

CAL GREEN STANDARDS NOTES

1. Rain water from roof gutters and from surface runoff shall be conveyed away from the building by means of defined drainage features.
2. Plumbing fixtures shall meet reduced flow rates as follows:
 (Shower heads) 2.0 gpm at 60 psi
 (Laundry faucets) 1.8 gpm at 60 psi
 (Kitchen faucet) same
 (gravity type water closets) 1.2 gal./flush
3. Document 65% construction waste recycle.
4. A comprehensive operations and maintenance manual must be placed in the building that is acceptable to the responsible enforcing agency.
5. Adhesives, sealants, caulks, paints and coatings shall meet the following VOC limits as measured in grams per liter's (Paint) Flat 50; non-flat 100; gloss 150; primers, sealers and undercoats 100; wood coatings 275 (Adhesives) carpet and carpet pads 50; wood flooring 100; Subfloor 50; ceramic tile 65; drywall 50; other misc. 50
6. Framing materials shall have a maximum moisture content of 19% prior to enclosure.
7. Bathroom fans shall be ENERGY STAR compliant and be ducted to terminate outside the building wall line.
8. Whole house exhaust fans shall have a min. R-4.2 insulation value and shall close when the fan is off.
9. All air conveyance ducts (bath fans, FAU ducting and kitchen exhaust hood) shall be covered with 2x6 plastic or other method during construction to keep out dust and debris.

GENERAL NOTES

1. Exterior walls to be 2x6 w/16" oc studs, interior walls to be 2x4 w/16" oc studs.
2. Clothes dryer shall vent to exterior with a backdraft damper.
3. Shower & tub-shower enclosures to be vinyl smooth and non-absorbent up to above the drain with moisture resistant underlayment.
4. Insulation shall be R-19 walls, R-30 ceilings and R-10 below the roof overhang and attic rafter cavity.
5. Ceiling finish shall be 5/8" drywall, wall finish to be 1/2" gyp. lat.
6. This project shall require a fire sprinkler system to be designed separately.
7. Showers shall have thermostatic type mixing valves.
8. Shower doors, if used, shall be safety glass.
9. Bathroom vanities shall have mirrors.
10. The FAU shall be located in the Attic.
11. The Garage shall be finished w/ gyp. lat. (ceiling finish)
12. The address shall be placed in a location clearly visible from the street.
13. The Laundry Rm. door shall be setback 1' above the floor and shall include a 100% egress vent within 12" of the floor.
14. Windows shall be 4x6 single pane.
15. The Attic FAU shall be installed over a water tight corrugated reinforced condensate pan and discharges over a window outside the wall line.
16. Exterior Glazing (2nd & 3rd floor windows) shall be composite material and shall comply with AAMA 714 and CBC Section R709.4

VENTILATION NOTES

Attic Ventilation = $\frac{4 \times 120 \times 144}{300} = 2,214 \text{ in}^2$
 & 2x4 w/16" oc studs = 1024 in²
 & 2x4 w/24" oc studs = 1248 in² (2x4 @ 12" oc) (2x4 @ 12" oc)
 & 2x4 w/24" oc studs = 1728 in² (175 12x12 @ 12" oc)

Whole House Ventilation per ASHRAE Standard 62.2: Fans to be listed #3 Sone/Fans; kitchen exhaust hood at 100 CFM @ 175 CFM duct w/ 35' max length & bathroom exhaust fans at 50 CFM @ 175 CFM duct w/ 6' max length.
 Q req'd = 3.01 x 2584 + 7.6 x 46 = 6843 CFM
 Q provided = 100 x 3x56 = 2560 CFM

DOOR SCHEDULE

Q	SIZE	COMMENTS	Total
A	ddl 3'6"	Entry w/ lockset	1
B	2'6"	French Doors (Exterior)	2
C	ddl 3'6"	French Doors (Exterior)	1
D	2'6"	Exterior Passage (Lockable)	1
E	2'6" (R/S)	Exit - Closing Bellows (Lift Off)	1
F	2'6"	Passage (Interior)	12
G	2'6"	Closest Doors (Interior)	7
H	4'6"	4th Fl - Pass Closet Doors	1
I	12' 8"	Overhead Garage Door	1
J	16' 8"	Overhead Garage Door	1

*NOTE: For Laundry Rm. See General Note 13.

