

TITLE 24	ZONE	ADU	
INSULATION	CEILING		R-
	WALL	WOOD-FRAME WALL	R-
	FLOOR	RAISED FLOOR CONCRETE FLOOR	R-0
HVAC			MINI-SPLIT
WATER HEATER			TANKLESS
RADIANT BARRIER			NO
COOL ROOF			YES
WHOLE HOUSE FAN			NO
FENESTRATION	MAX. U-FACTOR		
	MAX. SHGC		

**SCOPE OF WORK**

- CONVERT (E) 457 SQ. FT. GARAGE INTO A 347 SQ. FT. ADU STUDIO, 1 BATHROOM, KITCHEN
- NEW STORAGE IN GARAGE 56 SQ. FT.

**UTILITY NOTES**

- CONTACT THE LOCAL GAS COMPANY FOR NEW GAS SERVICE INSTALLATION
- CONTACT THE LOCAL WATER DEPARTMENT FOR NEW METER SERVICE INSTALLATION
- CONTACT THE LOCAL ELECTRIC UTILITY COMPANY FOR A METER SPOT

**PROJECT CONTACTS**

**OWNER**

**DESIGNER**  
LONG BEACH DESIGNERS  
5252 LONG BEACH BLVD.  
LONG BEACH CA. 90805  
ATTN: LEOH SANDOVAL  
TEL: 310.749.3195  
FAX:  
E-MAIL: LEOH@LBDESIGNERS.COM

**STRUCTURAL ENGINEER**

**ENERGY CONSULTANT**

**CODES**  
ALL WORK SHALL CONFORM TO THE 2019 CRC, CBC,CMC,CEC,CPC THE CITY OF PALOS VERDES EST MUNICIPAL CODE, 2019 CALIFORNIA ENERGY CODE.

**SEPARATE PERMITS**

**SHEET INDEX**

A-1.0 SITE PLAN  
A-2.0 DEMO/PROPOSED PLAN  
A-3.0 CEILING/ROOF PLAN  
A-4.0 NOTES  
T-24 TITLE 24  
S-1 STRUCTURAL  
SN-1 STRUCTURAL NOTES  
SN-2 STRUCTURAL NOTES

**PROJECT DATA MAIN HOUSE**

EXISTING CONSTRUCTION TYPE ..... TYPE V - B  
FIRE SPRINKLERS ..... NO  
PROPOSED USE ..... SFD  
OCCUPANCY GROUP ..... R-3, U  
APN ..... 7545-008-005  
ZONE .....  
TRACT ..... 7330  
BLOCK ..... 1632  
LOT ..... 5  
SITE AREA ..... 8873 SQ. FT.  
MAIN HOUSE EXISTING AREA ..... 1833 SQ. FT.  
EXISTING CAR GARAGE ..... 457 SQ. FT.  
LOT COVERAGE 45% ALLOWED ..... 25.8143

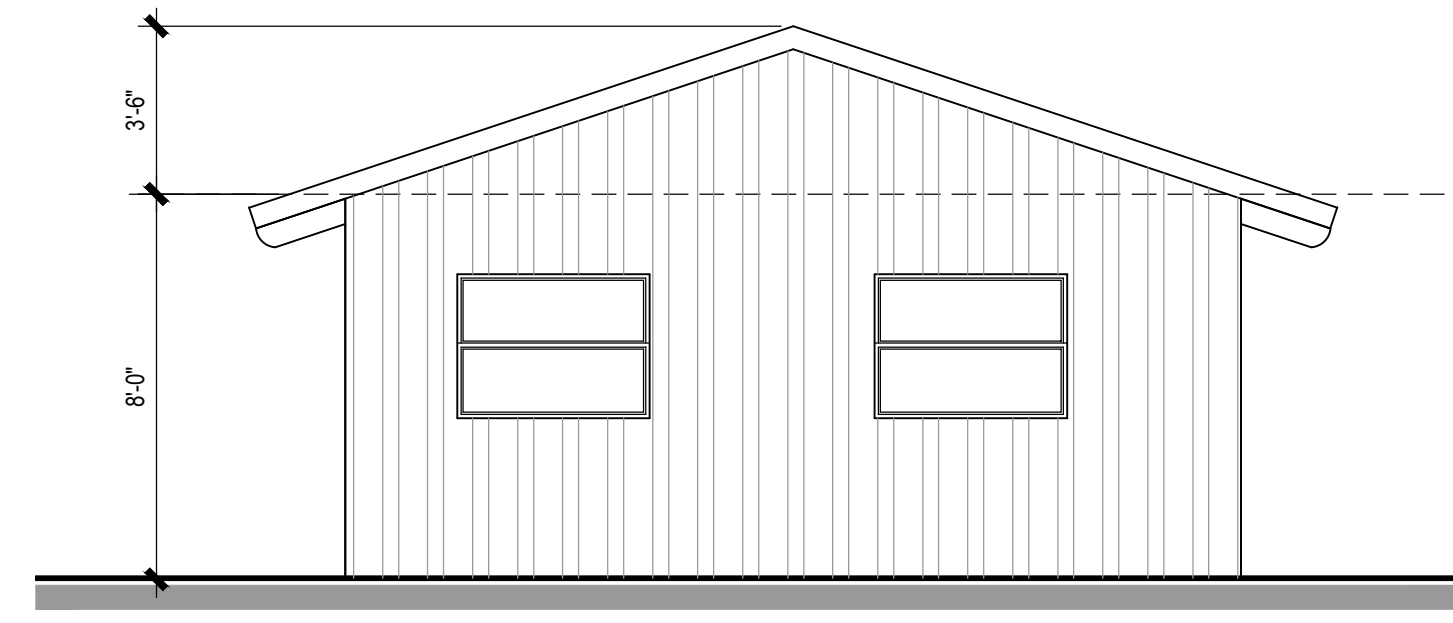
FRONT SETBACK ..... 25'-6"  
SIDES ..... 8'-10"  
REAR SETBACK ..... 8'-5"  
TOTAL NUMBER OF UNITS ON PROPERTY ..... 1  
NEAREST FIRE HYDRANT ..... 100'

**ADU PROJECT DATA**

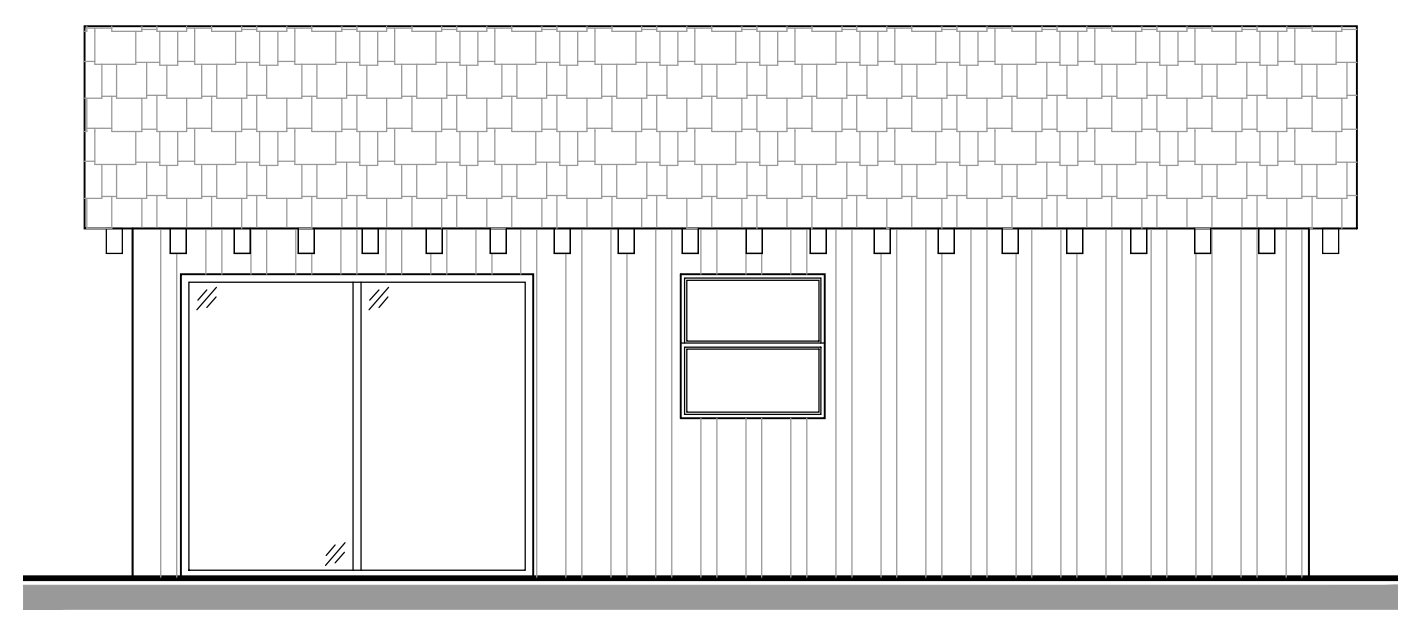
NEW LIVING AREA (ADU) ..... 347 SQ. FT.  
NEW STORAGE ..... 56 SQ. FT.  
NUMBER OF STORIES ..... 1

