



The Platinum Report

“BY MARCUS”

Date ~ March 19, 2019 Escrow ~ New Listing

Subject Property

2614 Manhattan Beach Blvd
Redondo Beach, CA 90278

~

Prepared For

Robert Roberto
of
Purple Bricks

Phone: (818) 908 – 8945 ~ www.solutionsforproperty.com ~ Fax: (818) 908 - 8946

STATUTORY NATURAL HAZARD DISCLOSURE STATEMENT

FOR

2614 MANHATTAN BEACH BLVD., REDONDO BEACH, CA 90278

The seller and his or her agent(s) disclose the following information with the knowledge that even though this is not a warranty, prospective buyers may rely on this information in deciding whether and on what terms to purchase the subject property. Seller hereby authorizes any agent(s) representing any principal(s) in this action to provide a copy of this statement to any person or entity in connection with any actual or anticipated sale of the property.

The following are representations made by the seller and his or her agent (s) based on their knowledge and maps drawn by the state. This information is a disclosure and is not intended to be part of any contract between the buyer and the seller. This Real Property lies within the following hazardous area (s):

NATURAL HAZARD DISCLOSURE DETERMINATIONS ARE AS FOLLOWS:

1. A **SPECIAL FLOOD HAZARD AREA (Zone "A")** designated by the Federal Emergency Management Agency.
Yes No Do not know/information not available from local jurisdiction
2. An **AREA OF POTENTIAL FLOODING** shown on an inundation map pursuant to Section 8589.5 of Government Code.
Yes No Do not know/information not available from local jurisdiction
3. A **VERY HIGH FIRE HAZARD SEVERITY ZONE** pursuant to Section 51179 of the Government Code. The owner of this property is subject to the maintenance requirements of Section 51182 of the Government Code.
Yes No
4. A **WILDLAND AREA THAT MAY CONTAIN SUBSTANTIAL FOREST FIRE RISKS AND HAZARDS** pursuant to Section 4125 of the Public Resources Code. The owner of this property is subject to the maintenance requirements of Section 4291 of the Public Resources Code. Additionally, it is not the state's responsibility to provide fire protection services to any building or structure located within the wild lands unless the Department of Forestry and Fire Protection has entered into a cooperative agreement with a local agency for those purposes pursuant to Section 4142 of the Public Resources Code.
Yes No
5. An **EARTHQUAKE FAULT ZONE** pursuant to Section 2622 of the Public Resources Code.
Yes No
6. A **SEISMIC HAZARD ZONE** pursuant to Section 2696 of the Public Resources Code.
Yes No Liquefaction Yes No Landslide Yes No Map not yet released by state

THESE HAZARDS MAY LIMIT YOUR ABILITY TO DEVELOP THE REAL PROPERTY, TO OBTAIN INSURANCE, OR TO RECEIVE ASSISTANCE AFTER A DISASTER. THE MAPS ON WHICH THESE DISCLOSURES ARE BASED ESTIMATE WHERE NATURAL HAZARDS EXIST. THEY ARE NOT DEFINITIVE INDICATORS OF WHETHER OR NOT A PROPERTY WILL BE AFFECTED BY A NATURAL DISASTER. TRANSFEREE(S) AND TRANSFEROR(S) MAY WISH TO OBTAIN PROFESSIONAL ADVICE REGARDING THOSE HAZARDS AND OTHER HAZARDS THAT MAY AFFECT THE PROPERTY.

Signature of Transferor (s):	_____	Date:	_____
Signature of Transferor (s):	_____	Date:	_____
Signature of Agent:	_____	Date:	_____
Signature of Agent:	_____	Date:	_____

Transferor(s) and their agent(s) acknowledge that they have exercised good faith in the selection of a third-party report provider as required in Civil Code Section 1103.7, and that the representations made in this Natural Hazard Disclosure Statement are based upon information provided by the independent third-party disclosure provider as a substituted disclosure pursuant to Civil Code Section 1103.4 Neither transferor(s) nor their agent(s) (1) has independently verified the information contained in this statement and report or (2) is personally aware of any errors or inaccuracies in the information contained on the statement.

This statement was prepared by the following provider: Third-Party Disclosure Provider(s) Solutions For Property, Inc. Date ~

Transferee represents that he or she has read and understands this document. Pursuant to Civil Code Section 1103.8, the representations made in this Natural Hazard Disclosure Statement do not constitute all of the transferor's or agent's disclosure obligations in this transaction.

There are other statutory disclosures, determinations and legal information in the Report. By signing below, the transferee(s) also acknowledge(s) they have received, read, and understand this document and the additional disclosures, determinations and legal information provided in this Report, in the tax disclosures (Mello-Roos and Special Assessments), in the Building Permit disclosures, in the Environmental Report (if ordered), and in the required notices and booklets/information regarding Environmental Hazards, Earthquake Safety, HERS, Lead-Based Paint and Mold, which are available at <http://www.solutionsforproperty.com>.

Signature of Transferee:	_____	Date:	_____
Signature of Transferee:	_____	Date:	_____

PLATINUM REPORT CONTENT

DISCLOSURE STATEMENTS AND ADVISORIES

(Section 1)

- ✓ Statutory Natural Hazard Disclosure Statement & Receipt of Acknowledgement
- ✓ Supplemental Advisory and Proximity Disclosure Statement
- ✓ Building Permit & Sewer Permit Statement

STATUTORY NATURAL HAZARD DISCLOSURE DISCUSSIONS

(Section 2)

- ✓ Special Flood Hazard Area
- ✓ Area of Potential Flooding
- ✓ Very High Fire Hazard Severity Zone
- ✓ Wildland Areas of Forest Fire Risk
- ✓ Earthquake Fault Zones
- ✓ Seismic Hazard Zones

SUPPLEMENTAL PROXIMITY DISCUSSIONS

(Section 3)

- ✓ Airport Influence Area & Noise Disclosure ~ (Section 3A)
- ✓ Military Ordnance Proximity Disclosure ~ (Section 3B)
- ✓ Commercial/Industrial Proximity Disclosure ~ (Section 3B)
- ✓ California Notice of Right to Farm Disclosure (3C)
- ✓ California Notice of Right to Mine Disclosure ~ (Section 3C)
- ✓ Tsunami Inundation Area Disclosure (3C)
- ✓ Radon Disclosure ~ (Section 3D)
- ✓ Methane Disclosure ~ (Section 3D)
- ✓ Local Fire Zone Disclosure (Section 3D)

SUPPLEMENTAL ADDENDUMS & ADVISORIES

(Section 4)

- ✓ Mold Statement ~ (Section 4A)
- ✓ Megan's Law ~ (Section 4B)
- ✓ Notice of Duct Sealing Requirements ~ (Section 4B)
- ✓ Notice of Energy Efficiency Standards Advisory ~ (Section 4B)
- ✓ Notice of Home Energy Efficiency Improvements Tax Credit Advisory ~ (Section 4B)
- ✓ Notice of Methamphetamine Contamination ~ (Section 4B)
- ✓ Notice of Abandoned Wells ~ (Section 4B)
- ✓ Notice of Oil and Gas Wells ~ (Section 4B)
- ✓ Notice of Endangered Species ~ (Section 4B)
- ✓ Notice of Naturally Occurring Asbestos ~ (Section 4B)

PROPERTY TAX DISCLOSURE REPORT

(Section 5)

- ✓ Notice of Special Tax and Assessment ~ pursuant to Section 1102.6b of the California Civil Code
 - Mello-Roos Community Facilities Districts
 - 1915 Bond Act Assessment Districts
 - Notice of Supplemental Property Tax Bill
 - New Mandatory Transfer Fee Disclosure Required ~ pursuant to Section 1102.6e of the California Civil Code
- ✓ Description of Mello-Roos Community Facilities District(s)
- ✓ Description of 1915 Bond Act District(s)

BUILDING and SEWER PERMIT DISCUSSIONS

(Section 6)

SUPPLEMENTAL ADVISORY AND PROXIMITY STATEMENT

FOR

2614 MANHATTAN BEACH BLVD., REDONDO BEACH, CA 90278

Disclosures By Property Solutions, Inc. hereby discloses the following information with the knowledge that even though this is not a warranty, prospective buyers may rely on this information in deciding whether and on what terms to purchase the subject property. Seller hereby authorizes any agent(s) representing any principal(s) in this action to provide a copy of this statement to any person or entity in connection with any actual or anticipated sale of the property.

The following are representations made by Disclosures By Property Solutions, Inc. based on various sources of information. This information is a Supplemental Disclosure and Advisory Statement and is not intended to be part of any contract between the buyer and the seller.

SUPPLEMENTAL ADVISORY AND PROXIMITY STATEMENT IS AS FOLLOWS:

1. **AIRPORT INFLUENCE AREA DISCLOSURE** ~ Based on certain mapped Airport Influence Areas determined by a County Airport Land Use Commission, the subject property:
 Is situated in an Airport Influence Area ~ Refer to Section 3A
 Is not situated in an Airport Influence Area
2. **AIRPORT NOISE DISCLOSURE** ~ Based on certain 65 decibel (dB) Community Noise Equivalent Level (CNEL) contour maps produced under the Federal Aviation Administration's *Airport Noise Compatibility Planning Program* Part 150, the subject property:
 Is situated within a delineated 65 dB CNEL or greater aviation noise zone. ~ Refer to Section 3A
 Is not situated within a delineated 65 dB CNEL or greater aviation noise zone.
3. **MILITARY ORDNANCE PROXIMITY DISCLOSURE** ~ According to the information available from the U.S. Army Corps of Engineers database of known Formerly Used Defense Sites in the State of California, the subject property:
 Is situated within 1 mile of a Military Zone ~ Refer to Section 3B
 Is not situated within 1 mile of a Military Zone
4. **COMMERCIAL/INDUSTRIAL PROXIMITY DISCLOSURE** ~ According to the information available from publicly-available parcel zoning records, the subject property:
 Is situated within 1 mile of a property zoned for industrial or commercial use ~ Refer to Section 3B
 Is not situated within 1 mile of a property zoned for industrial or commercial use
5. **CALIFORNIA RIGHT TO FARM DISCLOSURE** ~ Based on the information provided by the California Department of Conservation, the subject property:
 Is situated in a state-designated farmland area ~ Refer to Section 3C
 Is not situated in a state-designated farmland area
6. **CALIFORNIA RIGHT TO MINE DISCLOSURE** ~ Based on the information provided by the California Department of Conservation, the subject property:
 Is situated in a state-designated mining area ~ Refer to Section 3C
 Is not situated in a state-designated mining area
7. **TSUNAMI INUNDATION AREA DISCLOSURE** ~ Based on the information provided by the Office of Emergency Services, the subject property:
 Is situated in a Tsunami Inundation Area ~ Refer to Section 3C
 Is not situated in a Tsunami Inundation Area
8. **RADON** ~ Based on the information provided by the Department of Health Services, the subject property:
 Is situated in a Radon designated zone ~ Refer to Section 3C
 Is not situated in a Radon designated zone
9. **METHANE** ~ Based on the information provided by the Division of Oil, Gas, & other state agencies, the subject property:
 Is situated in a Methane Zone
 Is not situated in a Methane Zone
 Is situated in a Methane Buffer Zone ~ Refer to Section 3C
 Is not situated in a Methane Buffer Zone
10. **LOCAL FIRE ZONE** ~ Based on the information provided by the city, the subject property:
 Is situated in a Local Fire Zone ~ Refer to Section 3C
 Is not situated in a Local Fire Zone
11. **MOLD ADVISORY** ~ Refer to Section 4A
12. **MEGAN'S LAW ADVISORY** ~ Refer to Section 4B
13. **NOTICE OF DUCT SEALING REQUIREMENTS** ~ Refer to Section 4B
14. **NOTICE OF ENERGY EFFICIENCY STANDARDS ADVISORY** ~ Refer to Section 4B
15. **NOTICE OF HOME ENERGY EFFICIENCY IMPROVEMENTS TAX CREDIT ADVISORY** ~ Refer to Section 4B
16. **NOTICE OF METHAMPHETAMINE CONTAMINATION** ~ Refer to Section 4B
17. **NOTICE OF ABANDONED WELLS** ~ Refer to Section 4B
18. **NOTICE OF OIL AND GAS WELLS** ~ Refer to Section 4B
19. **NOTICE OF ENDANGERED SPECIES** ~ Refer to Section 4B
20. **NOTICE OF NATURALLY OCCURRING ASBESTOS** ~ Refer to Section 4B
21. **1915 BOND ACT** ~ Based on available records from the County Auditor-Controller, as of the date of tax year of this report, subject property:
 Is in a Special Assessment District ~ Refer to Section 5
 Is not in a Special Assessment District
22. **MELLO ROOS** ~ Based on available records from the County Auditor-Controller, as of the date of tax year of this report, subject property:
 Is in a Mello-Roos Community Facilities District ~ Refer to Section 5
 Is not in a Mello-Roos Community Facilities District

THE BUILDING PERMIT & SEWER REPORT STATEMENT

FOR

2614 MANHATTAN BEACH BLVD., REDONDO BEACH, CA 90278

Enclosed on the following pages are copies of all available Building Permits, Plot Plans, and Certificates of Occupancy on file with the Local Department of Building & Safety. The Law requires that Property Owners obtain a permit whenever the valuation exceeds \$200.00. If there is no permit on file, this may mean that the work may have not been legally permitted.

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BUILDING & SAFETY RECORDS DIVISION INDICATE:

- Enclosed are all available Building Permits (structures) on file with the Local Department of Building & Safety.
- No records were found after a review of the Local Department of Building & Safety Records.
- Original Building Permits were not found for subject property.

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PUBLIC WORKS RECORDS DIVISION INDICATE:

- There IS a permitted sewer connection to the public city sewer line.

Sewer Permit Number and Year of Connection: #
- Enclosed is an official sewer permit as proof of a permitted sewer connection.
- There IS NOT a permitted sewer connection to the public city sewer line.
- A Video Camera Inspection must be performed to determine condition and connection to a municipal city sewer line.

~

LOT 2 BLOCK 2 TRACT 11336

ST. ADDRESS 2614 Manhattan Beach Blvd.

SIZE BLDG. 32X37 ZONE R-1 FIRE ZONE 3

CONTRACTOR Hahn St. John

USE OF BUILDING Residence, att. gar.

PERMIT NO.	DATE	NAME	DESCRIPTION
15643	8/25/50	M.G&S. Bldrs.	res. att. gar.
8998709 8998709	5-4-00	SERNA	ADD 637# TO EXIST. RES. CONVERT EXIST 227# ATT. GAR. TO LIV. AREA
8998710	5-4-00	SERNA	NEW 680# DET. GAR WITH OFFICE (GAR 400# & OFFICE/BATH 280#)

(Over)

11-10-83

6998710 6998709
8-1-00 8-6-01

FINAL ON BUILDING: 11/28/50

REMARKS:

TENTS — TRAILERS —

NON-CONFORMING BUILDINGS

4151 18

MB.	PG.	PCL.
11	110-111	2

2614 Manhattan Beach

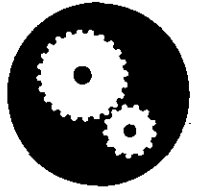
9/06

CITY OF REDONDO BEACH
BUILDING AND SAFETY

415 Diamond Street • Redondo Beach, CA 90277

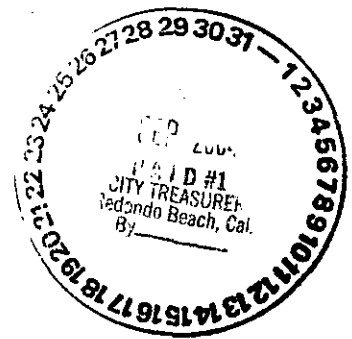
Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607

MECHANICAL PERMIT



Site Address 2614 MANHATTAN BEACH BLVD REDONDO BEACH, A 90278		Status OPEN	Applied: 09/30/04	Ref#: H20043477
Parcel 4151018002	Tract 11336	Blk 2	Lot 2	Issued: 09/30/04 Expires: 03/29/05 Created/Modified: tzook 09/30/04 HVAC Type: 04 FORCED AIR HEATING UNIT
Owner SERNA, ROBERT J AND ANNETTE M		Owner/Builder? NO	Comments:	
Contractor IWAI COOLING & HEATING 848 S MYRTLE ST MONROVIA, CA 91016 (310) 542-2842		Special Conditions:		
State Lic 778839	Type C20 WARM-AIR HEAT, VENT & A/C	Fee Description		
City License:	Exp Date:	Amt		
Lender:	Date			Paid
Worker's Comp Co.	Exempt YES	1 FAU <=100000 30.00 09/30/04 105.00		
Policy #:	Microfilm:	1 <3 HP TO 100 20.00		
Lot Size:	Buildings: 1	1 EQUIP ELEC S 10.00		
Building Use: COMMERCIAL	Building Use: COMMERCIAL	1 EQUIP GAS SY 10.00		
Occ Grp: XX TO BE DETERMINED BY PLAN CHECKER	Site Zone:	Issue Fee 35.00		
Plan Check	Plan Chk NO	Total: 105.00		
Architect/Engineer	State Reg #	Total: 105.00		

Redondo
B E A C H



• IMPORTANT •

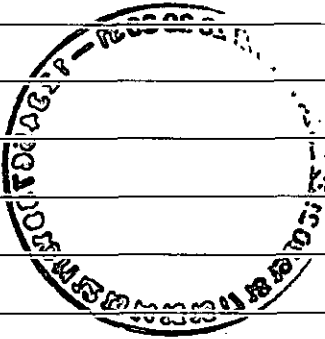
Application is hereby made to the Building Official for a permit subject to the conditions and restrictions set forth in the Redondo Beach Municipal Code and other applicable codes.
Any permit issued as a result of this application becomes null and void if work is not commenced within ONE HUNDRE EIGHTY (180) days from date of issuance of such permit.
Every permit issued by the Building Official under the provisions of Section 9-1.08 of Redondo Beach Municipal Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not completed, in accordance with the provisions of this code, within two years from the date of such permit.

INSPECTION RECORD

MECHANICAL PERMIT NO.

INSPECTION	APPROVED BY	DATE	RECORD
ROUGH HEATING			
ROUGH AIR CONDITIONING			
ROUGH VENTILATION			
ROUGH REFRIGERATION			
DUCTS			
ROUGH GAS PIPING			
PRESSURE TEST			
FINAL	<i>A. Mat</i> POC PT Correction	5-12-05	

INSPECTOR'S NOTES



APPROVED BY THE REDONDO BEACH
PLANNING DEPARTMENT ON

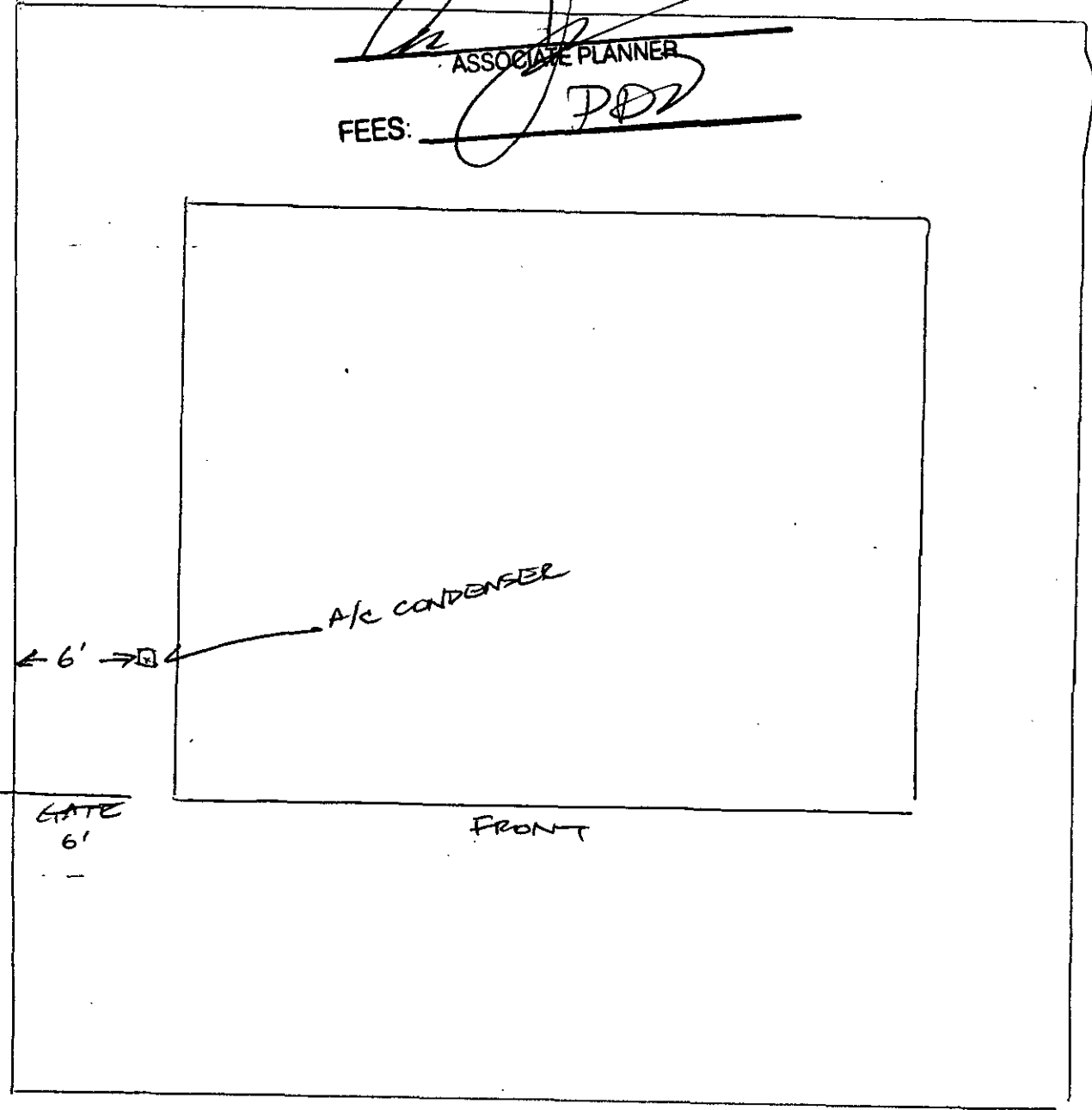
4-28-58

DATE

ASSOCIATE PLANNER

FEES:

700



MANHATTEN BEACH BLVD

ROBERT SERNA
2614 MANHATTEN BEACH BLVD
REDONDO BEACH, CA

310.542-2942

A/C CONDENSER (SIDEYARD 6' SETBACK)

CITY OF REDONDO BEACH BUILDING AND SAFETY

OWNER / BUILDER DECLARATION

Section 7031.5 of the California Business and Professions codes provides as follows:

"Each county or city which requires the issuance of permit as a condition precedent to the construction, alteration, improvement, demolition or repair of any building or structure shall also require that each applicant for such a permit file as condition precedent to the issuance of a permit a statement which he has prepared and signed stating that the applicant is licensed under provisions of this chapter, giving the number of his license and stating that it is in full force and effect, or, if the applicant is exempt from the provisions of this chapter, the basis of the alleged exemption. Any violation of this section by an applicant for a permit shall be subject to a civil penalty of not more than five hundred dollars (\$500.00)."

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Section 7044, Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his employees, provided that such improvements are not intended or offered for sale. If however, the building or improvements is sold within one year of completion, the owner/builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Section 7044 of the Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the contractor's license law.)
- I, as owner, am exempt under section _____ B and P Code, for the reason: _____

(Signature)

(Date)

LICENSED CONTRACTOR'S DECLARATION

I hereby declare that I'm licensed under the provisions of Chapter 9 (commencing at section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ State Lic. No. _____ City Lic. No. _____

Contractor/Agent _____
(Signature) (Date)

Contractors Name _____

Address: _____ Phone: _____

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by section 3700 of the labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier _____ Policy Number: _____
[This section not to be completed if the permit is for one hundred dollars (\$100) or less].

- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in the manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: _____ Applicant Signature: _____

WARNING: Failure to secure workers compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (section 3097 California Civil Code).

Lenders Name: _____ Address: _____

HAZARDOUS MATERIALS

Indicate whether the applicant or future building occupant will need to comply with the applicable requirements of Sections 25505, 25533, and 25534 of the Health and Safety Code.

Yes No Signature: _____

If Yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (800) 388-2121

(Signature)

(Date)

RIGHT OF ENTRY (READ CONDITIONS BELOW)

The work authorized by this permit is subject to all rules and regulations set forth in the ordinances and amendments of the City of Redondo Beach, and the laws of the State of California in regard to such work, and all amendments thereto.

This permit becomes null and void if work is not commenced within one hundred eighty (180) days from date of issuance, or if work is suspended at any time during construction for the same period of time, or if any work is done in violation of the City or State laws governing same.

I certify that I have read this application and state that the above information is correct. I agree to comply with all City and applicable County ordinances, and State laws relating to building construction, and hereby authorize representatives of the City to enter upon the above mentioned property for the purpose of inspections.

(Signature)

(Date)



CITY OF REDONDO BEACH BUILDING PERMIT APPLICATION

COMMUNITY DEVELOPMENT DEPARTMENT, BUILDING DIVISION
415 DIAMOND ST. • REDONDO BEACH, CA 90277 • (310) 318-0636 • FAX: (310) 374-4828

APPLICATION
DATE 5/4/00
PROJECT NO. B998709-10

PERMIT ADDRESS 2614 MANHATTAN Bch. Blvd. ~~Redondo Bch~~ STRC. I.D. FLR UNIT ZIP

DESCRIPTION OF WORK CONST. of 2 CAR GARAGE / OFFICE 680

ADDITION TO EXISTING HOME 637 VALUATION

APPLICANT AL Russell CONST. Co. PHONE (800) 803-9133
ADDRESS 15139 FOXHILL AVE.
CITY LAWDALE STATE CA. ZIP 90260
OWNER MR & MRS SERNA LUX.# [REDACTED] PHONE [REDACTED]

CLASS OF WORK	NEW	REPAIR	FIRE ALARM
	ADDITION	MOVE	SIGN
USE OF BLDG.	RESIDENTIAL		COMMERCIAL
	SING. FAMILY	RETAIL	INDUSTRIAL
	MULTIFAMILY	OFFICE	INSTITUTIONAL
	HOTEL/MOTEL	RESTAURANT	PUBLIC

CONTRACTOR AL Russell CONST. Co. PHONE (800) 803-9133
ADDRESS 15139 FOXHILL AVE.
CITY LAWDALE STATE CA. ZIP 90260

EXIST. BLDGS. ON LOT: LOT SIZE:
NEW CONST. SIZE: TOTAL AREA: # STORIES:
DESCRIPTION / REMARKS:

STATE LICENSE NO. 257516 B CITY LICENSE NO. 270471
ARCHITECT OWNER LUX.# 8/31/01 PHONE (310) 374-6688
ADDRESS 2614 MANHATTAN Bch. Blvd.

MAJOR HWY. YES NO STATE HWY. YES NO
BUILDING STRUCTURE SETBACKS FROM PROPERTY LINE
FRONT: LEFT SIDE:
REAR: RIGHT SIDE:
PARKING SPACES REQD. SPACES PROVIDED

ENGINEER [Signature] STATE LICENSE NO. [Signature]
ADDRESS

FOR DEPARTMENT USE ONLY
ASSESSOR NO. LOT BLK TRACT
TYPE OF CONST. GROUP ZONE
REQUIRED: YES NO YES NO
UNDERGROUND UTILITIES L.A. CO. SANITATION FEES
SPRINKLERED SCHOOL FEES
WET STANDPIPES OTHER:

OCCUPANT MR & MRS. SERNA Home LUX.# 310 542-2942 PHONE (310) 374-6688

TITLE 24 APPLIES TO ALLOWABLE HEATING SYSTEM: YES NO
BONNET CAPACITY: BTU

PLAN CHECKED DATE APPLICATION APPROVED
CORRECTION VERIFIED BY DATE STAFF APPROVED

APPROVALS REQD.	YES	NO	DATE	APPROVED BY
PLANNING / HARBOR	X		2/17/00	Torres
FIRE			2/14/00	T. B. [Signature]
ENGINEERING	X		5/4/00	Curry [Signature]
BUILDING PERMITS APPROVED			2/16/00	O. [Signature]

REMARKS
w/c 4/1/01 State Inno

SIGNATURE _____ DATE _____

OTHER PERMITS REQUIRED
GRADING PLUMBING MECHANICAL
ELECTRIC SIGN

VALUATION	
BUILDING	BLDG. PERMIT
ELECTRICAL	PARK & REC TAX
PLUMBING	SEWER USE
MECHANICAL	S.M.I.
FIRE	ENERGY
ADJUSTMENTS	
TOTAL	TOTAL

CITY OF REDONDO BEACH
 BUILDING AND SAFETY
 415 Diamond Street • Redondo Beach, CA 90277
 Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607
BUILDING PERMIT



MAY 2000
 PAID #1
 CITY TREASURER
 Redondo Beach, Ca!
 By _____
 Status

Site Address
 2614 MANHATTAN BEACH BLVD
 REDONDO BEACH, A 90278

OPEN

Applied: 12/21/99 Ref#: B998709
 Issued: 05/04/00 Type: Building
 Expires: 10/31/00 Final:
 Created/Modified: bseymour 05/04/00

Parcel Tract Blk Lot
 4151018002 11336 2 2

Bldg Type: 04 ONE STORY RESIDENTIAL ADDIT
 Map No:

Owner Owner/Builder?
 SERNA, ROBERT J AND ANNETTE M NO

Sewer Book: Page:
 Occ Use: R3 ONE OR TWO DWELLING UNITS, LODG

[REDACTED]

Apt/Condo:

No. Units:

Value: 65,509

Contractor
 AL RUSSELL CONSTRUCTION CO
 15139 FONTHILL AVE
 LAWDALE, CA 90260 (800)803-9133

Fire Zone:
 Class: 00434 RES ADD., ALTER., REPAIRS & CONVER

Const: V-N-WF Non-Rated, Wood Frame

Sq Feet: 637

Stories: 1 Families: 1

State Lic Type
 257516 B01 GENERAL BUILDING

Comments:
 NEW DET GARAGE/OFFICE TO BE
 UNDER SEPARATE PERMIT

City License: Exp Date:

Special Conditions:

Lender

Worker's Comp Co. Exempt

Description of Work:
 ADD 637 SQ FT TO EXIST RESIDENCE
 CONVERT EXIST (227 SQ FT) ATT GARAGE TO
 LIVING AREA

Policy #: Microfilm:
 Lot Size:]
 Buildings: 1
 Building Use: S.F.RES
 Occ Grp: R3 ONE OR TWO DWELLING UNITS, LODGIN
 Site Zone:

Fee Description	Amt	Date	Paid
Permit Fee	801.60	12/21/99	735.45
Plan Check Fee	801.60	05/04/00	1074.70
ENERGY FEE	200.40		
SMR	6.55		

Plan Check Plan Chk
 BARBARA SHELTON YES
 1300 S IRENA
 REDONDO BEACH, A 90277 (310)316-6148

Architect/Engineer State Reg #

2614 596
 REDONDO BEACH, A 90278

Total: 1810.15 Total: 1810.15

• IMPORTANT •

Application is hereby made to the Building Official for a permit subject to the conditions and restrictions set forth in the Redondo Beach Municipal Code and other applicable codes.
 Any permit issued as a result of this application becomes null and void if work is not commenced within ONE HUNDRED EIGHTY (180) days from date of issuance of such permit.
 Duration of Demolition Permit is conditional upon completion of the work of moving or demolition, dismantling, tearing down and cleaning out the site within a period of 90 days from date of issuance.
 Every permit issued by the Building Official under the provisions of Section 9-1.08 of Redondo Beach Municipal Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not completed, in accordance with the provisions of this code, within two years from the date of such permit.

CITY OF REDONDO BEACH BUILDING AND SAFETY

OWNER / BUILDER DECLARATION

Section 7031.5 of the California Business and Professions codes provides as follows:

"Each county or city which requires the issuance of permit as a condition precedent to the construction, alteration, improvement, demolition or repair of any building or structure shall also require that each applicant for such a permit file as condition precedent to the issuance of a permit a statement which he has prepared and signed stating that the applicant is licensed under provisions of this chapter, giving the number of his license and stating that it is in full force and effect, or, if the applicant is exempt from the provisions of this chapter, the basis of the alleged exemption. Any violation of this section by an applicant for a permit shall be subject to a civil penalty of not more than five hundred dollars (\$500.00)."

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Section 7044, Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his employees, provided that such improvements are not intended or offered for sale. If however, the building or improvements is sold within one year of completion, the owner/builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Section 7044 of the Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the contractor's license law.)
- I, as owner, am exempt under section _____ B and P Code, for the reason: _____

(Signature)

(Date)

LICENSED CONTRACTOR'S DECLARATION

I hereby declare that I'm licensed under the provisions of Chapter 9 (commencing at section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B-HV State Lic. No. 257516 City Lic. No. 270471
Contractor/Agent [Signature] 5-4-00
(Signature) (Date)
Contractors Name AK RUSSELL CONST CO.
Address: 15139 FORT HILL AVE DOWNDALE CA. 90260 Phone: 310-567-7249

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by section 3700 of the labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier STATE FUND Policy Number: 0498248-00
(This section not to be completed if the permit is for one hundred dollars (\$100) or less).
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in the manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
- Date: 5-4-00 Applicant Signature: [Signature]

WARNING: Failure to secure workers compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (section 3097 California Civil Code).

