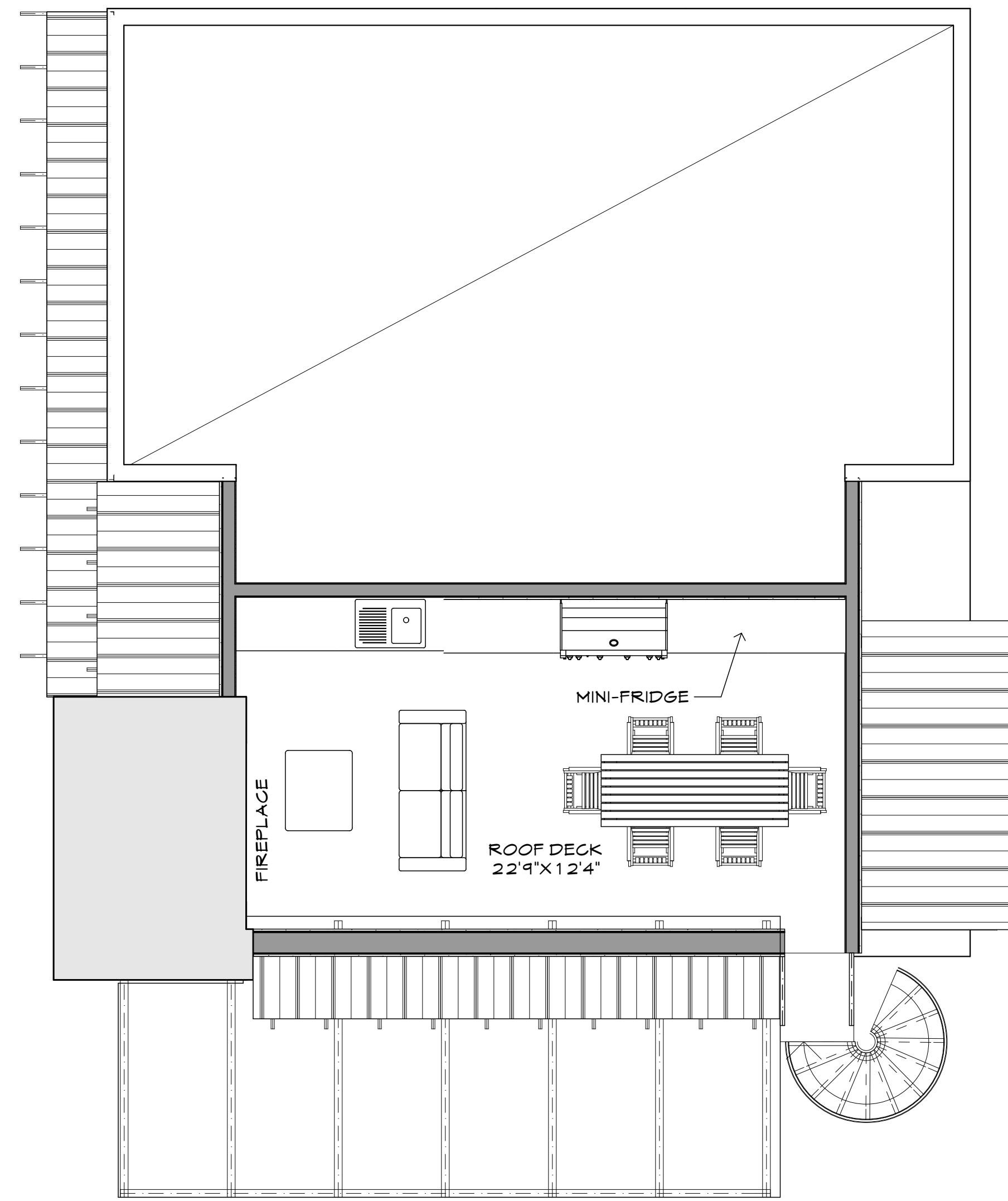


PROJECT STATISTICS

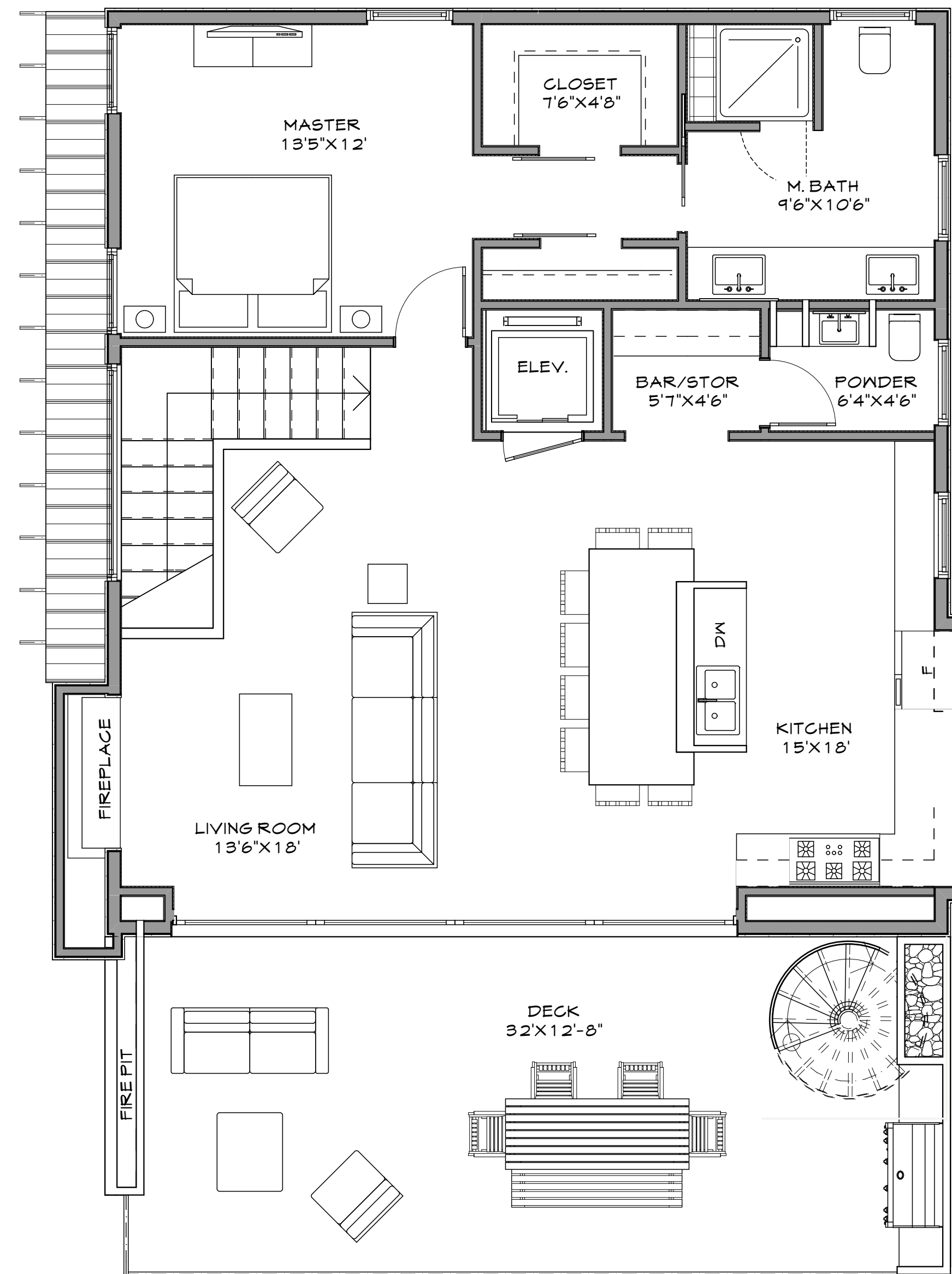
3 BED	
3.5 BATH	
1ST FLOOR CONDITIONED:	1449 S.F.
2ND FLOOR CONDITIONED:	1033 S.F.
TOTAL CONDITIONED:	1782 S.F.
2-CAR GARAGE:	427 S.F.
BUILDING FOOTPRINT:	1353 S.F.
2ND FLOOR DECKS:	483 S.F.
ROOF DECK:	248 S.F.

