTS
- 27 42" HIGH GLASS GUARDRAIL. SEE A-24/5

GARAGE

- 28 TANKLESS HOT WATER HEATER

ELECTRICAL SYMBOL KEY

	RECESSED ROUND ADJUSTABLE DOWNLIGHT
	SPECIALITY CAN LIGHTS
	DECORATIVE WALL-MOUNTED FIXTURE
	DECORATIVE CEILING-MOUNTED FIXTURE
	LINEAR LOW-VOLTAGE FIXTURE
	LINEAR FLUORESCENT FIXTURE
	EXHAUST FAN
	WALL OUTLET
	GFI OUTLET
	UNDER COUNTER GFI OUTLET
	220 V OUTLET
	FLOOR OUTLET
	SWITCH
	3-WAY SWITCH
	GARBAGE DISPOSAL SWITCH
	STRIP OUTLETS
	SMOKE/CARBON MONOXIDE DETECTOR (PROVIDE HARD WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP ADJACENT TO AND INSIDE BEDROOMS. BATTERY OPERATED IS ACCEPTABLE IN EXISTING AREAS.)



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
1	5/2/2017	PROGRESS PDF

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE

**FLOOR PLAN & RCP -
FIRST FLOOR**

A-17



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
1	5/2/2017	PROGRESS PDF

PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE

**FLOOR PLAN & RCP -
SECOND FLOOR**

A-18

2ND FLOOR KEYNOTES

LAUNDRY ROOM, STAIRS

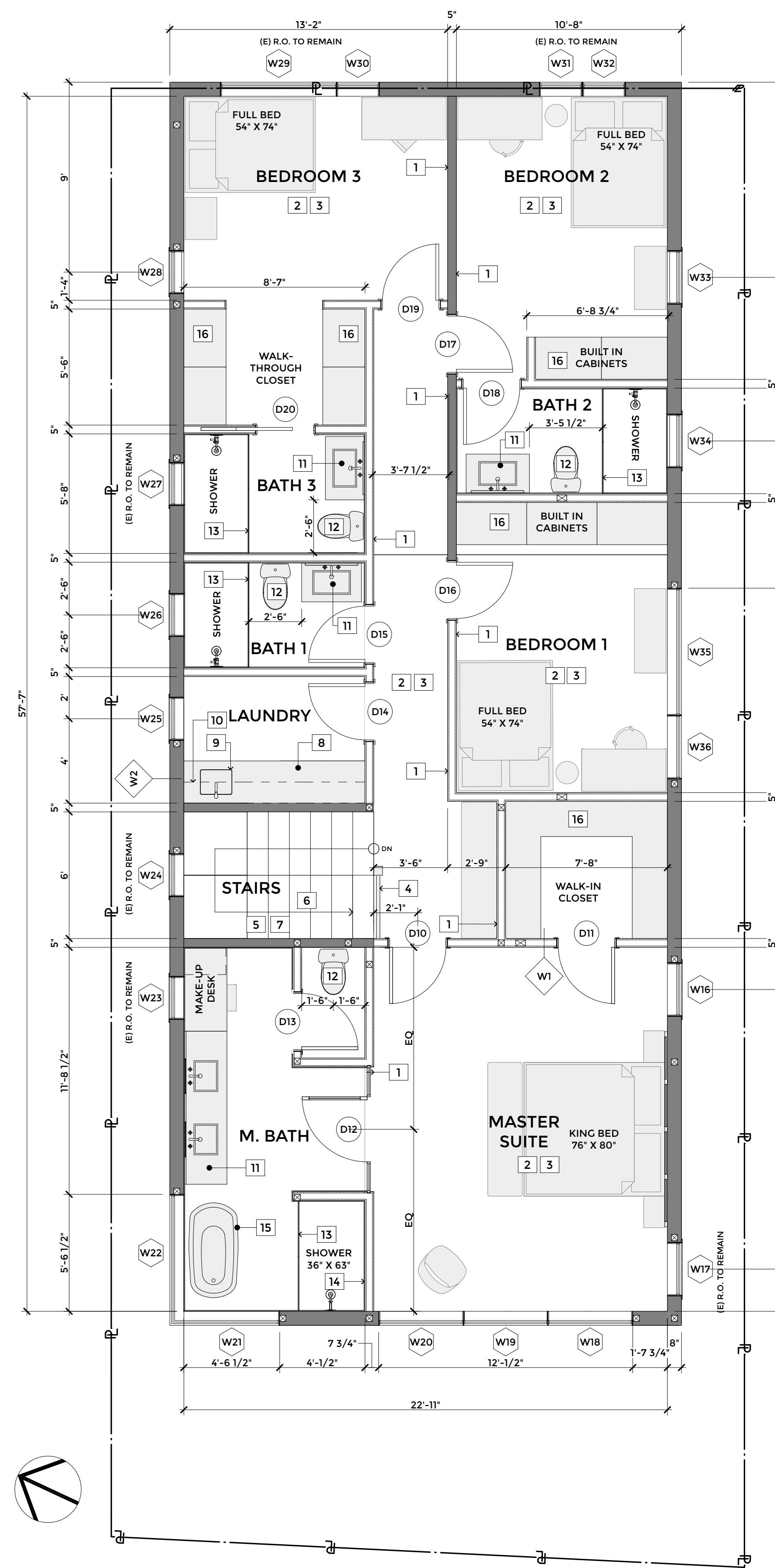
- 1 paneled wainscoting
- 2 possible furr down @ perimeter for ducting
- 3 COVE MOULDING @ PERIMETER OF ROOM
- 4 34" HIGH WOOD RAILING W/ INTERMEDIATE RAILS, SEE A-22/9
- 5 SEE SD-1/8 FOR WOOD FRAMING CONSTRUCTION @ STAIRS
- 6 12" TREADS AS SHOWN
- 7 PROVIDE ONE-HOUR CONSTRUCTION UNDER STAIRS, USE 5/8" TYPE-X GYPBOARD @ WALLS AND CEILING
- 8 SIDE-BY-SIDE WASHER/DRYER
- 9 LAVATORY AND BASE CABINET WITH COUNTERTOP AND BACKSPASH
- 10 UPPER CABINETS ABOVE