Lenders Name:

Address:

HAZARDOUS MATERIALS

Indicate whether the applicant or future building occupant will need to comply with the applicable requirements of Sections 25505, 25533, and 25534 of the Health and Safety Code.

Yes No

Signature: [Signature]

If Yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (909) 388-2121

[Signature]
(Signature)

5-4-00
(Date)

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[Signature]
(Signature)

5-4-00
(Date)

**CITY OF REDONDO BEACH
BUILDING AND SAFETY**
415 Diamond Street • Redondo Beach, CA 90277
Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607



BUILDING PERMIT

Site Address Status
2614 MANHATTAN BEACH BLVD OPEN
REDONDO BEACH, A 90278

Parcel Tract Blk Lot
4151018002 11336 2 2

Owner Owner/Builder?
SERNA, ROBERT J AND ANNETTE M NO

Contractor
AL RUSSELL CONSTRUCTION CO
15139 FONTHILL AVE
LAWNDALE, CA 90260 (800)803-9133

State Lic Type
257516 B01 GENERAL BUILDING

City License: Exp Date:

Lender

Worker's Comp Co. Exempt

Policy #: Microfilm:
Lot Size:]
Buildings: 1
Building Use: DET GAR/OFFICE
Occ Grp: M1 PRIVATE GARAGES, CARPORTS, SHEDS.
Site Zone:

Plan Check Plan Chk
BARBARA SHELTON YES
1300 S IRENA
REDONDO BEACH, A 90277 (310)316-6148

Architect/Engineer State Reg #
2614 596
REDONDO BEACH, A 90278

Applied: 12/21/99 Ref#: B998710
Issued: 05/04/00 Type: Building
Expires: 10/31/00 Final:
Created/Modified: bseymour 05/04/00

Bldg Type: 40 RES GARAGES/CARPORTS
Map No:
Sewer Book: Page:
Occ Use: M1 PRIVATE GARAGES, CARPORTS, SHEDS

Apt/Condo:
No. Units:
Value: 40,600
Fire Zone:
Class: 00438 RES GARAGES/CARPORTS ATTACHED/DE
Const: XX To Be Determined
Sq Feet: 680
Stories: 1 Families: 0

Comments:

Special Conditions:

Description of Work:
NEW 680 SQ FT DETACHED GARAGE W/OFFICE
(GAR 400 SQ FT & OFFICE/BATH 280 SQ FT)

Fee Description	Amt	Date	Paid
Permit Fee	588.60	12/21/99	588.60
Plan Check Fee	588.60	05/04/00	702.71
ENERGY FEE	110.05		
SMR	4.06		

Total: 1291.31 Total: 1291.31

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Contractor/Agent Al Russell (Signature) 5-4-00 (Date)
Contractors Name AL RUSSELL CONSTRUCTION CO.
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Indicate whether the applicant or future building occupant will need to comply with the applicable requirements of Sections 25505, 25533, and 25534 of the Health and Safety Code.

Yes No Signature: Al Russell

If Yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (800) 388-2121

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Al Russell (Signature) 5-4-00 (Date)

INSPECTION RECORD

BUILDING PERMIT NO.

INSPECTION	APPROVED BY	DATE	INSPECTION	APPROVED BY	DATE	INSPECTION	APPROVED BY	DATE
Setback and Yards	[Signature]	5/10/00	Slab Floors	[Signature]	5/10/00	Exterior Lathing	[Signature]	5/10/00
Trench and Forms			Rough Electric	[Signature]	5/10/00	Rough Sewer	[Signature]	5/5/00
Reinforcing Steel			Walls			Final Sewer		
Electrical Ground	[Signature]	5/10/00	Ceiling			Final Gas Test	[Signature]	8/1/00
Footings	[Signature]	5/10/00	Fixtures			Final Plumbing	[Signature]	8/1/00
Heating or Refrig. Gndwrk. (or Underfloor)			Rough Plumbing	[Signature]	5/10/00	Final Electrical	[Signature]	8/1/00
Electrical Groundwork	[Signature]	5/15/00	Ducts			Final Heating or Refrigeration	[Signature]	8/1/00
Plumbing Groundwork (or Underfloor)	[Signature]	5/15/00	Rough Heating or Refrigeration	[Signature]	5/10/00	Final Block Wall Steel		
Gas Piping Groundwork	[Signature]	5/15/00	Rough Gas Piping			Underground Service		
Panel Steel			Floor Diaphragm			Final Landscaping		
Column and Beam Reinforcing			Suspended Ceiling			Final Sign		
Concrete Block Steel			Roof Diaphragm	[Signature]	5/10/00	Final Fire Dept. Inspection	[Signature]	8/1/00
Floor Joists and Insulation			Rough Fire Alarms / Sprinklers			Final Building Inspection	[Signature]	8/1/00
			Rough Framing	[Signature]	5/10/00			
			Insulation					
			Interior Lathing / Drywall	[Signature]	5/10/00			

INSPECTOR'S NOTES

Check Twp plans at front of Office Dr 5/25/00

CONDOMINIUM - Planning Department approval for final

By: _____ Date: _____

The License Department requests that you hold up final inspections until a list of sub-contractors is filed and all business licenses have been paid.

By: _____ Date: _____

The Fire Department requests that you hold up final inspection until all regulations have been complied with.

By: _____ Date: _____

See also: Electrical, Grading, Mechanical, Miscellaneous, Plumbing, and Sign Permit Inspection Records.



CITY OF REDONDO BEACH BUILDING PERMIT APPLICATION

COMMUNITY DEVELOPMENT DEPARTMENT, BUILDING DIVISION
415 DIAMOND ST. • REDONDO BEACH, CA 90277 • (310) 318-0636 • FAX: (310) 374-4828

APPLICATION
DATE 12-21-99
PROJECT NO. 0918709

PERMIT NO. 0918709	2614 Manhattan Beach Blvd.	STRC. I.D.	FLR	UNIT	ZIP
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DESCRIPTION OF WORK 6804 New garage with office and bath remodel and addition to existing house.	VALUATION 51,655.00 40,600.00
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APPLICANT Barbara Shelton	PHONE (310) 316-6148
ADDRESS 1300 S. Irena Avenue	
CITY Redondo Beach	STATE ZIP CA 90277
OWNER Robert Serna	PHONE

CLASS OF WORK	NEW	REPAIR	FIRE ALARM SIGN
	ADDITION	MOVE	
	ALTERATION	DEMOLITION	
USE OF BLDG.	RESIDENTIAL	COMMERCIAL	
	SING. FAMILY	RETAIL	INDUSTRIAL
	MULTIFAMILY	OFFICE	INSTITUTIONAL
	HOTEL/MOTEL	RESTAURANT	PUBLIC

EXIST. BLDGS. ON LOT:	LOT SIZE:
NEW CONST. SIZE:	TOTAL AREA: # STORIES:

CONTRACTOR A C General Co.	PHONE (310) 352-2530
-------------------------------	-------------------------

ADDRESS 2414 ARLINGTON AVE.	
CITY Torrance	STATE ZIP CA 90501

STATE LICENSE NO. 729739-B	CITY LICENSE NO.
-------------------------------	------------------

ARCHITECT	PHONE ()
-----------	-----------

ADDRESS exp. 11/30/00	
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CITY	STATE ZIP	STATE LICENSE NO.
------	-----------	-------------------

ENGINEER	PHONE ()
----------	-----------

ADDRESS	
---------	--

CITY	STATE ZIP	STATE LICENSE NO.
------	-----------	-------------------

OCCUPANT	PHONE ()
----------	-----------

PLAN CHECKED	DATE	APPLICATION APPROVED
CORRECTION VERIFIED BY	DATE	STAFF APPROVED

REMARKS	
SIGNATURE	DATE

DESCRIPTION / REMARKS:

MAJOR HWY. YES <input type="checkbox"/> NO <input type="checkbox"/>	STATE HWY. YES <input type="checkbox"/> NO <input type="checkbox"/>
---	---

BUILDING STRUCTURE SETBACKS FROM PROPERTY LINE
--

FRONT:	LEFT SIDE:
REAR:	RIGHT SIDE:

PARKING SPACES REQD.	SPACES PROVIDED
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FOR DEPARTMENT USE ONLY

ASSESSOR NO.	LOT	BLK	TRACT
TYPE OF CONST.	GROUP	ZONE	

REQUIRED:	YES	NO	YES	NO
UNDERGROUND UTILITIES			L.A. CO. SANITATION FEES	<input checked="" type="checkbox"/>
SPRINKLERED			SCHOOL FEES	<input checked="" type="checkbox"/>
WET STANDPIPES			OTHER:	

TITLE 24 APPLIES TO ALLOWABLE HEATING SYSTEM.	YES <input type="checkbox"/>	NO <input type="checkbox"/>
BONNET CAPACITY:	BTU	

APPROVALS REQD.	YES	NO	DATE	APPROVED BY
PLANNING / HARBOR	<input checked="" type="checkbox"/>		2/17/00	Jones
FIRE				
ENGINEERING	<input checked="" type="checkbox"/>		5/4/00	C. May

BUILDING PERMITS APPROVED	2/14/00	D. Murray
---------------------------	---------	-----------

OTHER PERMITS REQUIRED

GRADING	PLUMBING	MECHANICAL
ELECTRIC	SIGN	

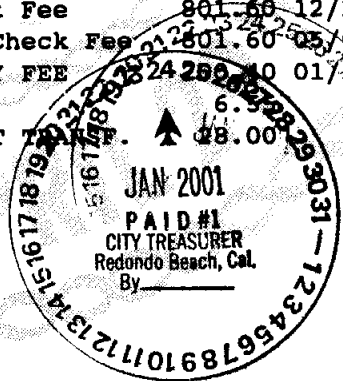
VALUATION

BUILDING	BLDG. PERMIT
ELECTRICAL	PARK & REC TAX
PLUMBING	SEWER USE
MECHANICAL	S.M.I.
FIRE	ENERGY
ADJUSTMENTS	
TOTAL	TOTAL

CITY OF REDONDO BEACH
 BUILDING AND SAFETY
 415 Diamond Street • Redondo Beach, CA 90277
 Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607
BUILDING PERMIT



<p>Site Address 2614 MANHATTAN BEACH BLVD REDONDO BEACH, A 90278</p> <p>Parcel Tract Blk Lot 4151018002 11336 2 2</p> <p>Owner Owner/Builder? SERNA, ROBERT J AND ANNETTE M NO</p> <div style="background-color: black; width: 200px; height: 20px; margin: 5px 0;"></div> <p>Contractor A C GENERAL CO 707 W 16TH STREET A LONG BEACH, CA 90813 (310)352-2530</p> <p>State Lic Type 729739 B01 GENERAL BUILDING</p> <p>City License: Exp Date:</p> <p>Lender</p> <p>Worker's Comp Co. Exempt YES</p> <p>Policy #: Microfilm: Lot Size:] Buildings: 1 Building Use: S.F.RES Occ Grp: R3 ONE OR TWO DWELLING UNITS, LODGIN Site Zone:</p> <p>Plan Check Plan Chk BARBARA SHELTON YES 1300 S IRENA REDONDO BEACH, A 90277 (310)316-6148</p> <p>Architect/Engineer State Reg #</p> <p>2614 596 REDONDO BEACH, A 90278</p>	<p>Applied: 12/21/99 Ref#: B998709 Issued: 05/04/00 Type: Building Expires: 10/31/00 Final: Created/Modified: acontrer 01/24/01</p> <p>Bldg Type: 04 ONE STORY RESIDENTIAL ADDIT Map No: Sewer Book: Page: Occ Use: R3 ONE OR TWO DWELLING UNITS, LODG Apt/Condo: No. Units: Value: 65,509 Fire Zone: Class: 00434 RES ADD., ALTER., REPAIRS & CONVER Const: V-N-WF Non-Rated, Wood Frame Sq Feet: 637 Stories: 1 Families: 1</p> <p>Comments: NEW DET GARAGE/OFFICE TO BE UNDER SEPARATE PERMIT</p> <p>Special Conditions:</p> <p>Description of Work: ADD 637 SQ FT TO EXIST RESIDENCE CONVERT EXIST (227 SQ FT) ATT GARAGE TO LIVING AREA <i>Reroof existing residence</i></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Fee Description</th> <th style="text-align: left;">Amt</th> <th style="text-align: left;">Date</th> <th style="text-align: left;">Paid</th> </tr> </thead> <tbody> <tr> <td>Permit Fee</td> <td>801.60</td> <td>12/21/99</td> <td>735.45</td> </tr> <tr> <td>Plan Check Fee</td> <td>2601.60</td> <td>05/04/00</td> <td>1074.70</td> </tr> <tr> <td>ENERGY FEE</td> <td>28.00</td> <td>01/24/01</td> <td>28.00</td> </tr> <tr> <td>SMR</td> <td></td> <td></td> <td></td> </tr> <tr> <td>PERMIT FEE</td> <td>48.00</td> <td></td> <td></td> </tr> <tr> <td>Total:</td> <td>1838.15</td> <td>Total:</td> <td>1838.15</td> </tr> </tbody> </table>	Fee Description	Amt	Date	Paid	Permit Fee	801.60	12/21/99	735.45	Plan Check Fee	2601.60	05/04/00	1074.70	ENERGY FEE	28.00	01/24/01	28.00	SMR				PERMIT FEE	48.00			Total:	1838.15	Total:	1838.15
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Contractor/Agent A.C. GENERAL CO. (Signature) _____ (Date) _____

Contractors Name ANDRÉ CASTAÑOS _____ (Date) 1-24-01

Address: 707 W. 16TH ST. LONG BEACH, CA 90813 Phone: 562-951-1408

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INSPECTION RECORD

BUILDING PERMIT NO.

INSPECTION	APPROVED BY	DATE	INSPECTION	APPROVED BY	DATE	INSPECTION	APPROVED BY	DATE		
Setback and Yards			Slab Floors	PG	2/1/01	Exterior Lathing	PG	5/31/01		
Trench and Forms			Rough Electric	PG	5/1/01	Walls				
			Ceiling					Rough Sewer		
			Fixtures							
Reinforcing Steel			Rough Plumbing	PG	5/1/01	Final Sewer				
Electrical Ground <i>UPR</i>	PG	2/1/01	Ducts			Final Gas Test				
Footings	PG	2/1/01	Rough Heating or Refrigeration			Final Plumbing	PG	8/1/01		
Heating or Refrig. Gndwrk. (or Underfloor)			Rough Gas Piping			Final Electrical	PG	8/1/01		
Electrical Groundwork			Floor Diaphragm			Final Heating or Refrigeration				
Plumbing Groundwork (or Underfloor)			Suspended Ceiling			Final Block Wall Steel				
Gas Piping Groundwork			Roof Diaphragm	PG	4/27/01	Underground Service				
Panel Steel			Rough Fire Alarms / Sprinklers			Final Landscaping				
Column and Beam Reinforcing			Rough Framing ①	PG	5/1/01	Final Sign				
Concrete Block Steel			Insulation	PG	5/1/01	Final Fire Dept. Inspection				
Floor Joists and Insulation			Interior Lathing / Drywall ②	PG	7/20/01	Final Building Inspection	PG	8/1/01		

INSPECTOR'S NOTES

- ① Showed Pm OK PG 7/20/01
- ② Showed LATH OK PG COVER 7/20/01

CONDOMINIUM - Planning Department approval for final

By: _____ Date: _____

The License Department requests that you hold up final inspections until a list of sub-contractors is filed and all business licenses have been paid.

By: _____ Date: _____

The Fire Department requests that you hold up final inspection until all regulations have been complied with.

By: _____ Date: _____

See also: Electrical, Grading, Mechanical, Miscellaneous, Plumbing, and Sign Permit Inspection Records.

CITY OF REDONDO BEACH BUILDING PERMIT APPLICATION

COMMUNITY DEVELOPMENT DEPARTMENT, BUILDING DIVISION
415 DIAMOND ST. • REDONDO BEACH, CA 90277 • (310) 318-0636 • FAX: (310) 374-4828



APPLICATION
DATE
PROJECT NO.

PERMIT ADDRESS 2614 M.B. BLVD.	STRC. I.D.	FLR	UNIT	ZIP
--	------------	-----	------	-----

DESCRIPTION OF WORK	VALUATION
---------------------	-----------

APPLICANT	PHONE ()	NEW	REPAIR	FIRE ALARM
ADDRESS		ADDITION	MOVE	SIGN
CITY	STATE	ALTERATION	DEMOLITION	

OWNER	PHONE ()	RESIDENTIAL	COMMERCIAL	
ADDRESS		SING. FAMILY	RETAIL	INDUSTRIAL
CITY	STATE	MULTIFAMILY	OFFICE	INSTITUTIONAL

OWNER	PHONE ()	HOTEL/MOTEL	RESTAURANT	PUBLIC
ADDRESS		EXIST. BLDGS. ON LOT: LOT SIZE:		
CITY	STATE	NEW CONST. SIZE: TOTAL AREA: # STORIES:		

CONTRACTOR	PHONE (310) 352-2530	DESCRIPTION / REMARKS:		
ADDRESS				
CITY	STATE			

CONTRACTOR	PHONE (310) 352-2530	MAJOR HWY. YES <input type="checkbox"/> NO <input type="checkbox"/> STATE HWY. YES <input type="checkbox"/> NO <input type="checkbox"/>		
ADDRESS		BUILDING STRUCTURE SETBACKS FROM PROPERTY LINE		
CITY	STATE	FRONT: LEFT SIDE:		

CONTRACTOR	PHONE (310) 352-2530	REAR: RIGHT SIDE:		
ADDRESS		PARKING SPACES REQD. SPACES PROVIDED		
CITY	STATE	FOR DEPARTMENT USE ONLY		

CONTRACTOR	PHONE (310) 352-2530	ASSESSOR NO. LOT BLK TRACT		
ADDRESS		TYPE OF CONST. GROUP ZONE		
CITY	STATE	REQUIRED: YES NO YES NO		

CONTRACTOR	PHONE (310) 352-2530	UNDERGROUND UTILITIES L.A. CO. SANITATION FEES		
ADDRESS		SPRINKLERED SCHOOL FEES		
CITY	STATE	WET STANDPIPES OTHER:		

CONTRACTOR	PHONE (310) 352-2530	TITLE 24 APPLIES TO ALLOWABLE HEATING SYSTEM: YES <input type="checkbox"/> NO <input type="checkbox"/>		
ADDRESS		BONNET CAPACITY: BTU		
CITY	STATE	APPROVALS REQD. YES NO DATE APPROVED BY		

CONTRACTOR	PHONE (310) 352-2530	PLANNING / HARBOR		
ADDRESS		FIRE		
CITY	STATE	ENGINEERING		

CONTRACTOR	PHONE (310) 352-2530	BUILDING PERMITS APPROVED		
ADDRESS		OTHER PERMITS REQUIRED		
CITY	STATE	GRADING PLUMBING MECHANICAL		

CONTRACTOR	PHONE (310) 352-2530	ELECTRIC SIGN		
ADDRESS		VALUATION		
CITY	STATE	BUILDING		

CONTRACTOR	PHONE (310) 352-2530	ELECTRICAL		
ADDRESS		BLDG. PERMIT		
CITY	STATE	PLUMBING		

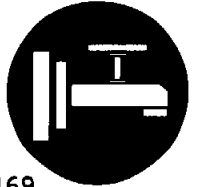
CONTRACTOR	PHONE (310) 352-2530	MECHANICAL		
ADDRESS		PARK & REC TAX		
CITY	STATE	FIRE		

CONTRACTOR	PHONE (310) 352-2530	ADJUSTMENTS		
ADDRESS		SEWER USE		
CITY	STATE	TOTAL		

CONTRACTOR	PHONE (310) 352-2530	TOTAL		
ADDRESS		S.M.I.		
CITY	STATE	ENERGY		

CONTRACTOR	PHONE (310) 352-2530	TOTAL		
ADDRESS		TOTAL		
CITY	STATE	TOTAL		

**CITY OF REDONDO BEACH
BUILDING AND SAFETY**
415 Diamond Street • Redondo Beach, CA 90277
Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607



PLUMBING PERMIT

Site Address		Status	Applied: 05/09/00	Ref#: P20001469
2614 MANHATTAN BEACH BLVD REDONDO BEACH, A 90278		OPEN	Issued: 05/09/00	Type: Plumbing
Parcel		Tract	Blk	Lot
4151018002		11336	2	2
Owner		Owner/Builder?		
SERNA ROBERT J AND ANNETTE M [REDACTED]		NO		
Contractor		Comments:		
AL RUSSELL CONSTRUCTION CO 15139 FONTHILL AVE LAWNDALE, CA 90260 (800)803-9133		PLUMB FOR GARAGE/OFFICE		
State Lic		Special Conditions:		
257516				
Type				
B01 GENERAL BUILDING				
City License:		Exp Date:		
Lender		Fee Description	Amt	Date
				Paid
		1 SHOWER	15.00	05/09/00
		1 LAVATORY	15.00	
		1 TOILET	15.00	
		1 WATER HEATER	25.00	
		1 WTR SRV PER	10.00	
		1 GS SYS <4 OU	10.00	
		1 RPR/VNT/DRN/	15.00	
		Issue Fee	35.00	
Worker's Comp Co.		Exempt		
		NO		
Policy #:				
Microfilm:				
Lot Size:				
Buildings: 1				
Building Use: GAR/OFFICE				
Occ Grp: M1 PRIVATE GARAGES, CARPORTS, SHEDS, .				
Site Zone:				
Plan Check		Plan Chk		
		NO		
Architect/Engineer		State Reg #		
		Total:	140.00	Total: 140.00

MAY 2000
PAID #1
CITY TREASURER
Redondo Beach
By _____

• **IMPORTANT** •

Application is hereby made to the Building Official for a permit subject to the conditions and restrictions set forth in the Redondo Beach Municipal Code and other applicable codes.
Any permit issued as a result of this application becomes null and void if work is not commenced within ONE HUNDRED EIGHTY (180) days from date of issuance of such permit.
Every permit issued by the Building Official under the provisions of Section 9-1.08 of Redondo Beach Municipal Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not completed, in accordance with the provisions of this code, within two years from the date of such permit.

CITY OF REDONDO BEACH BUILDING AND SAFETY

OWNER / BUILDER DECLARATION

Section 7031.5 of the California Business and Professions codes provides as follows:

"Each county or city which requires the issuance of permit as a condition precedent to the construction, alteration, improvement, demolition or repair of any building or structure shall also require that each applicant for such a permit file as condition precedent to the issuance of a permit a statement which he has prepared and signed stating that the applicant is licensed under provisions of this chapter, giving the number of his license and stating that it is in full force and effect, or, if the applicant is exempt from the provisions of this chapter, the basis of the alleged exemption. Any violation of this section by an applicant for a permit shall be subject to a civil penalty of not more than five hundred dollars (\$500.00)."

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Section 7044, Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his employees, provided that such improvements are not intended or offered for sale. If however, the building or improvements is sold within one year of completion, the owner/builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Section 7044 of the Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the contractor's license law.)
- I, as owner, am exempt under section _____ B and P Code, for the reason: _____

(Signature)

(Date)

LICENSED CONTRACTOR'S DECLARATION

I hereby declare that I'm licensed under the provisions of Chapter 9 (commencing at section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class D-HIC State Lic. No. 257514 City Lic. No. 270471
Contractor/Agent [Signature] (Signature) 5-9-00 (Date)
Contractors Name AL RUSSELL
Address: 15139 FORT HILL AVE. LAUNDALE Phone: 710-567-7249

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by section 3700 of the labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number: 0499248-00
[This section not to be completed if the permit is for one hundred dollars (\$100) or less].

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in the manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the labor Code, I shall forthwith comply with those provisions.

Date: 5-9-00 Applicant Signature: [Signature]

WARNING: Failure to secure workers compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (section 3097 California Civil Code).

Lenders Name: _____ Address: _____

HAZARDOUS MATERIALS

Indicate whether the applicant or future building occupant will need to comply with the applicable requirements of Sections 25505, 25533, and 25534 of the Health and Safety Code.

Yes No Signature: [Signature]

If Yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (800) 388-2121

[Signature] (Signature) 5-9-00 (Date)

RIGHT OF ENTRY (READ CONDITIONS BELOW)

The work authorized by this permit is subject to all rules and regulations set forth in the ordinances and amendments of the City of Redondo Beach, and the laws of the State of California in regard to such work, and all amendments thereto.

This permit becomes null and void if work is not commenced within one hundred eighty (180) days from date of issuance, or if work is suspended at any time during construction for the same period of time, or if any work is done in violation of the City or State laws governing same.

I certify that I have read this application and state that the above information is correct. I agree to comply with all City and applicable County ordinances, and State laws relating to building construction, and I hereby authorize representatives of the City to enter upon the above mentioned property for the purpose of inspections.

[Signature] (Signature) 5-9-00 (Date)

APPLICATION *BM*
 DATE *5/9/00*
 PROJECT NO. *E 2001147*

CITY OF REDONDO BEACH ELECTRICAL PERMIT APPLICATION



BUILDING DEPARTMENT, BUILDING DIVISION
 415 DIAMOND ST. • REDONDO BEACH, CA 90277 • (310) 318-0636 • FAX: (310) 374-4828

PERMIT ADDRESS *2614 MANHATTAN Bch. Blvd., Redondo Bch, CA.* STRC. I.D. FLR UNIT ZIP

DESCRIPTION OF WORK

ADDITION TO EXISTING HOME 637 D VALUATION

APPLICANT	QTY	CODE	DESCRIPTION	EACH	TOTAL
<i>AL Russell Const. Co.</i> PHONE <i>(800) 803-9133</i>		E01	NEW SINGLE & 2 FAMILY DWELL PER SQ FT.	.10	
ADDRESS <i>15139 Fonthill Ave.</i>		E02	NEW MULTIFAMILY BLDG PER SQ FT.	.10	
		E03	OTHER RES. ADD, ALTER, ETC. PER SQ FT.	.15	
		E04	RECEPTACLES } TOTAL OUTLETS		
CITY <i>LAWDALE</i> STATE <i>CA.</i> ZIP <i>90260</i>	<i>22</i>		<i>42</i>		
OWNER <i>MR. & MRS. SERNA</i> W.K.#	<i>10</i>	E05		SWITCHES	
	<i>10</i>	E06		LIGHT OUTLET	
	<i>20</i>	E07	TOTAL OUTLETS - FIRST 20 (EACH)	1.90	
	<i>2</i>	E08	TOTAL OUTLETS - OVER 20 (EACH)	1.00	
CONTRACTOR <i>AL Russell Const. Co.</i> PHONE <i>(800) 803-9133</i>		E09	LIGHT FIXTURES - FIRST 20 (EACH)	1.90	
ADDRESS <i>15139 Fonthill Ave.</i>		E10	LIGHT FIXTURES - OVER 20 (EACH)	1.00	
CITY <i>LAWDALE</i> STATE <i>CA.</i> ZIP <i>90260</i>		E11	RANGE	10.	
STATE LICENSE NO. <i>257516</i> CITY LICENSE NO. <i>278471</i>		E12	CLOTHES DRYER	10.	
ARCHITECT <i>OWNER</i> W.K.# PHONE <i>(310) 374-6688</i>		E13	WATER HEATER / INSTANT HOT	10.	
ADDRESS <i>2614 MANHATTAN Bch. Blvd.</i>		E14	ROOM / CONSOLE / THRUWALL A/C RES. APP.	10.	
CITY <i>REDONDO Bch.</i> STATE <i>CA.</i> ZIP <i>90278</i> STATE LICENSE NO. <i>Ø</i>		E15	RES. GARBAGE DISPOSAL	10.	
ENGINEER <i>Ø</i> PHONE ()		E16	DISHWASHER	10.	
ADDRESS		E17	SPACE HEATER	10.	
CITY STATE ZIP STATE LICENSE NO.		E20	OVEN / COOKING APPLIANCE	10.	
OCCUPANT <i>MR & MRS. SERNA</i> HOME PHONE <i>310-542-2742</i> W.K.# PHONE <i>(310) 374-6688</i>		E21	AUTOMATIC WASHER	10.	
PLAN CHECKED DATE APPLICATION APPROVED		E22	F.A.U.	10.	
CORRECTION VERIFIED BY DATE STAFF APPROVED		E23	FAN	10.	
REMARKS		E31	MOTORS 0 - 1 H.P.	10.	
		E32	MOTORS OVER 1, LESS THAN 10 H.P.	25.	
		E33	MOTORS OVER 10, LESS THAN 50 H.P.	45.	
		E34	MOTORS OVER 50, LESS THAN 100 H.P.	90.	
		E35	MOTORS OVER 100 H.P.	135.	
		E37	SIGN W / 1 BRANCH CIRCUIT	30.	
		E38	ADDL. SIGN BRANCH CIRCUIT	10.	
		E40	TEMPORARY POWER POLE	30.	
		E41	CHRISTMAS TREE LOT	15.	
		E42	SWIMMING POOL	75.	
		E43	CARNIVAL / CIRCUSES GENERATORS (EACH)	48.	
		E46	SERVICE 0 - 600V NOT OVER 200 A	35.	
		E47	SERVICE 0 - 600V OVER 200 A	100.	
		E48	SERVICE OVER 600V OR OVER 1000 A	190.	
		E50	MISC. APP. / CONDUITS / CONVER	22.	
	E53	TRANSFORMER <75 KVA.	10.		
	E54	TRANSFORMER >75 KVA.	35.		
	E55	SUBPANEL	10.		
	E56	TRANSFER SWITCH	10.		

SIGNATURE *[Signature]* DATE *5-4-00*

ISSUANCE FEE **35.00**
TOTAL:

CITY OF REDONDO BEACH BUILDING AND SAFETY

OWNER / BUILDER DECLARATION

Section 7031.5 of the California Business and Professions codes provides as follows:

"Each county or city which requires the issuance of permit as a condition precedent to the construction, alteration, improvement, demolition or repair of any building or structure shall also require that each applicant for such a permit file as condition precedent to the issuance of a permit a statement which he has prepared and signed stating that the applicant is licensed under provisions of this chapter, giving the number of his license and stating that it is in full force and effect, or, if the applicant is exempt from the provisions of this chapter, the basis of the alleged exemption. Any violation of this section by an applicant for a permit shall be subject to a civil penalty of not more than five hundred dollars (\$500.00)."

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Section 7044, Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his employees, provided that such improvements are not intended or offered for sale. If however, the building or improvements is sold within one year of completion, the owner/builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Section 7044 of the Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the contractor's license law.)
- I, as owner, am exempt under section _____ B and P Code, for the reason: _____

(Signature)

(Date)

LICENSED CONTRACTOR'S DECLARATION

I hereby declare that I'm licensed under the provisions of Chapter 9 (commencing at section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B-HIC State Lic. No. 252516 City Lic. No. ~~048248-00~~ 270471
Contractor/Agent *[Signature]* (Signature) 5-9-00 (Date)
Contractors Name AL RUSSELL CONST CO.

Address: 1538 FOUNTAIN HILL AVE LAUNDALE CA. Phone: 310 567-7249

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by section 3700 of the labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
Carrier STATE FUND. Policy Number: 0498248-00
[This section not to be completed if the permit is for one hundred dollars (\$100) or less].
- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in the manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.
- Date: 5-9-00 Applicant Signature: *[Signature]*

WARNING: Failure to secure workers compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (section 3097 California Civil Code).

Lenders Name: _____ Address: _____

HAZARDOUS MATERIALS

Indicate whether the applicant or future building occupant will need to comply with the applicable requirements of Sections 25505, 25533, and 25534 of the Health and Safety Code.

Yes No

Signature: *[Signature]*

If Yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (800) 388-2121

(Signature)

(Date)

RIGHT OF ENTRY (READ CONDITIONS BELOW)

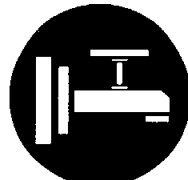
The work authorized by this permit is subject to all rules and regulations set forth in the ordinances and amendments of the City of Redondo Beach, and the laws of the State of California in regard to such work, and all amendments thereto.

This permit becomes null and void if work is not commenced within one hundred eighty (180) days from date of issuance, or if work is suspended at any time during construction for the same period of time, or if any work is done in violation of the City or State laws governing same.

I certify that I have read this application and state that the above information is correct. I agree to comply with all City and applicable County ordinances, and State laws relating to building construction, and hereby authorize representatives of the City to enter upon the above mentioned property for the purpose of inspections.