SITE/BLDG. CALCULATIONS

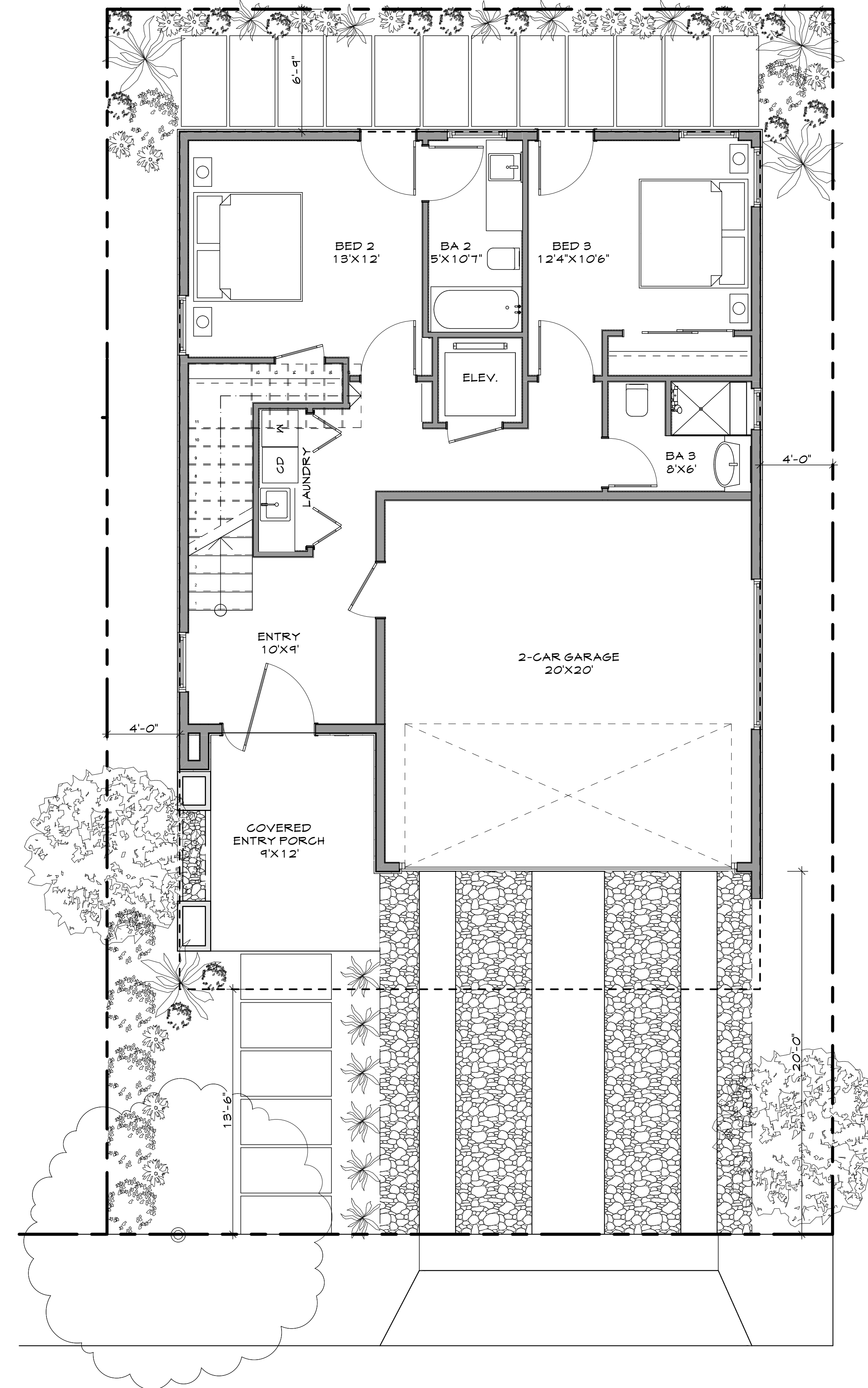
LOT SIZE:	2699 S.F.
BUILDING FOOTPRINT:	1353 S.F.
AREA OF DECK OVER SETBACK:	80 S.F.
TOTAL LOT COVERAGE:	1433 S.F.
ALLOWABLE LOT COVERAGE = 55% OF LOT SIZE	2699 (.55) = 1484.45 > 1433 S.F.
2ND FLOOR = 80% OF FOOTPRINT	1353 (.8) = 1082.4 > 1033 S.F.
MAXIMUM BUILDING AREA ALLOWED:	2700 (.86) = 2322 S.F.
	1782 S.F. + 427 S.F. = 2209 S.F. < 2322 S.F.