BEDROOMS, BATHROOMS, CLOSETS

- 11 LAVATORY AND BASE CABINET WITH COUNTERTOP AND BACKSPASH
- 12 WATER CLOSET - SELECTED BY OWNER
- 13 FRAMELESS TEMPERED GLASS ENCLOSURE
- 14 TILED SHOWER W/ RECESSED SHAMPOO SHELF 5" ABOVE FLOOR
- 15 FREE-STANDING TUB - SELECTED BY OWNER
- 16 CLOSET SHELVING - CONSULT WITH OWNER

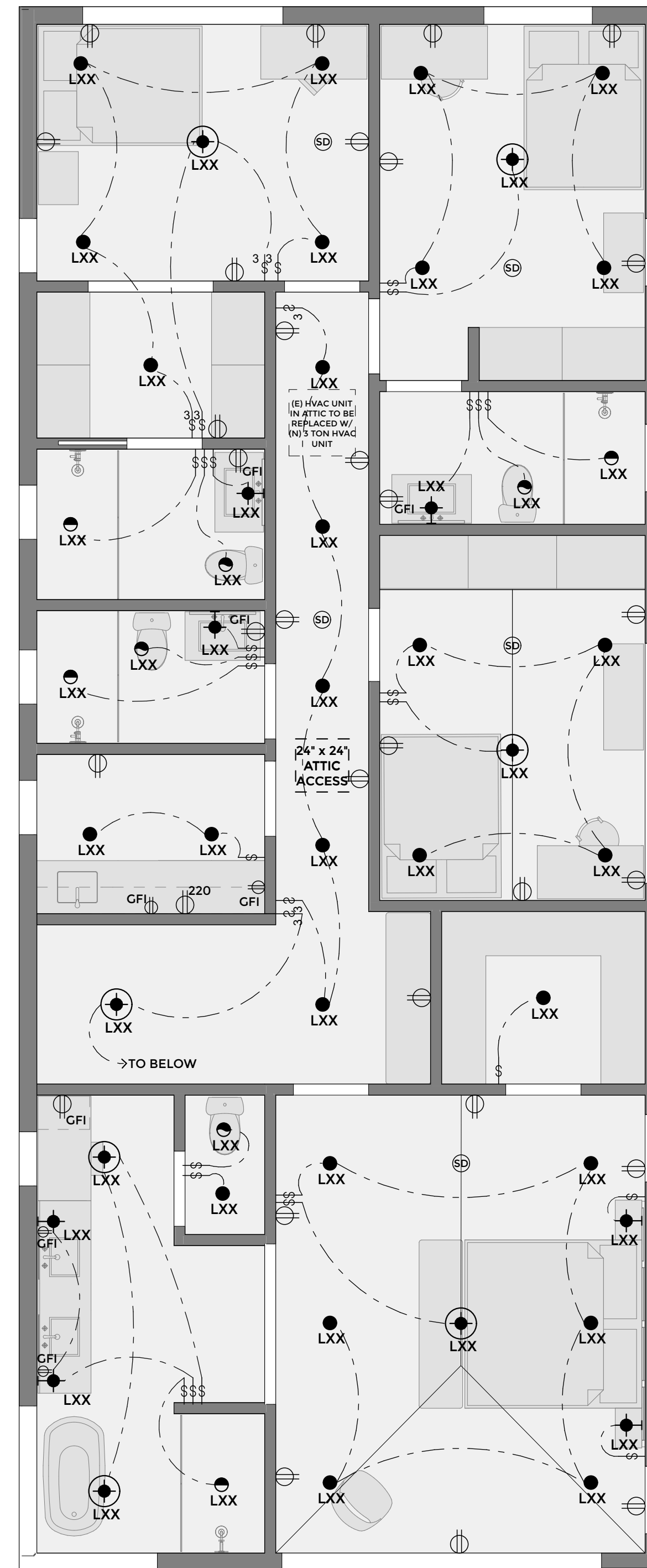
ELECTRICAL SYMBOL KEY

	RECESSED ROUND ADJUSTABLE DOWNLIGHT
	SPECIALITY CAN LIGHTS
	DECORATIVE WALL-MOUNTED FIXTURE
	DECORATIVE CEILING-MOUNTED FIXTURE
	LINEAR LOW-VOLTAGE FIXTURE
	LINEAR FLUORESCENT FIXTURE
	EXHAUST FAN
	WALL OUTLET
	GFI OUTLET
	UNDER COUNTER GFI OUTLET
	220 V OUTLET
	FLOOR OUTLET
	SWITCH
	3-WAY SWITCH
	GARBAGE DISPOSAL SWITCH
	STRIP OUTLETS
	SMOKE/CARBON MONOXIDE DETECTOR (PROVIDE HARD WIRED AND INTERCONNECTED SMOKE/CARBON MONOXIDE DETECTOR WITH BATTERY BACK-UP ADJACENT TO AND INSIDE BEDROOMS. BATTERY OPERATED IS ACCEPTABLE IN EXISTING AREAS.)



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR RCP / POWER SIGNAL PLAN

SCALE: 1/4" = 1'-0"

WALL ASSEMBLY SCHEDULE

W1	(N) 5/8" GYP BRD (N) 2X4 STUD WALL @ 16" O.C. (N) 5/8" GYP BRD
W2	(N) WOOD SIDING TO REPLACE, BUT NOT TO EXCEED WIDTH OF (E) SIDING (E) PLYWOOD TO REMAIN (E) 2X6 STUD WALL @ 16" O.C. (N) 5/8" GYP BRD
W3	(N) STONE VENEER TO REPLACE, BUT NOT TO EXCEED WIDTH OF (E) STONE VENEER (E) PLYWOOD TO REMAIN (E) 2X6 STUD WALL @ 16" O.C. (N) 5/8" GYP BRD