(Signature)

(Date)



CITY OF REDONDO BEACH PLUMBING PERMIT APPLICATION

BUILDING DEPARTMENT, BUILDING DIVISION
415 DIAMOND ST. • REDONDO BEACH, CA 90277 • (310) 318-0636 • FAX: (310) 374-4828

APPLICATION <i>BMA</i>
DATE <i>5/9/00</i>
PROJECT NO. <i>P20001473</i>

PERMIT ADDRESS <i>2614 MANHATTAN BEH. BLVD. REDONDO BEH., CA.</i>	STRUC. I.D.	FLR	UNIT	ZIP
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DESCRIPTION OF WORK <i>ADDITION TO EXISTING HOME 637</i>	VALUATION
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	QTY	CODE	DESCRIPTION	EACH	TOTAL
APPLICANT <i>AL Russell Const. Co.</i>		P01	NEW SINGLE & 2 FAMILY DWELL RES PER SQ FT.	.10	
PHONE <i>(800) 803-9133</i>		P02	NEW MULTIFAMILY BLDG. PER SQ FT.	.10	
ADDRESS <i>15139 Fonthill Ave.</i>		P03	OTHER RES. ADD, ALTER, ETC. PER SQ FT.	.15	
CITY <i>LAWDALE</i>	1	P04	BATH TUB	15.	
STATE <i>CA.</i>	1	P05	SHOWER	15.	
ZIP <i>90260</i>	3	P06	LAUNDRY TUB OR TRAY	15.	
OWNER <i>MR. & MRS. SERNA</i>	2	P07	LAVATORY	15.	
PHONE <i>[REDACTED]</i>		P08	WATER CLOSET (TOILET)	15.	
CONTRACTOR <i>AL Russell Const. Co.</i>		P09	URINAL / BIDET	15.	
PHONE <i>(800) 803-9133</i>		P10	SINK, COMMERCIAL	20.	
ADDRESS <i>15139 Fonthill Ave.</i>		P13	DISHWASHER	15.	
CITY <i>LAWDALE</i>		P14	AUTOMATIC WASHER	15.	
STATE <i>CA.</i>		P15	FLOOR DRAIN / FLOOR SINK	15.	
ZIP <i>90260</i>		P16	DRINKING FOUNTAIN / BAR SINK	15.	
STATE LICENSE NO. <i>257516</i>		P19	WATER HEATER REPLACE	15.	
CITY LICENSE NO. <i>270471</i>		P20	WATER HEATER	25.	
ARCHITECT <i>OWNER</i>		P21	GREASE TRAP/INTERCEPTOR/CLARIFIER	35.	
PHONE <i>(310) 374-6688</i>		P22	WATER SERVICE PER BLDG.	10.	
ADDRESS <i>2614 MANHATTAN BEH. BLVD.</i>		P23	REPAIR / ALT / VENT / DRAIN / SEWER	15.	
CITY <i>REDONDO BEH. CA.</i>		P25	ATMOSPHERIC VAC. BREAKER 1ST 10 (EACH)	2.	
STATE <i>CA.</i>		P26	ATMOSPHERIC VAC. BREAKER OVER 10 (EACH)	1.	
ZIP <i>90278</i>		P27	PRESSURE TYPE VAC. BREAKER 1ST 10 (EACH)	5.	
STATE LICENSE NO. <i>[REDACTED]</i>		P28	PRESSURE TYPE VAC. BREAKER OVER 10 (EACH)	2.50	
ENGINEER <i>[REDACTED]</i>		P30	GAS SYSTEM 1-4 OUTLETS	10.	
PHONE <i>()</i>		P31	GAS OUTLETS, 5 OR MORE	5.	
ADDRESS		P32	BUILDING SEWER	60.	
CITY		P36	ABAND CESSPOOL / CAP SEWER	122.	
STATE		P38	PRIVATE SEWER SYSTEM	100.	
ZIP		P40	MISCELLANEOUS PLUMBING	15.	
STATE LICENSE NO.		P47	REDUCE PRESSURE PRIN. VAC BRK. 1ST 10 (EACH)	15.	
OCCUPANT <i>MR. & MRS. SERNA</i>		P48	REDUCE PRESSURE PRIN. VAC BRK. OVER 10 (EACH)	7.50	
PHONE <i>(310) 374-6688</i>		P53	SHOWER PAN REPLACEMENT	20.	
PLAN CHECKED		P55	REPIPE RES. FIXTURE 1ST 10 (EACH)	2.	
DATE		P56	REPIPE RES. FIXTURE OVER 10 (EACH)	1.	
APPLICATION APPROVED		P58	SEWAGE EJECTOR	30.	
CORRECTION VERIFIED BY		P59	POOL, SPA HEATER, FILTER SYSTEM	25.	
DATE		P60	ELECTRIC SYSTEM FOR EQUIPMENT	10.	
STAFF APPROVED					

REMARKS

	<i>5-4-00</i>
SIGNATURE	DATE

ISSUANCE FEE	35.00
TOTAL:	

CITY OF REDONDO BEACH
 BUILDING AND SAFETY
 415 Diamond Street • Redondo Beach, CA 90277
 Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607
PLUMBING PERMIT



Site Address
 2614 MANHATTAN BEACH BLVD
 REDONDO BEACH, A 90278

Status
 OPEN

Applied: 05/09/00 Ref#: P20001473
 Issued: 05/09/00 Type: Plumbing
 Expires: 11/05/00 Final:
 Created/Modified: bseymour 05/09/00

Parcel Tract Blk Lot
 4151018002 11336 2 2

Owner Owner/Builder?
 SERNA, ROBERT J AND ANNETTE M NO

Contractor
 AL RUSSELL CONSTRUCTION CO
 15139 FONTHILL AVE
 LAWDALE, CA 90260 (800)803-9133

State Lic Type
 257516 B01 GENERAL BUILDING

City License: Exp Date:

Lender

Worker's Comp Co. Exempt
 NO

Policy #:
 Microfilm:
 Lot Size:
 Buildings: 1
 Building Use: S.F.RES
 Occ Grp: R3 ONE OR TWO DWELLING UNITS, LODGIN
 Site Zone:

Plan Check Plan Chk
 NO

Architect/Engineer State Reg #

Comments:
 PLUMB FOR RES ADD/ALTER

Special Conditions:

Fee Description	Amt	Date	Paid
1 BATH TUB	15.00	05/09/00	150.00
1 SHOWER	15.00		
3 LAVATORY	45.00		
2 TOILET	30.00		
1 GS SYS <4 OU	10.00		
Issue Fee	35.00		

Total: 150.00 Total: 150.00

MAY 2000
 PAID #1
 CITY TREASURER
 Redondo Beach, Ca
 By _____

• IMPORTANT •

Application is hereby made to the Building Official for a permit subject to the conditions and restrictions set forth in the Redondo Beach Municipal Code and other applicable codes.
 Any permit issued as a result of this application becomes null and void if work is not commenced within ONE HUNDRED EIGHTY (180) days from date of issuance of such permit.
 Every permit issued by the Building Official under the provisions of Section 9-1.08 of Redondo Beach Municipal Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not completed, in accordance with the provisions of this code, within two years from the date of such permit.

CITY OF REDONDO BEACH BUILDING AND SAFETY

OWNER / BUILDER DECLARATION

Section 7031.5 of the California Business and Professions codes provides as follows:

"Each county or city which requires the issuance of permit as a condition precedent to the construction, alteration, improvement, demolition or repair of any building or structure shall also require that each applicant for such a permit file as condition precedent to the issuance of a permit a statement which he has prepared and signed stating that the applicant is licensed under provisions of this chapter, giving the number of his license and stating that it is in full force and effect, or, if the applicant is exempt from the provisions of this chapter, the basis of the alleged exemption. Any violation of this section by an applicant for a permit shall be subject to a civil penalty of not more than five hundred dollars (\$500.00)."

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Section 7044, Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his employees, provided that such improvements are not intended or offered for sale. If however, the building or improvements is sold within one year of completion, the owner/builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Section 7044 of the Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the contractor's license law.)
- I, as owner, am exempt under section _____ B and P Code, for the reason: _____

(Signature)

(Date)

LICENSED CONTRACTOR'S DECLARATION

I hereby declare that I'm licensed under the provisions of Chapter 9 (commencing at section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B-HIC State Lic. No. 257516 City Lic. No. 270471
Contractor/Agent [Signature] 5-9-00
(Signature) (Date)
Contractors Name AL ROSSER
Address: 15139 FORTHILL AVE. LAWDALE CA Phone: 310-568-7249

WORKERS COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for workers compensation, as provided for by section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by section 3700 of the labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier STATE FUND Policy Number: 0488248-00
[This section not to be completed if the permit is for one hundred dollars (\$100) or less].

- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in the manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 5-9-00 Applicant Signature: [Signature]

WARNING: Failure to secure workers compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, Interest, and Attorney's fees.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (section 3097 California Civil Code).

Lenders Name: _____ Address: _____

HAZARDOUS MATERIALS

Indicate whether the applicant or future building occupant will need to comply with the applicable requirements of Sections 25505, 25533, and 25534 of the Health and Safety Code.

- Yes No

Signature: [Signature]

If Yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (800) 888-2121

[Signature] 5-9-00
(Signature) (Date)

RIGHT OF ENTRY (READ CONDITIONS BELOW)

The work authorized by this permit is subject to all rules and regulations set forth in the ordinances and amendments of the City of Redondo Beach, and the laws of the State of California in regard to such work, and all amendments thereto.

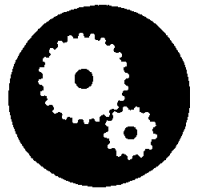
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I certify that I have read this application and state that the above information is correct. I agree to comply with all City and applicable County ordinances, and State laws relating to building construction, and I hereby authorize representatives of the City to enter upon the above mentioned property for the purpose of inspections.

[Signature] 5-9-00
(Signature) (Date)

APPLICATION *PMCS*
 DATE *5/9/00*
 PROJECT NO. *# 20001470*

CITY OF REDONDO BEACH MECHANICAL PERMIT APPLICATION



BUILDING DEPARTMENT, BUILDING DIVISION
 415 DIAMOND ST. • REDONDO BEACH, CA 90277 • (310) 318-0636 • FAX: (310) 374-4828

PERMIT ADDRESS *2614 MANHATTAN Bch. Bldg. REDONDO Bch., CA.* STRC. I.D. FLR UNIT ZIP

DESCRIPTION OF WORK *CONST. OF 2 CAR GARAGE — OFFICE 680* VALUATION

APPLICANT	QTY	CODE	DESCRIPTION	EACH	TOTAL
AL Russell Const. Co. PHONE (800) 803-9133		H01	NEW SINGLE & 2 FAMILY RES.	.10	
ADDRESS 15139 Fonthill Ave.		H02	NEW MULTIFAMILY / 3 OR MORE	.10	
CITY LAWYDALE STATE CA. ZIP 90260		H03	OTHER RES. ADD, ALTER, ETC.	.15	
OWNER MR. & MRS. SERNA PHONE [REDACTED]		H04	FAU UP TO 100,000 BTU	20.	
		H05	FAU OVER 100,000 BTU	25.	
	1	H07	SUSPEND / RECESS WALL HEATER	20.	20-
		H08	APPLIANCE VENT - ONLY	10.	
CONTRACTOR AL Russell Const. Co. PHONE (800) 803-9133		H09	REPAIR, ALTER, ADDITION DUCTS /REGISTERS	20.	
ADDRESS 15139 Fonthill Ave.		H10	HVAC REFRIGERATION LESS THAN 3 H.P. TO 100,000 BTU	20.	
CITY LAWYDALE STATE CA. ZIP 90260		H11	FROM 3 TO 15 HP - 100,000 TO 500,000 BTU	60.	
STATE LICENSE NO. 257516 CITY LICENSE NO. 270471		H12	FROM 15 TO 30 HP - 500,001 TO 1,000,000 BTU	62.	
ARCHITECT Owner PHONE (310) 374-6688		H13	FROM 30 TO 50 HP - 1,000,001 TO 1,750,000 BTU	85.	
ADDRESS 2614 MANHATTAN Bch. Bldg.		H14	OVER 50 HP & 1,750,000 BTU	125.	
CITY REDONDO Bch. STATE CA. ZIP 90278 STATE LICENSE NO. [REDACTED]		H15	AIR HANDLING UNIT LESS THAN 10,000	15.	
ENGINEER [REDACTED] PHONE ()		H16	AIR HANDLING UNIT OVER 10,000	22.	
ADDRESS		H17	EVAPORATIVE COOLER	15.	
CITY STATE ZIP STATE LICENSE NO.		H18	VENT FAN / DRYER DUCT	10.	
OCCUPANT MR. & MRS. SERNA HOME 310-542-2942 PHONE (310) 374-6688		H19	VENTILATION SYSTEM	15.	
PLAN CHECKED DATE APPLICATION APPROVED		H20	MECHANICAL EXHAUST HOOD (TYPE II)	20.	
CORRECTION VERIFIED BY DATE STAFF APPROVED		H24	ELECTRIC SYSTEM FOR EQUIPMENT	10.	
REMARKS		H25	GAS SYSTEM FOR EQUIPMENT	10.	
		H26	DECORATIVE GAS APPLIANCE	20.	
		H27	MECHANICAL EXHAUST HOOD (TYPE I)	35.	
		H28	BOILER < 400,000 BTU/HR	35.	
		H29	BOILER > 400,000 BTU/HR	55.	
		H30	MISC. APPLIANCE OR EQUIPMENT	10.	
		H32	FIREPLACE	20.	

ISSUANCE FEE 35.00

TOTAL:

SIGNATURE *[Signature]* DATE *5-9-00*

CITY OF REDONDO BEACH
COMMUNITY DEVELOPMENT DEPARTMENT

OWNER / BUILDER DECLARATION

Section 7031.5 of the California Business and Professions code provides as follows:

"Each county or city which requires the issuance of a permit as a condition precedent to the construction, alteration, improvement, demolition or repair of any building or structure shall also require that each applicant for such a permit file as a condition precedent to the issuance of a permit a statement which he has prepared and signed stating that the applicant is licensed under provisions of this chapter, giving the number of his license and stating that it is in full force and effect, or, if the applicant is exempt from the provisions of this chapter, the basis of the alleged exemption. Any violation of this section by any applicant for a permit shall be subject to a civil penalty of not more than five hundred dollars (\$500.00)."

- I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale. (Section 7044, Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvements is sold within one year of completion, the owner/builder will have the burden of proving that he did not build or improve for the purpose of sale.)
- I, as owner of the property, am exclusively contracting with licensed contractors to construct the project. (Section 7044 of the Business and Professions Code: The contractor's license law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the contractor's license law.)
- I, as owner, am exempt under section _____ B and P Code, for the reason: _____

(Signature)

(Date)

LICENSED CONTRACTOR'S DECLARATION

I hereby declare that I am licensed under the provisions of Chapter 9 (commencing at Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B-HIC State Lic. No. 257516 City Lic. No. 270471
Contractor/Agent [Signature] (Signature) 5-9-00 (Date)
Contractor's Name AL RUSSELL CONST.
Address: 15139 FORT HILL AVE HAWAIIANA. Phone 310-567-7249

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

- I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
- I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier: STATE FUND Policy Number: 0498248-00
[This section not to be completed if the permit is for one hundred dollars (\$100) or less].

- I certify that in the performance of the work for which this permit is issued, I shall not employ any person in the manner so as to become subject to the worker's compensation laws of California, and agree that if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 5-9-00 Applicant: [Signature]

WARNING: Failure to secure worker's compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest, and attorney's fees.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097 California Civil Code).

Lender's Name: _____ Address: _____

HAZARDOUS MATERIALS

Indicate whether the applicant or future building occupant will need to comply with the applicable requirements of Sections 25505, 25533 and 25534 of the Health and Safety Code.

- Yes
 - No
- Signature:
- [Signature]

If yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (818) 577-6283.

[Signature] (Signature) 5-9-00 (Date)

RIGHT OF ENTRY (READ CONDITIONS BELOW)

The work authorized by this permit is subject to all rules and regulations set forth in the ordinances and amendments of the City of Redondo Beach, and the laws of the State of California in regard to such work, and all amendments thereto.

This permit becomes null and void if work is not commenced within **one hundred eighty (180) days** from date of issuance, or if work is suspended at any time during construction for the same period of time, or if any work is done in violation of the City or State laws governing same.

I certify that I have read this application and state that the above information is correct. I agree to comply with all City and applicable County ordinances, and State laws relating to building construction, and hereby authorize representatives of the City to enter upon the above mentioned property for the purpose of inspections.

[Signature] (Signature) 5-9-00 (Date)



CITY OF REDONDO BEACH ELECTRICAL PERMIT APPLICATION

BUILDING DEPARTMENT, BUILDING DIVISION
415 DIAMOND ST. • REDONDO BEACH, CA 90277 • (310) 318-0636 • FAX: (310) 374-4828

APPLICATION *BMW*
 DATE *5/9/00*
 PROJECT NO. *E 20001468*

PERMIT ADDRESS *2614 MANHATTAN BECH. BLVD., REDONDO BECH, CA* STRC. I.D. FLR UNIT ZIP

DESCRIPTION OF WORK
CONST. OF 2 CAR GARAGE - OFFICE 680 VALUATION

APPLICANT	QTY	CODE	DESCRIPTION	EACH	TOTAL
<i>AL Russell Const. Co.</i> PHONE <i>(800) 803-9133</i>		E01	NEW SINGLE & 2 FAMILY DWELL PER SQ FT.	.10	
ADDRESS <i>15139 FONTHILL Ave.</i>		E02	NEW MULTIFAMILY BLDG PER SQ FT.	.10	
		E03	OTHER RES, ADD, ALTER, ETC. PER SQ FT.	.15	
		E04	RECEPTACLES } TOTAL OUTLETS		
CITY <i>LAWYDALE</i> STATE <i>CA.</i> ZIP <i>90260</i>	<i>13</i>	E05	SWITCHES		
OWNER <i>MR. & MRS. SERNA</i> WK.# [REDACTED]	<i>5</i>	E06	LIGHT OUTLET		
	<i>7</i>			<i>10</i>	
		E07	TOTAL OUTLETS - FIRST 20 (EACH)	1.90	
		E08	TOTAL OUTLETS - OVER 20 (EACH)	1.00	
		E09	LIGHT FIXTURES - FIRST 20 (EACH)	1.90	
CONTRACTOR <i>AL Russell Const. Co.</i> PHONE <i>(800) 803-9133</i>		E10	LIGHT FIXTURES - OVER 20 (EACH)	1.00	
ADDRESS <i>15139 FONTHILL Ave.</i>		E11	RANGE	10.	
CITY <i>LAWYDALE</i> STATE <i>CA.</i> ZIP <i>90260</i>		E12	CLOTHES DRYER	10.	
STATE LICENSE NO. <i>257516</i> CITY LICENSE NO. <i>270471</i>		E13	WATER HEATER / INSTANT HOT	10.	
ARCHITECT <i>OWNER</i> WK.# <i>(310) 374-6688</i>		E14	ROOM / CONSOLE / THRUWALL A/C RES. APP.	10.	
ADDRESS <i>2614 MANHATTAN BECH. BLVD.</i>		E15	RES. GARBAGE DISPOSAL	10.	
CITY <i>REDONDO BECH.</i> STATE <i>CA.</i> ZIP <i>90278</i> STATE LICENSE NO. <i>Ø</i>		E16	DISHWASHER	10.	
ENGINEER <i>Ø</i> PHONE ()		E17	SPACE HEATER	10.	
ADDRESS		E20	OVEN / COOKING APPLIANCE	10.	
		E21	AUTOMATIC WASHER	10.	
		E22	F.A.U.	10.	
		E23	FAN	10.	
		E31	MOTORS 0 - 1 H.P.	10.	
		E32	MOTORS OVER 1, LESS THAN 10 H.P.	25.	
		E33	MOTORS OVER 10, LESS THAN 50 H.P.	45.	
OCCUPANT <i>MR & MRS. SERNA</i> Home PHONE <i>310-542-2742</i> WK.# <i>(310) 374-6688</i>		E34	MOTORS OVER 50, LESS THAN 100 H.P.	90.	
PLAN CHECKED DATE APPLICATION APPROVED		E35	MOTORS OVER 100 H.P.	135.	
CORRECTION VERIFIED BY DATE STAFF APPROVED		E37	SIGN W / 1 BRANCH CIRCUIT	30.	
REMARKS		E38	ADDL. SIGN BRANCH CIRCUIT	10.	
		E40	TEMPORARY POWER POLE	30.	
		E41	CHRISTMAS TREE LOT	15.	
		E42	SWIMMING POOL	75.	
		E43	CARNIVAL / CIRCUSES GENERATORS (EACH)	48.	
		E46	SERVICE 0 - 600V NOT OVER 200 A	35.	
		E47	SERVICE 0 - 600V OVER 200 A	100.	
		E48	SERVICE OVER 600V OR OVER 1000 A	190.	
		E50	MISC. APP. / CONDUITS / CONVER	22.	
		E53	TRANSFORMER <75 KVA.	10.	
	E54	TRANSFORMER >75 KVA.	35.		
	E55	SUBPANEL	10.	<i>10-</i>	
	E56	TRANSFER SWITCH	10.		

ISSUANCE FEE 35.00

SIGNATURE *[Signature]* DATE *5-9-00*

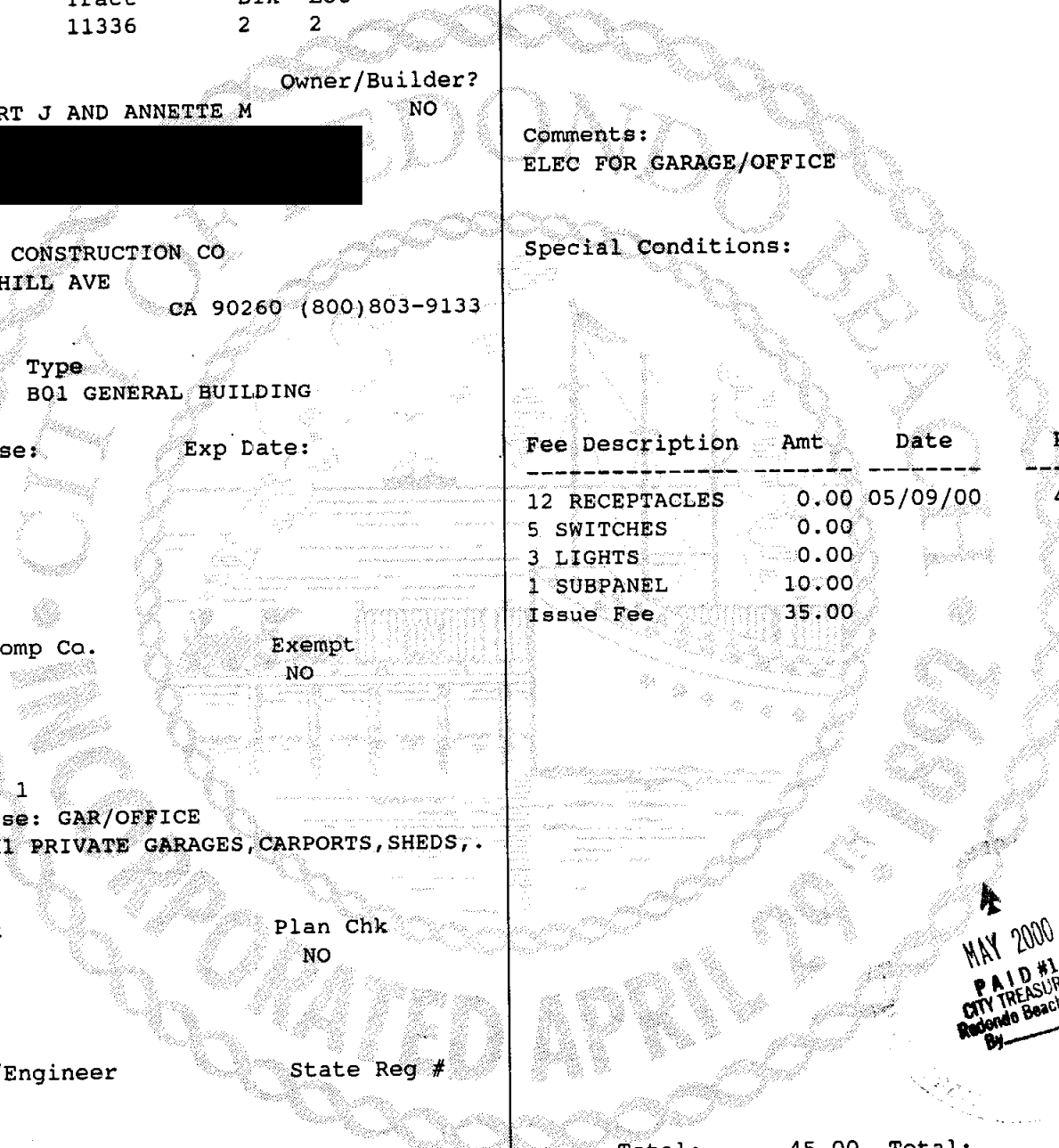
TOTAL: 35.00

**CITY OF REDONDO BEACH
BUILDING AND SAFETY**
415 Diamond Street • Redondo Beach, CA 90277
Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607



ELECTRICAL PERMIT

Site Address 2614 MANHATTAN BEACH BLVD REDONDO BEACH, A 90278	Status OPEN	Applied: 05/09/00 Issued: 05/09/00 Expires: 11/05/00 Created/Modified: bseymour 05/09/00	Ref#: E20001468 Type: Electrical Final: 05/09/00
Parcel Tract Blk Lot 4151018002 11336 2 2			
Owner SERNA, ROBERT J AND ANNETTE M [REDACTED]	Owner/Builder? NO	Comments: ELEC FOR GARAGE/OFFICE	
Contractor AL RUSSELL CONSTRUCTION CO 15139 FONTHILL AVE LAWNDALE, CA 90260 (800)803-9133		Special Conditions:	
State Lic Type 257516 B01 GENERAL BUILDING			
City License: Exp Date:			
Lender			
Worker's Comp Co.	Exempt NO		
Policy #: Microfilm: Lot Size: Buildings: 1 Building Use: GAR/OFFICE Occ Grp: M1 PRIVATE GARAGES, CARPORTS, SHEDS, . Site Zone:			
Plan Check	Plan Chk NO		
Architect/Engineer	State Reg #		
		Total: 45.00	Total: 45.00



MAY 2000
PAID #1
CITY TREASURER
Redondo Beach, Cal.
 By _____

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CITY OF REDONDO BEACH BUILDING AND SAFETY

OWNER / BUILDER DECLARATION

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(Signature)

(Date)

LICENSED CONTRACTOR'S DECLARATION

I hereby declare that I'm licensed under the provisions of Chapter 9 (commencing at section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class B-Hic State Lic. No. 257576 City Lic. No. 270471
Contractor/Agent Al Russell (Signature) 5-9-00 (Date)
Contractors Name AL RUSSELL

Address: 15139 FONT HILL AVE LA BONDALE Phone: 310-567-7249

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Date: 5-9-00 Applicant Signature: Al Russell

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Lenders Name: _____ Address: _____

HAZARDOUS MATERIALS

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Yes No Signature: Al Russell

If Yes, permit from South Coast Air Quality Management District is required; also, a clearance from the Fire Department Hazardous Materials Specialist is required.

ASBESTOS MATERIALS: To the best of my knowledge there are no asbestos or asbestos containing materials on / or within the structures or site. If evidence of asbestos is found, it is my responsibility to notify the AQMD at (800) 388-7121

Al Russell (Signature) 5-9-00 (Date)

RIGHT OF ENTRY (READ CONDITIONS BELOW)

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I certify that I have read this application and state that the above information is correct. I agree to comply with all City and applicable County ordinances, and State laws relating to building construction, and hereby authorize representatives of the City to enter upon the above mentioned property for the purpose of inspections.

Al Russell (Signature) 5-9-00 (Date)

INSPECTION RECORD

ELECTRICAL PERMIT NO.

INSPECTION	APPROVED BY	DATE	RECORD
CONDUIT			
WIRING			
FIXTURES			
POWER			
UTILITY CO. NOTIFIED			
FINAL	<i>Siegel</i>	<i>8-1-00</i>	

INSPECTOR'S NOTES

CITY OF REDONDO BEACH
 BUILDING AND SAFETY
 415 Diamond Street • Redondo Beach, CA 90277
 Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607
BUILDING PERMIT



<p>Site Address 2614 MANHATTAN BEACH BLVD REDONDO BEACH, A 90278</p> <p>Parcel Tract Blk Lot 4151018002 11336 2 2</p> <p>Owner Owner/Builder? SERNA ROBERT J AND ANNETTE M [REDACTED] YES</p> <p>Contractor</p> <p>State Lic Type</p> <p>City License: Exp Date:</p> <p>Lender</p> <p>Worker's Comp Co. Exempt YES</p> <p>Policy #: Microfilm: Lot Size:] Buildings: 1 Building Use: S.F.RES Occ Grp: R3 ONE OR TWO DWELLING UNITS, LODGIN Site Zone:</p> <p>Plan Check Plan Chk BARBARA SHELTON YES 1300 S IRENA REDONDO BEACH, A 90277 (310)316-6148</p> <p>Architect/Engineer State Reg #</p> <p>2614 596 REDONDO BEACH, A 90278</p>	<p>Applied: 12/21/99 Ref#: B998709 Issued: Type: Building Expires: Final: Created/Modified: acontrer 02/17/00</p> <p>Bldg Type: 04 ONE STORY RESIDENTIAL ADDIT Map No: Sewer Book: Page: Occ Use: R3 ONE OR TWO DWELLING UNITS, LODG Apt/Condo: No. Units: Value: 65,509 Fire Zone: Class: 00434 RES ADD., ALTER., REPAIRS & CONVER Const: V-N-WF Non-Rated, Wood Frame Sq Feet: 637 Stories: 1 Families: 1</p> <p>Comments: NEW DET GARAGE/OFFICE TO BE UNDER SEPARATE PERMIT</p> <p>Special Conditions:</p> <p style="text-align: right; font-size: 2em; font-weight: bold; transform: rotate(-10deg);"> PLAN CHECK EXPIRATION DATE: </p> <p>Description of Work: ADD 637 SQ FT TO EXIST RESIDENCE CONVERT EXIST (227 SQ FT) ATT GARAGE TO LIVING AREA</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="text-align: left;">Fee Description</th> <th style="text-align: right;">Amt</th> <th style="text-align: right;">Date</th> <th style="text-align: right;">Paid</th> </tr> </thead> <tbody> <tr> <td>Permit Fee</td> <td style="text-align: right;">801.60</td> <td style="text-align: right;">12/21/99</td> <td style="text-align: right;">735.45</td> </tr> <tr> <td>Plan Check Fee</td> <td style="text-align: right;">801.60</td> <td></td> <td></td> </tr> <tr> <td>ENERGY FEE</td> <td style="text-align: right;">200.40</td> <td></td> <td></td> </tr> <tr> <td>SMR</td> <td style="text-align: right;">6.55</td> <td></td> <td></td> </tr> <tr> <td>Total:</td> <td style="text-align: right;">1810.15</td> <td>Total:</td> <td style="text-align: right;">735.45</td> </tr> </tbody> </table>	Fee Description	Amt	Date	Paid	Permit Fee	801.60	12/21/99	735.45	Plan Check Fee	801.60			ENERGY FEE	200.40			SMR	6.55			Total:	1810.15	Total:	735.45
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• **IMPORTANT** •

Application is hereby made to the Building Official for a permit subject to the conditions and restrictions set forth in the Redondo Beach Municipal Code and other applicable codes.

Any permit issued as a result of this application becomes null and void if work is not commenced within ONE HUNDRED EIGHTY (180) days from date of issuance of such permit.

Duration of Demolition Permit is conditional upon completion of the work of moving or demolition, dismantling, tearing down and cleaning out the site within a period of 90 days from date of issuance.

Every permit issued by the Building Official under the provisions of Section 9-1.08 of Redondo Beach Municipal Code, shall expire by limitation and become null and void if the building or work authorized by such permit is not completed, in accordance with the provisions of this code, within two years from the date of such permit.

CITY OF REDONDO BEACH
 BUILDING AND SAFETY
 415 Diamond Street • Redondo Beach, CA 90277
 Telephone: (310) 318-0636 • FAX: (310) 374-4828 • Inspection Request Line (310) 318-0607
BUILDING PERMIT



<p>Site Address 2614 MANHATTAN BEACH BLVD REDONDO BEACH, A 90278</p> <p>Status PC OPEN</p> <p>Parcel Tract Blk Lot 4151018002 11336 2 2</p> <p>Owner Owner/Builder? SERNA, ROBERT J AND ANNETTE M YES [REDACTED]</p> <p>Contractor</p> <p>State Lic Type</p> <p>City License: Exp Date:</p> <p>Lender</p> <p>Worker's Comp Co. Exempt YES</p> <p>Policy #: Microfilm:</p> <p>Lot Size:] Buildings: 1</p> <p>Building Use: DET GAR/OFFICE</p> <p>Occ Grp: M1 PRIVATE GARAGES, CARPORTS, SHEDS, .</p> <p>Site Zone:</p> <p>Plan Check Plan Chk BARBARA SHELTON YES 1300 S IRENA REDONDO BEACH, A 90277 (310) 316-6148</p> <p>Architect/Engineer State Reg # 2614 596 REDONDO BEACH, A 90278</p>	<p>Applied: 12/21/99 Ref#: B998710</p> <p>Issued: Type: Building</p> <p>Expires: Final:</p> <p>Created/Modified: bseymour 12/21/99</p> <p>Bldg Type: 40 RES GARAGES/CARPORTS</p> <p>Map No:</p> <p>Sewer Book: Page:</p> <p>Occ Use: M1 PRIVATE GARAGES, CARPORTS, SHEDS</p> <p>Apt/Condo:</p> <p>No. Units:</p> <p>Value: 40,600</p> <p>Fire Zone:</p> <p>Class: 00438 RES GARAGES/CARPORTS ATTACHED/DE</p> <p>Const: XX To Be Determined</p> <p>Sq Feet: 680</p> <p>Stories: 1 Fam. Les 0</p> <p>Comments:</p> <p>Special Conditions:</p> <p>Description of Work: NEW 680 SQ FT DETACHED GARAGE W/OFFICE (GAR 400 SQ FT & OFFICE/BATH 280 SQ FT)</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">Fee Description</th> <th style="text-align: right;">Amt</th> <th style="text-align: right;">Date</th> <th style="text-align: right;">Paid</th> </tr> </thead> <tbody> <tr> <td>Permit Fee</td> <td style="text-align: right;">588.60</td> <td style="text-align: right;">12/21/99</td> <td style="text-align: right;">588.60</td> </tr> <tr> <td>Plan Check Fee</td> <td style="text-align: right;">588.60</td> <td></td> <td></td> </tr> <tr> <td>ENERGY FEE</td> <td style="text-align: right;">110.00</td> <td></td> <td></td> </tr> <tr> <td>SMR</td> <td style="text-align: right;">4.71</td> <td></td> <td></td> </tr> <tr> <td>Total:</td> <td style="text-align: right;">1291.31</td> <td></td> <td style="text-align: right;">588.60</td> </tr> </tbody> </table>	Fee Description	Amt	Date	Paid	Permit Fee	588.60	12/21/99	588.60	Plan Check Fee	588.60			ENERGY FEE	110.00			SMR	4.71			Total:	1291.31		588.60
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PLAN CHECK
 EXPIRATION DATE:
 12/21/99

DEC 199
 PAID #1
 CITY TREASURER
 Redondo Beach, Cal
 By

● **IMPORTANT** ●

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Rec. # 41083
\$ 1,405.50

Developer Fee (School Facilities)

1401 Inglewood Avenue Redondo Beach CA 90278

(310) 379 - 5449 ext. 239

Hours 9 a.m. - 4 p.m.

Hermosa Beach City School District and Redondo Beach Unified School District
of Los Angeles County

White - City Yellow: RBUSD Collector Pink: Districts Gold: Developer

Complete Items 1 through 4
(please type or print)

Please make checks payable to:
RBUSD Developer Fee
Collector
Returned checks will be
assessed a \$25.00 processing fee

Date: 2 / 123 / 100
Month Day Year

✓ 1. Name of applicant: Robert & Annette Serna

✓ 2. Address of project property: 3614 Manhattan Beach Blvd.
Redondo Beach CA 90278
(City, State & Zip Code)

✓ 3. Contact name: Barbara Shelton
(if problem with project)

Phone number: [REDACTED]

✓ 4. Mailing address: [REDACTED]
(City, State & Zip Code)

✓ 5. User category and fee total: (Check the appropriate box and provide sq. ft.)

- A. Residential:
 - single family home(s) sq. ft. _____ x _____ fee = \$ _____
 - duplex sq. ft. _____ x _____ fee = \$ _____
 - condominium(s) sq. ft. _____ x _____ fee = \$ _____
 - additions sq. ft. 937 x 150 fee = \$ 1,405.50
- B. Demo Credit: sq. ft. _____ x _____ \$ _____
- C. Commercial and/or Industrial:
 - Project address: _____
 - sq. ft. _____ x _____ fee = \$ _____

6. In order to process this application a copy of the floor plan showing square footage must be submitted.

7. The above representations as to square footage are true. Developer/Applicant agrees that if it is later determined that such representations are not true, then this certificate shall automatically terminate and the appropriate City shall be notified.

✓ 8. I certify that the information provided in this application is true and correct to the best of my knowledge.
Barbara Shelton applicant
(signature) agent for applicant

(For District use only)

Fee calculation for residential or commercial/
industrial

$$\frac{937}{\text{total sq. ft.}} \times \frac{\$150}{\text{fee per District}} = \$1,405.50 \text{ Developer Fee (in full)}$$

This certifies that the above named Developer/Applicant of the referenced project has satisfied the requirements of the RBUSD Districts in compliance with Government Code Section 53080 and 85995.

Developer Fee (School Facility) Seal

David Smith
Feb. 23, 2000

Fee Payment Received: \$ 1,405.50
Receipt # 41083
Paid by: Check # 1336

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California }
County of Los Angeles } ss.

On 12/9/99, before me, Paul W Pederson, Notary Public
Date Name and Title of Officer (e.g., "Jane Doe, Notary Public")
personally appeared Robert J. Serna & Annette M. Serna
Name(s) of Signer(s)

- personally known to me
- proved to me on the basis of satisfactory evidence



to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

[Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Covenant

Document Date: 12/9/99 Number of Pages: 1

Signer(s) Other Than Named Above: NONE

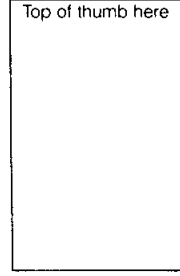
Capacity(ies) Claimed by Signer

Signer's Name: Robert J Serna, Annette M. Serna

- Individual
- Corporate Officer -- Title(s): _____
- Partner -- Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: _____

Signer Is Representing: Self

RIGHT THUMBPRINT OF SIGNER



99-2291510

WHEN RECORDED MAIL TO:

Planning Department
City of Redondo Beach
415 Diamond Street
Redondo Beach, California 90277

FEE \$13	E
DAF \$2	
C-20	3

COVENANT

WHEREAS, the property located at 2614 Manhattan Beach Boulevard (Lot 2, Block 2, Tract No. 11336), Redondo Beach, County of Los Angeles, is zoned Single-Family Residential (R-1); and only one dwelling unit may be permitted to exist on the property; and

WHEREAS, the building plans approved by the City of Redondo Beach are for conversion of an existing single family garage to living area and construction of a new accessory over-sized 2-car garage to include an office and bathroom; and

WHEREAS, the new accessory garage is designed in such a manner that it could conceivably be converted into an additional dwelling unit;

NOW, THEREFORE, the owner(s) of 2614 Manhattan Beach Boulevard, Redondo Beach do(es) hereby covenant with said City of Redondo Beach that the subject property shall not, at any time, be utilized as more than one dwelling unit, nor shall any portion of the premises be rented for such purposes, and said property shall at all times be used in compliance with the Zoning Ordinance of the City of Redondo Beach, and all other laws pertaining to said property as the same now exists or may be amended in the future.

THE COVENANT contained herein shall run with the land and shall be binding on all persons claiming thereunder.

DATED THIS 9th DAY OF December, 1999.

Robert J. and Annette M. Serna

Robert J. Serna

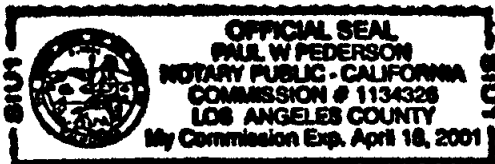
Annette M. Serna
Signature(s)

STATE OF CALIFORNIA)
) ss
COUNTY OF LOS ANGELES)

On this 9th day of December, 1999 before me the undersigned, a NOTARY PUBLIC in and for the County of Los Angeles, State of California, personally appeared Robert J. Serna / Annette M. Serna known to me to be the person(s) who executed the above instrument and acknowledged to me that they executed the same.

WITNESS my hand and official seal the day and year in this Certificate above-written.

Paul W Pederson
Notary Public



MANDATORY MEASURES CHECKLIST: RESIDENTIAL (Page 1 of 2) MF-1R

Note: Lowrise residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. Items marked with an asterisk (*) may be superseded by more stringent compliance requirements listed on the Certificate of Compliance. When this checklist is incorporated into the permit documents, the features noted shall be considered by all parties as minimum component performance specifications for the mandatory measures whether they are shown elsewhere in the documents or on this checklist only.

Instructions: Check or initial applicable boxes when completed or enter N/A if not applicable.

DESCRIPTION	DESIGNER	ENFORCEMENT
	/	
Building Envelope Measures:		
* §150(a): Minimum R-19 ceiling insulation.	BS	
§150(b): Loose fill insulation manufacturer's labeled R-Value.	BS	
* §150(c): Minimum R-13 wall insulation in wood framed walls or equivalent U-value in metal frame walls (does not apply to exterior mass walls).	BS	
* §150(d): Minimum R-13 raised floor insulation in framed floors.	BS	
§150(l) : Slab edge insulation - water absorption rate no greater than 0.3%, water vapor transmission rate no greater than 2.0 perm/inch.	BS	
§118: Insulation specified or installed meets insulation quality standards. Indicate type and form.	BS	
§116-17: Fenestration Products, Exterior Doors, and Infiltration/Exfiltration Controls 1. Doors and windows between conditioned and unconditioned spaces designed to limit air leakage. 2. Fenestration products (except field-fabricated) have label with certified U-value, certified Solar Heat Gain Coefficient (SHGC), and infiltration certification. 3. Exterior doors and windows weatherstripped; all joints and penetrations caulked and sealed.	BS	
§150(g): Vapor barriers mandatory in Climate Zones 14 and 16 only.	NA	
§150(f): Special infiltration barrier installed to comply with § 151 meets Commission quality standards.	NA	
§150(e): Installation of Fireplaces, Decorative Gas Appliances and Gas Logs. 1. Masonry and factory-built fireplaces have: a. Closeable metal or glass door b. Outside air intake with damper and control c. Flue damper and control 2. No continuous burning gas pilot lights allowed.	NA	
Space Conditioning, Water Heating and Plumbing System Measures:		
§110-§113: HVAC equipment, water heaters, showerheads and faucets certified by the Commission.	BS	
§150(h): Heating and/or cooling loads calculated in accordance with ASHRAE, SMACNA or ACCA.	BS	
§150(i): Setback thermostat on all applicable heating and/or cooling systems.	BS	
§150(j): Pipe and tank insulation 1. Storage gas water heaters rated with an Energy Factor less than 0.58 must be externally wrapped with insulation having an installed thermal resistance of R-12 or greater. 2. First 5 feet of pipes closest to water heater tank, non-recirculating systems, insulated (R-4 or greater) 3. Back-up tanks for solar system, unfired storage tanks, or other indirect hot water tanks have R-12 external insulation or R-16 combined internal/external insulation. 4. All buried or exposed piping insulated in recirculating sections of hot water systems. 5. Cooling system piping below 55° F insulated. 6. Piping insulated between heating source and indirect hot water tank.	BS	

MANDATORY MEASURES CHECKLIST: RESIDENTIAL (Page 2 of 2) MF-1R

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DESCRIPTION	DESIGNER	ENFORCEMENT
Space Conditioning, Water Heating and Plumbing System Measures: (continued)		
<p>* §150(m): Ducts and Fans</p> <p>1. All ducts and plenums constructed, installed, insulated, fastened, and sealed to comply with the ICBO 1997 UMC sections 601 and 603; ducts insulated to a minimum installed R-4.2 or ducts enclosed entirely within conditioned space. Openings shall be sealed with mastic, tape, aerosol sealant or other duct closure system that meets the applicable requirements of UL181, UL181A, or UL181B and other applicable specified tests for longevity given in §150(m)..</p> <p>2. Exhaust fan systems have back draft or automatic dampers.</p> <p>3. Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers.</p>	BB	
<p>§114: Pool and Spa Heating Systems and Equipment.</p> <p>1. System is certified with 78% thermal efficiency, on-off switch, weatherproof operating instructions, no electric resistance heating and no pilot light.</p> <p>2. System is installed with:</p> <p style="margin-left: 20px;">a. At least 36" of pipe between filter and heater for future solar heating.</p> <p style="margin-left: 20px;">b. Cover for outdoor pools or outdoor spas.</p> <p>3. Pool system has directional inlets and a circulation pump time switch.</p>	NA	
<p>§115: Gas fired central furnaces, pool heaters, spa heaters or household cooking appliances have no continuously burning pilot light. (Exception: Non-electrical cooking appliances with pilot < 150 Btu/hr)</p>	BB	
Lighting Measures:		
<p>§150(k)1.: Luminaires for general lighting in kitchens shall have lamps with an efficacy of 40 lumens/watt or greater for general lighting in kitchens. This general lighting shall be controlled by a switch on a readily accessible lighting control panel at an entrance to the kitchen.</p>	BB	
<p>§150(k)2.: Rooms with a shower or bathtub must either have at least one luminaire with lamps with an efficacy of 40 lumens/watt or greater switched at the entrance to the room or one of the alternatives to this requirement allowed in §150(k)2.; and recessed ceiling fixtures are IC (insulation cover) approved.</p>	BB	

MANDATORY MEASURES CHECKLIST: RESIDENTIAL (Page 1 of 2) MF-1R

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RECORDING REQUEST BY
WHEN RECORDED MAIL TO

99-2291510

NAME Robert Serna
MAILING ADDRESS 2614 Manhattan Bch. Blvd.
CITY, STATE Redondo Beach CA
ZIP CODE 902..

RECORDED/FILED IN OFFICIAL RECORDS
RECORDER'S OFFICE
LOS ANGELES COUNTY
CALIFORNIA
1:01 PM DEC 13 1999

SPACE ABOVE THIS LINE RESERVED FOR RECORDER S USE

TITLE(S)

Covenant

FEE CODE	N/A	N/A	0	20	9_	19	04	19
REC. FEE	NO. PAGES	NO TITLES	PCOR	D.A. FEE	SURVEY MON.	NOTIF.	INVOL LIEN	NON CONF.

EXAMINER S INT.

Assessor s Identification Number (AIN)
To Be Completed By Examiner Or Title Company In Black Ink

Number of Parcels Shown

2614 MANHATTAN BCH

To Al Russell,

1-2-01

As per our conversations the past two weeks about this letter we no longer want to delay this project any further. You are no longer our contractor as of completion of the first phase of our project which has been final and paid in full.

Again we are requesting you to be released from plans and permits with the city of Redondo Beach for the second phase of our construction. No refunds or fees due, Please reply within five business day upon receipt of this letter with your signature according to the State Contractors Board.

Thank You,

Annette M. Serna

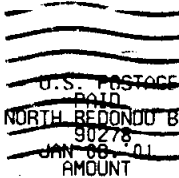
Annette M. Serna
2614 Manhattan Beach Blvd.
Redondo Beach, CA, 90278

*Al Russell Const.
15139 Fonthill Ave.
Squandale, Ca. 90260*

CERTIFIED MAIL



7000 0520 0022 7253 0634



\$3.74
00065500-07

RETURN RECEIPT
REQUESTED

*Mr. & Mrs. Robert Serna
2614 Manhattan Beach Blvd.
Redondo Beach, Ca. 90278*

*Al Russell / CONST
REMOVED FROM CONTRACTOR
OR TO CHANGE
CONTRACTOR*

*SL
1/10/01*

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01 JAN 10 AM 10:51

RECEIVED
AND SAFETY DEPARTMENT
REDONDO BEACH BUILDING



CITY OF REDONDO BEACH
 BUILDING AND SAFETY DIVISION
 Tel (310) 318-0636 fax (310) 374-4828
 PLAN CHECK CORRECTION LIST

JOB ADDRESS: 2614 Manhattan Beach Blvd.
 PLANCHECK No: B998707
 DATE: January 18, 2000

Project Description: New Detached Garage, Room Addition and Convert Exist. Attached Garage.

The approval of plans and specifications does not permit violation of any section of the Building Code or other City Ordinance, State or Federal law.

In order to facilitate approval of your plans; please respond to all corrections by indicating on the right or left-hand side of each comment where the corrections are located.

- 1) ~~Engineering and~~ Planning Department Approval is required.
- 2) Provide site drainage plans. Show rainwater flowlines.
- 3) Add note on garage floor plan that the clear headroom with garage door in open position shall be min. 7'-4".
- 4) Please include the enclosed Building Department notes on plan.
- 5) Please add the following notes on plans:
 - a) Submit 3 sets of fire sprinkler drawings under separate permit.
 - b) Add notes on foundation plan:
 - i) Foundation excavation and slab subgrade shall be inspected and certified by a qualified engineer and submitted to the Building and Safety Division prior to inspection by City Inspector.
- 6) Submit calculations for T-24 Energy Conservation Regulations or comply with package D (enclosed). Include on plan the completely signed certificate of compliance.
- 7) Provide 5/8" dia. x 12" long anchor bolts with minimum 2 x 2 x 3/16" thk plate washer.
- 8) Floor area of new addition is 637 sq. ft.
- 9) Provide the following drawings:
 - a) Roof framing plan.
 - b) Foundation plan
 - c) Framing and foundation details.
 - d) Show on site plan if there is any sidewalk or cut in street. curb cut etc.
 - e) Show size of headers including garage header on plan.
 - f) Wall between office and garage shall be of 1-hour construction and door opening to be at least 20min. fire rated.
- 10) Plans as submitted are not complete, Expect additional corrections.
- 11) Please refer to check set of plans and calculations marked in red for additional comments.
 Return check set with 2 corrected sets for approval.

Checked by: Olan Guirey- Senior Plan Check Engineer
 Page 1 of 3

Barbara Shelton
 316-6148

ITEMS REMAINING
 ENGINEERING MARK-UPS
 02/02/00

12) Add the following notes on plan:

- a) All work and materials shall comply with the 1997 UBC, UMC, UPC, and 1996 NEC and 1999 T-24 Energy Conservation and Disabled Access requirements.
- b) No changes shall be made on plans whether interior or exterior of the structure without the written approval of the Building and Planning Departments.
- c) All required safety glazing per section 2406 shall have permanent labels.
 - (1) Glass in doors and within 24 inches from door side edges shall be tempered or safety glass.
 - (2) Glass in windows within 60 inches above shower/tub drain shall be tempered or safety glass.
 - (3) Glass within 60 inches above stairs and landings shall be tempered or safety glass.
- d) All property lines, easements, proposed and existing structures, overhead powerlines, abandoned oil wells, cesspools, septic tanks and other substructures or superstructures are shown on the plans.
- e) There shall be no construction activity between the hours of 6 p.m. and 7 a.m. Monday through Friday, and between 5 p.m. and 9 a.m. on Saturdays. No construction activity shall be permitted on Sundays, Memorial days, Fourth of July, Labor day, Thanksgiving day, Christmas day, Martin Luther day, and New Years day.
- f) The building shall be fully fire sprinklered per Municipal code section 9-1.05 when the new plus remodeled floor areas exceed the following: 1) 750 square feet and 2) 50% of the existing building floor area. When required, submit 3 sets of fire sprinkler plans under separate permit.
- g) Roof covering shall have a minimum of class "B" fire rating when any part of the roof is within 10'-0" from the property line.
- h) Roof gutters are required to prevent rainwater from spilling over the property line into the adjoining property. Rainwater/surface water shall be conveyed through the curb via catch basin and 3" dia. maximum drainpipes. Provide hydrology to size sump pumps, etc. if the site slopes down towards the rear or side property lines.
- i) Garage door clear opening, including hardware shall be 7'-4" high min., 18'-0" wide by 19'-0" deep clear inside dimensions. Garage door springs/openers shall be State Approved and with Manufacturer's label.
- j) Welding of rebars is not advisable. But if rebars must be welded, use rebars conforming to ASTM A706. Comply with the requirements of the UBC STD. 19-2. If rebar used is ASTM A615, welding procedure shall be submitted to the Building Division for approval prior to any welding work. A Deputy Inspector is required.
- k) All deputy inspectors and Fabrication shops shall be L.A. City or ICBO certified and must first be approved by the Building Division Prior to start of any inspection or fabrication work. The fabricator shall submit a certificate of compliance that the work was performed in accordance with the approved plans and specifications to the building official and to the engineer or architect of record. Special inspection is required for any field welds of structural members and welds performed in a non-certified shop.
- l) The approval of plans, specifications and calculations does not permit the violation of any section of the Uniform Building Codes, or other City Ordinances, State or Federal law.

Best Management Practices for Construction Activities

1. All persons working at the site should obtain, read and understand the Best Management Practices pamphlet for the type(s) of construction being done.
2. Stockpiles of soil, demolition debris, cement, sand; topsoil, etc. must be covered with waterproof materials or bermed to prevent being washed off site.
3. Fuels, oils, paints, solvents, and other liquid materials must be kept inside bermed areas. Spills must not be washed to the street.
4. Waste concrete must not be washed into street, storm drain catch basins, or public right-of-way. All dust and slurry from concrete cutting must be removed using a wet-dry vacuum or equivalent.
5. Trash and other construction solid wastes must be placed in a covered trash receptacle.
6. Eroded soil from disturbed slopes must be contained using berms, silt fences, setting basins, or good erosion management practices such as reseeding.
7. Wash water from cleaning construction vehicles and equipment must be kept on-site within a containment area.

ADD NOTE ON PLAN:

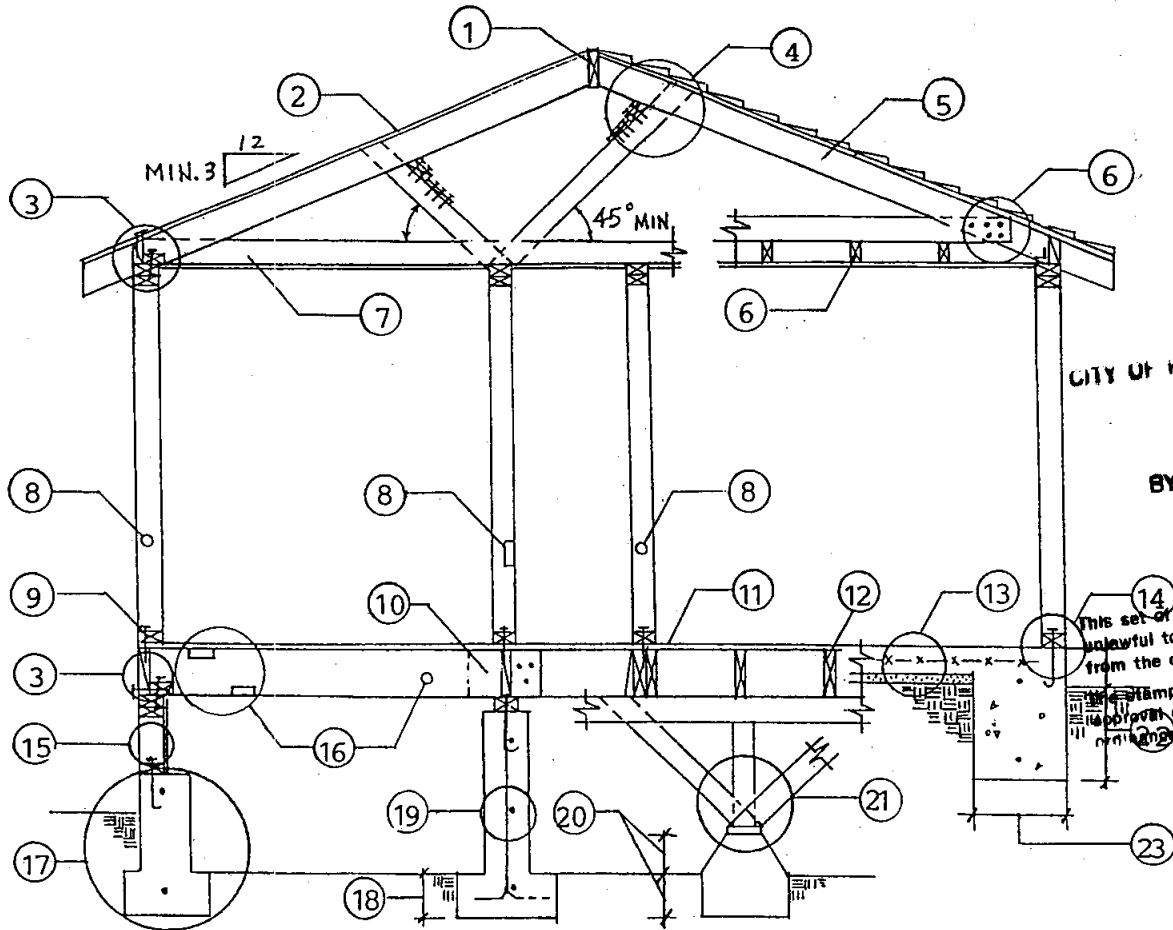
TABLE 15-B-1—ASPHALT SHINGLE APPLICATION

ASPHALT SHINGLES		
Roof Slope	Not Permitted Below 2 Units Vertical in 12 Units Horizontal (16.7% Slope)	
	2 Units Vertical in 12 Units Horizontal (16.7% Slope) to Less than 4 Units Vertical in 12 Units Horizontal (33.3% Slope)	4 Units Vertical in 12 Units Horizontal (33.3% Slope) and Over
1. Deck requirement	Asphalt shingles shall be fastened to solidly sheathed roofs. Sheathing shall conform to Sections 2312.2 and 2320.12.9.	
2. Underlayment Temperate climate	Asphalt strip shingles may be installed on slopes as low as 2 units vertical in 12 units horizontal (16.7% slope), provided the shingles are approved self-sealing or are hand sealed and are installed with an underlayment consisting of two layers of nonperforated Type 15 felt applied shingle fashion. Starting with an 18-inch-wide (457 mm) sheet and a 36-inch-wide (914 mm) sheet over it at the eaves, each subsequent sheet shall be lapped 19 inches (483 mm) horizontally.	One layer nonperforated Type 15 felt lapped 2 inches (51 mm) horizontally and 4 inches (102 mm) vertically to shed water.
Severe climate: In areas subject to wind-driven snow or roof ice buildup	Same as for temperate climate, and the two layers shall be solid cemented together with approved cementing material between the plies extending from the eave up the roof to a line 24 inches (610 mm) inside the exterior wall line of the building. As an alternative to the two layers of cemented Type 15 felt, an approved self-adhering, polymer modified, bituminous sheet may be used.	Same as for temperate climate, except that one layer No. 40 coated roofing or coated glass base shall be applied from the eaves to a line 12 inches (305 mm) inside the exterior wall line with all laps cemented together. As an alternative to the layer of No. 40 felt, a self-adhering, polymer modified, bituminous sheet may be used.
3. Attachment Combined systems, type of fasteners	Corrosion-resistant nails, minimum 12-gage ³ / ₈ -inch (9.5 mm) head, or approved corrosion-resistant staples, minimum 16-gage ¹⁵ / ₁₆ -inch (23.8 mm) crown width. Fasteners shall comply with the requirements of Chapter 23, Division III, Part III. Fasteners shall be long enough to penetrate into the sheathing ³ / ₄ inch (19 mm) or through the thickness of the sheathing, whichever is less.	
No. of fasteners ¹	4 per 36-inch to 40-inch (914 mm to 1016 mm) strip 2 per 9-inch to 18-inch (229 mm to 457 mm) shingle	
Exposure Field of roof Hips and ridges	Per manufacturer's instructions included with packages of shingles. Hip and ridge weather exposures shall not exceed those permitted for the field of the roof.	
Method	Per manufacturer's instructions included with packages of shingles.	
4. Flashing Valleys Other flashing	Per Section 1508.2 Per Section 1509	

¹Figures shown are for normal application. For special conditions, such as mansard application and where roofs are in special wind regions, shingles shall be attached per the manufacturer's instructions.



Conventional Construction for Wood Frame Buildings



CITY OF REDONDO BEACH
APP
 FOR
 SUB.
 BY _____
 FEE
 This set of plans and specifications is not to be used without the approval of the department of Building. No stamping of this plan at any time shall constitute approval of the violations of any ordinance or State Law.

Notes:

1. min. 1" nominal thickness of ridge board, not less in depth than the end of the roof rafter
2. 1/2" thick plywood roof sheathing, CDX, panel index # 24/0 or 32/16, with 8d @ 6", 6", 12" o/c (common nail)
3. 2x solid blocking and shear transfer- 2x shear block or approved framing anchor at 2-2x4 top plates
4. 2" x 4" strut, maximum 8 feet unbraced length and purlin (same size as roof rafter)
5. roof rafters- see table for sizing of roof rafter (on the back side)
6. min. 2" x 6" roof rafter tie @ 48" o/c with 5-16d face nail at each end where ceiling joists perpendicular to rafters.
7. ceiling joists- see table for sizing of ceiling joist (on the back side) & rafter tie with 3-16d face nail at each end
8. notches and holes in studs- see diagrams for detail (on the back side)
9. 2x sole plate with 16d @ 16" o/c (table 23-A-I-Q)
10. 4" min. overlap floor joists with 3-16d face nail
11. 5/8" thick plywood sheathing, T & G, panel index no. 32/16 with 10d @ 6", 6", 12" o/c (common nail)
12. floor joists (min. 18" clearance above grade)- see table for sizing of floor joist (on the back side)
13. 3-1/2" thick concrete slab with wire welded mesh, #6 x 6- 10 x 10 gage or #3 rebar at 24" o/c over 2" sand and 6 mil. visqueen with 2" sand at base (optional)
14. 2x sill plate (pressure treated) and 5/8" x 10" anchor bolt embedded min. 7" in footing and spacing @ max. 6' o/c starting within 12" of sill end (Provide 2"x2"x3/16" steel plate washer on each bolt.)
15. 2" x 4" crippled @ 16" o/c and wall bracing- 3/8" thick plywood sheathing with 8d @ 6", 12" o/c (common nail)
16. notches and holes in floor joists- see diagrams for details (on the back side)
17. conventional foundation with #4 rebar at top and bottom of footing- see foundation table (on the back side)
18. thickness of footing- see foundation table
19. #4 vertical and horizontal rebar @ max. 24" o/c in foundation wall if the height of foundation wall exceeds 24" in height above the finished grade
20. concrete pier- min. 6" into undisturbed natural grade and 6" above grade to top of pier
21. 4" x 4" post with 1" x 4" bracing on both sides of post
22. depth of footing below undisturbed ground surface- see foundation table
23. width of footing- see foundation table

TABLE 23-I-Q--NAILING SCHEDULE

CONNECTION	NAILING ¹
1. Joist to sill or girder, toe nail	3-8d
2. Bridging to joist, toenail each end	2-8d
3. 1"x6" subfloor or less to each joist, face nail	2-8d
4. wider than 1"x6" subfloor to each joist, face nail	2-8d
5. 2" subfloor to joist or girder, blind and face nail	2-16d
6. Sole plate to joist or blocking, typical face nail	16 d at 16" o/c
Sole plate to joist or blocking, at braced wall panel	3-16d per 16"
7. Top plate to stud, end nail	2-16d
8. Stud to sole plate	4-8d, toe nail or 2-16d, end nail
9. Double studs, face nail	16d at 24" o/c
10. Doubled top plates, typical face nail	16d at 16" o/c
Double top plates, lap splice	8-16d
11. Blocking between joists or rafters to top plates, toe nail	3-8d
12. Rim joist to top plate, toe nail	8d at 6" o/c
13. Top plates, laps and intersection, face nail	2-16d
14. Continuous header, two pieces	16d at 16" o/c
15. Ceiling joists to plate, toenail	3-8d
16. Continuous header to stud, toenail	4-8d
17. Ceiling joists, laps over partitios face nail	3-16d
18. Ceiling joists to parallel rafters, face nail	3-16d
19. Rafter to plate, toenail	3-8d
20. 1" brace to each stud and plate, face nail	2-8d
21. 1"x8" sheathing or less to each bearing, face nail	2-8d
22. Wider than 1"x8" sheathing to each bearing, face nail	3-8d
23. Build-up corner studs	16d at 24" o/c
24. Build-up girder and beams	20d at 32" o/c at top and bottom and staggered 2-20d at ends and at each splice
25. 2" planks	2-16d at each bearing
26. Panel siding (to framing):	
1/2" or less	6d ²
5/8"	8d ²
27. Interior paneling	
1/4"	4d ³
3/8"	6d ⁴

¹ Common or box nails may be used except where otherwise stated.
² Corrosion-resistant siding or casing nails conforming to the requirements of section 2325.1.
³ Panel supports at 16 inches. Casing or finish nails spaced 6 inches on panel edges, 12 inches at intermediate supports.
⁴ Panel supports at 24 inches. Casing or finish nails spaced 6 inches on panel edges, 12 inches at intermediate supports.