WINDOW SCHEDULE

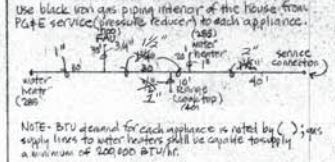
Q	SIZE	COMMENTS	Total
1	4'0"	Exterior Windows - sliders	4
2	2'6"	Double Hung	4
3	3'0"	Slider (Kitchen)	1
4	3'0"	Fixed - Obscure	1
5	2'6"	Single Hung - Obscure	1
6	6'4"	Slider (garage)	1
7	3'0"	Fixed - Use 4" above floor	1
8	2'6" (panel)	Skylight w/ tempered glazing to comply with CBC Section R804.4	1

See General Note 14.

WATER HEATER NOTES

1. Install the duct vent water heaters to comply with the manufacturer's specifications.
2. Type of vertical exhaust vent shall have a minimum vertical height from the flue collar to the top of the vent cap.
3. Provide a RVN receptacle within 5' of the appliance.
4. Use a category III or IV or Type B vent with straight pipe between the outside termination and the space where the water heater is installed.
5. Provide a gravity flow condensate drain no higher than 20" above the installed water heater base.

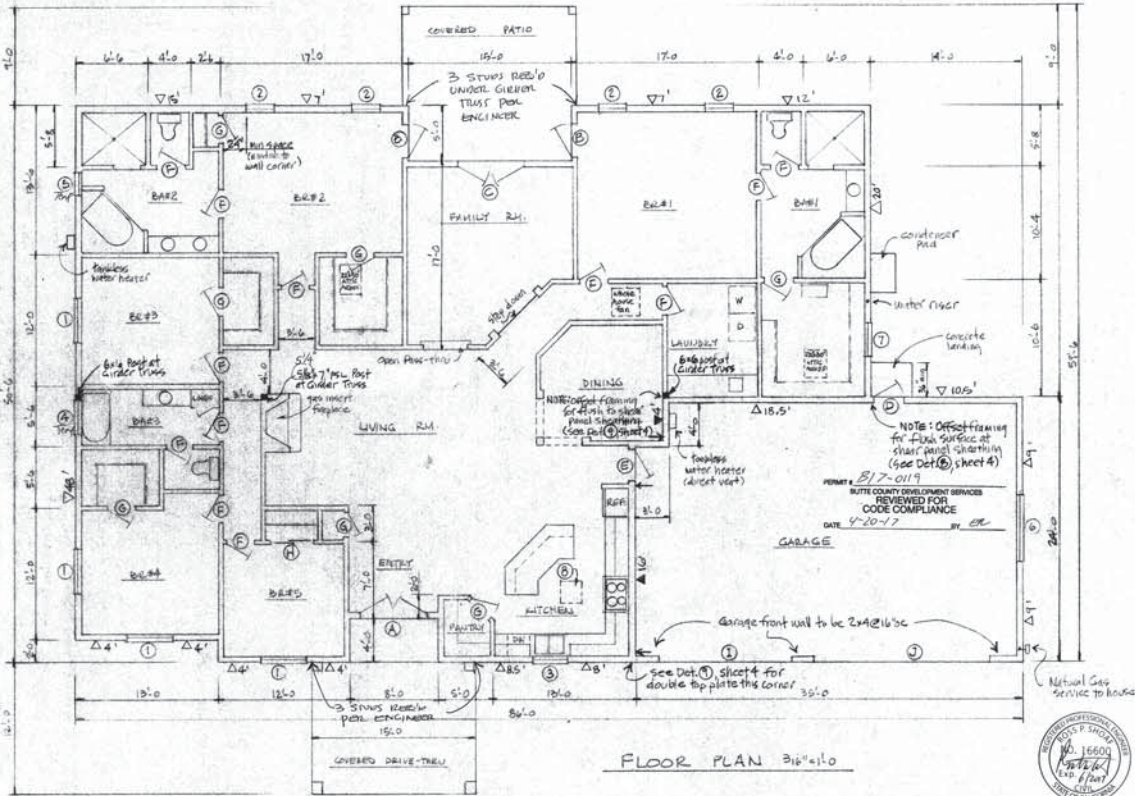
GAS PIPE SPECIFICATION



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 817-0119
 Includ.