WALL LEGEND

- (E) WALL TO BE REMOVED
- (E) WALL TO REMAIN
- (N) WALL



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION
1	5/2/2017	PROGRESS PDF

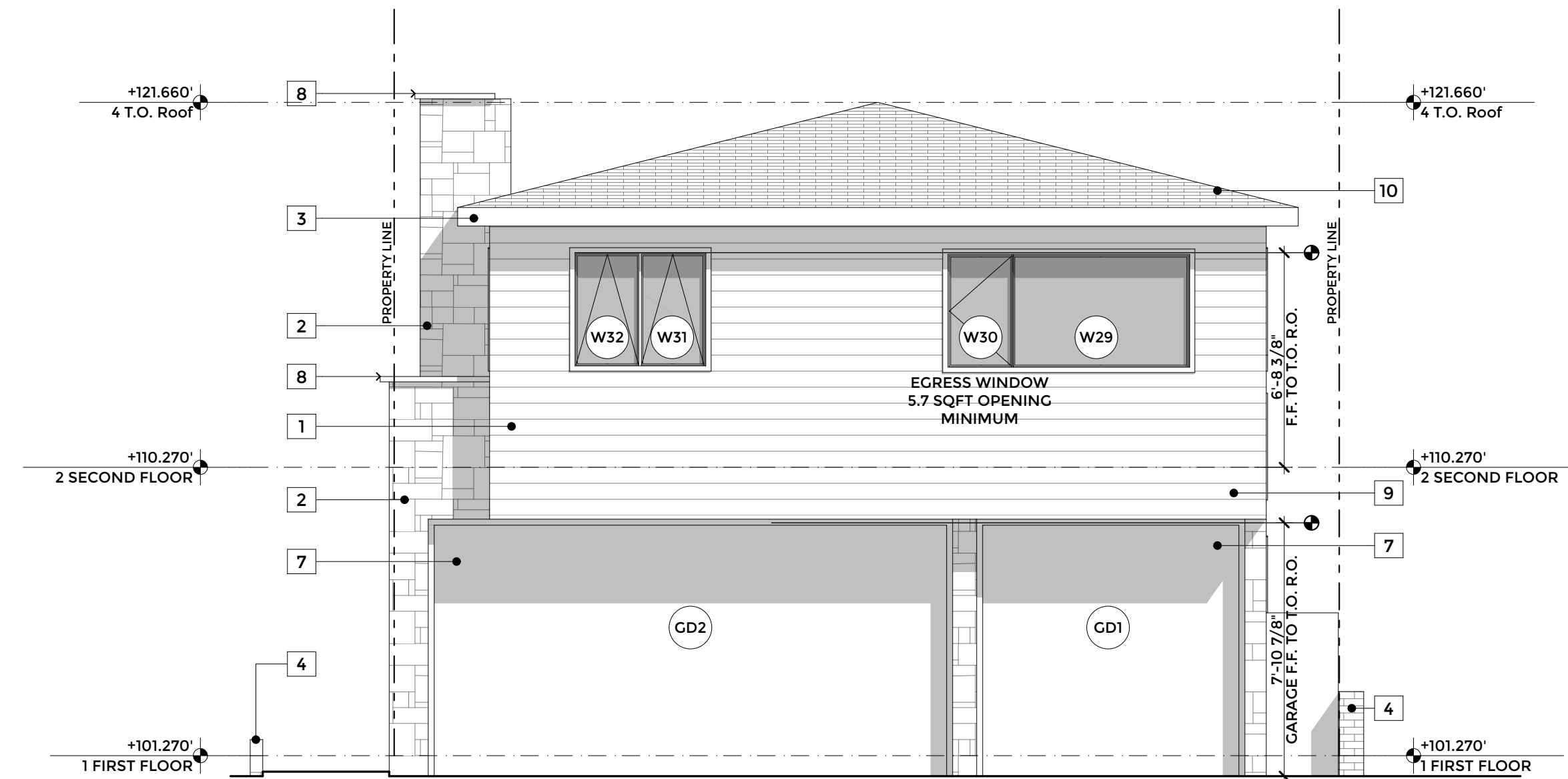
PROJECT NO:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE
ELEVATIONS