**REVISIONS**

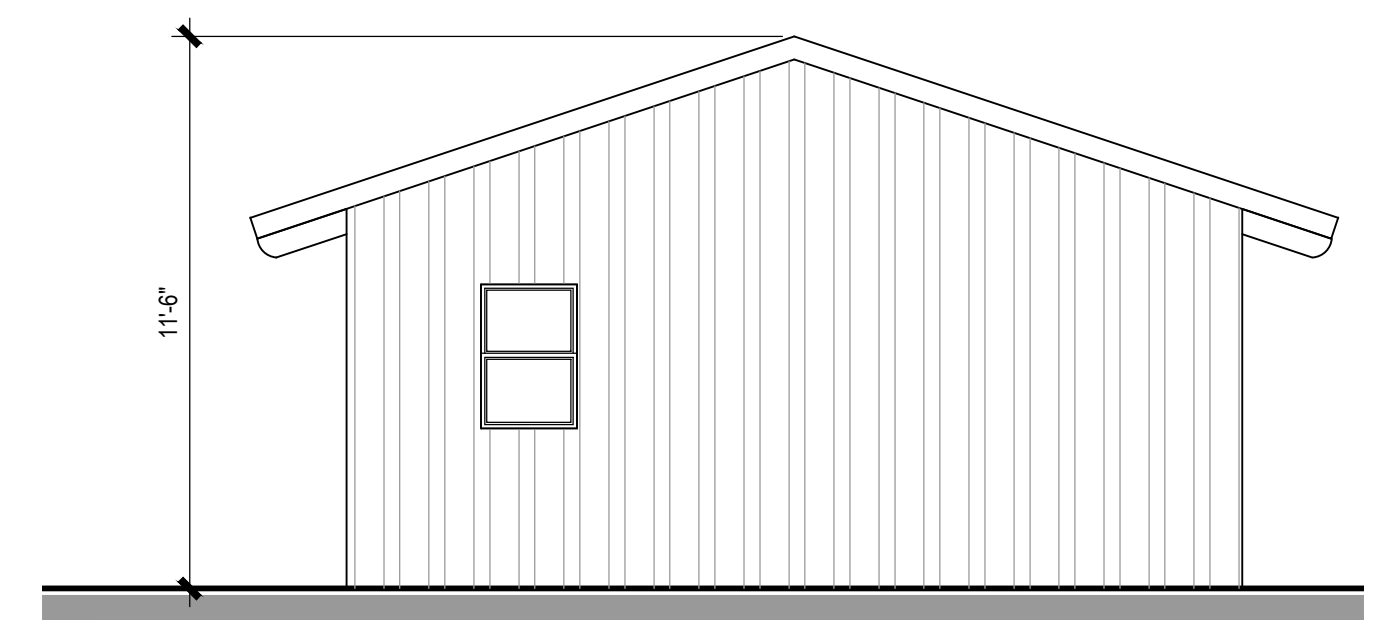

RESIDENTIAL  
COMMERCIAL  
DESIGN



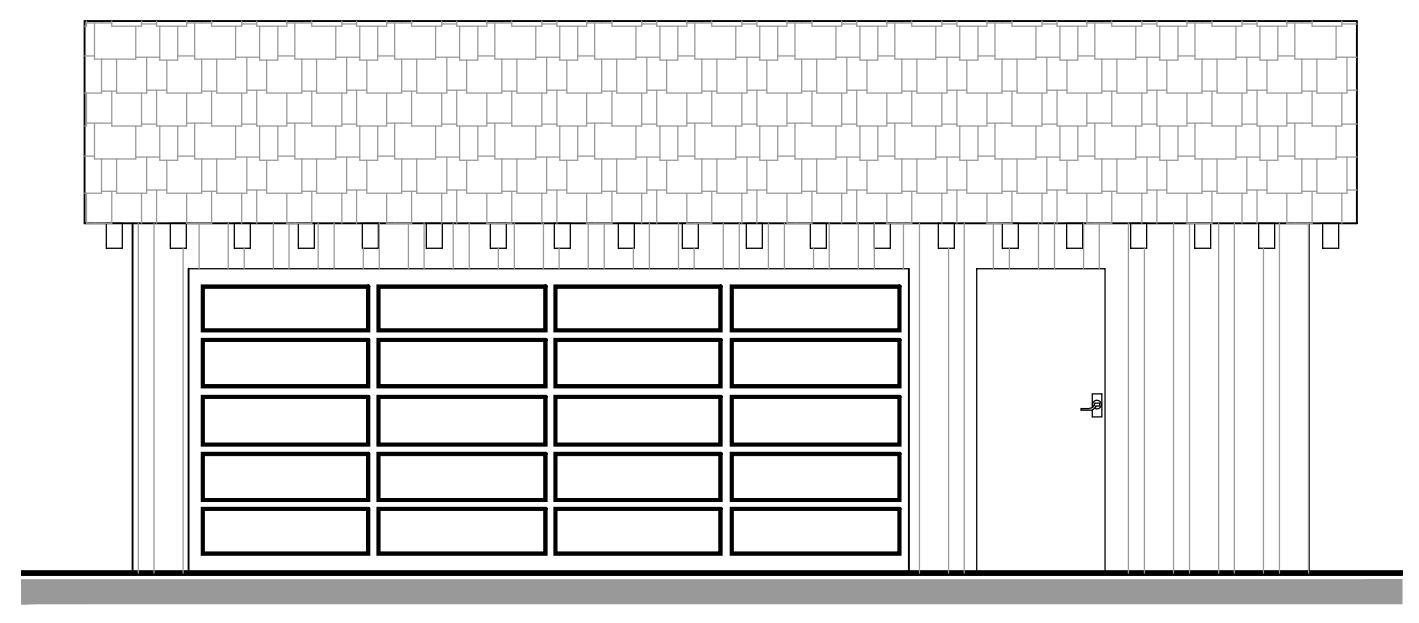
**4 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