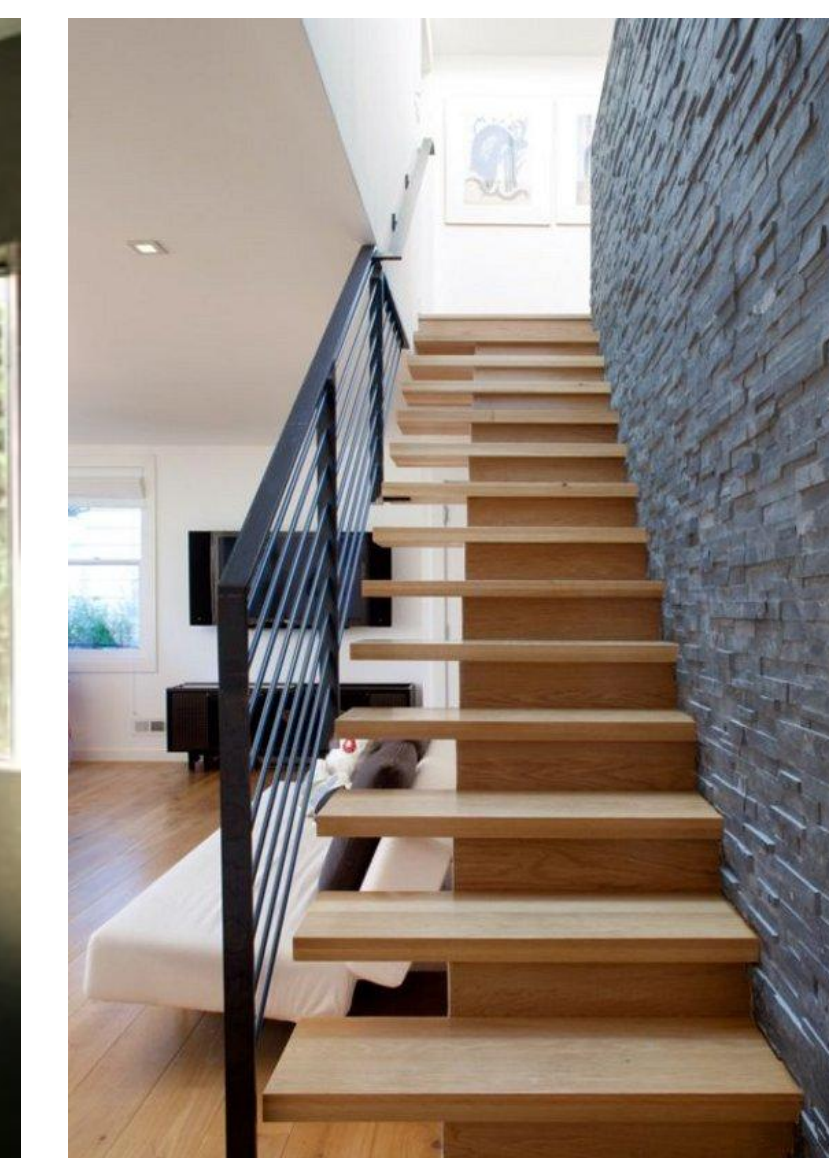
THIRD FLOOR 1/4" = 1'-0"



SECOND FLOOR 1/4" = 1'-0"



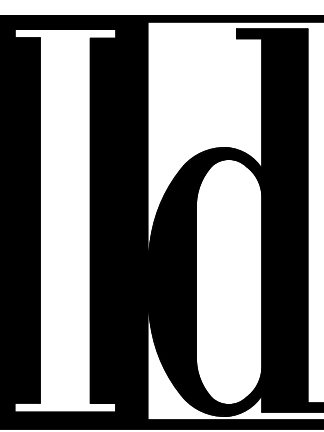
FIRST FLOOR 1/4" = 1'-0"