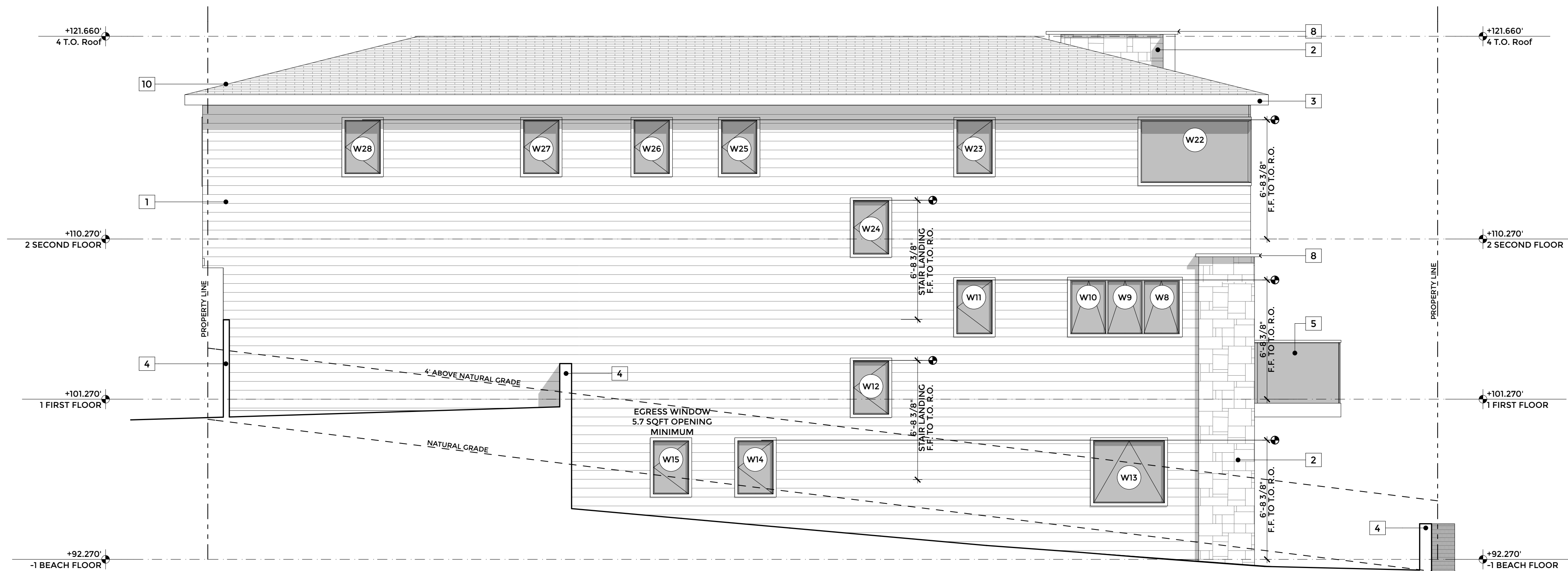
A-19

ELEVATION KEYNOTES

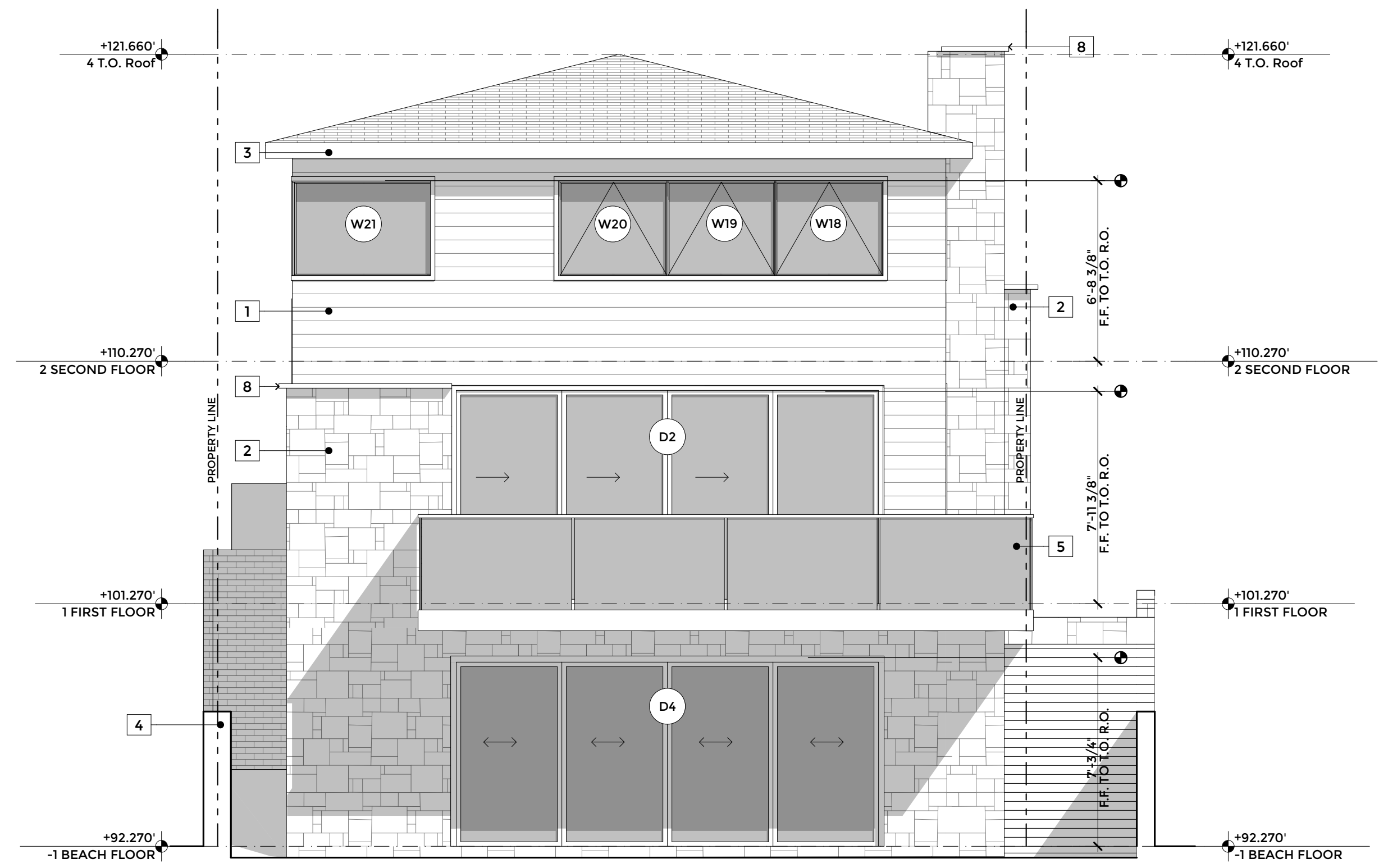
- 1 (E) SHINGLE SIDING TO BE REPLACE, COLOR T.B.D., WALL TO REMAIN STRUCTURALLY INTACT
- 2 (E) STONE VENEER TO BE REPLACED W/ (N) STONE VENEER
- 3 (N) WOOD FASCIA TO BE PAINTED, COLOR T.B.D.
- 4 (E) RETAINING WALL TO REMAIN, (E) MATERIALS TO REMAIN
- 5 42" GLASS RAIL
- 6 (N) STORAGE AREA
- 7 (N) ROLL-UP GARAGE DOORS W/ REMOTE OPENER, (E) R.O. TO REMAIN
- 8 (E) STONE CAP TO BE REPLACED W/ (N) STONE CAP
- 9 (E) DROPPED BEAM TO REMAIN
- 10 (N) ASPHALT SHINGLES OVER (E) ROOF RAFTERS