SHEAR PANEL LEGEND

- △ Glass panel w/ length shown in ft. Use 3/8" x 5/8" w/ 4" edge & 12" oc field (See Construction Note 6, Sheet 4 for glazing and sheathing)
- ▲ 1/2" x 5/8" w/ 10" dia edge & 12" oc field (2 units only - See Details 4 & 4 on Sheet 4).
- ↑ H=7/8 hold down w/ 5/8" x 12" AB pan screw (3 total - See Details 7M, Sheet 4)



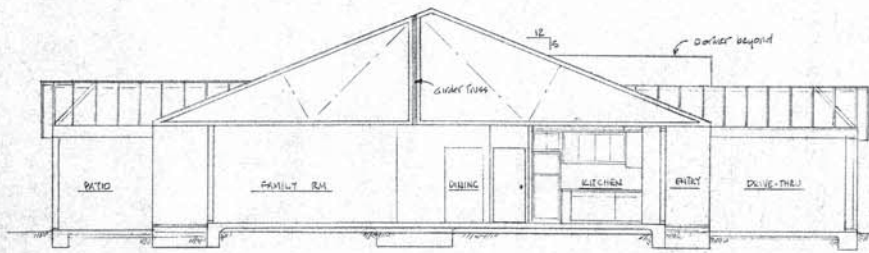
FLOOR PLAN 3/16"=1'-0"

DESIGN CRITERIA	APPLICABLE CODES	CODE ANALYSIS	BUILDING AREAS
Roof LL = 20' PSF Basic Wind Speed = 110 mph (Ultimate) Exposure 'B' Seismic Site Class 'D' Risk Category II Allowable Soil Pressure = 1500 PSF	Applicable codes are the following: 2016 CBC, CEC, CMC, CPC, Cal Green Standards, Title 24 Energy Standards and ASCE 7-10 wind and seismic applicable standards and the 2016 CBC (California Residential Code).	Occupancy Group 'R-3' and 'U' Construction Type 'II-B'	Conditioned Living Space = 3,002 sq. ft. Garage = 837 sq. ft. Back Patio = 219 sq. ft. Front Drive-Thru & porch = 212 sq. ft.

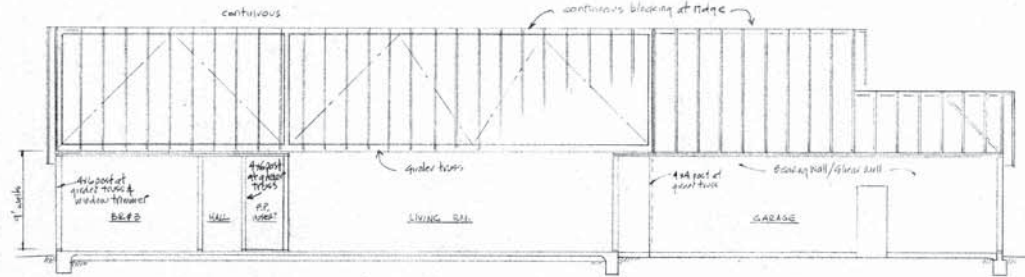
5 BEDROOM RESIDENCE FOR MR. SUNJY DHAMI
 Location: 322 OBERMEYER ST, GRIDLEY CA APN 024-053-002
 Project By: Ross P. Shaef, Civil Engineer (530) 749-9142 Job No. 16-034
 12245 Simone Ct, Browns Valley, CA 95913 Dates: 7/2017

Job Site Copy (PC#2)

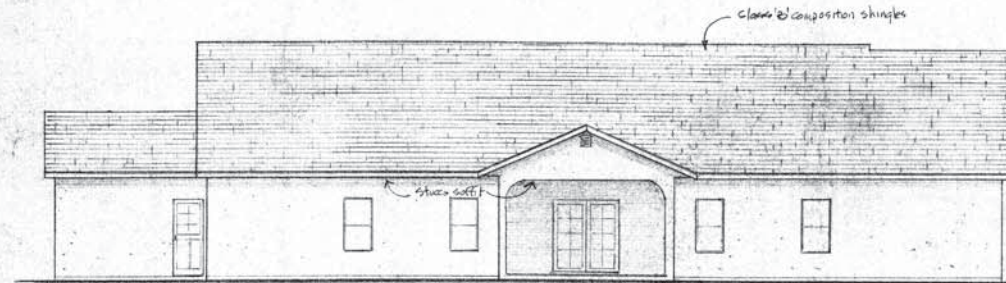




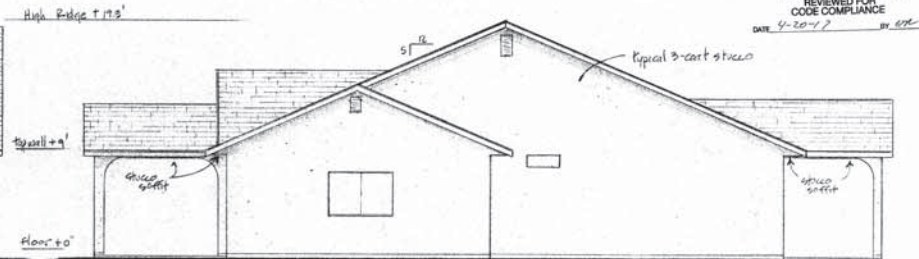
TRANSVERSE SECTION 3/16"x1'-0"