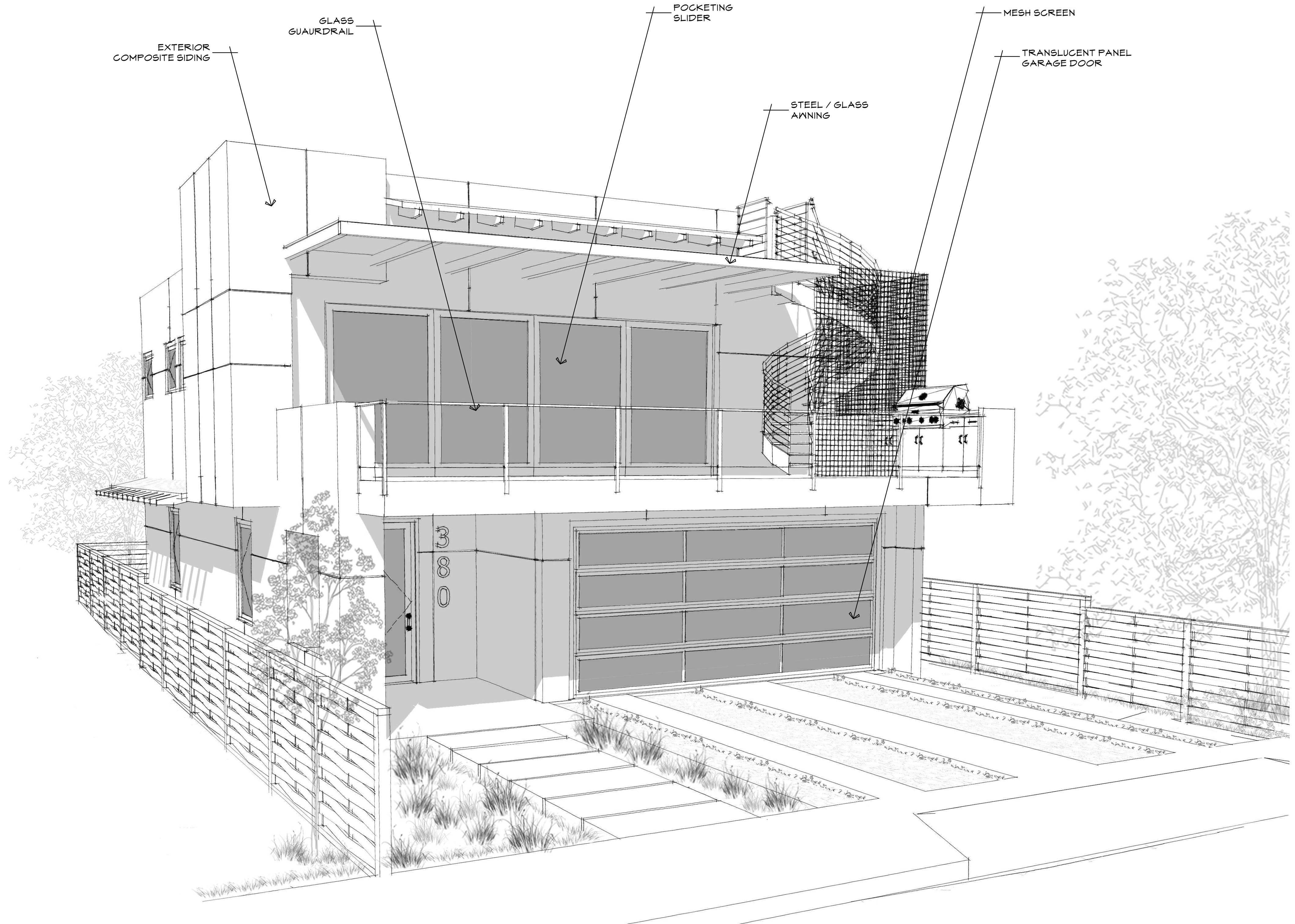


DESIGN INSPIRATION IMAGES

Isaman design, Inc.

ARCHITECT  
1027 Marsh Street Suite 200  
San Luis Obispo, CA 93401  
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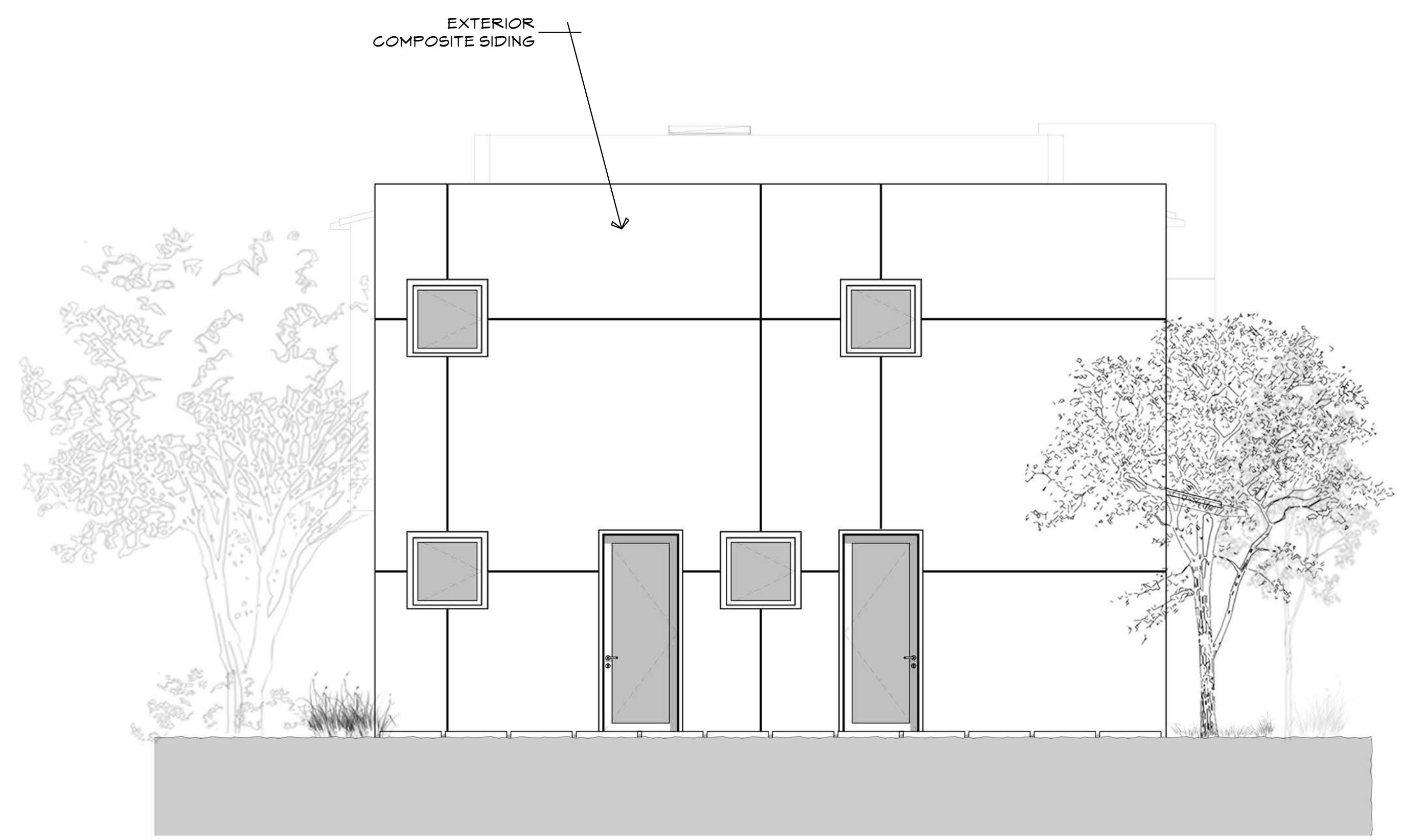
FRONT PERSPECTIVE



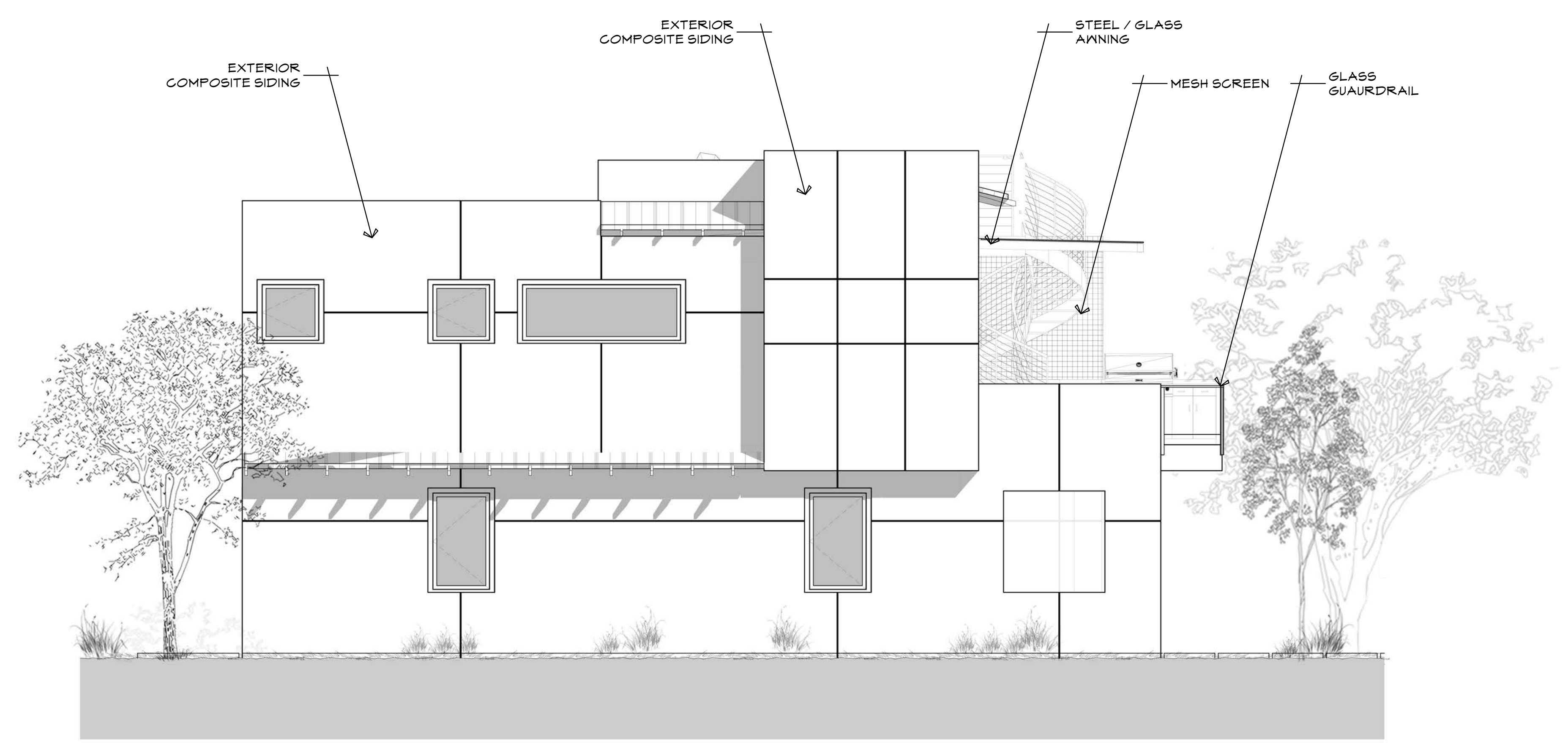
DESIGN INSPIRATION IMAGES



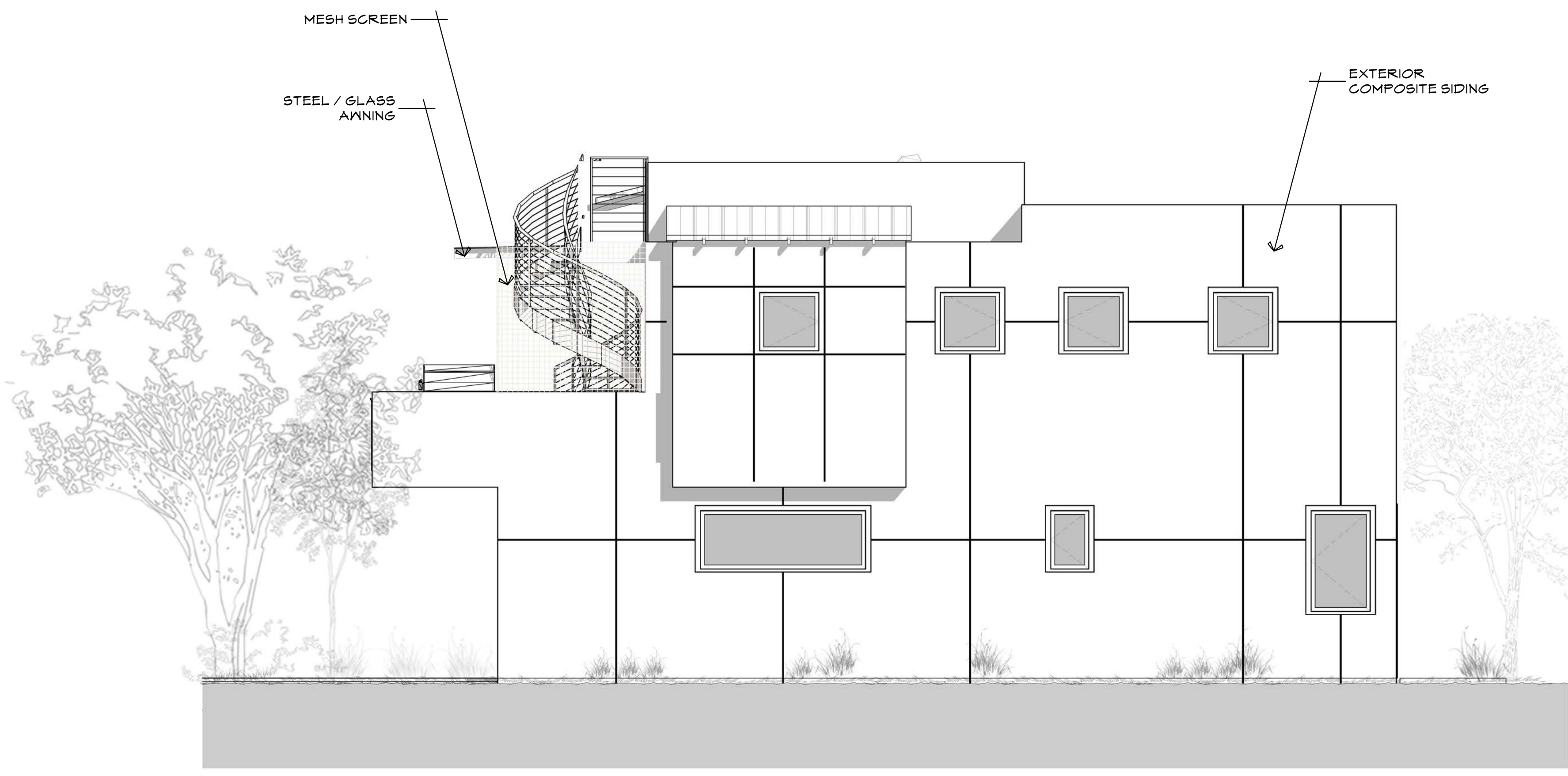
HEIGHT CALCULATION  
25' MAX FROM EXISTING SITE GRADE MEASURED AT THE CENTER OF THE BUILDING FOOTPRINT.  
SITE GRADE AT FOOTPRINT: XX  
MAX ALLOW HEIGHT - XX' + 25' -  
25' x 24'-9 1/4" PROPOSED BLDG HEIGHT



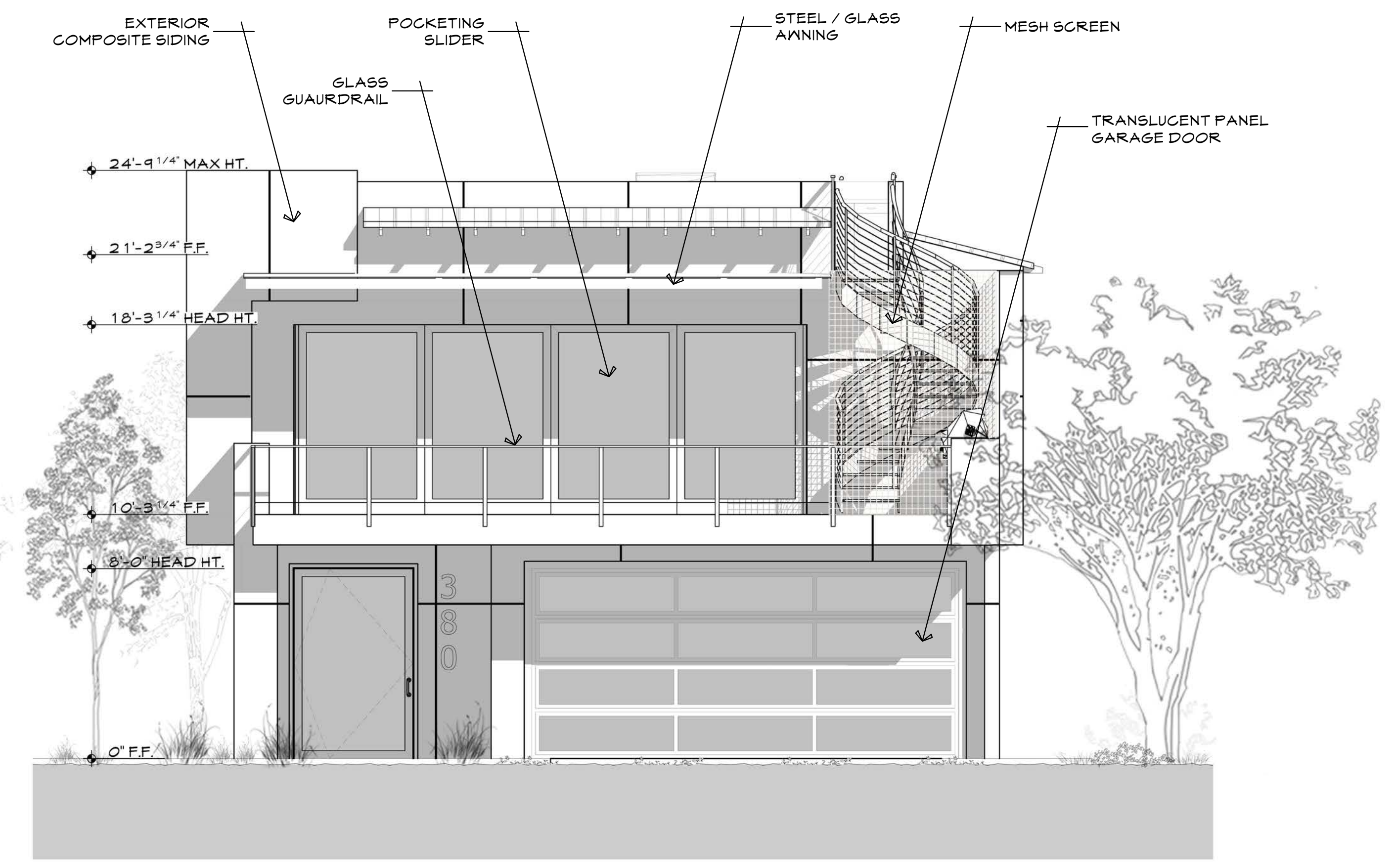
WEST (BACK) ELEVATION 1/4" = 1'-0"



SOUTH (LEFT) ELEVATION 1/4" = 1'-0"



NORTH (RIGHT) ELEVATION 1/4" = 1'-0"



EAST (FRONT) ELEVATION 1/4" = 1'-0"

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1

FRONT PERSPECTIVE