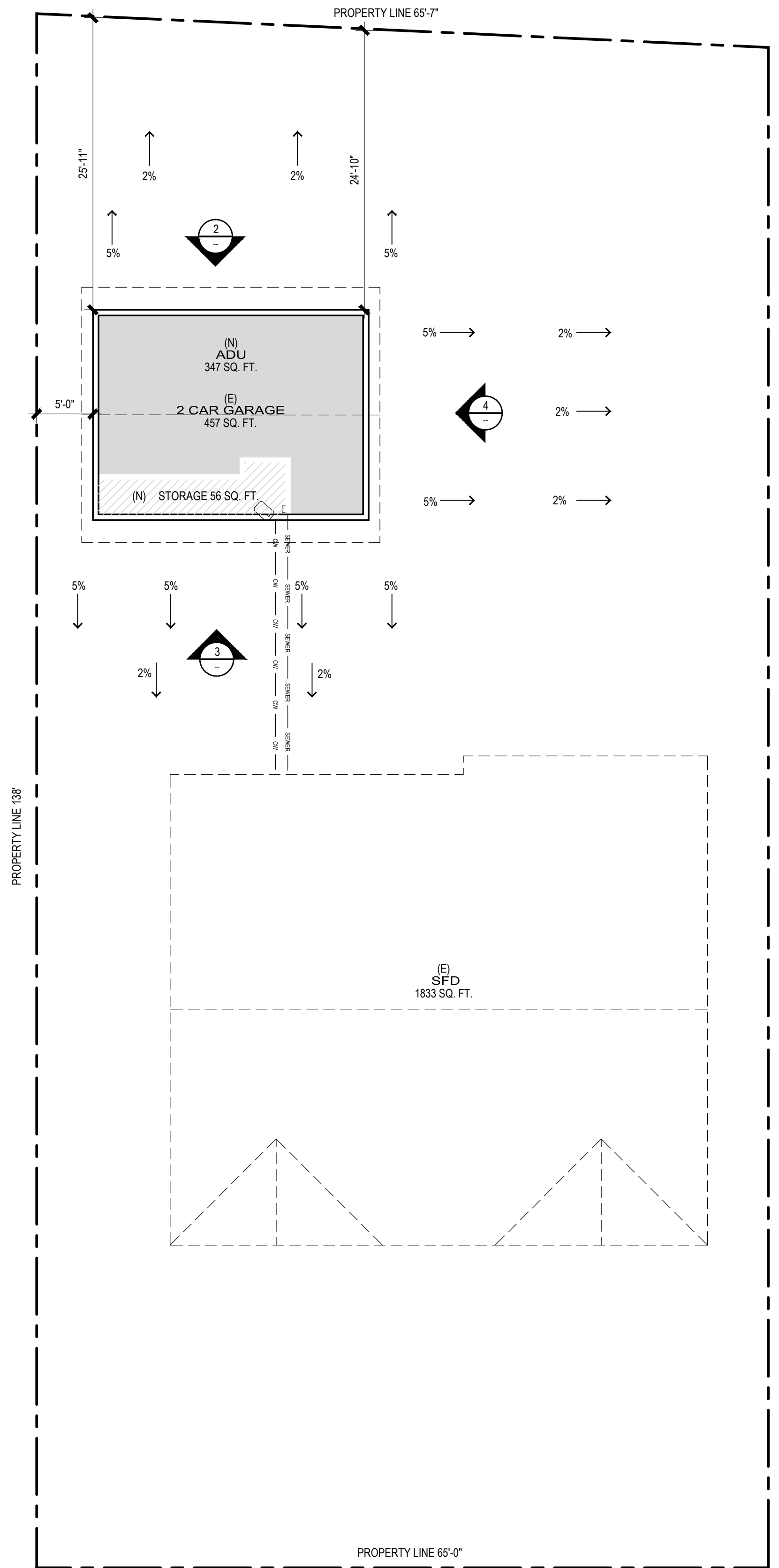
**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



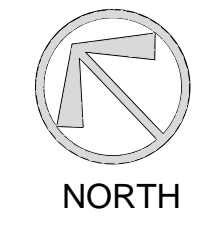
**5 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 EXISTING SITE PLAN**  
SCALE: 1/8" = 1'-0"



- KEY NOTES**
- HOUSE PERIMETER
  - (E) WATER METER
  - (E) GAS METER
  - (E) ELECT. PANEL, PROVIDE SEPARATE METER FOR ADU
  - (E) WATER HEATER
  - (E) SEWER
  - FASCIA TO MATCH (E)
  - (E) ROOFTOP AC UNIT
  - (E) NEAREST FIRE HYDRANT
  - (E) PARKWAY TREE

- LEGEND**
- ELEVATION SYMBOL
  - INDICATES AREA PF WORK 457 SQ. FT.
  - STORAGE 457 SQ. FT.
  - INDICATES OPEN SPACE
  - SEWER LINE
  - GAS LINE
  - WATER LINE
  - GARAGE PERIMETER
  - PROPERTY LINE

- GENERAL NOTES**
- PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.
  - FINISH GRADE AROUND THE NEW STRUCTURE/ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
  - THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
  - CONTRACTOR TO REPLACE CLAY SEWER LINE IF IT FALLS WITH-IN NEW ADDITION TO ABS LINE (ONLY AT ADDITION)
  - CONTRACTOR TO VERIFY THAT GAS PIPING, ELECTRICAL PANEL, CENTRAL HEATING ARE ADEQUATE FOR NEW ADDITIONS & OR REMODEL AND PROVIDE HOME OWNER WITH A PRICE PRIOR TO START OF WORK. (ALL ELECTRICAL, MECHANICAL, & PLUMBING TO BE DESIGN BUILD & TO CODE)
  - SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, PATIO COVERS, FENCES, SWIMMING POOL, RETAINING WALL, DEMOLITION, ETC.

**AS-BUILT NOTES**

ALTHOUGH ALL REASONABLE EFFORTS WERE MADE TO ENSURE ACCURACY, THESE PLANS REPRESENT AS-BUILT CONDITIONS AND ARE NOT INTENDED TO REPRESENT AN EXACT AND ACCURATE LAYOUT. THE OWNER SHOULD ANTICIPATE UNFORESEEN CONDITIONS AND SHOULD BE EXPECTED DURING CONSTRUCTION.

**OWNER**

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE JOB SITE ACCORDING TO THE CONTRACT DOCUMENTS. NOTES AND DIMENSIONS ON ARCHITECTURAL PLANS SHALL BE CHECKED AND VERIFIED WITH STRUCTURAL, MECHANICAL, PLUMBING AND ANY OTHER DRAWINGS INCLUDED IN THE CONTRACT DOCUMENTS. ANY DISCREPANCIES IN NOTES AND OR DIMENSIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER PRIOR TO COMMENCING WORK, SO THAT ANY REQUIRED REMEDIAL WORK CAN BE PERFORMED.

ALL DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE DESIGNER AND HIS CONSULTANTS FOR THIS PROJECT ARE INSTRUMENTS OF THE DESIGNERS SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE DESIGNER SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHTS. COPIES OF ARCHITECTURAL DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS FOR INFORMATION AND REFERENCE ARE PROHIBITED UNLESS EXPRESSLY AUTHORIZED BY XXX IN WRITING.

call: TOLL FREE  
1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a Permit to Excavate will be valid.

**LONG BEACH DESIGNERS**  
5252 LONG BEACH BLVD - LONG BEACH - CALIFORNIA 90805  
WWW.LBDESIGNERS.COM

NEW ADU CONVERSION  
RESIDENCE  
1036 VIA NOGALES  
PALOS VERDES EST CA 90274

310-749-3195

DESIGNER  
LEOH SANDOVAL  
8/13/20

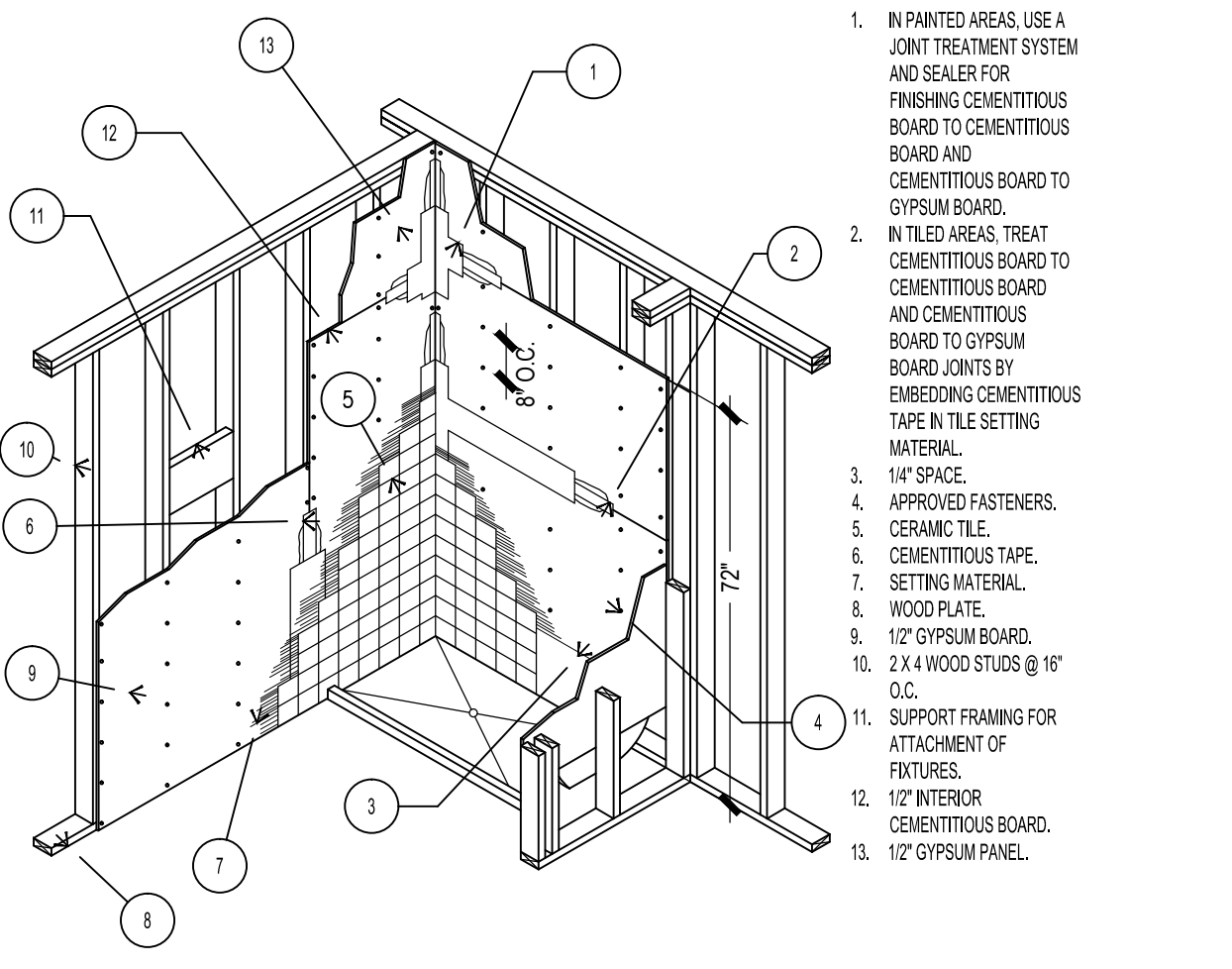
JOB NUMBER: ###  
PLOT DATE: 12/23/20  
DRAWN BY:  
SHEET TITLE: SITE PLAN  
SHEET NO:

**A-1.0**

**FLOW RATE STANDARDS**

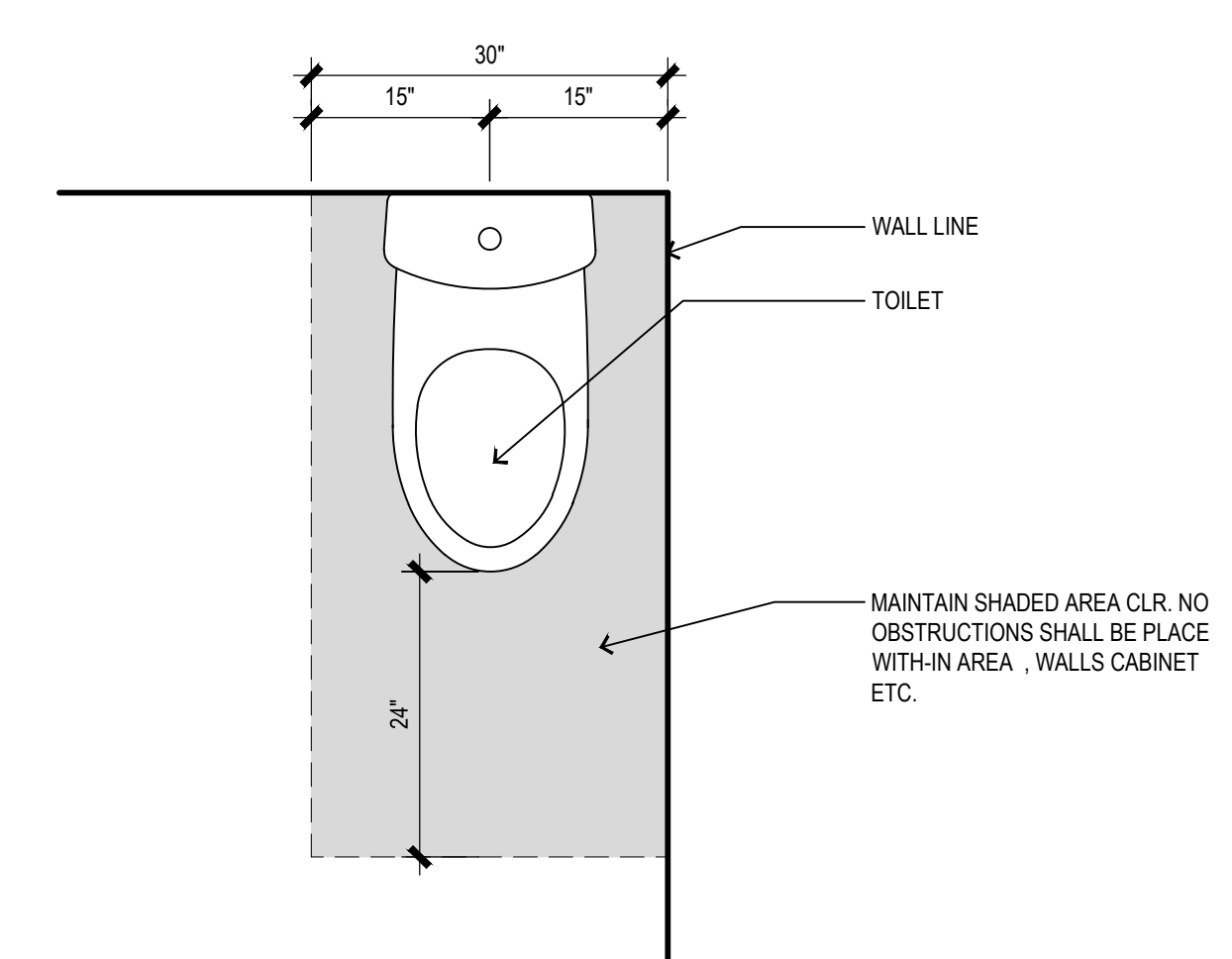
1. WATER CLOSETS:	1.28 GALLON / FLUSH
2. SHOWERHEADS:	1.8GPM @ 80PSI
3. LAVATORY FAUCETS:	1.2 GPM @ 60PSI
4. KITCHEN FAUCETS:	1.8 GPM @ 60PSI
5. URINAL	0.5 GALLON / FLUSH

AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS SHALL BE WEATHER BASED

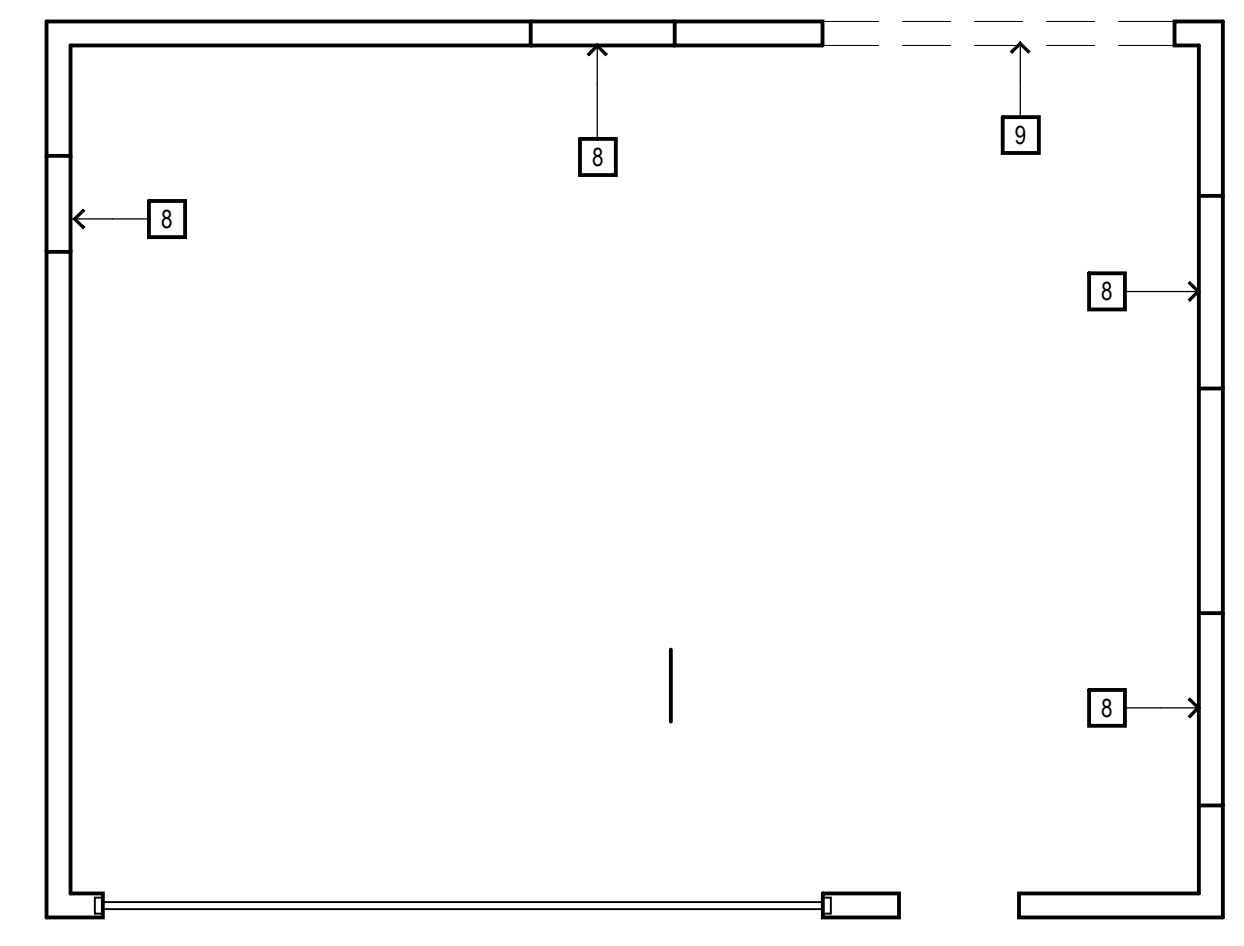


1. IN PAINTED AREAS, USE A JOINT TREATMENT SYSTEM AND SEALER FOR FINISHING CEMENTITIOUS BOARD AND CEMENTITIOUS BOARD TO GYPSUM BOARD.
2. IN TILED AREAS, TREAT CEMENTITIOUS BOARD TO CEMENTITIOUS BOARD AND CEMENTITIOUS BOARD TO GYPSUM BOARD JOINTS BY EMBEDDING CEMENTITIOUS TAPE IN TILE SETTING MATERIAL.
3. 1/4" SPACE.
4. APPROVED FASTENERS.
5. CERAMIC TILE.
6. CEMENTITIOUS TAPE.
7. SETTING MATERIAL.
8. WOOD PLATE.
9. 1/2" GYPSUM BOARD.
10. 2X4 WOOD STUDS @ 16" O.C.
11. SUPPORT FRAMING FOR ATTACHMENT OF FIXTURES.
12. 1/2" INTERIOR CEMENTITIOUS BOARD.
13. 1/2" GYPSUM PANEL.

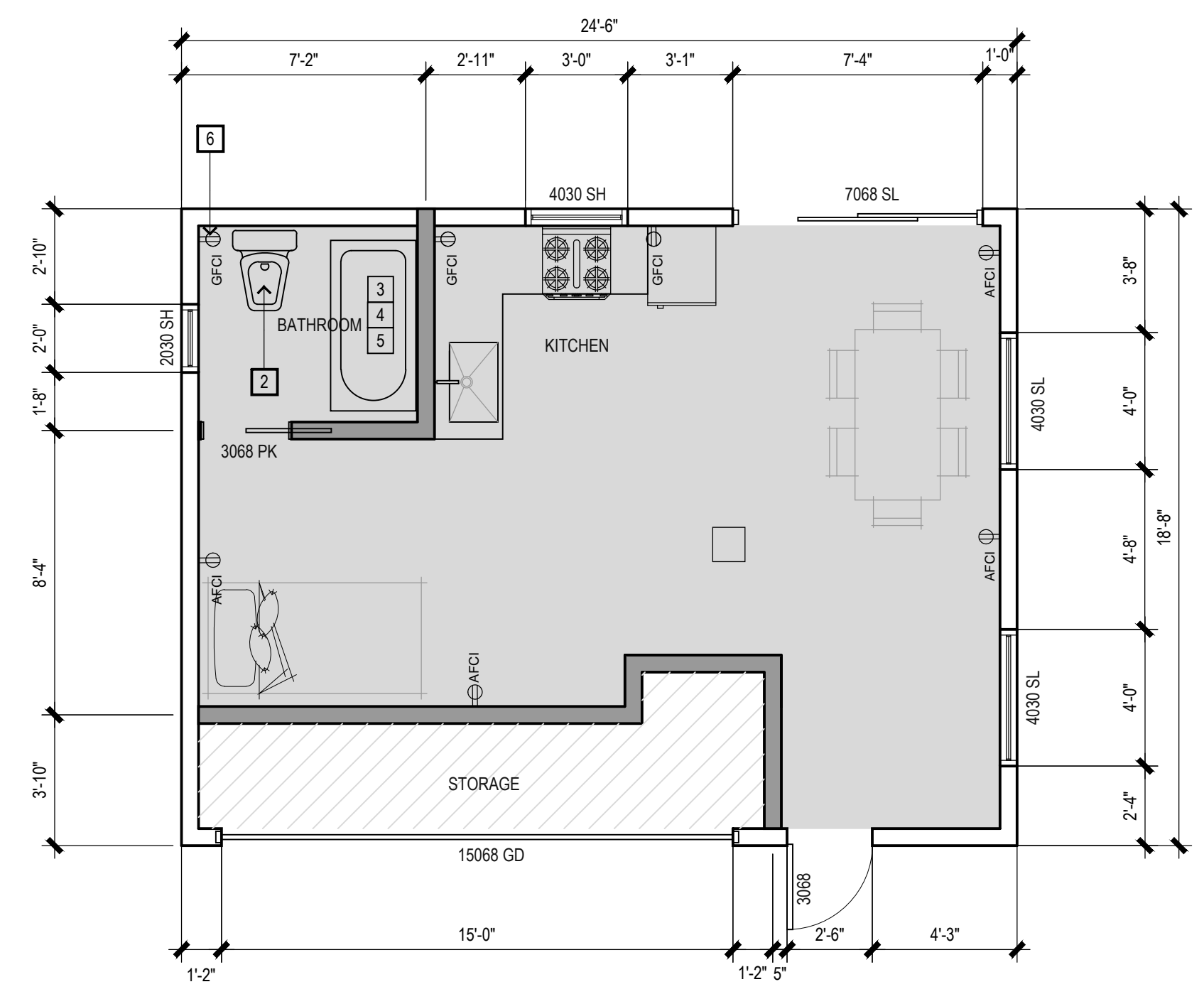
**SHOWER FINISH**      1/2" = 1'-0"      A



**TOILET BOWL CLEARANCE**      1 1/2" = 1'-0"      B



**1 Demo Proposed Plan**  
SCALE: 1/4" = 1'-0"      NORTH



**2 PROPOSED PLAN**  
SCALE: 1/4" = 1'-0"      NORTH

**KEYNOTES**      ALL NOTES MAY NOT APPLY TO THIS FLOOR

1. REMOVE (E) DOOR
2. PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" CLEARANCE IN FRONT OF WATER CLOSET.
3. GLAZING IN SHOWER AND TUB ENCLOSURES SHALL BE TEMPERED, LAMINATED OR APPROVED PLASTIC (INCLUDING WINDOWS WITHIN 5 FEET OF TUB OR SHOWER FLOOR)
4. PROVIDE FULL HEIGHT NON ABSORBENT SURFACE 72" ABOVE DRAIN
5. PROVIDE THERMOSTATIC MIXING VALVES, CONTROL LOCATION
6. BATHROOM VANITY/ COUNTERTOP PROVIDE DEDICATED 20 AMP CIRCUIT
7. LIGHT TO BE HIGH EFFICACY OR CONTROLLED BY PHOTO CONTROL / MOTION SENSOR
8. REMOVE MATERIAL AS NEEDED FOR NEW WINDOW
9. REMOVE MATERIAL AS NEEDED FOR NEW DOOR
10. PROVIDE A MIN. 36" X WIDTH OF DOOR LANDING. MAX 1 1/2" BELOW THRESHOLD.
11. 1-HOUR WALL PROVIDE 5/8" GYP TYP "X"
12. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY EXIT. SILL HEIGHT SHALL NOT EXCEED 44 INCHES ABOVE THE FLOOR. THE WINDOW MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH OF 20 INCHES AND THE MINIMUM OPEN HEIGHT OF 24". THIS SPECIFICATION TAKES PRECEDENCE OVER THE INFORMATION CONTAINED IN THE DRAWINGS
- 13.