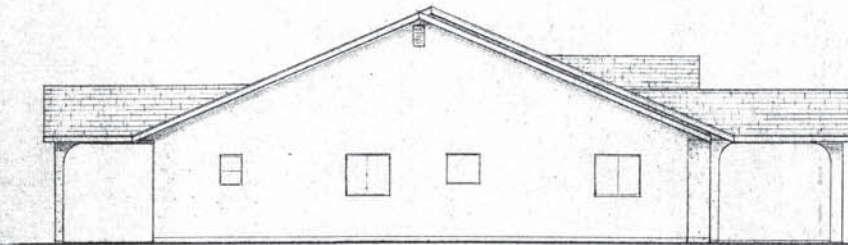
LONGITUDINAL SECTION 3/16"x1'-0"



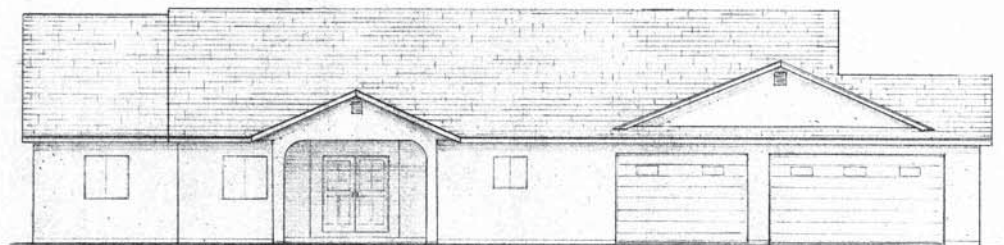
SOUTH ELEVATION 3/16"x1'-0"



WEST ELEVATION 3/16"x1'-0"



EAST ELEVATION 3/16"x1'-0"



NORTH ELEVATION 3/16"x1'-0"

PERMIT #
 BUTTE COUNTY DEVELOPMENT SERVICES
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 CODE COMPLIANCE
 DATE 4-20-17 BY ESK



5 BEDROOM RESIDENCE for MR. SUNNY DHAMI
 Location: 322 OPERMEYER ST. GRIDLEY CA APR 024-053-002
 Prepared By: Ross P. Shoff, Civil Engineer (526)747-0142 Job No: 16734 Sheet
 1242 Shingee Ct, Browns Valley, CA 95918 Date: 1/20/17 of 5

GAS INSERT FIREPLACE NOTE

Gas fireplace shall be a direct-vent-sealed-combustion type and shall be listed and labeled and installed to meet conditions of the listing. Fireplace shall be tested to comply with UL127 requirements. An installation manual must be available for review by the Building Inspector upon request.

ELECTRICAL NOTES

- 1- Main and sub-panels shall have a UFER ground (20' clear in the foundation)
- 2- Bathroom receptacles shall have a dedicated GFI circuit (20 amp)
- 3- Kitchen countertop receptacles shall be GFI protected and shall include 2-20amp small appliance circuits.
- 4- Laundry RM countertop receptacle to be 20A GFI dedicated circuit.
- 5- Garage receptacles and exterior receptacles shall be GFI protected and exterior sockets shall be weather rated.
- 6- Provide a dedicated circuit for the following: FAN, Range, clothes washer & dryer, Refrigerator and fire sprinkler alarm.
- 7- Provide a switched light at each attic access and within 25' of the FAN (located in the ATTIC).
- 8- Any recessed light shall be air tight and rated for contact with insulation.
- 9- Support ceiling fans with a metal box and solid wood backing.
- 10- Ceiling fans may switch fan & light together (with pull chains) or separately at the wall.
- 11- Bathroom fans, capable of 50 CFM, may include a light and may switch fan & light together or separately at the wall.
- 12- All outlets (light & receptacles) in all rooms, except garages and kitchen countertop receptacles shall have combination arc-fault circuits.
- 13- Smoke and smoke/CO detectors shall have 10yr battery backup.
- 14- Bathroom exhaust fans shall include humidistat control capable of relative humidity adjustment between 50% and 80%.
- 15- Provide a service receptacle/disconnect within 25' of the FAN.
- 16- Lights in showers shall be suitable for damp locations.
- 17- Provide equipment grounds at dryer/washer & clothes dryer.
- 18- The exhaust fans at BAF1 and BAF2 shall be rated for 75 cfm min. & 1 sens. max. with a control switch (labeled "WASHING BUILDING VENTILATION TO OPERATE WHEN HOUSE IS OCCUPIED").
- 19- All 15amp & 20amp receptacles must be tamper resistant.
- 20- Automatic garage door opener shall comply with UL325 criteria.

FUTURE PHOTOVOLTAIC PROVISION NOTE

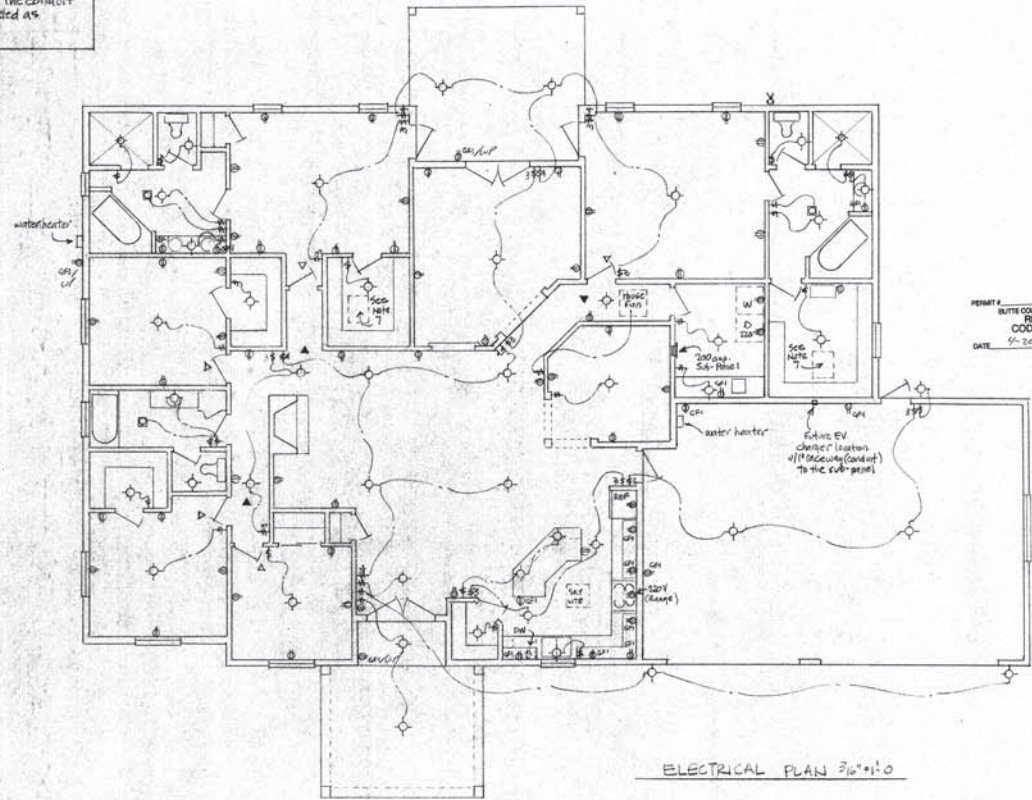
The builder shall install a nominal 1" inside diameter conduit for a dedicated 240 volt branch circuit originating in the main or sub panel and terminating at a locked box at the proposed PV charger location. The specified future 40 amp circuit shall have a reserved space in the panel and shall be identified on the circuit directory (labeling as "EV CAPABLE"). The conduit raceway termination shall also be labeled as "EV CAPABLE".

LIGHTING NOTES

- (INTERIOR LIGHTING) All fixtures must be high efficiency and controlled by motion detection.
- (EXTERIOR LIGHTING) All fixtures attached to the building must be high efficiency and controlled by motion detection/photocell combination.

ELECTRICAL SYMBOLS

- ⊙ duplex receptacle ⊙²⁰ 20amp receptacle of Dryer, Range and FAN in Attic
- ⊙ light fixture, including recessed
- ⊕ 2-way switch ⊕₃ 3-way switch ⊕₄ 4-way switch
- △ smoke detector ▲ smoke/CO combination detector
- ⊗ Automatic fire sprinkler system alarm (1 only)
- ⊠ Bathroom exhaust fan (optional light)

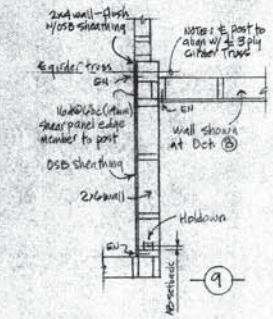
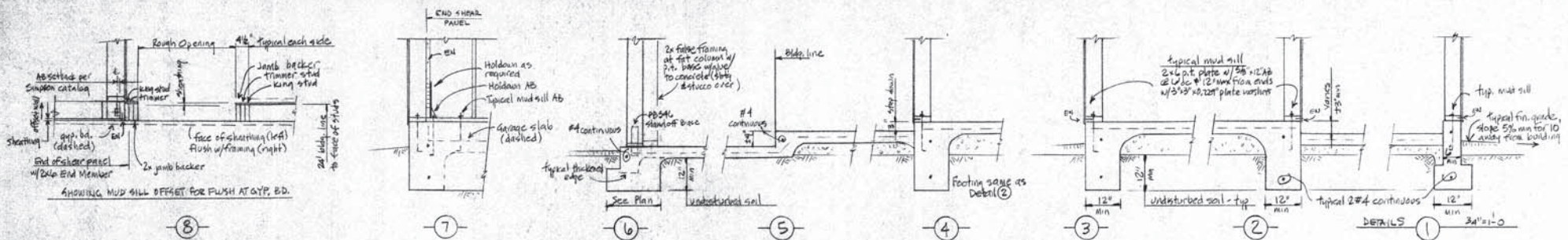


PERMIT BY BUTTE COUNTY DEVELOPMENT SERVICES
REVIEWED FOR CODE COMPLIANCE
DATE 4-20-17 BY [Signature]

ELECTRICAL PLAN 3/16"=1'-0"

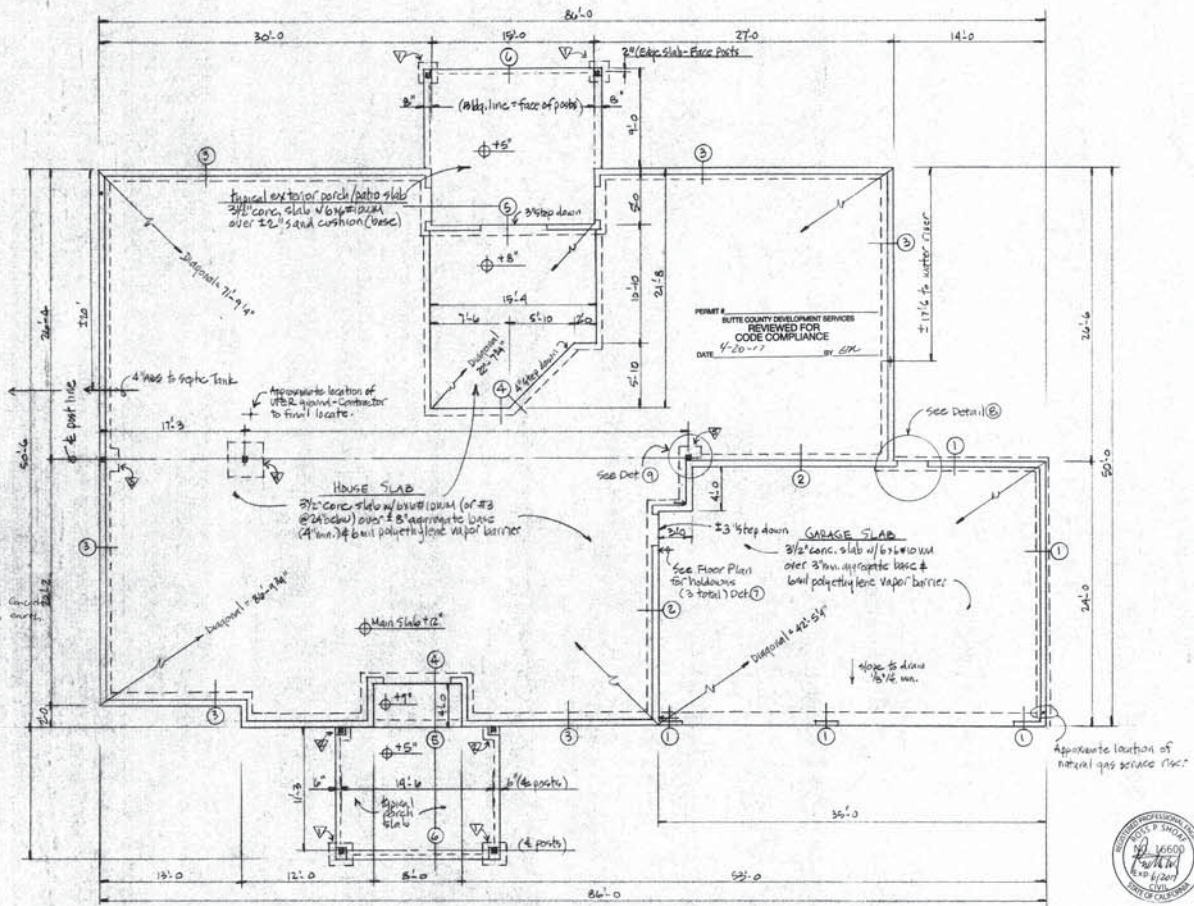


5 BEDROOM RESIDENCE FOR MR. SUNNY DHAMI
 LOCATION: 322 OBERMEYER ST., GRIDLEY, CA APN 024-053-002
 Prepared By: Ross R. Shaaf, Civil Engineer (940)791-0482 Job No. 16-134 Sheet of 3
 12245 SIMONE CT., BROWNS VALLEY, CA 95718



- CONSTRUCTION NOTES**
- 1- Use 2500 psi (5 sack) concrete at 28 day test. Specify a mix that will address bleeding, shrinkage, and curing.
 - 2- Use ASTM A-615 (60,000 yield strength) reinforcing steel.
 - 3- Use Simpson Strong-Tie Framing hardware as equal.
 - 4- Use DFL-2 framing lumber, except where shown otherwise.
 - 5- Foundation hardware must be in place at time of inspection. No wet set allowed.
 - 6- Install and brace trusses per Manufacturer's specifications.
 - 7- Use 3- coat stucco with double paper lathing, w/ 3/8" mesh reinforcement 2" to concrete.
 - 8- Roof sheathing, including sheathing of attic gable ends, shall have a Radiant Barrier reflective surface.
 - 11- The following items shall be installed per Manufacturer's specifications: Fan-coil water heaters, bathroom and whole house exhaust fans, clothes dryer exhaust vent, kitchen range exhaust hood.
 - 12- Forced Air Unit (FAU) located in the Attic.

- SPEED FOOTINGS Δ**
- 1- 16"sq x 12" deep w/ 4x6 post
 - 2- same
 - 3- 24"sq x 12" deep w/ 1x6 post in wall
 - 4- 10"sq x 12" deep w/ 5/8" x 7 1/2" col. & CCB-7 base & CC-5 1/4" x 8 bolts
 - 5- 36"sq x 16" deep w/



FOUNDATION PLAN 3/16" = 1'-0"
 Δ Top of slab elevation relative to finished grade = 0.00'

5 BEDROOM RESIDENCE for MR. SUNNY DHAMI

LOCATION: 322 OBERMEYER ST, GARDLEY, CA APN 024-053-002

Prepared By: RAY P. SHOOT, CIVIL ENGINEER (520) 747-0142 Job # 16-134 3/16" = 1'-0" 4

12245 S. HOME ST., BOWEN VALLEY, CA 95618



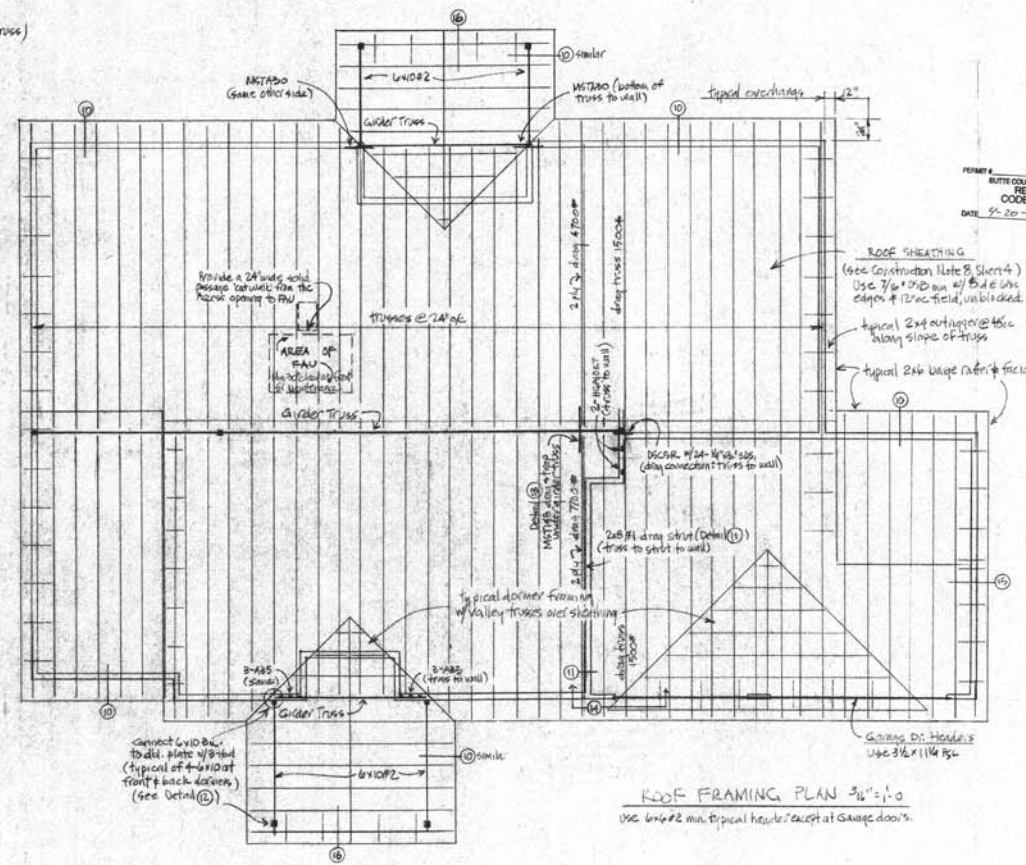
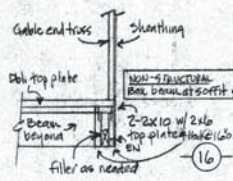
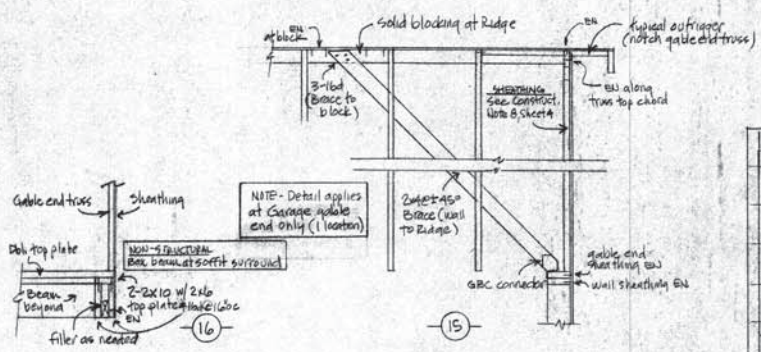
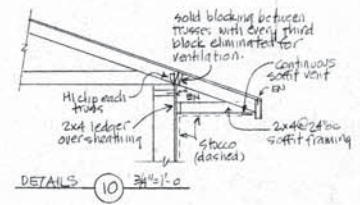
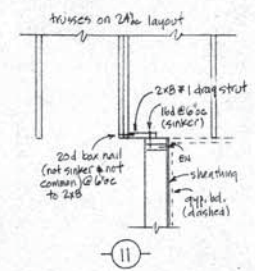
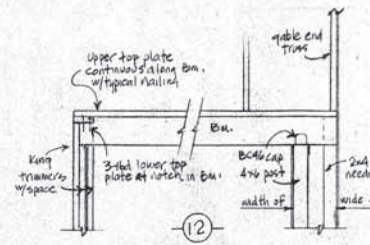
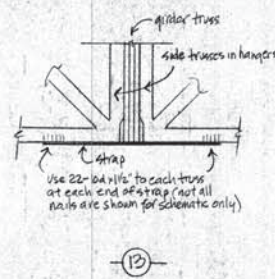
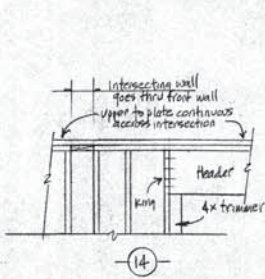
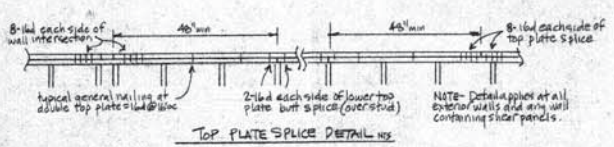


FIGURE 1
 BUTTE COUNTY DEVELOPMENT SERVICES
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 DATE 5-20-17 BY [Signature]

ROOF SHEATHING
 (See Construction Note 8 Sheet 4)
 Use 7/8" OSB on all B & E wall
 edges & 12oc field, unblocked.
 typical 2x4 cut @ 12oc field
 along slope of truss
 typical 2x6 large field field



ROOF FRAMING PLAN 3/16" = 1'-0"
 USE 1/2" x 2" MIN. TYPICAL HEIGHT EXCEPT AT GAUGE DOORS.



3 BEDROOM RESIDENCE FOR MR. SUNNY DHAMI
 LOCATION: 322 OBERMEYER ST, GRIDLEY, CA APR 024-053-002
 Prepared By: Ross P. Shady, Civil Engineer (333)41-0412 July 16, 2017 Sheet 5
 12245 Simpson Ct., Browns Valley, CA 95718 Date: 1/20/17 of 5