ALLOWABLE SPANS FOR RAFTERS

Joist Size	Species: Douglas Fir-Larch	
	Grade: No. 2 Slope over 3:12 Light Roofing	Grade: No. 2 Slope over 3:12 Heavy Roofing
2 x 4	Spacing (inches)	Not Supporting Ceiling
	12"	9'-10"
2 x 6	16"	8'-6"
	24"	7'-10"
2 x 8	12"	13'-6"
	16"	14'-1"
2 x 10	12"	20'-5"
	16"	18'-2"
2 x 12	12"	25'-8"
	16"	22'-3"
2 x 14	12"	27'-3"
	16"	23'-0"
2 x 16	12"	28'-0"
	16"	24'-0"

ALLOWABLE SPANS FOR CEILING JOISTS

Joist Size	Species: Douglas Fir-Larch	
	Grade: No. 1 E = 1.7 x 10 ⁶ psi	Grade: No. 2 E = 1.6 x 10 ⁶ psi
2 x 4	Deflection: L/240	Gyp. Bd. Ceiling
	12"	12'-5"
2 x 6	16"	11'-6"
	24"	10'-1"
2 x 8	12"	19'-6"
	16"	17'-8"
2 x 10	12"	25'-8"
	16"	23'-0"
2 x 12	12"	28'-0"
	16"	24'-0"

ALLOWABLE SPANS FOR FLOOR JOISTS

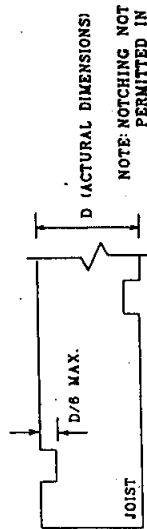
Joist Size	Species: Douglas Fir-Larch	
	Grade: No. 1 E = 1.7 x 10 ⁶ psi	Grade: No. 2 E = 1.6 x 10 ⁶ psi
2 x 6	Deflection: L/360	Gyp. Bd. Ceiling
	12"	10'-9"
2 x 8	16"	9'-9"
	24"	8'-2"
2 x 10	12"	14'-2"
	16"	12'-7"
2 x 12	12"	17'-9"
	16"	15'-5"
2 x 14	12"	20'-7"
	16"	17'-10"
2 x 16	12"	22'-3"
	16"	19'-7"
2 x 18	12"	24'-0"
	16"	21'-0"

ALLOWABLE SPANS FOR FLOOR GIRDERS

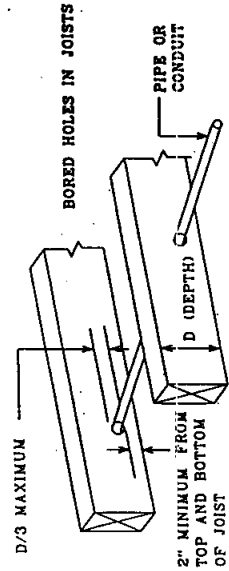
Size of Girder	Species: Douglas Fir-Larch	
	Spacing of Girder	Depth of Footing
4 x 6	6'	6"
	8'	5"
4 x 8	6'	8"
	8'	6"

FOUNDATIONS FOR STUD BEARING WALLS

Number of Floors Supported by The Foundation	Thickness of Foundation Wall	Width of Footing	Thickness of Footing	Depth of Footing
1	6"	12"	6"	12"
2	8"	15"	7"	18"
3	10"	18"	8"	24"

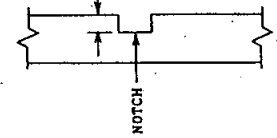


CUTTING AND NOTCHING LIMITATIONS--FLOOR JOISTS

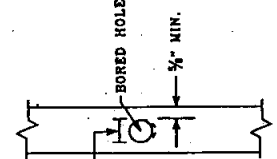


NOTCHING AND BORING LIMITATIONS--FLOOR JOISTS

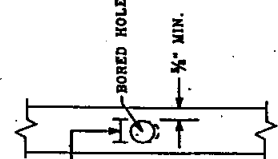
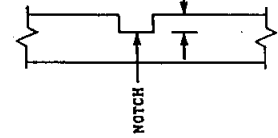
CUTTING AND NOTCHING



BORED HOLES



40% ALLOWED NONBEARING PARTITIONS

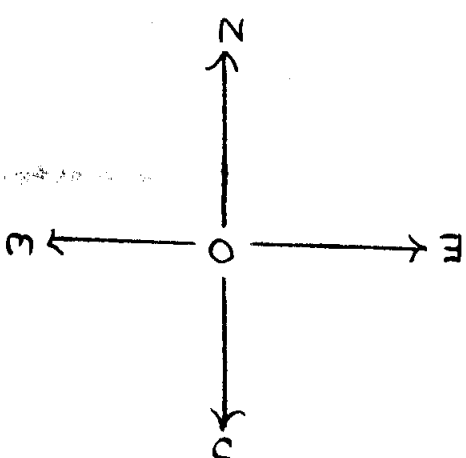


25% ALLOWED EXTERIOR WALLS AND BEARING PARTITIONS

60% ALLOWED ANY NONBEARING WALL OR EACH BORED STUD. DOUBLED BORED HOLES NOT PERMITTED IN MORE THAN TWO SUCCESSIVE DOUBLED STUDS

MAXIMUM ALLOWED NOTCHING AND DRILLING FOR NORMAL CONSTRUCTION WITH 2 BY 4 STUD

Manhattan Beach Blvd.
Manhattan Beach



1" = 10'

Submit Fire Sprinkler Plans under separate permit

Addition 637 S.F.
model 227 S.F.
964 S.F.

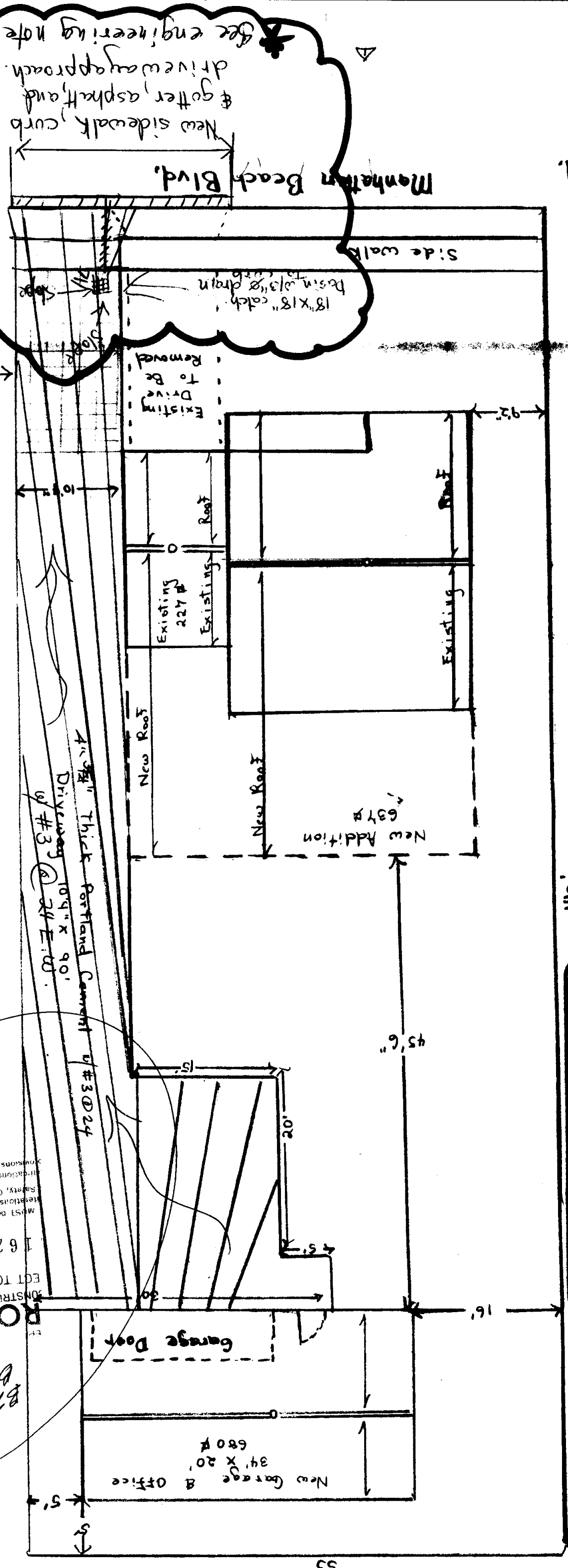
.061

REVISION

CITY OF REDONDO BEACH
CALIFORNIA

DEPARTMENT OF ENGINEERING AND BUILDING SERVICES

BY: James Hill DATE: 2/16/00
42/42/1000/55



250 #
Stamped
Concret

18" x 18" catch
basin w/ 3" drain

Existing
To Be
Drive
Removed

Existing
Roof

Existing
224 sq ft

Existing
224 sq ft

New Roof

New Addition
637 sq ft

4" Thick Portland Cement w/ #3 @ 24" O.C.
Driveway 10'4" x 9'0"
w/ #3 @ 24" O.C.

B Roads 709
B Roads 710
5/12/00

ROVED

CONSTRUCTION
ECT TO FIELD INSPECTION
1 6 2000

MUST be kept on the job at all times and
relations or same without written permis
Safety, City of Redondo Beach
divisions of any City or Redondo Beach

APPROVED BY THE
PLANNING DEPARTMENT ON
2/17/00

ASSOCIATE PLANNER
John W. [Signature]

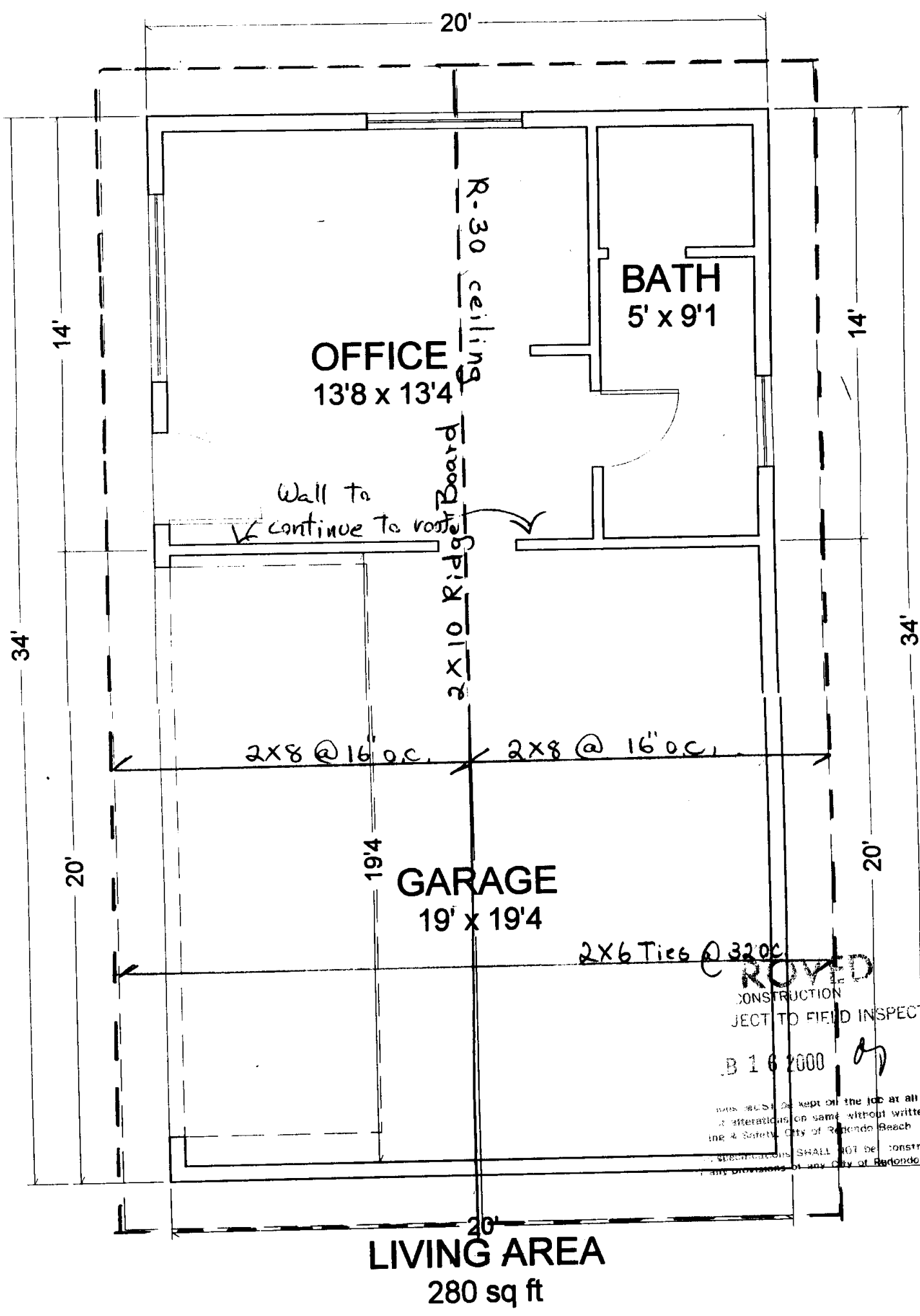
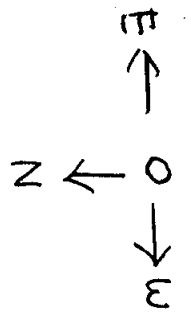
COVENANT ATTACHED

B99870

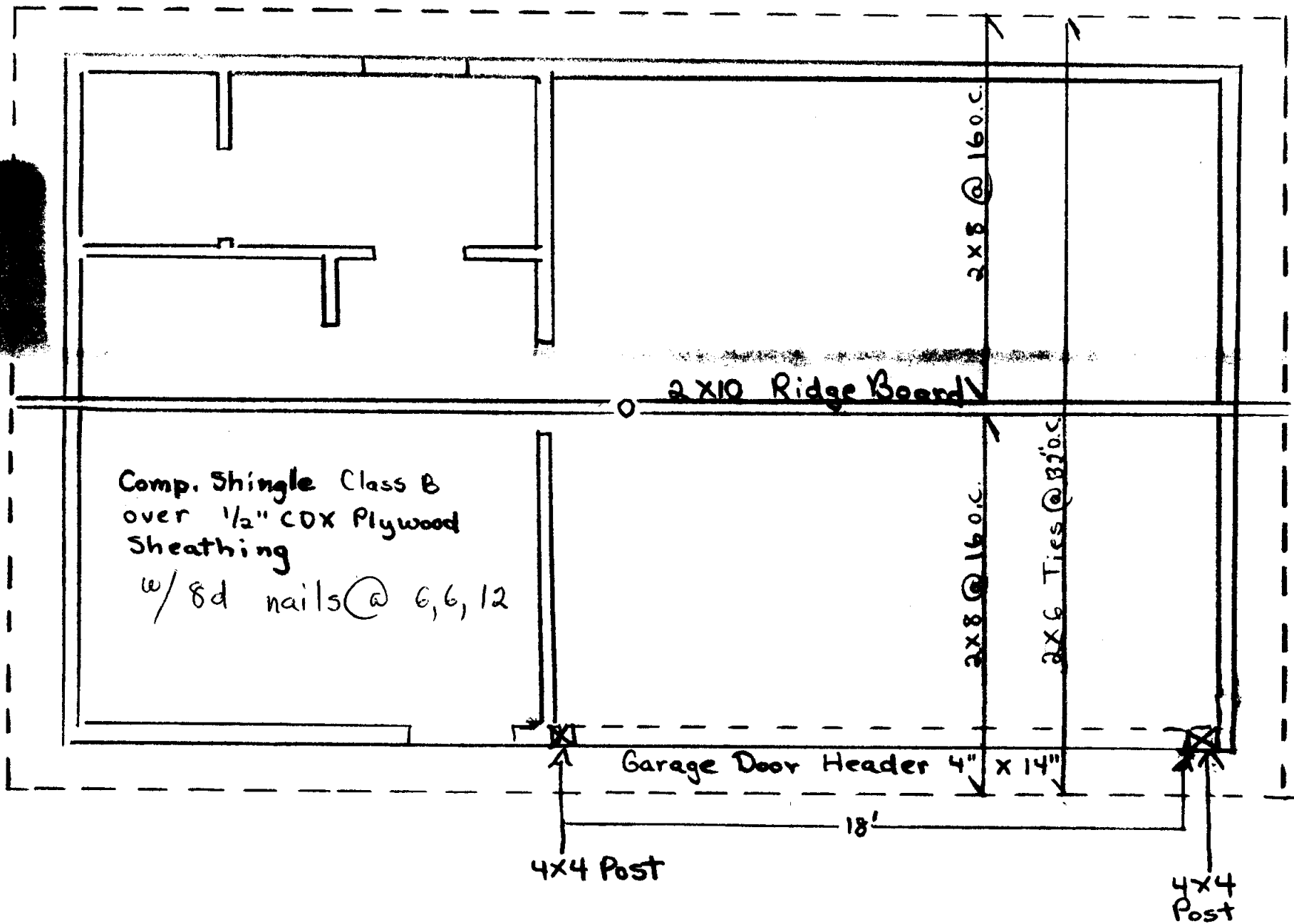
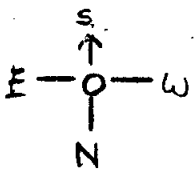
* See engineering note pg 12 pg 1
New sidewalk, curb
& gutter, asphalt, and
driveway approach.

Serna
2614 Manhattan Beach Blvd.

Roof Framing Plan



ROYLO
CONSTRUCTION
SUBJECT TO FIELD INSPECTION
B 16 2000
This plan shall be kept on the job at all times and all alterations on same without written permission of the City of Redondo Beach
These drawings SHALL NOT be construed as in compliance with any provisions of any City of Redondo Beach



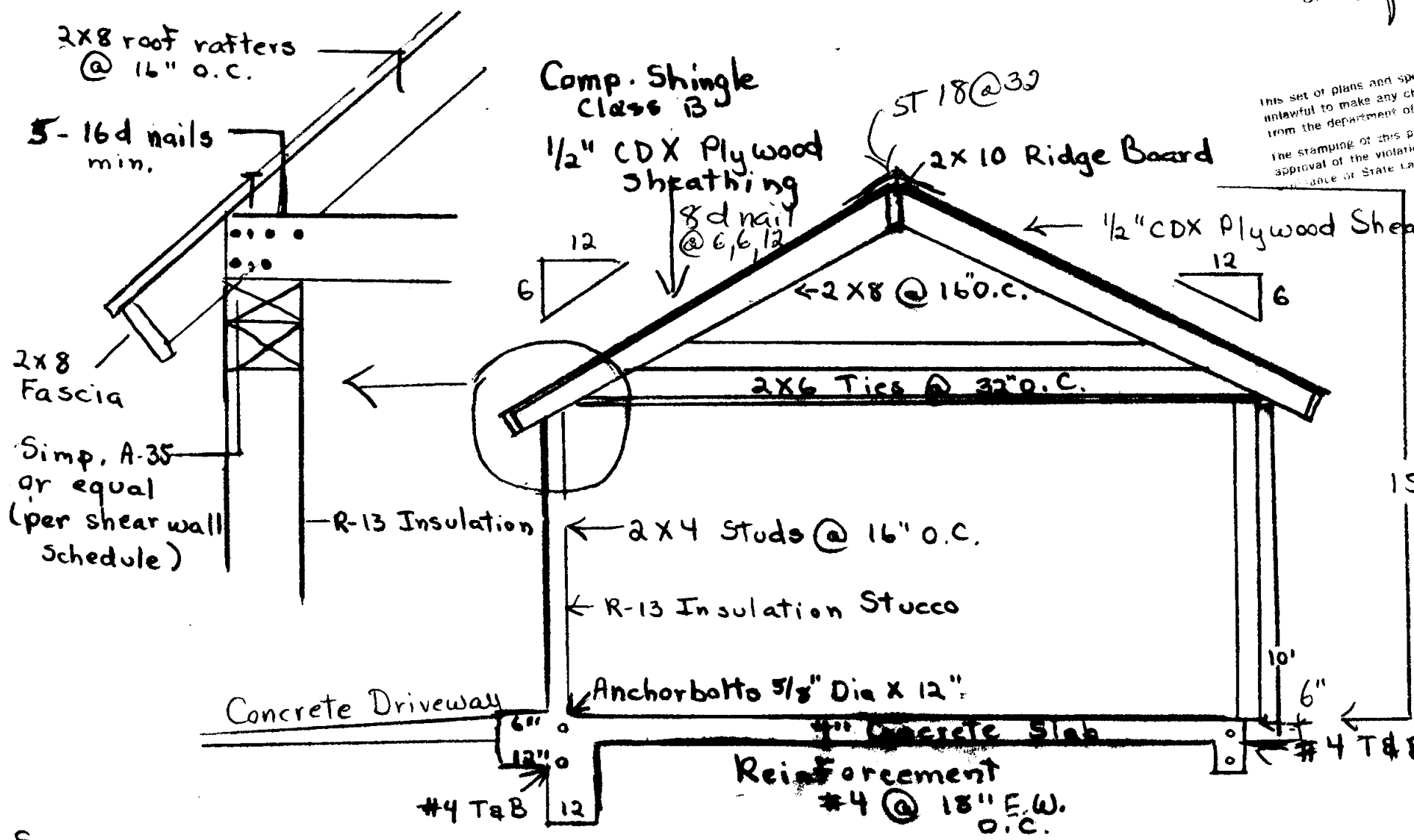
Roof Plan
Scale: 1/4" = 1'

Garage

CITY OF REDONDA BEACH
AP

BY

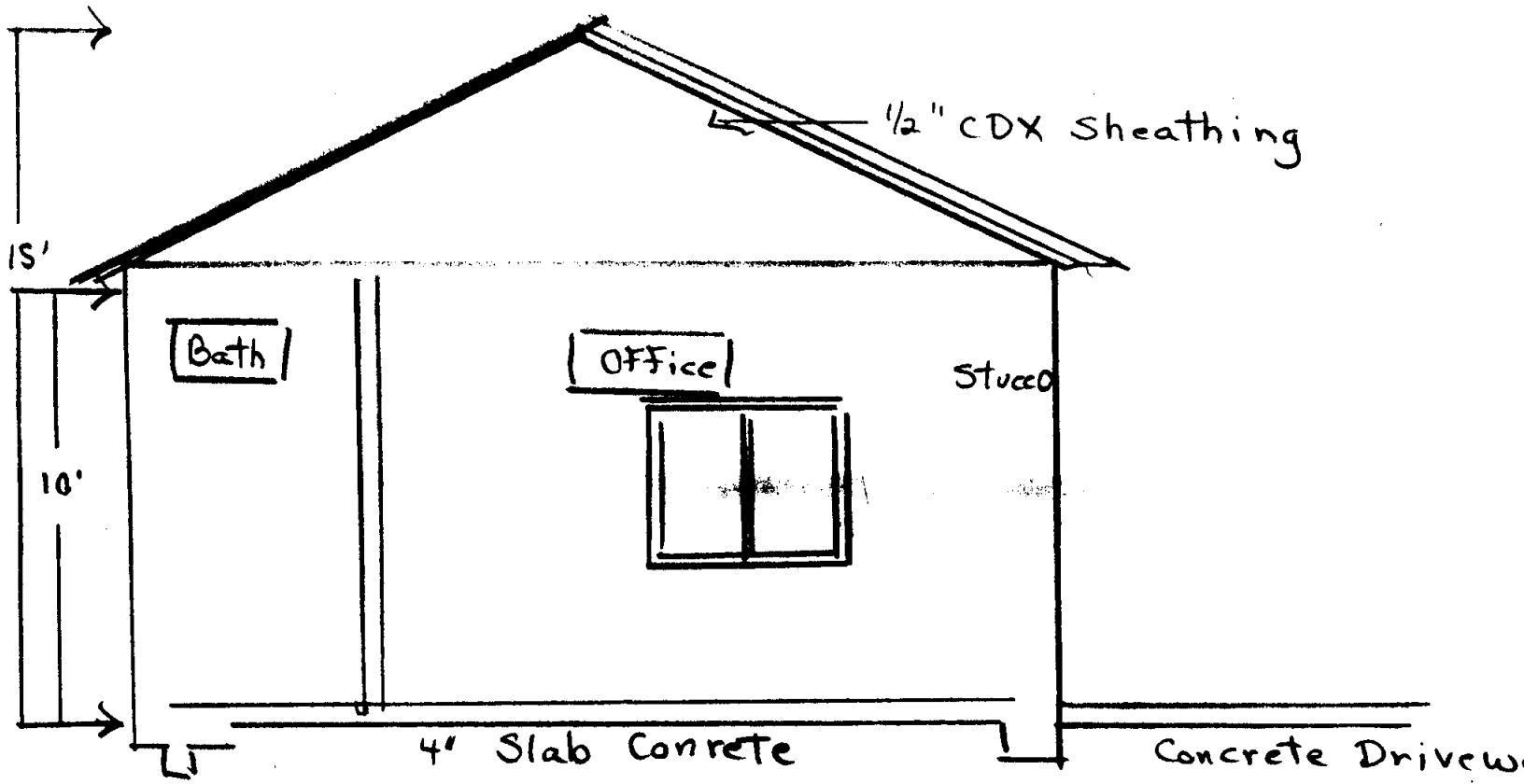
This set of plans and specifications is unlawful to make any change from the department of building without the stamping of this plan approval of the violation of the State Law.



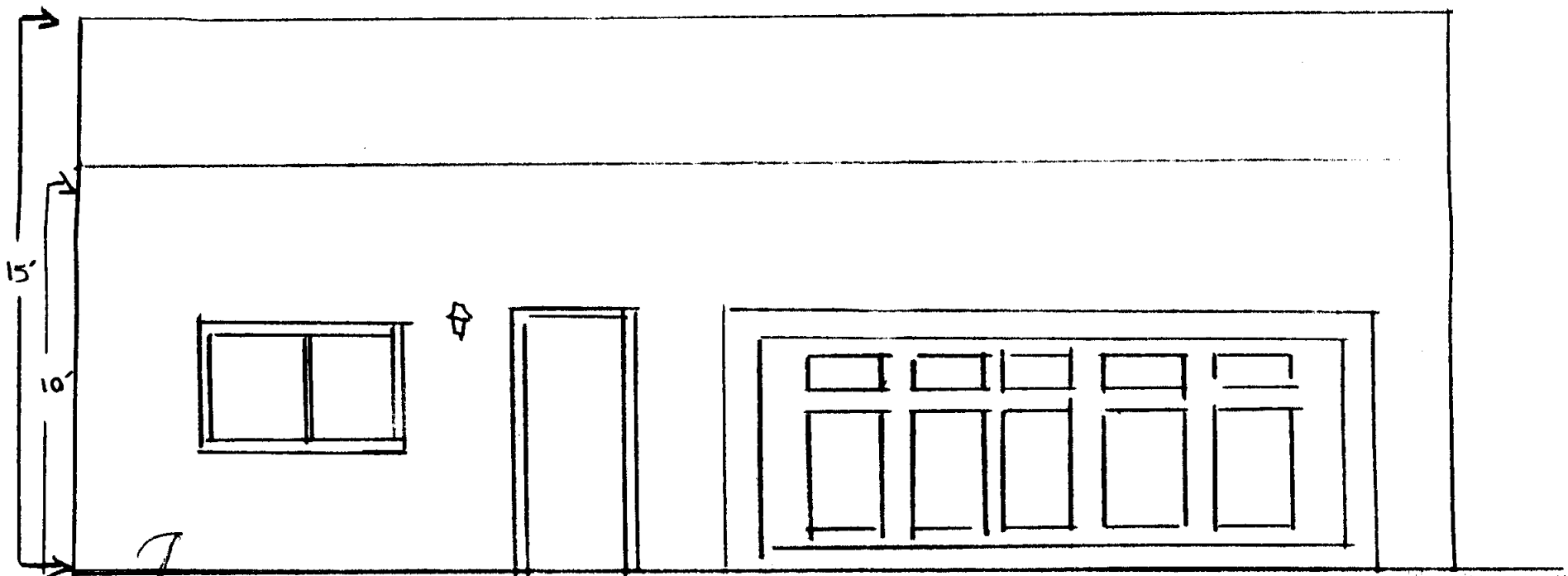
Serna
2614 Manhattan Beach Blvd,

SEE FOUNDATION NOTES ON PG 10

West Side Elevation



East Side Elevation



4" Concrete Slab Driveway

3/8" plywood
w/ 8d @ 4, 12

North Elevation

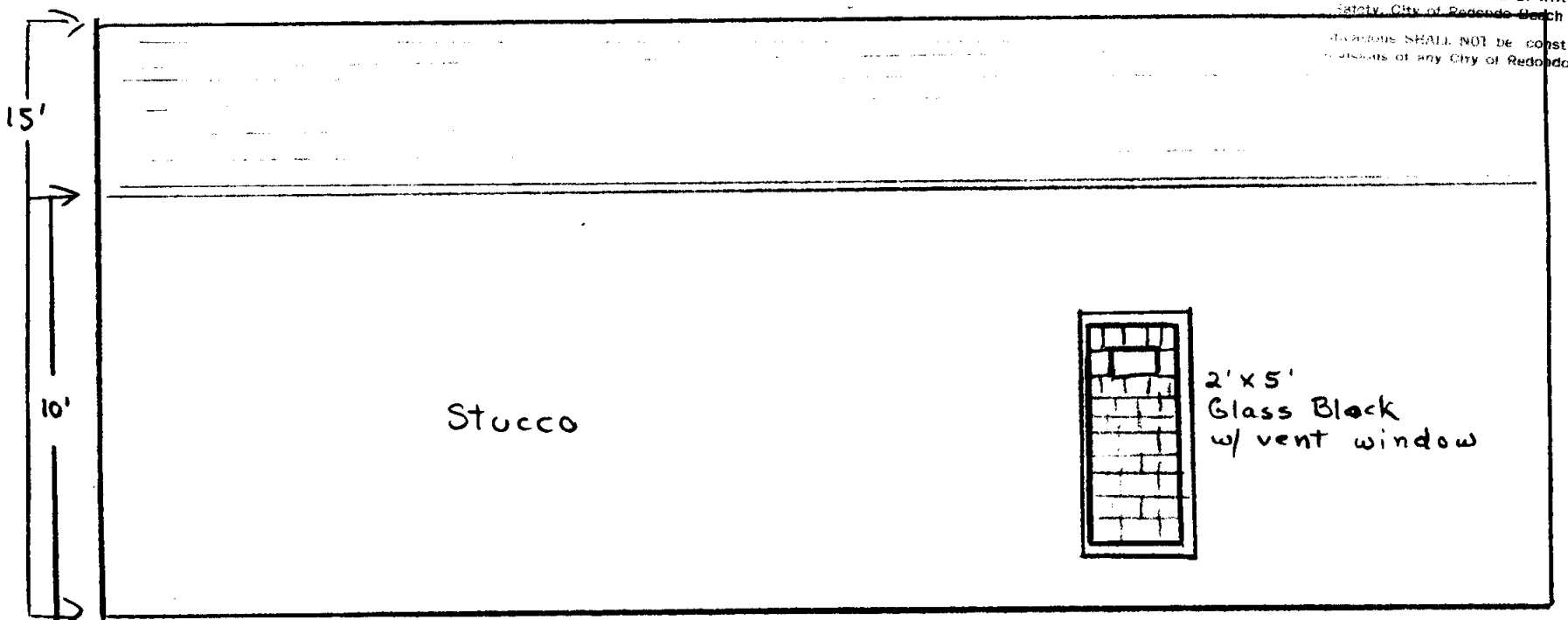
OVER
CONSTRUCTION

TO FIELD INSPECTION

1 6 2000

Must be kept on the job at all times and
operations on same without written permit
Safety, City of Redondo Beach

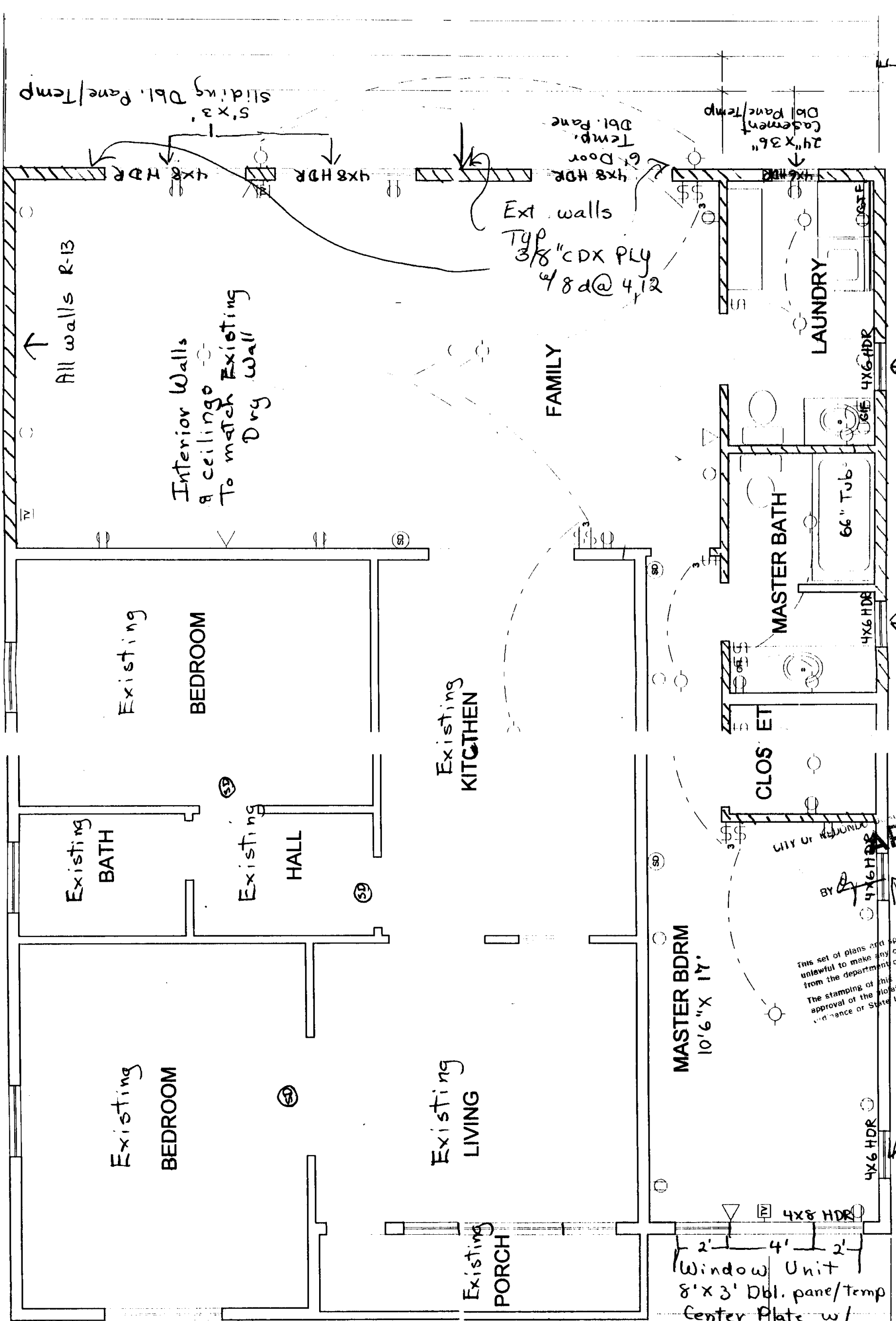
Inspections SHALL NOT be construed as an
inspections of any City of Redondo Beach



South Elevation

Scale: 1/4" = 1'

1 Manhattan Beach Blvd.



N 0 S

24" x 60" Vented Glass Block

24" x 60" Vented Glass Block

Approval Addition

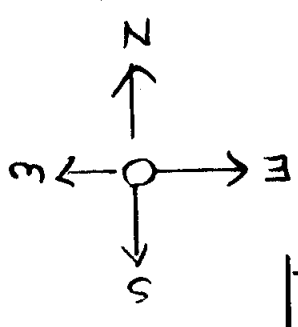
CITY OF REDONDI
BY [Signature]
FOR CONSTRUCTION SUBJECT

FEB 1 1964
This set of plans and specifications is unlawful to make any changes or alterations from the department of Building and Safety. The stamping of this plan and specifications without the approval of the department of Building and Safety or State Law.

Existing
New

Roof Plan - Addition

Pg 4



Existing

Existing
 This plan shall be construed as a part of the contract documents for the project and shall be read in conjunction with the other contract documents. No part of this plan shall be construed as a contract document unless it is specifically identified as such in writing.

2000

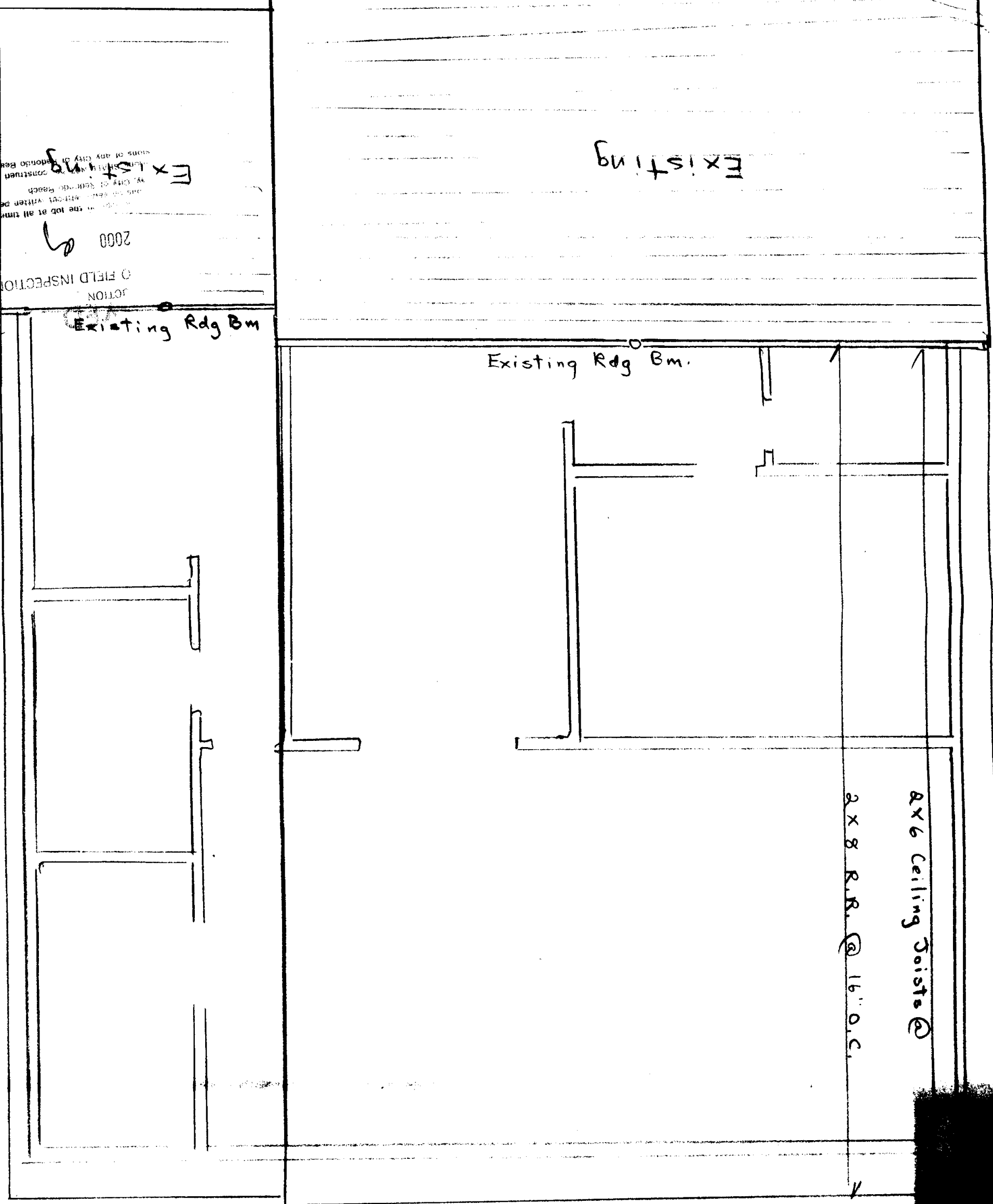
FIELD INSPECTION

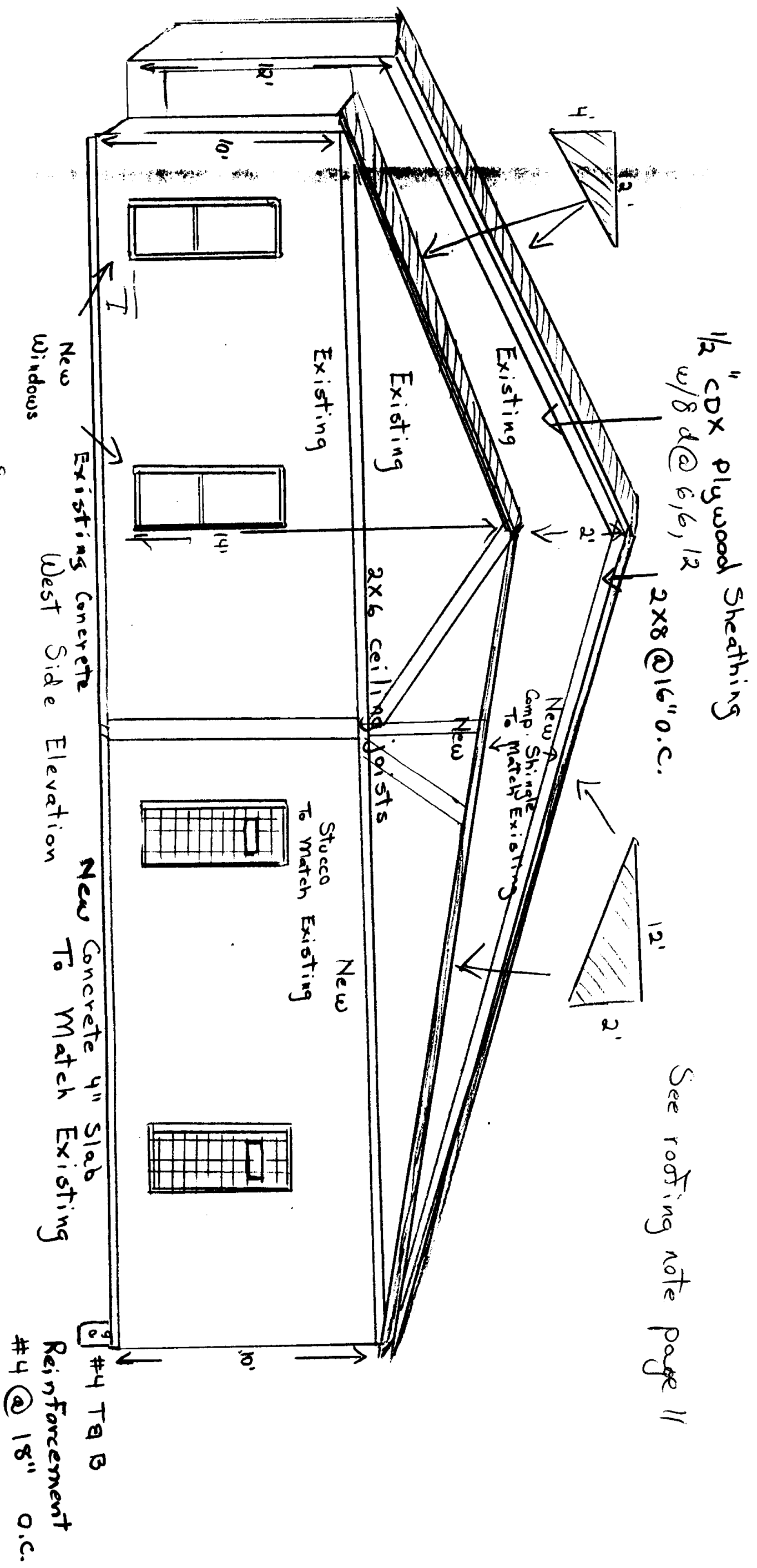
Existing Rdg Bm

Existing Rdg Bm.

2x6 Ceiling Joists @

2x8 R.R. @ 16" O.C.



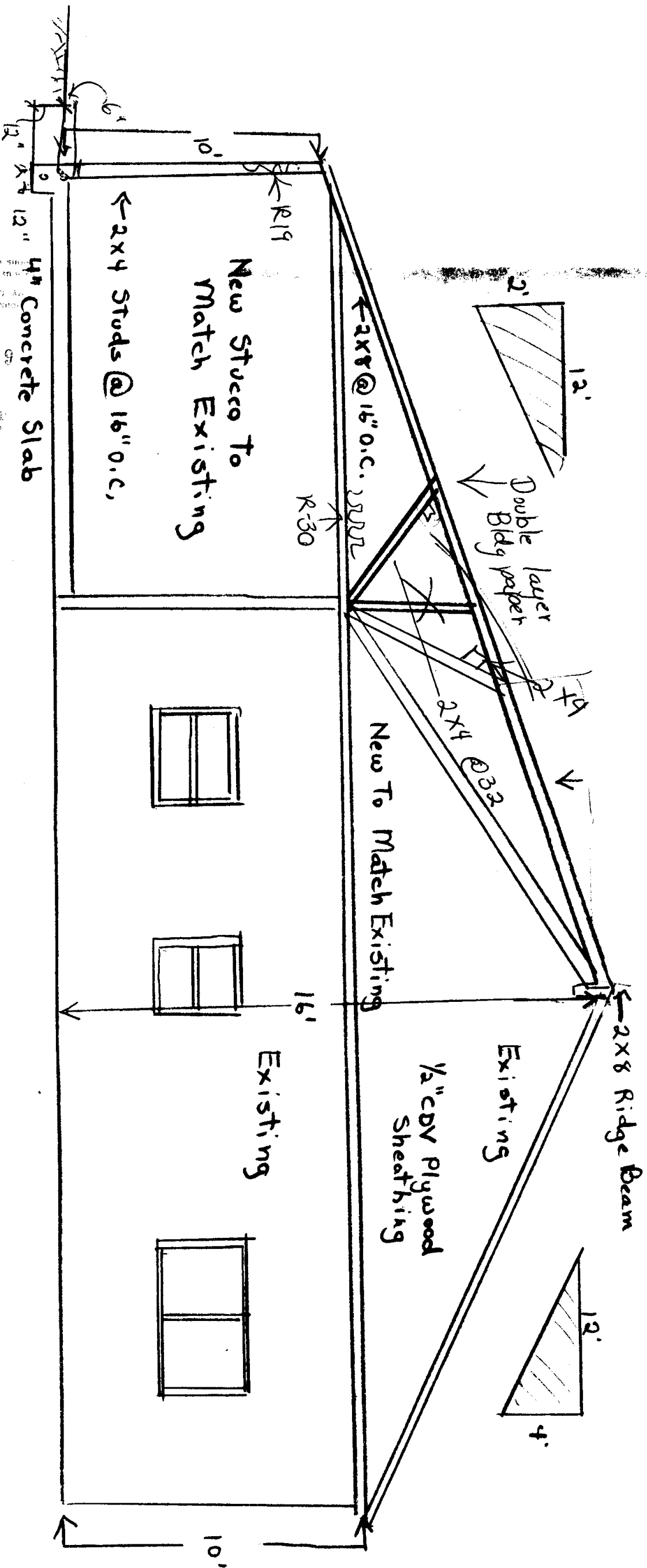


1/2" CDX Plywood Sheathing
 w/ 8 d @ 6", 12", 12"
 2x8 @ 16" o.c.

See roofing note page 11

CITY OF BIRMINGHAM
 APPROVED FOR CONS SUBJECT
 BY [Signature]
 FEB 11
 This set of plans and specifications is submitted for the approval of the department of Building and Safety. It is the responsibility of the applicant to make any changes necessary to conform to the applicable codes and regulations of the City of Birmingham and the State of Alabama. The stamping of this plan and specifications is not a guarantee of the accuracy or completeness of the information provided.

See roofing note page 11



East Side Elevation

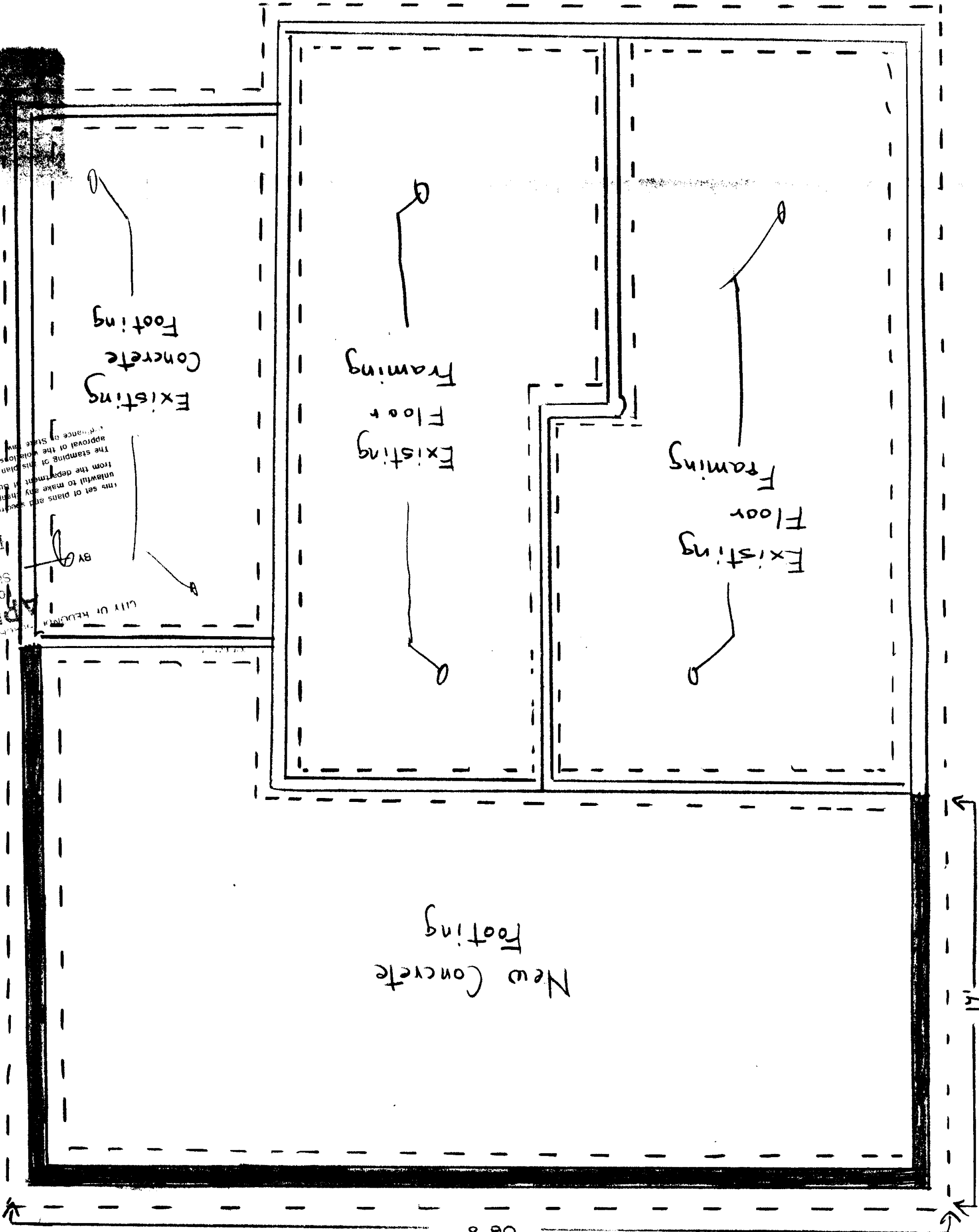
All new glass in windows
To be double glazed.

Scale 1/4" = 1'

Blvd.

Serna
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TO FIELD INSPECTION
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APPROVED FOR CONSTRUCTION SUBJECT FEB 1
 City of Redwood
 BY
 This set of plans and specifications are subject to the approval of the Department of Public Works and Safety. It is unlawful to make any changes or alterations to these plans without the written approval of the Department of Public Works and Safety.

Existing Concrete Footing
 New Concrete Footing

12) Add the following notes on plan:

- a) All work and materials shall comply with the 1997 UBC, UMC, UPC, and 1996 NEC and 1999 T-24 Energy Conservation and Disabled Access requirements.
- b) No changes shall be made on plans whether interior or exterior of the structure without the written approval of the Building and Planning Departments.
- c) All required safety glazing per section 2406 shall have permanent labels.
 - (1) Glass in doors and within 24 inches from door side edges shall be tempered or safety glass.
 - (2) Glass in windows within 60 inches above shower/tub drain shall be tempered or safety glass.
 - (3) Glass within 60 inches above stairs and landings shall be tempered or safety glass.
- d) All property lines, easements, proposed and existing structures, overhead powerlines, abandoned oil wells, cesspools, septic tanks and other substructures or superstructures are shown on the plans.
- e) There shall be no construction activity between the hours of 6 p.m. and 7 a.m. Monday through Friday, and between 5 p.m. and 9 a.m. on Saturdays. No construction activity shall be permitted on Sundays, Memorial days, Fourth of July, Labor day, Thanksgiving day, Christmas day, Martin Luther day, and New Years day.
- f) The building shall be fully fire sprinklered per Municipal code section 9-1.05 when the new plus remodeled floor areas exceed the following: 1) 750 square feet and 2) 50% of the existing building floor area. When required, submit 3 sets of fire sprinkler plans under separate permit.
- g) Roof covering shall have a minimum of class "B" fire rating when any part of the roof is within 10'-0" from the property line.
- h) Roof gutters are required to prevent rainwater from spilling over the property line into the adjoining property. Rainwater/surface water shall be conveyed through the curb via catch basin and 3" dia. maximum drainpipes. Provide hydrology to size sump pumps, etc. if the site slopes down towards the rear or side property lines.
- i) Garage door clear opening, including hardware shall be 7'-4" high min., 18'-0" wide by 19'-0" deep clear inside dimensions. Garage door springs/openers shall be State Approved and with Manufacturer's label.
- j) Welding of rebars is not advisable. But if rebars must be welded, use rebars conforming to ASTM A706. Comply with the requirements of the UBC STD. 19-2. If rebar used is ASTM A615, welding procedure shall be submitted to the Building Division for approval prior to any welding work. A Deputy Inspector is required.
- k) All deputy inspectors and Fabrication shops shall be L.A. City or ICBO certified and must first be approved by the Building Division Prior to start of any inspection or fabrication work. The fabricator shall submit a certificate of compliance that the work was performed in accordance with the approved plans and specifications to the building official and to the engineer or architect of record. Special inspection is required for any field welds of structural members and welds performed in a non-certified shop.
- l) The approval of plans, specifications and calculations does not permit the violation of any section of the Uniform Building Codes, or other City Ordinances, State or Federal law.

Best Management Practices for Construction Activities

1. All persons working at the site should obtain, read and understand the Best Management Practices pamphlet for the type(s) of construction being done.
2. Stockpiles of soil, demolition debris, cement, sand; topsoil, etc. must be covered with waterproof materials or bermed to prevent being washed off site.
3. Fuels, oils, paints, solvents, and other liquid materials must be kept inside bermed areas. Spills must not be washed to the street.
4. Waste concrete must not be washed into street, storm drain catch basins, or public right-of-way. All dust and slurry from concrete cutting must be removed using a wet-dry vacuum or equivalent.
5. Trash and other construction solid wastes must be placed in a covered trash receptacle.
6. Eroded soil from disturbed slopes must be contained using berms, silt fences, setting basins, or good erosion management practices such as reseeding.
7. Wash water from cleaning construction vehicles and equipment must be kept on-site within a containment area.

ROOF NOTES

1. Composition strip shingles (Class B fire rating or better) over 2 layers of nonperforated type 15 felt applied shingle fashion, starting with an 18" wide (457 mm) sheet and a 36" wide (914 mm) sheet over it at the eaves, each subsequent sheet shall be lapped 19" (483 mm) horizontally.
2. ½" CDX plywood solid roof sheathing.
3. Attachment: Corrosion-resistant nails, minimum 12 - enough to penetrate into sheathing ¾" (19 mm) or through the thickness of the sheathing, whichever is less, 4 per 36" to 40" (914 mm - 1016 mm) strip, 2 per 9" to 18" (229mm -457mm) shingle.
4. Exposure: Field of roof as per manufacturer's instructions included with package of shingles. Hip and ridge weather exposure shall not exceed those permitted for the field of the roof.
5. Flashing and valleys as per Sections 1508.2 and 1509.
6. Roof gutters shall be provided where required to prevent rainwater from spilling over property line into adjoining property.

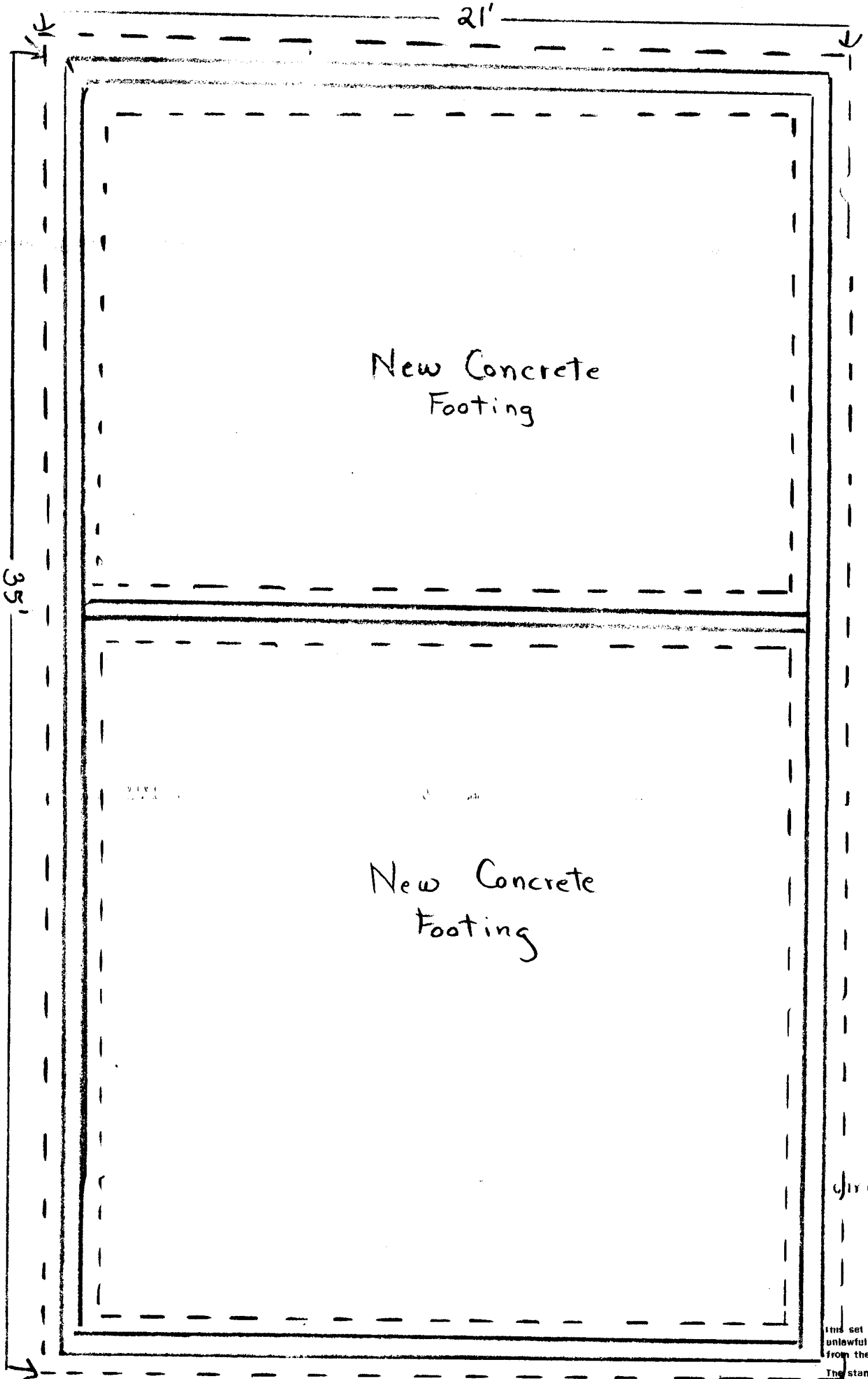
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**CITY OF REDONDO BEACH
ENGINEERING DIVISION NOTES**

1. DAMAGED SIDEWALK, DRIVEWAY, CURB, GUTTER AND PAVEMENT SHALL BE REPLACED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
2. CONSTRUCT NEW CONCRETE HANDICAP RAMP WHERE NOTED *ON SITE PLAN*. NEW CONCRETE SHALL BE CLASS 520-C-2500.
3. CONSTRUCT NEW RESIDENTIAL CONCRETE DRIVEWAY TYPE B WHERE NOTED *ON SITE PLAN*. NEW CONCRETE SHALL BE CLASS 520-C-2500.
4. CONSTRUCT NEW COMMERCIAL CONCRETE DRIVEWAY WHERE NOTED *ON SITE PLAN*. NEW CONCRETE SHALL BE CLASS 520-C-2500.
5. CONSTRUCT NEW CONCRETE SIDEWALK WHERE NOTED *ON SITE PLAN*. NEW SIDEWALK SHALL MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
6. CONSTRUCT NEW CONCRETE CURB AND GUTTER WHERE NOTED *ON SITE PLAN*. NEW CURB SHALL HAVE FACE HEIGHT OF 6 INCHES OR MATCH EXISTING. NEW GUTTER SHALL BE 12 INCH WIDE OR MATCH EXISTING. NEW CONCRETE SHALL BE CLASS 520-C-2500.
7. PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAR AND CLEAN TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. NO STORAGE OF DEBRIS, MATERIALS OR CONSTRUCT NEW FULL-DEPTH ASPHALT CONCRETE PAVEMENT WHERE NOTED *ON SITE PLAN*. ASPHALT CONCRETE SHALL BE CLASS D1-AR-4000.
8. TRAFFIC DELINEATION SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE WATCH MANUAL AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
9. COMMERCIAL VEHICLES TRANSPORTING SOIL, EQUIPMENT OR CONSTRUCTION MATERIALS, AND HAVING UNLADEN WEIGHT AS DEFINED IN SECTION 660 OF CVC OF 6,000 POUNDS OR MORE OR HAVING MANUFACTURER'S GROSS WEIGHT RATING AS DEFINED IN SECTION 390 OF CVC OF 10,000 POUNDS OR MORE SHALL USE DESIGNATED TRUCK ROUTE TO COMMUTE TO PROJECT SITE*. ANY COMMERCIAL VEHICLE HAVING A FULLY LADEN WEIGHT OF 20,000 POUNDS OR MORE SHALL NOT USE CONDITIONAL TRUCK ROUTE.
10. WORK IN PUBLIC RIGHT OF WAY, SHALL COMPLY WITH THE LATEST EDITION OF THE APWA STANDARD PLANS AND SPECIFICATIONS AND SHALL BE EXECUTED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. TRENCHING, DIGGING, DRILLING, BORING, SAWCUTTING AND EXCAVATION IN PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY A LICENSED CONTRACTOR. CONTRACTORS AND SUBCONTRACTORS SHALL POSSESS VALID REDONDO BEACH BUSINESS LICENSE. CONTRACTOR SHALL MAINTAIN CONSTRUCTION PERMIT AND AN APPROVED SET OF PLANS ON SITE. CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS AND ENGINEERING 24 HOURS PRIOR TO ANY TRENCHING, DIGGING, DRILLING, BORING, SAWCUTTING OR ANY OTHER METHOD OF ALTERING THE EXISTING CONDITION OF CITY RIGHT OF WAY. CONTRACTOR SHALL SURRENDER ALL REQUIRED CONSTRUCTION DOCUMENTS TO CITY ENGINEER AND/OR HIS REPRESENTATIVE UPON DEMAND.
11. PRIOR TO ISSUING THE BUILDING/ENGINEERING PERMIT, CONTRACTOR MUST PROVIDE PROOF OF INSURANCE.* CONTRACTOR SHALL MAINTAIN ON CITY FILES APPROVED ONE MILLION DOLLAR GENERAL LIABILITY AND ONE MILLION DOLLAR WORKER'S COMPENSATION INSURANCE POLICY NAMING THE CITY ADDITIONAL INSURED WITH 30-DAY CANCELLATION NOTICE. THE INSURANCE POLICY SHALL STATE "THE CITY OF REDONDO BEACH, ITS OFFICERS, ELECTED OFFICIALS, ATTORNEYS, EMPLOYEES, MEMBERS OF BOARDS AND COMMISSIONS, AGENTS AND VOLUNTEERS ARE HEREBY NAMED ADDITIONAL INSURED." THE CERTIFICATE OF INSURANCE MUST STATE THAT THE INSURANCE IS "PRIMARY" AND NOT EXCESS. THE CANCELLATION CLAUSE SHALL STATE "SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT.
12. PUBLIC WORKS INSPECTOR SHALL INSPECT ALL STREET IMPROVEMENTS; ALL SEWER SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING AND SEWER EJECTOR; ALL STORM DRAIN SYSTEMS INCLUDING ALL PIPING, TRENCHING, BACKFILLING, CATCH BASINS, SUMP PUMPS AND OIL/WATER SEPARATOR. FIRST INSPECTION SHALL TAKE PLACE AFTER FORMS ARE IN PLACE FOR SIDEWALKS, DRIVEWAYS, ETC. OR AT THE TIME OF CONSTRUCTING THE SEWER LINE SADDLE. SECOND INSPECTION SHALL TAKE PLACE WHILE SIDEWALKS, DRIVEWAYS, ETC., ARE BEING POURED AND FINISHED OR AT THE TIME OF BACKFILLING. BACKFILLING, COMPACTION AND TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH CITY STANDARDS AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE. FINAL INSPECTION WILL BE MADE AFTER THE BUILDING DEPARTMENT OF THE CITY OF REDONDO BEACH HAS MADE THEIR FINAL INSPECTION. AT THAT TIME, IF ALL WORK PERTAINING TO PUBLIC RIGHT OF WAY, DRAINAGE SYSTEM AND SEWER SYSTEM, ARE IN GOOD ORDER, YOUR DEPOSITS WILL BE RELEASED, LESS ANY AND ALL CHARGES. CONTACT THE DEPARTMENT OF PUBLIC WORKS AND ENGINEERING AT (310) 318-0661 FOR ALL INSPECTIONS.
14. PERMITTEE SHALL SUBMIT COMPACTION REPORTS, CONCRETE/ASPHALT CLASS CERTIFICATES AND CONSTRUCTION DEMOLITION/DEBRIS FORM TO DEPARTMENT OF PUBLIC WORKS AND ENGINEERING PRIOR TO REQUESTING FINAL INSPECTION.
15. DUST CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION.
16. NOISE CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE THROUGHOUT CONSTRUCTION. ACTUAL CONSTRUCTION IN PUBLIC RIGHT OF WAY MAY OCCUR FROM 7:00 A.M. TO 6:00 P.M., MONDAY THROUGH FRIDAY. NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SATURDAYS WITHOUT PRIOR AUTHORIZATION FROM CITY ENGINEER AND/OR HIS REPRESENTATIVE. AUTHORIZED WORK ON SATURDAYS SHALL OCCUR FROM 9:00 A.M. TO 5:00 P.M. NO WORK IN PUBLIC RIGHT OF WAY SHALL OCCUR ON SUNDAYS OR NATIONAL HOLIDAYS.
17. EQUIPMENT SHALL BE ALLOWED ON PUBLIC RIGHT OF WAY WITHOUT PRIOR WRITTEN CONSENT FROM CITY ENGINEER AND/OR HIS REPRESENTATIVE. SUCH CONSENT SHALL BE RENEWED DAILY. IF CITY CREWS ARE CALLED UPON TO PERFORM WORK OF CONTRACTOR, REGARDING CITY RIGHT OF WAY, CONTRACTOR SHALL BE CHARGED FOR ALL EXPENSES INCURRED BY CITY CREWS.
18. PERMITTEE SHALL LOCATE AND PROTECT EXISTING UTILITIES. PERMITTEE SHALL REPAIR, AT HIS COST AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE, ANY DAMAGE INFLICTED BY PERMITTEE ON EXISTING UTILITIES.
19. TREES AND LANDSCAPING TO BE REMOVED FROM PUBLIC RIGHT OF WAY SHALL BE REPLACED IN KIND AND TO THE SATISFACTION OF THE CITY ENGINEER AND/OR HIS REPRESENTATIVE.
20. ALL EASEMENTS, OIL WELLS, SUBSTRUCTURES, SUPERSTRUCTURES, LANDSCAPE, HARDSCAPE, UTILITY POLES, UTILITY BOXES, UTILITY VENTS, UTILITY VAULTS, UTILITY CABINETS, UTILITY OVERHEAD LINES AND WATER HYDRANTS ARE SHOWN *ON SITE PLAN*.

~~CONTRACTOR SHALL MAINTAIN ON CITY FILES APPROVED ONE MILLION DOLLAR GENERAL LIABILITY AND ONE MILLION DOLLAR WORKER'S COMPENSATION INSURANCE POLICY NAMING THE CITY ADDITIONAL INSURED WITH 30-DAY CANCELLATION NOTICE. THE INSURANCE POLICY SHALL STATE "THE CITY OF REDONDO BEACH, ITS OFFICERS, ELECTED OFFICIALS, ATTORNEYS, EMPLOYEES, MEMBERS OF BOARDS AND COMMISSIONS, AGENTS AND VOLUNTEERS ARE HEREBY NAMED ADDITIONAL INSURED." THE CERTIFICATE OF INSURANCE MUST STATE THAT THE INSURANCE IS "PRIMARY" AND NOT EXCESS. THE CANCELLATION CLAUSE SHALL STATE "SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY WILL ENDEAVOR TO MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT.~~

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2/16/00



New Concrete Footing

New Concrete Footing

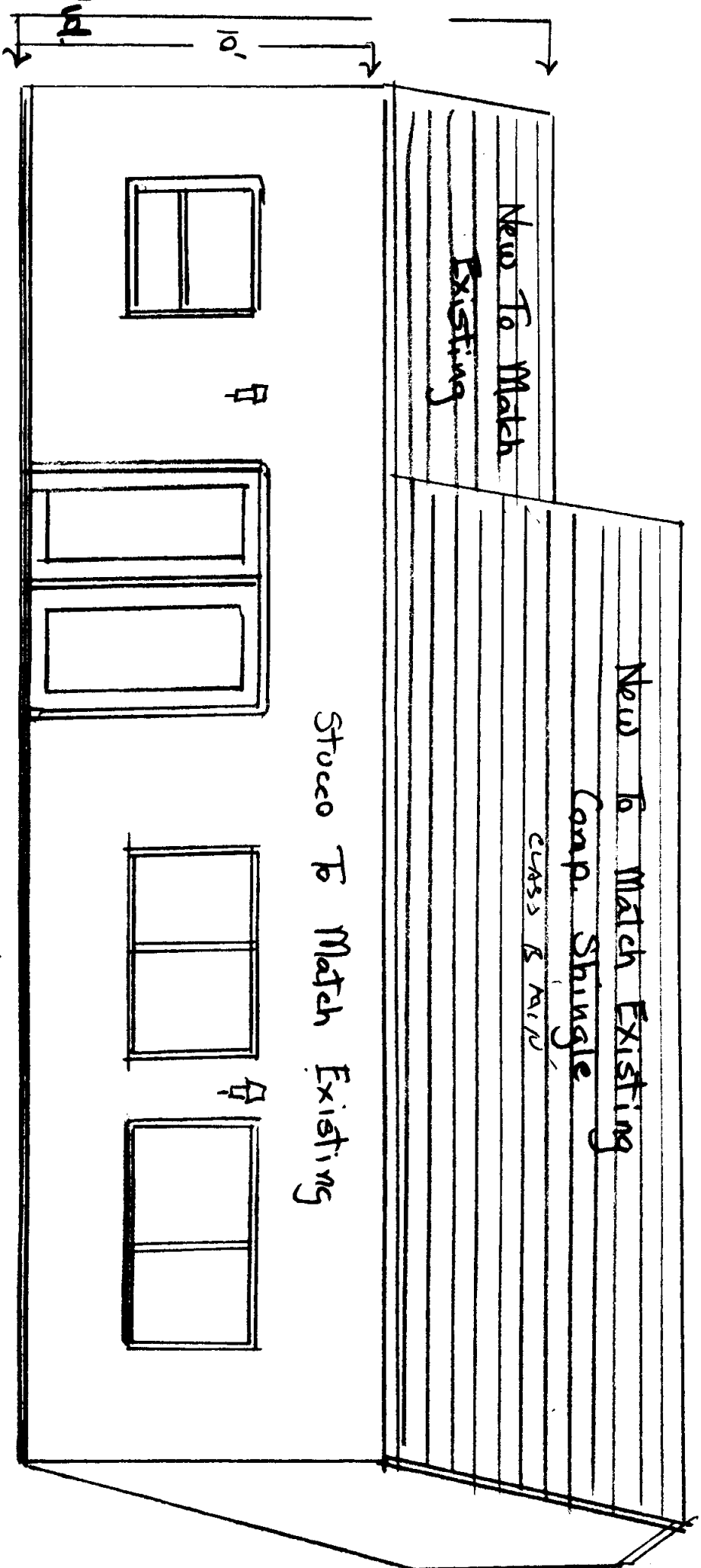
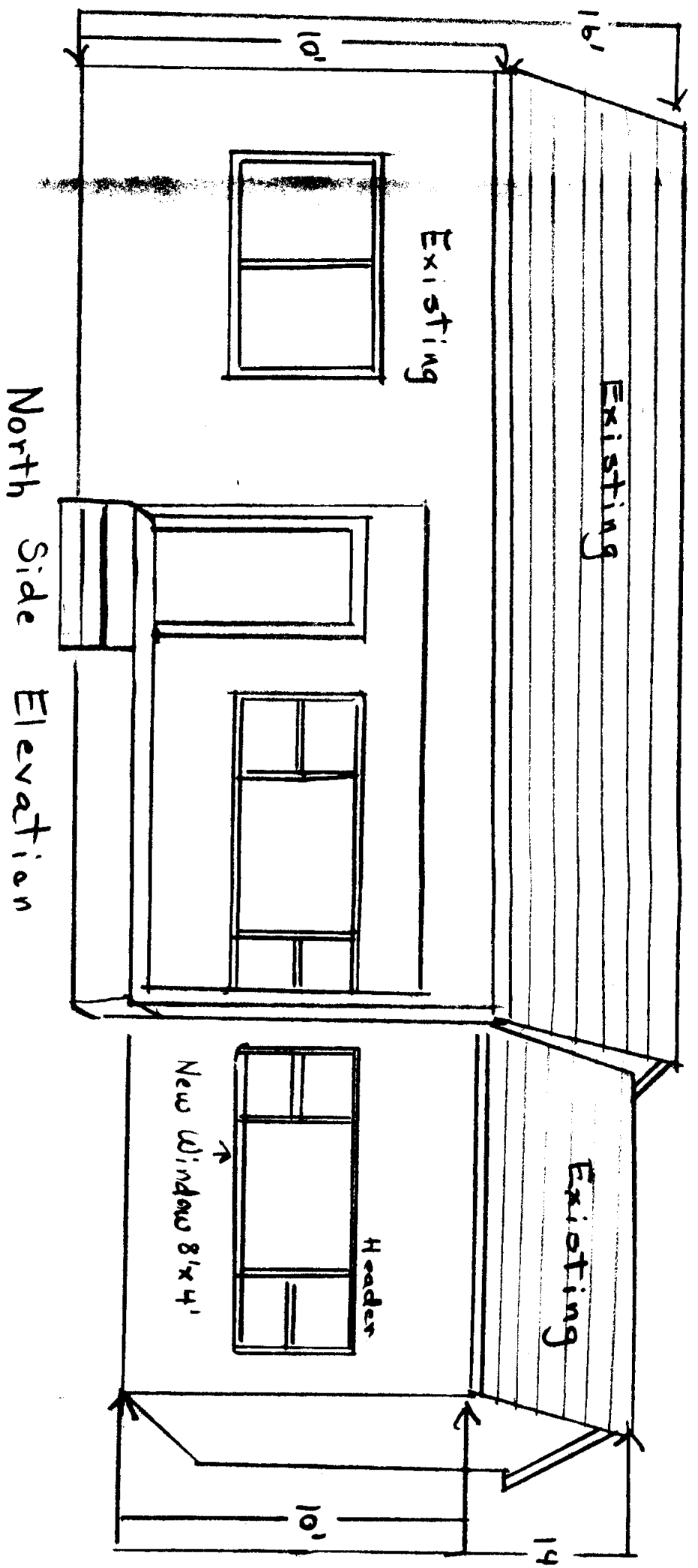
CITY OF REDONDO BEACH
APP
 FOR C
 SUBJ
 BY *[Signature]*
 FEB

This set of plans and specifications is unlawful to make any changes or alterations from the department of Building & Safety. The stamping of this plan and specifications is subject to the approval of the violations of any provisions of State Law.

Foundation Plan
 New Garage

2614 Manhattan Beach Blvd.

Pg 13



2000

FIELD INSPECTOR

SECTION

DATE

Serra

2614 Manha

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Scale 1/4" =

STATUTORY NATURAL HAZARD DISCLOSURE DISCUSSIONS

This generalized Discussion/Explanation section is intended for information purposes only in order to provide a better understanding of The Mandatory Natural Hazard Disclosures. Should you have any further questions, please feel free to contact Disclosures By Property Solutions, Inc. and one of our Experts will be glad to assist you!!

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SPECIAL FLOOD HAZARD AREAS

The determination provided within this report is based on an interpretation of maps provided by the National Flood Insurance Program and are for flood insurance purposes only: it does not necessarily show all areas subject to flooding in the community or all plan metric features outside special flood areas. Other types of flooding, such as dam failure, are not considered in developing these zones. In some cases, the insurance requirement may be waived or modified by obtaining a "Letter of Map Revision" (LOMR) or "Letter of Map Amendment" (LOMA) from the Federal Emergency Management Agency (FEMA).

EXPLANATION OF ZONE DESIGNATIONS

A, AO, AE,AH,A1-A30	Areas of "100" year flooding-a 1% or greater chance of yearly flooding from excessive rainfall.
V,V1-V30	Areas of "100" flooding in coastal (shore front) areas subject to wave action.
B:	Area of "moderate" flood risk from excessive rainfall. These are areas between the "100" and "500" year flood-risk level.
X:	An area of "moderate" flood risk (when shaded on the map. A Zone X is equivalent to Zone B) or an area of minimal flood risk (an unshaded X zone on the map).
C,D:	NOT IN an area of "100"

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AREAS OF POTENTIAL FLOODING CAUSED BY DAM FAILURE

Areas of Potential Flooding are areas that have the potential for flooding in the event of sudden or total failure of a dam when the reservoir is at full capacity. The owners of certain dams were required to prepare maps delineating the potential flood zone that could result in the event of a total failure of a dam. The Office of Emergency Services approved the potential flood maps, which were also filled with the Department of Water Resources. The maps are considered to be strictly a contingency measure and do not imply in any way that the dam is unsafe. The determination provided within this report is based on an interpretation of the maps provided by the County of Los Angeles.

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VERY HIGH FIRE HAZARD SEVERITY ZONE

Very High Fire Hazard Severity Zones (VHFHSZ) shall be based on consistent statewide criteria and shall be based on fuel loading, slope fire weather and other relevant factors. The determination provided within this report is based on an interpretation of the maps provided by the California Department of Forestry and Fire Protection. Structures in these zones are required to have a "Class A" roof for new construction or replacement of existing roofs. In addition, property owners must clear tree limbs from within ten feet of chimneys and stovepipes, clear roofs of leaves, etc., maintain a park screens over chimneys and stovepipes, and generally maintain vegetation clearance of 30 feet around structures. Please contact you local fire department for a complete list of the requirements and exceptions.

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WILDLAND AREAS OF FOREST FIRE RISK

(State Fire Responsibility Areas)

The determination provided within this report is based on an interpretation of the maps provide by the California Department of Forestry and Fire Protection. Wild land Fire Risk Areas (also called State Responsibility Areas or "SRA's") are zones where the State is responsible for suppressing fires using the California Department of Forestry (CDF) fire protection services. SRA's are generally rural areas with a significant wild land fire potential. Unless the property is in a county, which

has assumed fire suppression responsibility or has an agreement with a local fire agency, property owners in SRA's are responsible for organizing structural fire protection services. Such information is not included on the maps; therefore, it can't be provided here. For very isolated properties with no local fire services, there may be significant fire risk or only seasonal fire services. Owners of properties in SRA zones are required to clear tree limbs from within ten feet of chimneys and stovepipes, maintain trees adjacent to any building free of dead wood, clear roofs of leaves etc., maintain spark screens over chimneys and stovepipes, and generally maintain a vegetation clearance of 30 feet around structures. Contact a fire department for a complete list of the requirements and exceptions.

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EARTHQUAKE FAULT ZONES

Earthquake Fault Zones are delineated and adopted by California as part of the Alquist-Priolo Special Studies Zone Act of 1972. Property in an Earthquake Fault Zone does not necessarily have a fault trace existing on the site. Earthquake Fault Zones are areas or bands delineated on both sides of known active earthquake faults. In some places, the zones are more than one-quarter of a mile wide. The potential for "fault rupture" (ground cracking along the fault trace) damage is relatively high only if a structure is located directly on a fault trace. If a structure is not on a fault trace, shaking will be the primary effect of an earthquake. During a major earthquake, shaking will be strong in the vicinity of the fault and may be strong at some distance from the fault depending on soil and bedrock conditions. It is generally accepted that properly constructed wood-frame houses are resistant to shaking damage. The interpretation provided is not sufficient to serve as a substitute for a detailed onsite geologic investigation.

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SEISMIC HAZARD ZONES

Seismic Hazard Zone maps delineate areas subject to earthquake hazards. New development in a Seismic Hazard Zone is only permitted if it can be shown that mitigation makes the site acceptably safe. The hazards addressed are: Liquefaction, enhanced ground shaking, earthquake induced landslides, and various other ground failures.

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LIQUEFACTION HAZARD ZONES

Are areas where there is a potential for or an historic occurrence of liquefaction. Liquefaction is a rare soil phenomenon that can occur when loose, water saturated, fine-grained sands and silty sands that lie within 50 feet of the ground surface are shaken in a significant earthquake. The soil temporarily becomes liquid-like and structures may settle unevenly. Liquefaction Hazard Zones may also include areas with a potential for earthquake-induced landslides. This typically exists near an existing landslide toe, down slope from rock fall or debris flow source areas, or steep stream banks.

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EARTHQUAKE-INDUCED LANDSLIDE HAZARD ZONES

Are areas where there has been a recent landslide, or where the local slope, geological, geotechnical, and ground moisture conditions indicate a potential for landslides.

Sites in a seismic hazard zone may require a geologic study prior to any new or additional construction. Additional hazard information may exist in other sources used at a county or city level that is not reported in the statutory natural hazard disclosures in this report. Interested parties can contact the local planning, engineering or building departments to investigate if any additional hazard information may exist.

*The determination provided within this report is based on an interpretation of maps provided by the State of California. The State of California and the Department of Conservation make no representation or warranties regarding the accuracy of the data from which these maps were derived. Neither the State nor the Department shall be liable under any circumstances for any circumstances for any direct, indirect, special, incidental or consequential damages with respect to any claim by any use or third party on account of or arising from the use of the maps.

SUPPLEMENTAL ADDENDUMS AND PROXIMITY DISCUSSIONS

This generalized Discussion/Explanation section is intended for information purposes only in order to provide a better understanding of The Supplemental Disclosure/Advisory Statement. Should you have any further questions please feel free to contact Disclosures By Property Solutions, Inc. and one of our geologists will be glad to assist you!!



AIRPORT INFLUENCE AREA DISCLOSURE

An “airport influence area”, also known as an “airport Referral Area,” is the area in which current or future airport-related noise, over flight, safety, or airspace protection factors may significantly affect land uses or necessitate restrictions on those uses as determined by an airport land use commission.

Disclosures By Property Solutions, Inc. uses the current Airport Influence Area maps provided by the County Airport Land Use Commissions. The inclusion of military and private airports varies by County and therefore, depending on the County, military and private airports may or may not be included in this disclosure.

AIRPORT NOISE DISCLOSURE

The seller(s) of residential real property who has (have) actual knowledge that the property in transaction is affected by airport use must give written notice of that knowledge, as soon as practicable, before transfer of title. (California Civil Code, Section 1102.17).

Not all airports have produced noise exposure maps. A property may be near or at some distance from an airport and not be within a delineated noise exposure area, but still experience aviation noise. Unless 65dB CNEL contour maps are published, helipads and military sites are not included in this section of the report.

NOTE: The *Airport Noise Compatibility Planning Program* is voluntary. Not all airports have elected to participate. Not all property in the vicinity of an airport is exposed to 65dB CNEL or greater average aviation noise levels. Conversely a property may be at some distance from an airport and still experience aviation noise. Disclosures By Property Solutions, Inc. obtains updated maps once yearly. Purchasers should be aware that aviation noise levels can vary seasonally or change if airport usage changes after a map is published or after Disclosures By Property Solutions, Inc. receives the updated maps within the schedule set by Disclosures By Property Solutions, Inc. Disclosures By Property Solutions, Inc. uses the most seasonally conservative noise exposures provided.

Federal funding may be available to help airports implement noise reduction programs. Such programs vary and might include purchasing properties, rezoning, and insulating homes for sound within 65dB areas delineated on CNEL maps. Airport owners have also cooperated by imposing airport use restrictions that include curfews, modifying flight paths, and aircraft limitations.

MILITARY ORDNANCE PROXIMITY

Formerly Used Defense (FUD)

Pursuant to California Civil Code § 1102.15 transferor and his or her agent(s) shall provide information required to advise the prospective transferee(s) of the property's proximity to any formerly used federal or state military ordnance locations located within one mile of the subject property. For purposes of this law, "former federal or state ordnance location" means an area identified by any agency or instrumentality of the federal or state governments as an area once used for military training purposes that may contain potentially explosive munitions.

RAC SCORING

A risk assessment procedure was developed by U.S. Army Corps of Engineers (USACE) to prioritize the remedial actions at FUD sites. Each FUD site is given a Risk Assessment Code (RAC) score to describe the site status. The risk assessment is based on the best available information resulting from records searches, reports of Explosive Ordnance Disposal (EOD) detachment actions, field observations, interviews, and measurements. The RAC is dependent on two factors: hazard severity and probability.

RAC 1 - Imminent Hazard

RAC 2 - Action required to mitigate hazard

RAC 3 - Action required to evaluate potential threat – Archives search and site investigation

RAC 4 - Action required to evaluate potential threat – Archives search

RAC 5 - No action required

FUD Discussion: FUD sites may include sites with common industrial waste, ordnance or other warfare material, unsafe structures to be demolished, or debris for removal. Most FUD sites do not contain unexploded ordnance. California Civil Code 1102 requires disclosure of those sites containing unexploded ordnance. Only FUD sites that USACE has identified to contain Military Ordnance or have mitigation projects planned for them are disclosed in this report. Additional sites may be added as military installations are released under the Base Realignment and Closure (BRAC) Act. Active military sites are not included on the FUD list.

Military ordnance: Any kind of munitions, explosive device/material or chemical agent used in military weapons.

Unexploded ordnance: Munitions that have not detonated.

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COMMERCIAL/INDUSTRIAL PROXIMITY

Pursuant to California Civil Code § 1102.17 transferor and his or her agent(s) shall provide written notice of knowledge to purchasers as soon as practicable before transfer of title. The Code of Civil Procedure Section 731a defines industrial use as any areas in which a city and/or county has established zones or districts under authority of law wherein certain manufacturing or commercial or airport uses are expressly permitted.

This disclosure identifies if a property exists within one mile of the seller's property that is zoned to allow for commercial or industrial use. It is very common for a home to have one or more properties that are zoned for commercial or industrial use (such as restaurants, gasoline stations, convenience stores, car dealerships, etc.)

RIGHT TO FARM DISCLOSURE

The property is not presently located within one mile of a parcel of real property designated as "farmland" on the most current "Important Farmland Map" issued by the California Department of Conservation, Division of Land Resource Protection.

NOTICE OF RIGHT TO FARM

In 2008 the State of California enacted Assembly Bill 2881 to limit the exposure of farmers to nuisance lawsuits by homeowners in neighboring developments. The mechanism of this bill is a formal notification of the buyer, through a "Notice of Right to Farm" in an expert disclosure report, that advises the buyer if the subject property is within one mile of farmland as defined in the bill. Purchasers are often unaware that the State of California has laws to protect a farmer's right to perform customary farming activities and that properties that are located within one mile of a parcel of real property designated as farmland may be subject to the inconveniences or discomforts resulting from agricultural operations that are a normal and necessary aspect of living in a community with a strong rural character and a healthy agricultural sector. Customary agricultural practices in farm operations may include, but are not limited to, noise, odors, dust, light, insects, the operation of pumps and machinery, the storage and disposal of manure, bee pollination, and the ground or aerial application of fertilizers, pesticides, and herbicides. These agricultural practices may occur at any time during the 24-hour day. Individual sensitivities to those practices can vary from person to person. Buyers located within one mile of a parcel of real property designated as farmland may wish to consider the impacts of such agricultural practices before completing their purchase and in addition are advised that they may be barred from obtaining legal remedies against agricultural practices conducted in a manner consistent with proper and accepted customs and standards pursuant to Section 3482.5 of the Civil Code or any pertinent local ordinance.

If the seller has actual knowledge of an agricultural operation in the vicinity of the subject property that is not disclosed in this report, and that is material to the transaction, the seller should disclose this actual knowledge in writing to the buyer.

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RIGHT TO MINE DISCLOSURE

The property is not located within one mile of a mine operation for which the mine owner or operator has reported mine location data to the Department of Conservation pursuant to Section 2207 of the Public Resources Code.

NOTICE OF RIGHT TO MINE

The new Mining disclosure SB 110, effective January 1st 2012, is meant to ensure that California residents, who move adjacent to, or within one mile of active mining facilities, are aware of their existence and activities, such as noise, dust, and other inconveniences, prior to their final purchase.

If a property is located within one mile of a mine operation, the property may be subject to inconveniences resulting from mining operations and you may wish to consider the impacts of these practices before you complete your transaction."

The new Mining disclosure is a "right to mine" law, similar to the "right to farm" act. Location data is provided by the mine owners to the Office of Mine Reclamation. Not all mines are accurately located.

This bill will provide that "no mining activity, operation or facility, or appurtenances thereof, as defined, in operation for more than 3 years, and conducted or maintained for commercial purposes in a manner consistent with proper and accepted customs and standards, shall become a nuisance due to any changed condition in the locality, if it was not a nuisance at the time it began, except as specified."

More Information can be obtained from the Department of Conversation, Office Mine Reclamation.

<http://www.conservation.ca.gov/omr/Pages/index.aspx>

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TSUNAMI INUNDATION DISCLOSURE

A tsunami is a sea wave typically generated by a submarine earthquake, but may be caused by an offshore landslide or volcanic action. A large offshore earthquake, typically a magnitude 7 or greater, may generate a tsunami. Properties located along the California coastline have a potential for inundation from a tsunami. Although early warning systems may provide sufficient warning from distant tsunamis, near-shore generated tsunamis may reach the coast in a matter of minutes. Therefore, homeowners should contact their local emergency management agency and become knowledgeable about tsunami warning signs and local evacuation plans.

RADON

Radon is defined by the Department of Health Services (DHS) as a colorless, odorless, and tasteless radioactive gas produced by the decay of trace amounts of uranium occurring naturally in soils. The Environmental Protection Agency (EPA) recommends that all homes be tested for radon. The average concentration inside American homes is approximately 1.3 picocuries per liter. The average outdoor concentration is about 0.4 picocuries per liter. The EPA recommends avoiding long-term exposure to any level above 4.0 picocuries per liter because radon exposure can cause lung cancer. The Department of Health Services database identifies areas prone to excessive indoor radon levels. Statistical information is provided by zip code and by county. If no indoor radon test data is available within a zip code, information for that area is omitted from the database. For more information, see "California Geology" – November – December 1997 by Ron Churchill, Senior Geologist, Department of Conservation, Division of Mines and Geology: www.consrv.ca.gov/cgs/minerals/hazards/radon

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METHANE

In 1985 methane gas seeped into a building in the Fairfax area of Los Angeles and caused a fire. The city responded by amending the civil code regarding possible methane gas hazards. Methane Zones and Methane Buffer Zones were designated by the Los Angeles City Council based upon data provided by the Division of Oil, Gas, and other state agencies. These zones designate areas where there are concerns about methane gas below the surface. Project permits within these zones may require methane mitigation measures. Site testing of subsurface geological formations may also be ordered. For more information, see: www.ladbs.org/rpt_code/pub/Methane_Code.pdf.

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LOCAL FIRE ZONE DISCLOSURE

Los Angeles County Fire Zone defines areas having a potential for woodland and brush fires. These areas require stringent fire enforcement measures. Also delineated on the County Fire Safety element maps are industrial areas, petrochemical areas and high-rise buildings that present unique fire hazards.

We have included maps from cities that have prepared their own fire safety element map. It is possible to be in a State Fire Zone and not in a Local Fire Zone. You should check with the local agency about its requirements. New or additional construction may require fire-resistant materials and property owners have strict brush clearance or firebreak requirements.

Local fire zones may represent a more conservative evaluation of hazard potential than county or state zone determination. Properties and further development in these areas may be subject to additional governmental regulations and special permits. For Example Orange County's Fire Protection District requires annual brush clearance around structures in the high risk areas as well as limiting certain types of plants known to be especially flammable. Check with your local agency for requirements.

MOLD ADVISORY

WHAT ARE MOLDS?

Molds are simple, microscopic organisms, present virtually everywhere, indoors and outdoors. Molds, along with mushrooms and yeasts, are fungi and are needed to break down dead material and recycle nutrients in the environment. For molds to grow and reproduce, they need only a food source - any organic material, such as leaves, wood, paper, or dirt- and moisture. Because molds grow by digesting the organic material, they gradually destroy whatever they grow on. Sometimes, new molds grow on old mold colonies. Mold growth on surfaces can often be seen in the form of discoloration, frequently green, gray, brown, or black but also white and other colors. Molds release countless tiny, lightweight spores, which travel through the air.

HOW AM I EXPOSED TO INDOOR MOLDS?

Everyone is exposed to some mold on a daily basis without evident harm. It is common to find mold spores in the air inside homes, and most of the airborne spores found indoors come from outdoor sources. Mold spores primarily cause health problems when they are present in large numbers and people inhale many of them. This occurs primarily when there is active mold growth within home, office or school where people live or work. People can also be exposed to mold by touching contaminated materials and by eating contaminated foods. Molds will grow and multiply whenever conditions are right-sufficient moisture is available and organic material is present. The following are common sources of indoor moisture that may lead to mold problems:

- Flooding
- Leaky roofs
- Sprinkler spray hitting the house
- Plumbing leaks
- Overflow from sinks or sewers
- Damp basement or crawl space
- Steam from shower or cooking
- Humidifiers
- Wet clothes drying indoors or clothes dryers exhausting indoors.

Warping floors and discoloration of walls and ceilings can be indications of moisture problems. Condensation on windows or walls is also an important indication, but it can sometimes be caused by an indoor combustion problem! Have fuel-burning appliances routinely inspected by your local utility or a professional heating contractor.

SHOULD I BE CONCERNED ABOUT MOLD IN MY HOME?

Yes, if indoor mold contamination is extensive, it can cause very high and persistent airborne spore exposures. Persons exposed to high spore levels can become sensitized and develop allergies to the mold or other health problems. Mold growth can damage your furnishing, such as carpets, sofas and cabinets. Clothes and shoes in damp closets can become soiled. In time, unchecked mold growth can cause serious damage to the structural elements in your home.

WHAT SYMPTONS ARE COMMONLY SEEN WITH MOLD EXPOSURE?

Molds produce health effects through inflammation, allergy, or infection. Allergic reactions (often referred to as hay fever) are most common following mold exposure. Typical symptoms that mold-exposed persons report (alone or in combination) include:

- Respiratory problems, such as wheezing, difficulty breathing, and shortness of breath
- Nasal and sinus congestion
- Eye irritation (burning, watery, or reddened eyes)
- Dry, hacking cough
- Nose or throat irritation
- Skin rashes or irritation

Headaches, memory problems, mood swings, nosebleeds, body aches and pains, and fever are occasionally reported in mold cases, but their cause is not understood.

HOW MUCH MOLD CAN MAKE ME SICK?

For some people, relatively small number of mold spores can trigger an asthma attack or lead to other health problems. For other persons, symptoms may occur only when exposure levels are much higher. Nonetheless, indoor mold growth is unsanitary and undesirable. Basically, if you can see or smell mold inside your home, take steps to identify and eliminate the excess moisture and to cleanup and remove the mold.

ARE SOME MOLDS MORE HAZARDOUS THAN OTHERS?

Allergic persons vary in their sensitivities to mold, both as to the amount and the types to which they react. In addition to their allergic properties, certain types of molds, such as *Stachybotris chartarum*, Mycotoxins are not always produced, and whether a mold produces mycotoxins while growing in a building depends on what the mold is growing on, conditions such as temperature, pH, humidity or other unknown factors. When mycotoxins are present, they occur in both living and dead mold spores and may be present in materials that have become contaminated with molds. While *Stachybotrys* is growing, a wet slime layer covers its spores, preventing them from becoming airborne. However, when the mold dies and dries up, air currents or physical handling can cause spores to become airborne.

HOW CAN I TELL IF I HAVE MOLD IN MY HOUSE?

You may suspect that you have mold if you see discolored patches or cottony or speckled growth on walls or furniture or if you smell an earthy or musty odor. You also may suspect mold contamination if mold-allergic individuals experience some of the symptoms listed above when in the house. Evidence of past or ongoing water damage should also trigger more thorough inspection. You may find mold growth underneath water-damaged surfaces or behind walls, floors or ceilings.

SHOULD I TEST MY HOME FOR MOLD?

The California Department of Health Services does not recommend testing as a first step to determine if you have mold problem. Reliable air sampling for mold can be expensive and requires expertise and equipment that is not available to the general public. Owners of individual private homes and apartments generally will need to pay a contractor to carry out such sampling, because insurance companies and public health agencies seldom provide this service. Mold inspection and cleanup is usually considered a housekeeping task that is the responsibility of homeowner or landlord, as are roof and plumbing repairs, house cleaning, and yard maintenance.

Another reason the health department does not recommend testing for mold contaminations is that there are few available standards for judging what is an acceptable quantity of mold. In all locations, there is some level of airborne mold outdoors. If sampling is carried out in a home, an outdoor air sample also must be collected at the same time as the in door samples, to provide a baseline measurement. Because individual susceptibility varies so greatly, sampling is at best a general guide.

The simplest way to deal with a suspicion of mold contamination is, if you can see or smell mold, you likely have a problem and should take the steps outlined below. Mold growth is likely to recur unless the source of moisture that is allowing mold to grow is removed and the contaminated area is cleaned.

ASSESSING THE SIZE OF A MOLD CONTAMINATION PROBLEM

There will be a significant difference in the approach used for a small mold problem-total area affected is less than 10 ft²- and a large contamination problem-more than 100 ft². In the case of a relatively small area, the homeowner using personal protective equipment can handle the cleanup. However, for much larger areas, choose an experienced, professional contractor. For medium cases, the type of containment and personal protection equipment to be used will be a matter of judgment.

GENERAL CLEANUP PROCEDURES

Identify and eliminate sources of moisture Identify and assess the magnitude and area of mold contamination Clean and dry moldy areas - use containment of affected area Bag and dispose of all material that may have moldy residues, such as rags, paper, leaves, and debris.

Clean up should begin after the moisture source is fixed and excess water has been removed. Wear gloves when handling moldy materials. Spores are more easily released when moldy materials dry out, so it is advisable to remove moldy items as soon as possible. Detailed cleanup procedures are available in the California Department of Health Services Indoor Air Quality Section fact sheet entitled, "Mold in My Home: What Do I Do?" It is available on the Internet at www.dhs-iaq.org or by calling the (510) 540-2476.

HOW CAN I PREVENT INDOOR MOLD PROBLEMS IN MY HOME?

Inspect your home regularly for the indications and sources of indoor moisture and mold. Take steps to eliminate sources of water as quickly as possible. If a leak or flooding occurs, it is essential to act quickly: Stop the source of leak or flooding, remove excess water with mops or wet vacuum. Move wet items to a dry, well ventilated area. Move rugs and pull up wet carpet as soon as possible. Open closet and cabinet doors and move furniture away from walls to increase circulation. Run portable fans to increase air circulation. Do NOT use the home's central blower if flooding has occurred in it or in any of the ducts. Do NOT use fans if mold may have already started to grow - More than 48 hours since flooding. Run dehumidifiers and window air conditioners to lower humidity. Do NOT turn up the heat or use heaters in confined areas, as higher temperatures increase the rate of mold growth. If water has soaked inside the walls, it may be necessary to open wall cavities, remove baseboards, and/or pry open wall paneling.

PUBLICATIONS

Mold in My Home: What do I Do?

This document is available on the Internet, or at no cost from:

California Department of Health Services - Indoor Air Quality Section
2151 Berkeley Way (EHLB) Berkeley, Ca 94704
Telephone: (510) 540-2476
Web: www.dhs-iaq.ca.gov

Health Effects of Toxin-Producing Molds in California

Stachybotrys chartarum (atra) - a mold that may be found in water-damaged homes

Fungi and Indoor Air Quality

Misinterpretation of Stachybotrys Serology

These documents are available on the Internet, or at no cost from:

California Department of Health Services - Environmental Health Investigation Branch
1515 Clay Street, Suite 1700 Oakland, Ca 94612
Telephone: (510) 622-4500
Web: www.dhs.ca.gov/ehib/

General Information Molds, Toxic Molds, and Indoor Air Quality

This document is available on the Internet at www.cal-iaq.org/MOLD

Biological pollutants in your Home

This document is available at no cost from:

U.S. Environmental Protection Agency - IAQ Information Clearinghouse
Telephone: (800) 438-4318
Web: www.epa.gov

Repairing Your Flooded Home

This publication is available on the Internet or at no cost from:

American Red Cross
8928 Volunteer Lane, Sacramento, CA 95826
Telephone: (916) 368-3131
Web: www.redcross.org

For local assistance, contact your county or city Department of Health, Housing, or Environmental Health.

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MEGAN'S LAW

The California Department of Justice, sheriff's departments, police departments serving jurisdictions of 200,000 or more and many other local law enforcement authorities maintain for public access a data base of the locations of persons required to register pursuant to paragraph (1) of subdivision (a) of Section 290.4 of the Penal Code. The database is updated on a quarterly basis and a source of information about the presence of these individuals in any neighborhood. Contact your local County Sheriff's Department or City Police Department to obtain information. The Department of Justice also maintains a website (www.meganslaw.ca.gov) as well as a Sex Offender Identification Line through which inquiries about individuals may be made. This is a "900" telephone service. Callers must have specific information about individuals they are checking. The information is also available at (900) 463 - 0400 for \$10 per call to inquire about up to two individuals. Information regarding neighborhoods is not available through the "900" telephone service.



NOTICE OF CALIFORNIA'S 2005 ENERGY EFFICIENCY STANDARDS ADVISORY

Effective October 1, 2005, the California Energy Commission adopted Title 24, Building Energy Efficiency Standards for 2005. Under these standards, local governments must adopt and enforce building codes that require ductwork to be inspected whenever new heating, ventilating or air conditioning equipment is installed. If the ductwork is found to leak in excess of 15%, then repairs to the ductwork are required to bring it into compliance. The California Energy Commission estimates that the average home's ductwork leaks by 30% or more; so, some repair costs are likely for most homes when a new furnace for example is installed. Title 24 does not require a seller to replace a furnace that is otherwise safe and serviceable or to inspect or repair a home's ductwork. However, the future replacement of a furnace will require such an inspection and possible repairs, which may impose an unexpected costs on the property owner. This new standard also specifically bans the use of cloth-backed tape ("duct tape") in making duct repairs, unless the tape is used in combination with approved adhesive materials. Compliance with the standard is assured by hiring a contractor who is properly licensed, and doing the installation with a building permit so that the City Building Inspector can check the work when completed. For more information, visit <http://www.energy.ca.gov/title24/2005> standards.



NOTICE OF HOME ENERGY EFFICIENCY IMPROVEMENTS TAX CREDIT ADVISORY

According to the DOE, the higher replacement cost of SEER 13-compliant air conditioning system will be offset by a savings of up to 23 percent in monthly energy costs. The California Energy Commission notes that leaking ductwork accounts for up to 25 percent of the heating costs of a typical home. Therefore, compliance with the new Federal and State standards offers substantial benefits to the property owner, as well as significant environmental benefits through decreased energy consumption, compared with older systems. In addition, consumers who purchase and install specific products, such as energy efficient windows, insulation, doors, roofs, and heating and cooling equipment in the home can receive a tax credit of up to \$500 beginning January 2006. For more information visit <http://www.energy.gov/taxbreaks.htm>



NOTICE OF METHAMPHETAMINE CONTAMINATION

According to the "Methamphetamine Contaminated Property Cleanup Act of 2005" a property owner must disclose in writing to a prospective buyer if local health officials have issued an order prohibiting the use or occupancy of a property contaminated by meth lab activity. The owner must also give a copy of the pending order to the buyer to acknowledge receipt in writing. Failure to comply with these requirements may subject an owner to, among other things, a civil penalty up to \$5,000. Aside from disclosure requirements, this new law also sets forth procedures for local authorities to deal with meth-until the owner cleans up the contamination or pays for the cleanup costs.



NOTICE OF ABANDONED WELLS

According to the California Department of Water Resources and abandoned or “permanently inactive well” is a well that has not been used for a period of one year. Abandoned wells that are not properly sealed are a potential hazard to people and animals and may be a potential site of illegal waste disposal. Abandoned well may allow contamination of groundwater. Abandoned wells should be destroyed in accordance with methods developed by the Department of Water Resources pursuant to Section 13800 of the Water Code.



NOTICE OF OIL AND GAS WELLS

California is a leading oil producer with most production in Los Angeles, Kern, Fresno, and Ventura Counties. There are thousands of idle and “orphan” wells. An idle well is a well that has not produced oil and/or gas or has not been used for fluid injection for six months during the last five years. The Division of Oil, Gas, and Geothermal Resources tracks and maintains an idle-well inventory. According to the Division an abandoned or “orphan” well is a well that has been deserted and has no viable operator or owner. The Division plugged 1,062 orphan wells from 1977 to 2004 at a cost of 14.8 million dollars. Oil and gas wells pose a threat to humans for fall hazard, fire hazard, groundwater contamination, methane gas seeps, and other hazards.



NOTICE OF ENDANGERED SPECIES

The Federal Endangered Species Act of 1973 (ESA), as amended, provides a program for the conservation of threatened and endangered plants and animals and their habitats. The U.S. Fish and Wildlife Service (FWS) maintains a list of endangered species. The critical habitats of the species are protected destruction or adverse modification. Development of a property may be limited by the Act, so a landowner should consult the local planning department for potential requirements.



NOTICE OF NATURALLY OCCURRING ASBESTOS

Asbestos refers to naturally-occurring fibrous minerals found throughout California. Serpentine, an ultra-mafic rock, contains asbestos and is commonly found Sierra foothills, the Coast Ranges, and the Klamath Mountains. On residential properties, naturally-occurring asbestos sources are typically dust from unpaved roads or driveways. Paving the unpaved driveways or roads can help to reduce exposure to asbestos. Asbestos is a known carcinogen and exposure may increase the risk of lung cancer. It is recommended that prospective buyers in an area designated as a Naturally Occurring Asbestos Zone consult an appropriate expert(s) should be consulted who can test and identify naturally occurring asbestos rocks, on or near the property, which are exposed and may present a health risk. For more information please visit the Air Resources Board of the California Environmental Protection Agency website: www.arb.ca.gov

NOTICE OF SPECIAL TAX AND ASSESSMENT
FOR
2614 MANHATTAN BEACH BLVD., REDONDO BEACH, CA 90278
MELLO-ROOS COMMUNITY FACILITIES DISTRICTS

Mello-Roos Community Facilities Districts ("CFD") provide a method of financing certain public capital facilities and services especially in developing areas and areas undergoing rehabilitation. Public improvements funded by Mello-Roos CFDs may include, but are not limited to, roads, schools, water, sewer and storm drain facilities. Public services funded by Mello-Roos CFDs may include, but are not limited to, police and fire protection services, recreation program services, and flood or storm protection services. Mello-Roos CFDs commonly fund the construction of public improvements through the issuance of bonds. A special tax lien is placed on property within the district for the annual payment of principal and interest as well as administrative expenses. Typically, the annual special tax continues until the bonds are repaid, or until special taxes are no longer needed. In most instances but not all, the special tax is collected with regular property taxes.

Properties located within a Mello-Roos Community Facilities District are subject to a special tax, which is in addition to the regular property taxes and any other charges and benefit assessments that will be listed on the property tax bill. This special tax may not be imposed on all parcels within the city or county where the property is located. The special tax is used to provide public facilities or services that are likely to particularly benefit the property.

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THIS PROPERTY IS NOT SUBJECT TO MELLO-ROOS COMMUNITY FACILITIES DISTRICT SPECIAL TAX LIEN(S)

NOTICE OF SPECIAL TAX AND ASSESSMENT

FOR

2614 MANHATTAN BEACH BLVD., REDONDO BEACH, CA 90278

1915 BOND ACT ASSESSMENT DISTRICTS

1915 Bond Act Assessment Districts ("AD") provide a method of financing certain public capital facilities. Public improvements funded by 1915 Bond Act Assessment Districts may include, but are not limited to, roads, sewer, water and storm drain systems, and street lighting. 1915 Bond Act Assessment Districts commonly fund the construction of public improvements through the issuance of bonds. A special assessment lien is placed on property within the Assessment District. The lien amount is calculated according to the specific benefit that an individual property receives from the improvements and is amortized over a period of years. 1915 Bond Act Assessments Districts can be prepaid at any time. In most instances but not all, the assessment is collected with regular property taxes.

This property is within the 1915 Bond Act Assessment District(s) named below and is subject to annual assessment installments levied by the assessment district that will appear on the property tax bill. The annual assessments are in addition to the regular property taxes and any other charges and benefit assessments that will be listed on the property tax bill. The assessment district(s) has issued bonds to finance the acquisition or construction of certain public improvements that are of direct and special benefit to property within the assessment district. The bonds will be repaid from annual assessment installments on property within the assessment district. The special assessment is used to provide public facilities that are likely to particularly benefit the property.

The annual assessment installment and public facilities that are being paid for by the money received from the sale of bonds that are being repaid by the assessments are indicated below. These facilities may not yet have all been constructed or acquired and it is possible that some may never be constructed or acquired.

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THIS PROPERTY IS SUBJECT TO IMPROVEMENT BOND ACT OF 1915 SPECIAL ASSESSMENT LIEN(S).

Los Angeles County Regional Park & Open Space District ▪ 213-738-2983 ▪ Regional Park & Open Space District

Annual Assessment Installment ~ \$7.16

Ending Year

Assessment installments will be collected each year until the assessment bonds are repaid, but in any case not after the 2021-2022 tax year.

Authorized Facilities

Proceeds from the sales of these bonds will be used to pay for the cost and expense of park improvements.

Authorized Services

1915 Bond Act Assessment Districts are not authorized to pay for ongoing public services.

NOTICE OF SUPPLEMENTAL PROPERTY TAX BILL

In accordance with Section 1102.6© of the California Civil Code, it is the sole responsibility of the seller of any real property, or his or her agent, to deliver to the prospective purchaser a disclosure notice of the following:

California property tax law requires the Assessor to revalue real property at the time the ownership of the property changes. Because of this law, you may receive on or two supplemental tax bills, depending on when your loan closes.

The supplement tax bills are not mailed to your lender. If you have arranged for your property tax payments to be paid through an impound account, the supplemental tax bills will not be paid by your lender. It is your responsibility to pay these supplemental bills directly to the Tax Collector. If you have any question concerning this matter, please call your local Tax Collector's Office.

As stated above, California law requires that the Assessor re-appraise property upon a change of ownership or the completion of new construction. This re-appraisal results in a supplemental tax assessment which is based on the difference between the new value and the old value of the property, multiplied by the property's Ad Valorem tax rate. The resulting Supplemental Tax amount is then pro-rated, based upon the number of months remaining in the fiscal year in which the event occurred.

The number of tax bills which will be issued also depends on the date the event occurred. If the change of ownership or new construction is completed between January 1st and May 31st, the result will be two supplemental assessments levied on two supplemental tax bills. If the event occurs between June 1st and December 31st, then only one supplemental bill will be issued.

NEW MANDATORY TRANSFER FEE DISCLOSURE REQUIRED 1/1/08

Private Transfer Fee

This is commonly known as a "Private Transfer Tax". It is a fee imposed by a private entity such as a property developer, home builder, or homeowner association, when a property within a certain type of subdivision is sold or transferred. A private transfer fee may also be imposed by an individual property owner. Private transfer fees are different from city or county Documentary Transfer Taxes. Private Transfer Fees may apply in addition to government Documentary Transfer Taxes that are due upon sale or transfer of the property.

California Civil Code Section 1098 defines a "Transfer Fee" as "any fee payment requirement imposed within a covenant, restriction, or condition contained in any deed, contract, security instrument, or other document affecting the transfer or sale of, or any interest in, real property that requires a fee be paid upon transfer of the real property." Certain existing fees such as governmental fees, court ordered fees, mechanic lien fees, common interest development fees, etc. are specially excluded from the definition of "Transfer Fee".

To determine if the property is subject to a Transfer Fee, Obtain Copies of all the exceptions listed on the preliminary (title) report from the title company and read them to determine if any transfer fees are applicable. Please be aware that private transfer fees may be difficult to identify by simply reading the title report.

Effective January 1, 2008, Civil Code Section 1102.6e requires the Seller to notify the Buyer of whether a private transfer fee applies and if present, to disclose certain specific information about the fee.

Content of Disclosure: Civil Code Section 1102.6e requires the Seller to disclose specific information about any Transfer Fee that may affect the property. Please refer to the legal code to the C.A.R. Form NTF (11/07), provided by the California Association of Realtors, for a standard format to use in making the Transfer Fee Disclosure if you elect to investigate and make this disclosure personally.

How to Determine the Existence of a Transfer Fee: If a Transfer Fee does exist affecting the property, the document creating the fee may be on file with the County Recorder as a notice recorded against the property and should be disclosed in the preliminary (title) report on the property. However, the preliminary (title) report will merely disclose the existence of the documents affecting title, not the content of the documents. The title of a document may also not be sufficient to disclose that a transfer fee is included in its terms. Accordingly Seller should (a) request the title company which issued the preliminary (title) report to provide copies of the documents shown as "exceptions," and (b) review each document to determine if it contains a transfer fee.

Documentary Transfer Taxes

This is a government tax imposed by a city or county when a property within the jurisdiction is sold or transferred. (It is commonly known as a "Real Estate Transfer Tax".) It is NOT the same as a private transfer fee, which may be imposed by a private entity such as a property developer, home builder, or homeowner association. However, it is a similar fee due upon closing, calculated based on a percentage of the purchase price.

Transfer Tax defined. Under California Revenue and Taxation Code Sections 11911-11929, counties and cities are authorized to impose a tax on the transfer of property located within their jurisdiction. The tax is commonly known by various names, including the Documentary Transfer Tax, or Real Property Transfer Tax, or Real Estate Transfer Tax (hereinafter, the "Transfer Tax").

How Much? The tax is due at closing and payable through escrow. This tax does not expire. All future sales of this property will be charged this tax at close of escrow. The amount of the transfer tax is based on the value or sale prices of the property that is transferred. The county rate and is credited against the county tax due. Charter cities may impose a transfer tax at a rate higher than the county rate.

For any city or county in California, the Transfer Tax rate ("Tax Rate Table") is available at no charge from many sources, most conveniently on the website of the California Local Government Finance Almanac (sponsored by the California League of Cities): <http://www.californiacityfinance.com/PropTransfTaxRates.pdf>

To estimate the transfer tax for the property, multiply the Property's estimated sales price (in thousands of dollars) by the amount shown in the Tax Rate Table for the city and county in which the property is located.

Who Pays? The law states that, "the Transfer Tax must be paid by the person who makes signs or issues any document subject to the tax, or for whose use or benefit the document is made, signed or issued." In practice, this means that the payment of the Transfer Tax is customarily made by the Seller or the Buyer, or shared by both, depending on the jurisdiction in which the transferred property is located.

Are there any exemptions? The California Revenue and Taxation Code, which provides the statutory authority for counties to impose the transfer tax, specifically exempts from the transfer tax the following transaction:

1. Instruments in writing given to secure a debt.
2. Transfers whereby the federal or any state government, or agency, instrumentality or political subdivision thereof, acquires title to realty.
3. Transfers made to effect a plan of reorganization or adjustment (i) confirmed under the Federal Bankruptcy Act, (ii) approved in certain equity receivership proceedings or (iii) whereby a mere change in identity, form or place of organization is effected.
4. Certain transfers made to effect an order of the Securities and Exchange Commission relating to the Public Utility Holding Company Act of 1935.
5. Transfers of an interest in a partnership (or, beginning January 1, 2000, an entity treated as a partnership for federal income tax purposes) that holds realty, if (i) the partnership is treated as continuing under IRC 708 and (ii) the continuing partnership continues to hold the realty.
6. Certain transfers in lieu of foreclosure.
7. Transfers, divisions or allocations of community, quasi-community or quasi-marital property between spouses pursuant to, or in contemplation of, a judgment under the Family Code.
8. Transfers by the State of California, or any political subdivision, agency or instrumentality thereof, pursuant to an agreement whereby the purchaser agrees to immediately reconvey the realty to the exempt agency.
9. Transfers by the State of California, or any political subdivision, agency or instrumentality thereof, to certain nonprofit corporations.
10. Transfers pursuant to certain inter vivos gifts or inheritances.

DESCRIPTION OF 1915 BOND ACT ASSESSMENT DISTRICT(S)

FOR

2614 MANHATTAN BEACH BLVD., REDONDO BEACH, CA 90278

Regional Park & Open Space District

Los Angeles County Regional Park & Open Space District

\$859,000,000.00

Summary

Passage of the Safe Neighborhood Parks Proposition of 1992, Proposition A, on November 3, 1992, created the Los Angeles County Regional Park and Open Space District. The District's boundaries are coterminous with the boundaries of Los Angeles County. The 1992 Proposition funded \$540 million dollars for the acquisition, development, rehabilitation, protection and restoration of beach, wildlife, park and natural lands with the County, tree-planting, gang prevention and intervention, and improvement of recreation facilities for youth and senior citizens. On November 5, 1996, provided an additional \$319 million dollars in funding for the development, acquisition, improvement, restoration and maintenance of parks, recreational, cultural and community facilities and open space lands within the County of Los Angeles. The bonds were issued pursuant to the Improvement Bond Act of 1915 to pay for the acquisition and/or construction of certain public facilities benefiting the properties in the district. The assessment lien is collected in annual installments to pay the interest and principal on the bonds and administrative expenses.

What facilities does it pay for?

Proceeds from the sales of these bonds will be used for the acquisition, development, rehabilitation, protection and restoration of beach, wildlife, park and natural lands with the County, tree-planting, gang prevention and intervention, improvement of recreation facilities for youth and senior citizens, restoration and maintenance of parks, recreational, cultural and community facilities and open space lands within the County of Los Angeles.

How is the annual levy calculated?

The principal amount of the bonds is allocated to each parcel in the district in proportion to the benefit received from the public facilities. The annual assessment installments represent each parcel's share of the interest and principal on the bonds. Administrative expenses are allocated to each parcel.

Can the annual levy increase?

To the extent that the annual interest and principal payments on the bonds are not perfectly level, the annual installment payment amount may increase. Installment payment amounts may also increase if additional bonds are authorized and issued.

How long will it be on the tax bill?

The annual installments will be collected until the final payment on the bonds is made in 2021.

Foreclosure Proceedings

The Assessment District has the right (and if bonds are issued, the obligation) to foreclose on property when the special taxes are delinquent for more than 90 days. Additionally, any costs of collection and penalties must be paid by the delinquent property owner.

Contact Information

County of Los Angeles
533 S Vermont Avenue
Los Angeles, CA
phone: (213) 738-2983

Consultant Information

BUILDING PERMIT DISCUSSIONS

This generalized Discussion/Explanation section is intended for information purposes only in order to provide a better understanding of Building Permits and the Permit Process. Should you have any further questions, please feel free to contact Disclosures By Property Solutions, Inc. and one of our Experts will be glad to assist you!!

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INTRODUCTION

You have taken an important step in obtaining this report to help inform yourself about the home you are planning to purchase or the home you are presently living in. This section contains some general background information on certain subjects that can help you better understand what building permits are and the processes involved. It also contains information about the different types of reports and permits you can request information on. The information is of necessity generalized as specific planning and permit processes vary among the different jurisdictions.

There is no question that when permit information is available *and* property analyzed, a more complete history of a home is available. A permit search helps document the history of a home's construction and additional work that may have been undertaken after initial construction. However, buyers and sellers should not over-rely on permit searches. A permit search has the possibility of providing incomplete or ambiguous results due to the age of the home; differences in the way various jurisdictions maintain and file permit information. In addition, permits can be lost, misplaced, or even thrown-out (yes, this can happen!) With these potential limitations in mind, the Property Solutions Permit Report provided the results of what our search has uncovered for this home. Take this information as *part of* what is being provided to you by a home inspector, the seller, real estate agent, and your own experience.

This section includes discussions on topics to help you in understanding and assessing building permits and general permit processes. It is for general information purposes only and is not intended to be an exhaustive study nor a synopsis of all aspects of building permits and what may exist in jurisdictional planning and or engineering files. What types of projects may or may not require a permit and the permit process vary over time and by jurisdiction. If you have questions about building or permit requirements at a specific property, we suggest you contact that area's jurisdictional planning and/or engineering department.

This discussion section is divided into the following parts:

- Part 1. The Building Permit Process
- Part 2. Understanding the Potential Limitations of Permits
- Part 3. Why Search for Sewage System Permits?
- Part 4. What is a "Geo-technical", "Soils", or "Geologic" Report?

*For additional information on building permit topics in your area, contact the planning, development, or engineering departments of your city or county.

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THE BUILDING PERMIT PROCESS

(Part 1)

WHAT GOVERNS CONSTRUCTION STANDARDS?

To help assure the building we live and work in are built appropriately, there are a set of uniform codes published by the International Conference of Building Officials. These codes establish minimum standards and procedures for most aspects of construction and development. The purpose of establishing minimum standards is to help safeguard life, limb, health and public welfare by regulating and controlling the design, construction, materials, and location of buildings. Some common codes you may be familiar with are the Uniform Building Code, The Uniform Plumbing Code, or the Uniform Electric Code. City and County jurisdictions who are empowered to oversee and regulate development and construction can adopt the various Uniform Codes as they are published, or they can amend and revise the Codes to produce a set of standards suited to local conditions.

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WHAT IS A BUILDING PERMIT?

A building permit is simply a “license” to construct something. Permits are required for new construction as well as most “re-modeling” activities such as adding a skylight, or re-plumbing a bathroom. Some types of home maintenance projects may require permits too, such as replacing a water heater or a window. The types of projects that require a permit vary between jurisdictions, and may be based on the value of the proposed work. The types of projects that require a permit have changed over time too. For example, a project that requires a permit today may not have required a permit 20 years ago. This is an important point to keep in mind when assessing the permits on file for the property you are interested in.

An application for a permit must be completed when a construction project is planned. This process has to be repeated for every separate permit such as building, mechanical, electrical, grading, sewer plumbing, etc. A fee is charged for each permit. Once the county or city is satisfied that the applicant’s plans satisfy the relevant codes and ordinances, a permit is issued. The proposed construction must take place within a certain time period, because permits eventually expire.

A jurisdiction can decide not to issue a permit if the plans do not satisfy its requirements or if other circumstances such as the site’s geology would not permit safe construction etc. Jurisdictions also have the authority to revoke or suspend permits if violations occur or significant changes are proposed.

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THE BUILDING INSPECTION PROCESS

Jurisdictions have the right to inspect the construction process and materials used in any project that requires a permit. In many types of permits, an inspection or series of inspections by an official building inspector is actually required. Some types of construction even require constant monitoring! The inspection process is to help assure that the construction is following the plans approved by the jurisdiction during the permit application process. The persons undertaking the construction process are responsible for contacting the appropriate department to schedule the necessary inspections.

The inspector is to observe the work. If the inspector approves the work, that approval and the fact that the inspection was done is supposed to be recorded on the permit. After the work is completed and the jurisdiction is satisfied that the project complied with the current requirements, the permit is “finalized” or “signed off”. This fact should be clearly noted on the permit itself.

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SUMMARY

A building permit is simply a “license” to construct something. The inspection process associated with building permits is a policing action to help assure that construction is completed according to the jurisdictionally approved plans for that project. Although, neither the permit nor inspection process guarantee or warrant “quality” of construction, they help us establish that the construction process was monitored for compliance with local requirements and approved plans.

UNDERSTANDING THE POTENTIAL LIMITATIONS OF PERMITS

(Part 2)

There are hundreds of county and city level jurisdictions in California. Each tends to use a slightly different method of requiring, processing, storing, and making permits available. Jurisdictional records may be incomplete because permits were not obtained, are filed in a different department, were lost, misplaced or even accidentally thrown-out (yes, this may happen!) Therefore, the absence of a building permit does not necessarily mean that construction was done without a permit. As we discuss next, the mere presence of a building permit does not necessarily mean that construction took place or was properly accomplished either.

If permits are found, they must be properly examined and analyzed. It's not uncommon for property owners to obtain permits and then simply not build. Such permits may give the impression that remodeling or changes were made to a home that were not. Sometimes permits are obtained and owners do not go through the proper inspection process. In this case, permits are not "sign-offs" or a passing final inspection may be recorded on the back of the permit. When the permit is microfilmed for storage, the back of the permit may not be included. We are left not knowing if the permit was finalized or not!

When analyzing permits, remember that older homes may not "conform" to current codes and requirements, but this does not necessarily mean that the home is in "non-compliance". Minimum building and construction standards are revised and changed over time as new information, materials, and methods are found and implemented. An older home, addition, or re-model may have been built in compliance to an older set of standards. In this case, the home is said to be "non-conforming". It does not necessarily mean there is anything wrong with the quality of the home. If a construction project or home is said to be in "non-compliance", it means the work was not done according to the minimum code that was current when the work was undertaken.

Keep these possibilities in mind as you read through the Property Solutions Permit Report.

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WHAT ELSE CAN I DO?

The best method to help determine the quality of a home of addition is to simply inspect it today. We should all be realistic and understand that as homes get older, they usually show cosmetic signs of aging. If construction defects exist, these may be evident too. This is just one reason for a quality home inspection. Although home inspections are not generally code compliance checks, a good home inspection can identify many types of construction concerns if they exist.

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WHY SEARCH FOR SEWAGE SYSTEM PERMITS?

Is the home on a municipal sewer system or does it have a private septic system? These questions can be answered by a search of jurisdictional records to see what type of sewage permit is current for the property. Why is this important? A home on a private septic system will have certain maintenance requirements that a home on a municipal sewer system does not have. It's best to know and investigate potential maintenance routines and costs in advance, so problems don't occur later on.

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MUNICIPAL SEWER SYSTEMS

(PART 3)

Most homes in well-developed areas are connected to a municipal sewer system. This means waste is carried from the home into sewer pipes that transport the waste to treatment facilities where it is processed and rendered harmless before releasing into the environment. The sewer pipes are usually in the street. In some older areas, the sewage pipes carry both waste and storm water run-off. Although it is rare, there are certain areas where a home is on a municipal sewer system and is refused a permit to add an addition onto the home with more plumbing fixtures. This would generally be referred to as a type of "moratorium" on development. Sewer moratoriums can be put in place when a municipality's sewer system is at capacity, and additional fixtures and associated effluent could overload the system. This is important to check on if you are planning a house expansion.

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PRIVATE SEPTIC SYSTEMS

In areas where municipal sewer systems are not available, a home will have a private septic system to handle waste.

The most common and currently utilized private septic system is a septic tank with a leach field. Although there are many variations, a septic tank is just a tank buried in the ground. Pipes carry waste from the home into the tank where the waste material naturally degrades biologically. Liquid in the tank gradually flows out into the surrounding area or "leach field" where it continues to degrade. A septic system that is functioning properly is invisible and odorless.

Although very rare, the private septic system may consist of pipes that carry waste from the home to a cesspool on the property. A cesspool is simply a hole in the ground that is lined with porous masonry and is open to the air. Material in the cesspool gradually breaks down and leaches into the ground where additional degradation takes place. Cesspools are no longer allowed to be installed, but some older systems may remain in use.

All septic systems are dependent on bacterial degradation to work. Therefore, care must be taken to avoid bleaches and strong detergents from getting into the system where they can kill the necessary bacteria. Too much water entering the tank can overload the system too. Septic systems may need to be "pumped" periodically. If there are mechanical parts on the system, regular maintenance can help avoid problems. In general, if the home utilizes a private septic system, consult the current owner on proper maintenance of that particular system. It may be prudent to have the system checked by an expert too. If the property has had a home inspection, the septic system may have been checked and addressed. In any case, it is prudent to know where the septic system is located so its condition can be monitored and that no structures are placed on top of it.

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WHAT IS A “GEOTECHNICAL”, “SOILS”, OR GEOLOGIC REPORT?

(PART 4)

As part of your permit search, you may have elected to determine if there were any geotechnical, soils, or geologic reports on file for the property you are interested in purchasing. As discussed in the section on building permits, there are a set of uniform codes that have been established to set minimum standards for most aspects of construction in order to help assure that the buildings we live and work in are built appropriately. The purpose of establishing minimum standards is to help safeguard life, limb, and public welfare by regulating and controlling the design, construction, materials, and location of buildings.

Geologist and soil engineers are intricately involved with development in California. As valleys and relatively level areas are steadily built-up development has moved towards those areas, which tend to be more difficult to build on. Much of this land has a potential for geologic hazards from such things as steep hillsides, faults or expansive soil conditions.

Before development can proceed, most jurisdictions require a “soil engineering” and often a geologic study prior to construction. Such studies are undertaken to determine if geologic hazards exist on the property or in the immediate area that could impact the proposed development. In this way, engineers can design buildings to help avoid future problems.

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WHAT ARE THESE TYPES OF REPORTS?

Common sense tells us that the land a structure is to be built upon may affect “how” that building is constructed. For instance, is the site on a hillside? Are there geological conditions on the site such as a fault or a landslide or perhaps soil conditions that could impact the proposed structure? What type of foundation is best suited for this property? How will water drainage and grading be handled? These are the types of questions jurisdictional planning and engineering departments want answered before building permits are issued. Such questions are answered in “geotechnical”, “soils”, and “geologic” reports.

“Geotechnical reports” and “soils engineering reports” are synonymous with each other. In California, these reports must be signed by a State licensed Civil Engineer. This type of report is commonly required on most new home development or the structural re-modeling of an existing home. In general, the purpose of a geotechnical report is to address the adequacy of a site for development by investigating the conditions that could impact a structure such as the type of soils or bedrock, the topography, etc. These reports are designed to provide recommendations for foundations, grading and mitigation measures that should be undertaken to make the site suitable for development. Foundations which are fine for a house on level ground may not be adequate for the same house on a hillside. Soil and foundation studies use “subsurface exploration” (such as drilling holes to collect soil samples) to investigate underground conditions at a particular site. Soil samples are collected and tested in soil engineering laboratories to determine the properties of that soil which could affect a building constructed on that property.

In a geologically complex or hazardous area, a jurisdiction may require a more detailed report to specifically address the geological conditions in detail before new home development or certain types of remodeling. This type of report is called “geological report”. NOTE: A geological report prepared for home development is different than the Property Solutions Natural Hazards Disclosure Reports you may receive during a real estate transaction. A geologic report prepared for new home development is going to provide on-site inspections and possibly laboratory analysis in order to describe the site’s geology in detail and offer conclusions and recommendations as to how the geology could impact a proposed development. A geologic “disclosure” report informs you of State, County, or City mapped general geologic hazard areas that may affect the property. It does not provide conclusions or recommendations for development. A geologic report submitted for development purposes must be signed by a State licensed Geologist or Engineering Geologist.

Once a geotechnical or geologic report is submitted to the County or City as part of the permit process, it becomes public record and is kept on file at the local jurisdiction's planning or engineering department. Such reports are what we search for in this report.

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DEVELOPMENT IN FAULT AREAS

Since the early seventies, the State of California has delineated on maps areas around active fault traces. These areas called Alquist-Priolo Earthquake Fault Zones. For those properties in an Alquist-Priolo Earthquake Fault Zone, State law requires that a geologic study be performed to determine if a fault trace exists on the property before development of structures intended for human occupancy is permitted. However, there are some exceptions to this requirement for single family homes. Check your Property Solutions Geologic, Flood and Fire Zone Report for the Alquist-Priolo determination. In the case of existing structures built before enactment of the Special Studies Zone Act in 1972, any addition that adds living-area square footage (i.e. a bedroom) to the structure usually requires a geologic study before it is built. Even if an active fault trace is found, most properties can be developed as long as there is room for an adequate setback from the fault trace. Jurisdictions can require on-site geologic studies in any area where they suspect a fault trace may exist, even if that area is not an Alquist-Priolo Earthquake Fault Zone.

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ONCE DEVELOPMENT BEGINS

Once construction has begun, soils engineers and geologists are again involved. In many jurisdictions, soils engineers are required to monitor the construction of foundations or drainage schemes and any grading or excavation. Fills are observed and tested to assure the quality of their compaction. Each step of the construction process that is monitored by a soils engineer is generally recorded with the builder and the local jurisdiction in the form of "observation letters". Buyers of homes built within the last 10 to 15 years may be able to discover much about the care with which the home was constructed by reviewing available engineering observation letters at the local jurisdiction's planning or engineering department.

In many jurisdictions, a geologist or soil engineer is again involved after the construction is completed in order to "finalize" it. Once the soils engineer is satisfied that the components of the home that he was responsible for was built in accordance with the approved soils engineering report, the engineer provides a Final Letter of Inspection. This final letter should be available in the jurisdictional files. Although a building permit can be applied for and received, there is no guarantee that the construction was completed according to building codes and recommendations unless it is "finalized" or "signed off".

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