**DEMO PLAN SHEET NOTES**

1. PRIOR TO BID, CONTRACTOR SHALL VISIT THE SITE TO ADEQUATELY DETERMINE ALL PREEXISTING CONDITIONS AND THE FULL EXTENT OF ALL REQUIRED DEMOLITION. BY THE ACT OF SUBMITTING A BID, THE CONTRACTOR WILL BE DEEMED TO HAVE COMPLIED WITH FORGOING, TO HAVE ACCEPTED SUCH CONDITIONS, AND TO HAVE MADE ALLOWANCES THEREFORE IN PREPARING HIS BID.
2. CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AS REQUIRED TO MAINTAIN STRUCTURAL STABILITY OF THE EXISTING STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
3. CONTRACTOR TO COORDINATE REMOVAL AND STORAGE OF ALL EQUIPMENT AND FIXTURES WITH OWNER.
4. WHERE ANY PLUMBING, MECHANICAL, OR ELECTRICAL ITEMS, LINES CONDUITS, PIPES, FIXTURES, ETC. HAVE BEEN REMOVED, PLUG AND CAP CEILING AS NECESSARY TO CONCEAL ABANDONED ITEMS, PATCH AND REPAIR FLOOR, CEILING AND/OR WALLS AS NECESSARY.
5. CONTRACTOR TO PATCH AND REPAIR ANY DAMAGED PORTIONS OF THE BUILDING TO REMAIN AND MATCH NEW OR EXISTING WORK AT NO ADDITIONAL COST TO OWNER.
6. THIS PLAN INDICATES A GENERAL DEMOLITION SCOPE OF WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER INCIDENTAL DEMOLITION WORK REQUIRED TO COMPLETE THE BUILDING MODIFICATIONS AS SHOWN AND REQUIRED BY THE CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, AND HVAC.
7. ANY ITEMS SALVAGED BY THE CONTRACTOR SHALL BE DISPOSED OF PROPERLY OFF-SITE AND IN AN EXPEDITIOUS MANNER. DO NOT BURN ANY DEMOLISHED MATERIALS ON SITE.
8. PROTECT ALL PEDESTRIAN TRAFFIC AFFECTED BY THE DEMOLITION AND CONSTRUCTION WORK, AS SET FORTH IN THE BUILDING CODE. HEIGHT AND BARRICADE CONSTRUCTION, IF ANY, TO BE DETERMINED BY LOCAL PUBLIC AGENCY.
9. IF CONTRACTOR ENCOUNTERS ANY HAZARDOUS MATERIALS DURING DEMOLITION OR CONSTRUCTION, HE SHALL IMMEDIATELY STOP WORK AND NOTIFY OWNER.
10. DURING REMOVAL OF OVERHEAD ELEMENTS, PROVIDE PROPER PROTECTION FROM FALLING OBJECTS.
11. COMPLETE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER. ENSURE THAT NO EXISTING CONSTRUCTION IS DISMANTLED, DEMOLISHED OR REMOVED WITHOUT KNOWING SPECIFICALLY WHAT IT IS, HOW IT SHOULD BE HANDLED, AND WHAT IMPACT ITS REMOVAL OR DEMOLITION MAY HAVE ON EXISTING CONSTRUCTION, STRUCTURE AND BUILDING SERVICES. IF THERE ARE ANY QUESTIONS CONCERNING THE DEPOSITION OF EXISTING CONSTRUCTION ENCOUNTERED, NOTIFY ARCHITECT IN WRITING BEFORE PROCEEDING. ASSUME ALL RESPONSIBILITY AND LIABILITY, INCLUDING RESPONSIBILITY FOR MAINTAINING STRUCTURAL INTEGRITY OF ALL WORK. CONSEQUENTIAL DAMAGES RESULTANT OF FAILURE TO PROCEED WITHOUT REASONABLE CAUTION.
12. CEASE OPERATIONS AND NOTIFY OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS ENDANGERED. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED AND ASSURED.
13. STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
14. PROVIDE HOUSE STREET NUMBER VISIBLE AND LEGIBLE FROM STREET.
15. FINISH GRADE AROUND THE NEW STRUCTURE/ ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
16. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
17. SEPARATE PERMIT(S) IS/ARE REQUIRED FOR ACCESSORY BUILDING, PATIO COVERS, FENCES, SWIMMING POOL, RETAINING WALL, DEMOLITION, ETC.

**LEGEND**

- (E) WALL TO REMAIN
- 2x4 WOOD STUDS @ 16" O.C.
- (E) WALL TO BE REMOVED
- 2x4 WOOD STUDS @ 16" O.C.
- INDICATES 2X4 WOOD STUD WALL
- INDICATES EXTERIOR 2X6 WOOD STUD WALL OR PLUMBING WALL
- 1-HR WALL 5/8" TYPE "X" GYP INT. 3/8" STUCCO EXT.
- DOOR / WINDOW HEIGHT IN FEET AND INCHES
- DOOR / WINDOW WIDTH IN FEET AND INCHES

**UNDERGROUND SERVICE ALERT**

call: TOLL FREE 1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG  
Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a Permit to Excavate will be valid. For your Dig Alert Identification Number call

**REVISIONS**


RESIDENTIAL  
COMMERCIAL  
DESIGN

**LONG BEACH**  
DESIGNERS  
5252 LONG BEACH BLVD. - LONG BEACH - CALIFORNIA 90805  
WWW.LBEDSIGNERS.COM

310-749-3195

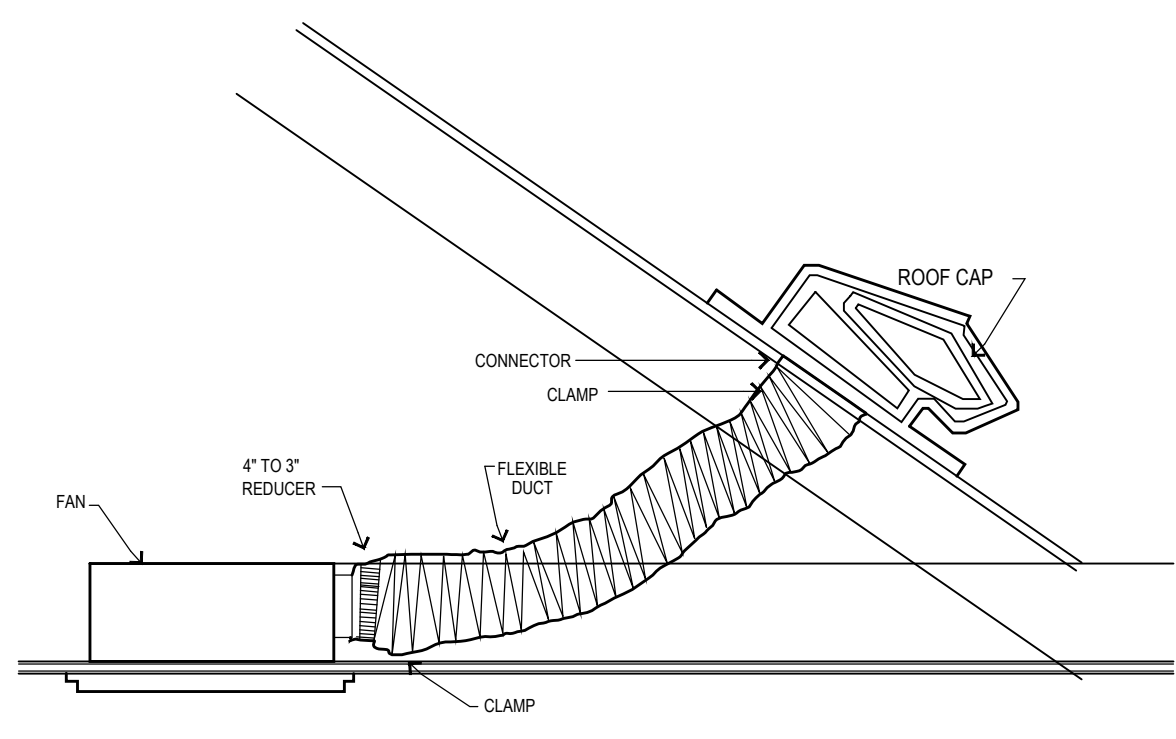
NEW ADU CONVERSION  
RESIDENCE  
1036 VIA NOGALES  
PALOS VERDES EST CA 90274