EAST ELEVATION
SCALE: 1/4" = 1'-0" **2**



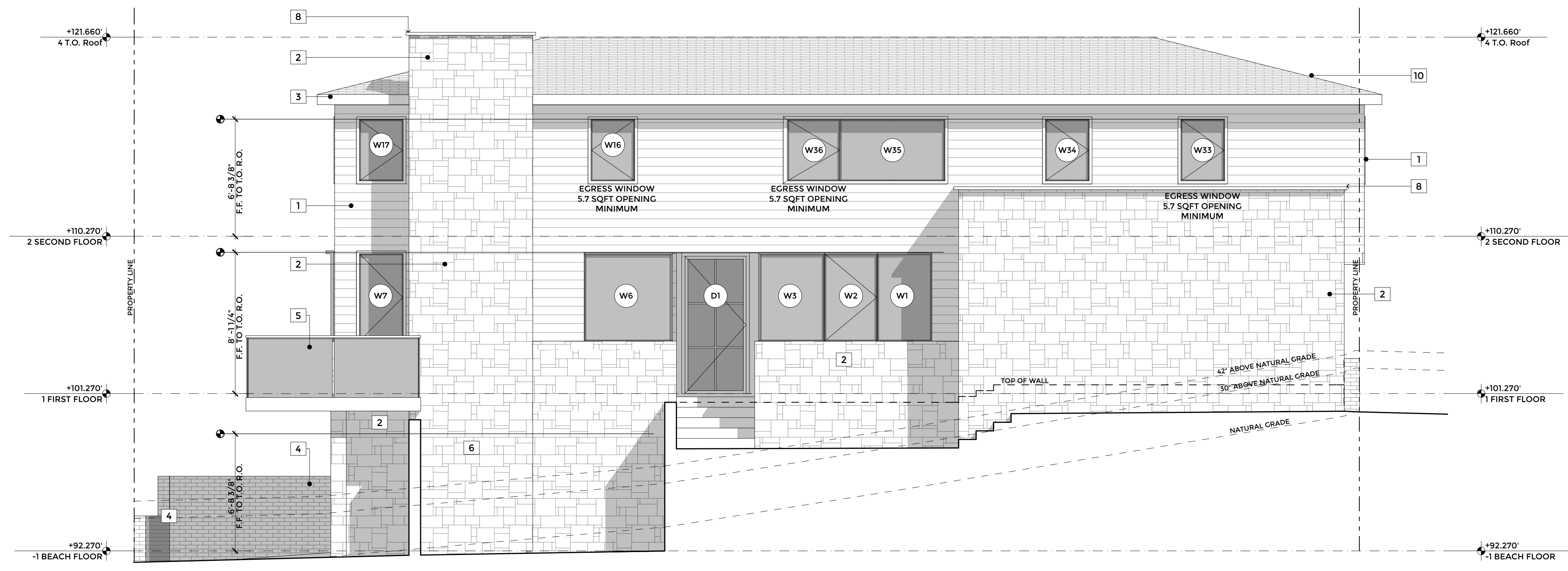
NORTH ELEVATION
SCALE: 1/4" = 1'-0" **1**



WEST ELEVATION
SCALE: 1/4" = 1'-0" **2**

ELEVATION KEYNOTES

- 1 (E) SHINGLE SIDING TO BE REPLACE, COLOR T.B.D., WALL TO REMAIN STRUCTURALLY INTACT
- 2 (E) STONE VENEER TO BE REPLACED W/ (N) STONE VENEER
- 3 (N) WOOD FASCIA TO BE PAINTED, COLOR T.B.D.
- 4 (E) RETAINING WALL TO REMAIN, (E) MATERIALS TO REMAIN
- 5 42" GLASS RAIL
- 6 (N) STORAGE AREA
- 7 (N) ROLL-UP GARAGE DOORS W/ REMOTE OPENER, (E) R.O. TO REMAIN
- 8 (E) STONE CAP TO BE REPLACED W/ (N) STONE CAP
- 9 (E) DROPPED BEAM TO REMAIN
- 10 (N) ASPHALT SHINGLES OVER (E) ROOF RAFTERS



SOUTH ELEVATION
SCALE: 1/4" = 1'-0" **1**



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



MARK	DATE	DESCRIPTION
1	5/2/2017	PROGRESS PDF

PROJECT NO.:
MODEL FILE:
DRAWN BY:
CHK'D BY:
COPYRIGHT

SHEET TITLE
ELEVATIONS

A-20



LANEY LA
LIFESTYLE + ARCHITECTURE

PROJECT NAME
THE STRAND PALACE

PROJECT NUMBER
16087

CLIENT
JEFF DAVID

PROJECT ADDRESS
3330 THE STRAND
HERMOSA BEACH, CA 90254

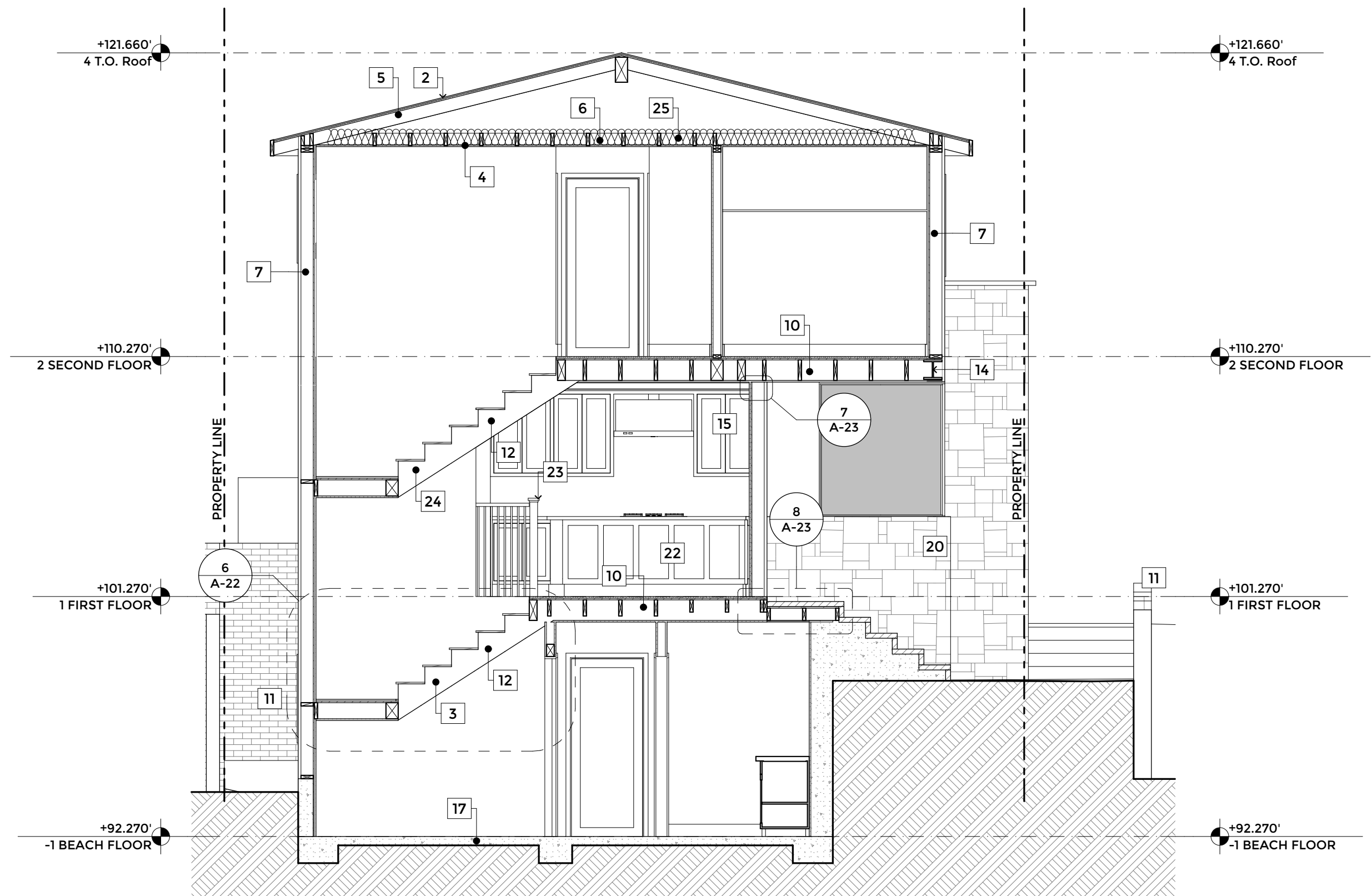
ARCHITECT
ANTHONY LANEY AIA
LANEY LA INC
15420 ATKINSON AVE
GARDENA CA 90249
(310) 498-2455
ANTHONY@LANEY.LA



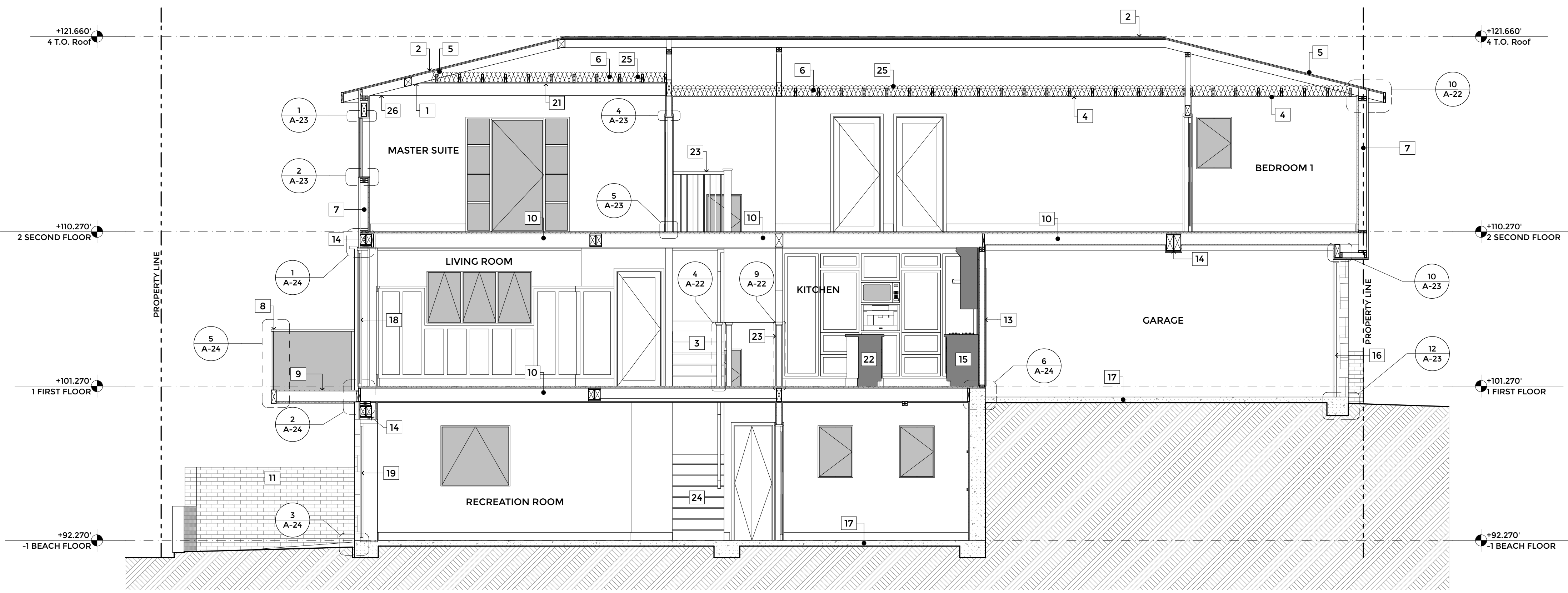
MARK	DATE	DESCRIPTION
1	5/2/2017	PROGRESS PDF

SECTION KEYNOTES

- 1 CLIPPED CEILING, SEE FRAMING PLAN
- 2 (N) ASPHALT SHINGLES OVER (E) ROOF RAFTERS
- 3 (N) WOOD STAIRS
- 4 DROPPED CEILING
- 5 ROOF RAFTER/JOIST, SEE FRAMING PLAN
- 6 CEILING JOIST, TYP.
- 7 2X STUD WALL
- 8 GUARDRAIL ASSEMBLY
- 9 DECK FINISH OVER WATERPROOF MEMBRANE
- 10 FLOOR JOIST, TYP.
- 11 (E) SITE WALL TO REMAIN, (E) MATERIALS TO REMAIN
- 12 STRINGERS AT STAIRS, SEE DETAIL SD1-8
- 13 5/8" TYPE-X GYPBOARD @ GARAGE WALLS AND CEILING
- 14 STEEL BEAMS, SEE FRAMING PLAN
- 15 BUILT-IN CABINETS
- 16 SECTIONAL ROLL-UP GARAGE DOOR
- 17 CONCRETE SLAB ON GRADE
- 18 (N) STACKING DOORS
- 19 (N) SLIDING DOORS
- 20 (N) STONE VENEER
- 21 (N) VAULTED CEILING
- 22 KITCHEN ISLAND
- 23 INTERIOR GUARDRAIL, SEE DETAIL
- 24 (E) STAIRS
- 25 R-30 BATT INSULATION
- 26 (N) EXPOSED BEAMS



SHORT SECTION 2
SCALE: 1/4" = 1'-0"



LONG SECTION 1
SCALE: 1/4" = 1'-0"

A-21