DESIGNER

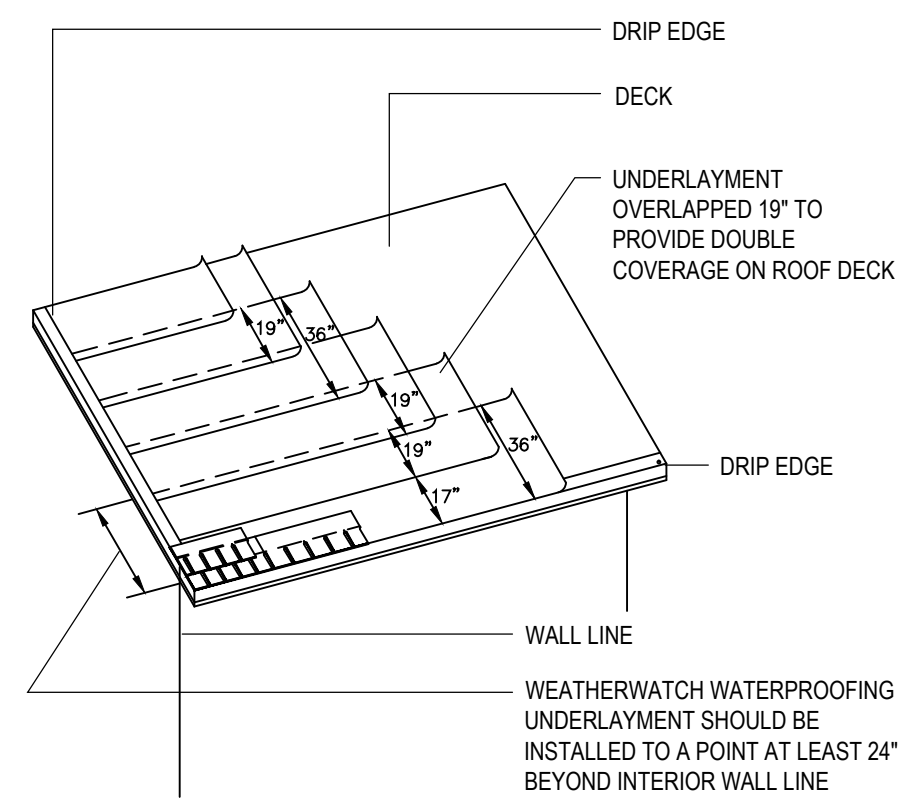
LEOH SANDOVAL  
8/13/20

JOB NUMBER: ###  
PLOT DATE: 12/23/20  
DRAWN BY:  
SHEET TITLE:  
DEMO PROPOSED PLAN  
SHEET NO.

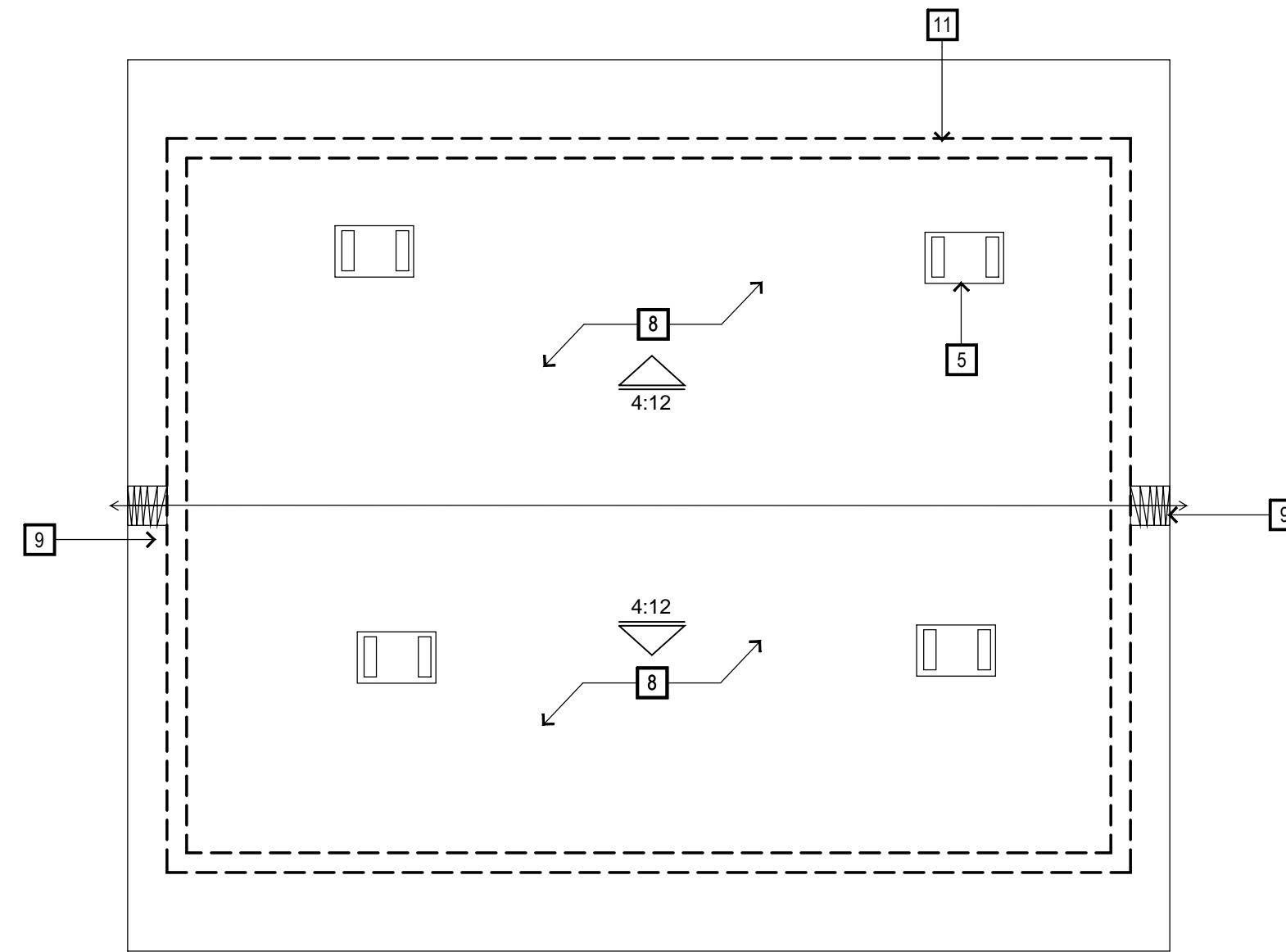
**A-2**  
FILE NAME:



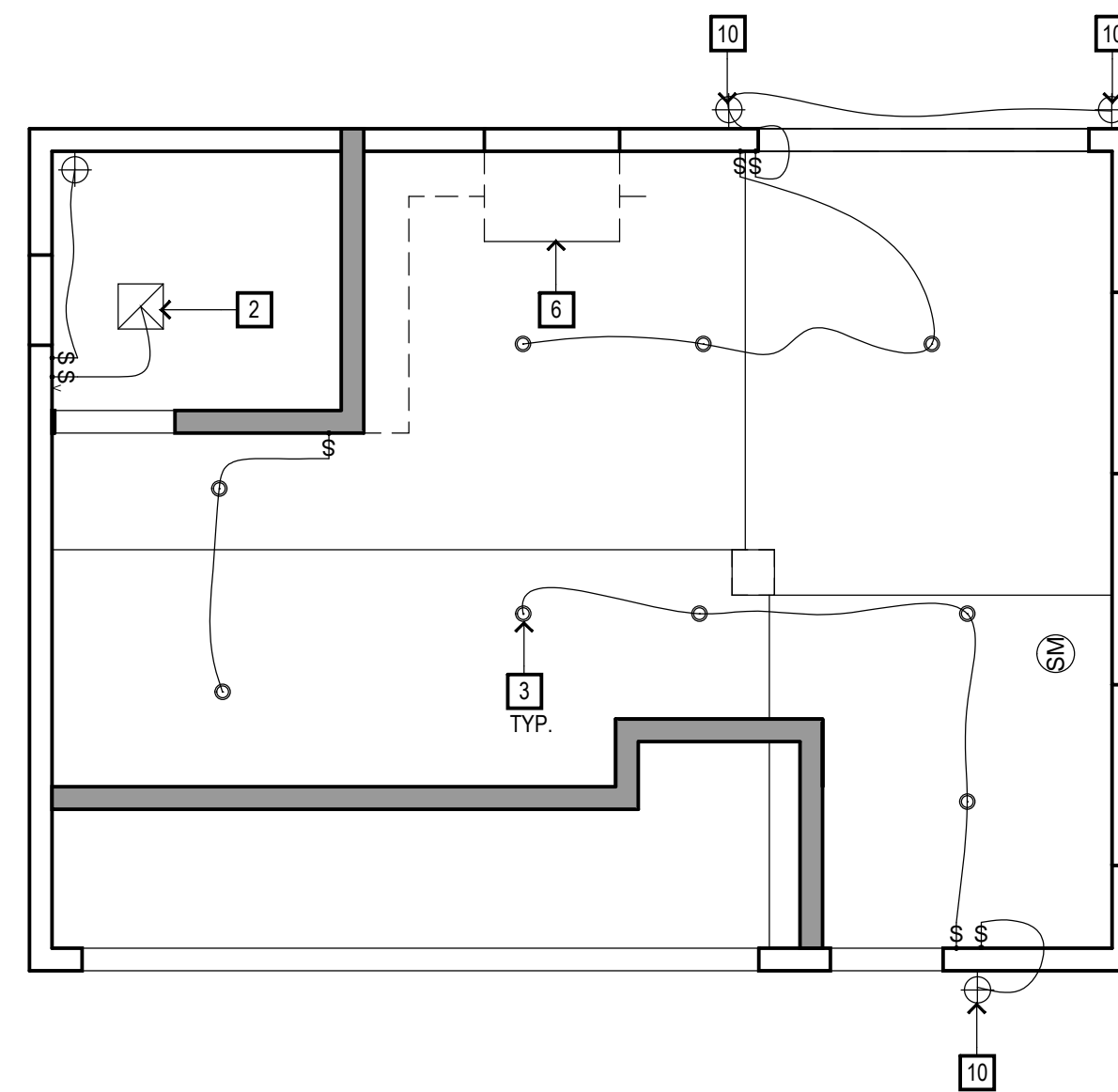
**EXHAUST FAN** NTS A



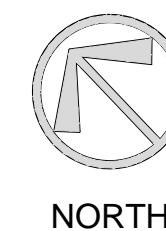
**UNDERLAYMENT** 1 1/2" = 1'-0" B



**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"



**2 CEILING PLAN**  
SCALE: 1/4" = 1'-0"



- KEY NOTES**
- 1 - 5/8" TYPE "X" GYP. BD. THROUGH OUT
  - 2 - PROVIDE MECHANICAL VENTILATION OF 50 CFM IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS W/ HUMIDISTAT . RECESSED DOWNLIGHT TYP. CAULK AROUND PENETRATION THRU CEILING
  - 3 - RAIN GUTTER
  - 4 - RAIN GUTTER
  - 5 - ROOF VENTS TYP.
  - 6 - WALL MOUNTED HOOD, VENT TO EXTERIOR 150 CFM MIN.
  - 7 - GABLE VENT
  - 8 - CLASS "A" COMPOSITION SHINGLES ICC#1475
  - 9 - N/A
  - 10 - EXTERIOR LIGHT FIXTURES TO BE DAMP PROOF AND RATED FOR EXTERIOR USE LIGHT TO BE HIGH EFFICACY AND CONTROLLED BY PHOTO CONTROL / MOTION SENSOR
  - 11 - WALL BELOW

- LEGEND / NOTES**
- SLOPE - ROOF SLOPE X PER FOOT MIN.
  - O'HAGIN FLAT VENTS
  - AIR VENT INC. LINEAR RIDGE VENT

- CEILING LEGEND / NOTES**
- NOTE: ALL LIGHT SWITCHES TO BE DIMMER SWITCHES. DECORA STYLE BY LUTRON  
ALL CEILING TO RECEIVE SMOOTH SKIM COAT
- FAN - LED RECESSED LIGHT FIXTURE -(IC RATED & AIR TIGHT)  
LED RECESSED LIGHT FIXTURE -(IC RATED & AIR TIGHT) WITH FAN NuTone
  - SM - COMBINATION SMOKE & CARBON MONOXIDE DETECTOR HARDWIRED W/ BATTERY BACK-UP & INTERCONNECTED UL 217 LISTED & UL2034/2075
  - SD - SMOKE & DETECTOR HARDWIRED W/ BATTERY BACK-UP & INTERCONNECTED UL 217 LISTED & UL2034/2075
  - WALL SCONCE
  - EXHAUST FAN.
  - 0'-0" - CEILING HEIGHT
  - 3 ab - STANDARD 20A, 120/277V-1 SPST DECORA SWITCH MOUNTED AT +48" A.F.F.-U.O.N.  
a,b - DENOTES TWO SWITCHES AND THEIR RESPECTIVE CONTROL IDENTIFICATION.  
3 - DENOTES 3-WAY SWITCH  
D - DENOTES WALL BOX DIMMER  
O - MANUAL ON OCCUPANCY SENSOR  
V - VACANCY SENSOR
  - ATTIC ACCESS 30"X30" MIN.

- NOTES**
- ROOF EAVES SHALL NOT BE CLOSER THAN 3 FEET TO THE PROPERTY LINE.
  - ROOF EAVES OR ANY PROJECTIONS SHALL BE RATED FOR 1 HOUR IF LESS THAN 5 FT. TO THE PROPERTY LINE.
  - ALL GUTTERS, DOWNSPOUT AND COLLECTION BOXES SHALL BE GALVANIZED METAL.
  - ATTICS SHALL BE VENTILATED NOT LESS THAN 1/150 OF THE AREA BEING VENTILATED PER CURRENT CALIFORNIA BUILDING CODE.
  - BUILT UP FLAT ROOF AREAS SHALL HAVE A MINIMUM SLOPE OF 1/2" PER FOOT.
  - ALL OPENINGS IN ATTIC AREAS SHALL BE PROTECTED BY A CORROSIVE RESISTANT WIRE MESH WITH AN OPENING NOT GREATER THAN 1/4" IN ANY DIMENSION.
  - PLYWOOD ROOF SHEATHING SHALL HAVE A RADIANT BARRIER FOIL BACKING AND BE INSTALLED FOIL SIDE DOWN. SEE MANUFACTURER INSTRUCTIONS. RADIANT BARRIER SHALL BE PER TITLE 24 ENERGY REPORT.
- LIGHTING**
- NO PENDENT LIGHT FIXTURES IN ZONE 3' AWAY AND 8' ABOVE BATHTUB.
  - RECESSED LIGHTING AT TUB / SHOWER TO BE SUITABLE FOR DAMP LOCATIONS, PROVIDED WITH A SOLID LENS AND BE GFCI PROTECTED.
  - BATHROOMS SHALL BE HIGH EFFICACY LUMINARIES OR CONTROLLED BY AN OCCUPANCY SENSOR CERTIFIED TO COMPLY WITH SEC 119(D) CEES (40 LUMENS PER WATT)
  - RECESSED LUMINARIES INSTALLED IN AN INSULATED CEILING SHALL BE IC RATED (ZERO CLEARANCE) AND AT RATED (AIR TIGHT) AND SHALL BE SEALED AND/OR GASKETED BETWEEN CEILING AND HOUSING

**ATTIC VENT CALCULATION:**

TOTAL ROOF AREA (RA):	548
ATTIC VENT RATIO:	1/150
REQUIRED VENTABLE ATTIC SPACE S.F.	3.7 S.F.
REQUIRED VENTABLE ATTIC SPACE S.I.	526 S.I.

Vent Type	VENT FREE AREA PROVIDED	# VENTS	TOTAL S.I.
12"X12" Steel Louver Vent	144 sq. in. net free vent area	2	288 S.I.
O'HAGIN VENTILATION 32" X 23" FLAT VENT	72 sq. in. net free vent area	4	288 S.I.
<b>TOTAL PROVIDED</b>			<b>576 S.I.</b>

**REVISIONS**


**LONG BEACH DESIGNERS**  
5252 LONG BEACH BLVD. - LONG BEACH - CALIFORNIA 90805  
WWW.LBEDSIGNERS.COM

310-749-3195

**NEW ADU CONVERSION RESIDENCE**  
1036 VIA NOGALES  
PALOS VERDES EST CA 90274

DESIGNER  
**LEOH SANDOVAL**  
8/13/20

JOB NUMBER: ###  
PLOT DATE: 12/23/20  
DRAWN BY:  
SHEET TITLE: CEILING, ROOF PLAN  
SHEET NO.

**A-3**

FILE NAME: