

NEW SINGLE FAMILY RESIDENCE FOR:

# 2004 MUROS LLC.

2004 MUROS PL. PALOS VERDES ESTATES

## JOB INFO.

OWNER: 2004 MUROS LLC.  
 PROJECT ADDRESS: 2004 MUROS PL.  
 PALOS VERDES ESTATES  
 LEGAL DESCRIPTION: LOT 56, TRACT NO. 30905 M.B. 040-61-69  
 GROUP OCCUPANCY: R3  
 TYPE OF CONST.: VB

SCOPE OF WORK:  
 NEW SINGLE FAMILY RESIDENCE ON EXISTING VACANT LOT.  
 ALL WORK SHALL COMPLY W/ 2013 CBC, 2013 CPC, 2013 CMG, 4 2013 CEG, 2010 CALIFORNIA ENERGY CODE

## PLANNING INFO.

CITY OF PALOS VERDES ESTATES  
 REQUIRED PLAN CHECK INFORMATION  
 THE FOLLOWING INFORMATION IS MANDATORY AND MUST BE SUBMITTED WITH THE PLAN CHECK APPLICATION

OWNER/APPLICANT: 2004 MUROS LLC.  
 PROJECT ADDRESS: 2004 MUROS PL, PALOS VERDES ESTATES, CA 90274  
 LEGAL DESCRIPTION: LOT 56, BLOCK, TRACT 30905  
 APPLICANT'S AGENT: RICHELLE BRAY, INC. PHONE: (310) 377-5868  
 DATE:

LOT SIZE: 17,137.69 SQ. FT.  
 ALLOWABLE FLOOR AREA: 6,891.31 SQ. FT. (EQUALS THE SMALLER OF 30% LOT SIZE) OR 50% LOT SIZE  
 EXISTING LOT COVERAGE:  
 0 SQ. FT. 0% BUILDING  
 0 SQ. FT. 0% HARDSCAPE (POOL, PATIO, DECK, DRIVEWAY, ETC.)  
 0 SQ. FT. 0% TOTAL  
 PROPOSED LOT COVERAGE (INCLUDING ONLY ADDED LOT COVERAGE)  
 4,017.00 SQ. FT. 23.4% BUILDING  
 6,308.00 SQ. FT. 39.9% HARDSCAPE (POOL, PATIO, DECK, DRIVEWAY, ETC.)  
 10,325.00 SQ. FT. 61.4% TOTAL  
 TOTAL LOT COVERAGE (SUM OF EXISTING AND PROPOSED)  
 4,017.00 SQ. FT. 23.4% BUILDING (NOT TO EXCEED 30%)  
 6,308.00 SQ. FT. 39.9% HARDSCAPE (POOL, PATIO, DECK, DRIVEWAY, ETC.)  
 10,325.00 SQ. FT. 61.4% TOTAL

EXISTING FLOOR AREA:  
 0 SQ. FT. FIRST FLOOR  
 0 SQ. FT. SECOND FLOOR  
 0 SQ. FT. BASEMENT  
 0 SQ. FT. MEZZANINE  
 0 SQ. FT. GARAGE  
 0 SQ. FT. TOTAL  
 PROPOSED FLOOR AREA (INCLUDE ONLY ADDED FLOOR AREA)  
 3,053 SQ. FT. FIRST FLOOR  
 2,393 SQ. FT. SECOND FLOOR  
 748 SQ. FT. BASEMENT  
 0 SQ. FT. MEZZANINE  
 6,194 SQ. FT. TOTAL  
 TOTAL FLOOR AREA (SUM OF EXISTING AND PROPOSED)  
 3,053 SQ. FT. FIRST FLOOR  
 2,393 SQ. FT. SECOND FLOOR  
 748 SQ. FT. BASEMENT  
 0 SQ. FT. MEZZANINE  
 6,194 SQ. FT. GARAGE  
 6,194 SQ. FT. TOTAL

CUT & FILL  

CUT	CUBIC YDS.	MAX. DEPTH	MAX. DEPT. LOCATION
UNDER HOUSE ADDITION	272.00	7'	@ SEAR, NORTH WEST CORNER
IN YARD AREAS	1,666.00	7'	@ SEAR, BACK WALL
TOTAL C.F.	1,938.00		
FILL			
UNDER HOUSE ADDITION	42.21	2'	@ FRONT ENTRY WALLING
IN YARD AREAS	16.41	2'	@ FRONT PLANTING WALL
TOTAL FILL	58.62		
TOTAL GRADING (SUM OF TOTAL CUT AND TOTAL FILL)	1,996.62		@ 2.22% @ CURB VES.
IMPORT OR EXPORT QUANTITY (THIS APPLICATION ONLY)	1,838.00		@ EXPORT

 CELLAR AREA: 608 SQ. FT.

## SHEET INDEX

SHT.	DESCRIPTION	SHT.	DESCRIPTION
<b>GENERAL</b>		<b>ELECTRICAL</b>	
60.0	TITLE SHEET		
60.2	SITE SECTION		
60.3	SITE SECTION TO OCEAN		
<b>CIVIL</b>		<b>LANDSCAPE</b>	
C1	SITE SURVEY	L-0	LANDSCAPE PLANS COVER SHEET
		L-1	LANDSCAPE TOPOGRAPHIC SURVEY
		L-1.1	LANDSCAPE TOPOGRAPHIC SURVEY
		L-2	LANDSCAPE PLAN LAYOUT
<b>ARCHITECTURAL</b>		<b>SPECIFICATIONS</b>	
A1.1	SITE PLAN	L-3	SITE SECTIONS
		LD-1	TRELLIS FIREPLACE DETAILS
A2.1	PROPOSED FIRST FLOOR PLAN	LP-1	PLANTING PLAN
A2.2	PROPOSED SECOND FLOOR PLAN	LP-2	PLANT SCHEDULE
A2.3	PROPOSED ROOF PLAN	LP-3	PLANTING DETAILS
A3.1	EXTERIOR ELEVATIONS		
A3.2	EXTERIOR ELEVATIONS		

## ABBREVIATIONS

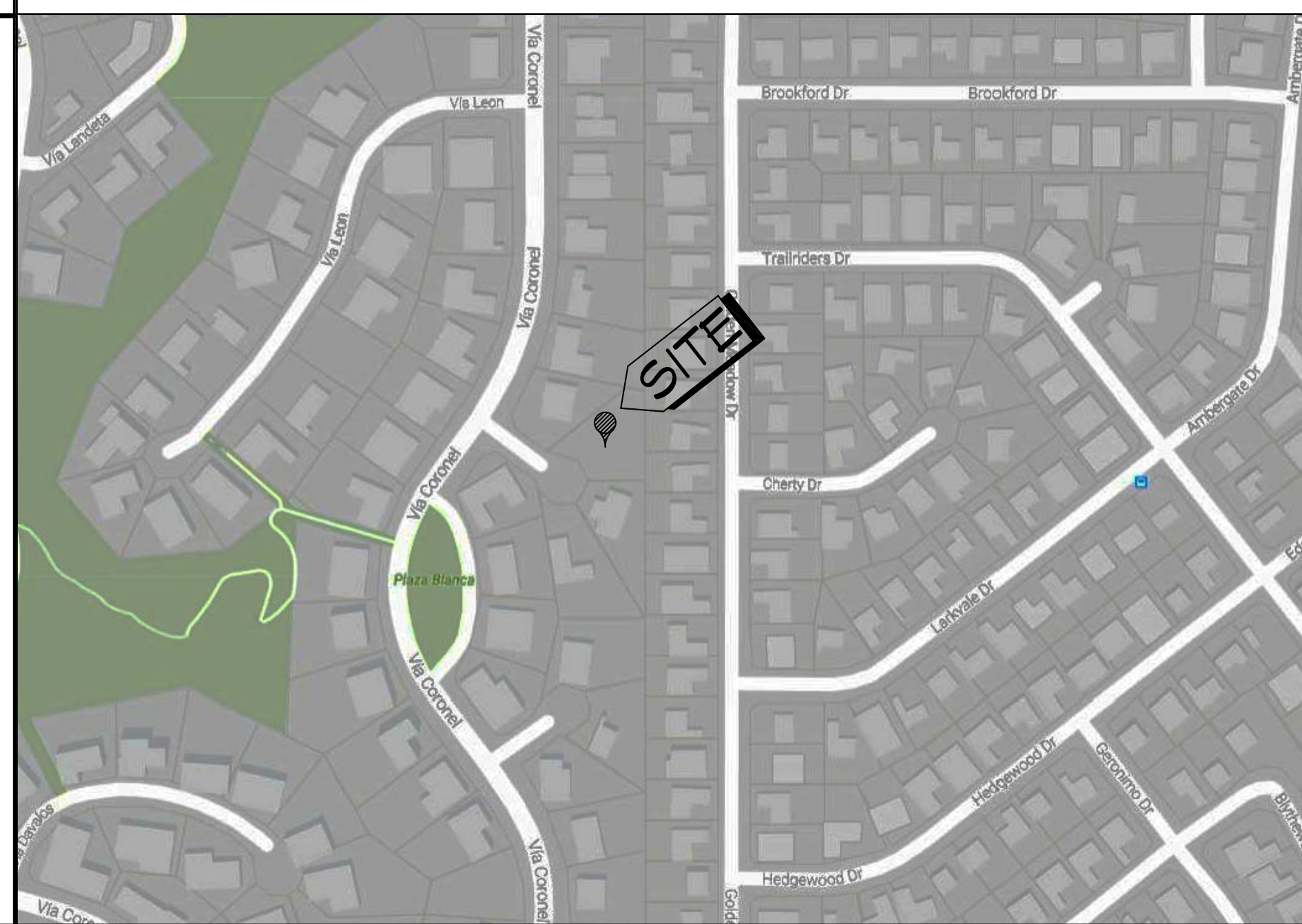
AND	ANGLE	AT	CENTERLINE	DIAMETER OR ROUND	PERPENDICULAR	FOUND OR NUMBER	PENNY (WIGHT)	FDN.	FOUNDATION	F.E.C.	FIRE EXTINGUISHER CAB.	F.F.	FINISH FLOOR	F.G.	FINISH GRADE	F.H.C.	FIRE HOUSE CAB.	FIN.	FINISH	F.L.	FLOOR JOIST	F.LR.	FLOOR	F.LR.	FLOURESSANT	FLASH.	FLASHING	F.O.C.	FACE OF CABINET	F.O.F.	FACE OF FINISH	F.O.M.	FACE OF MASONRY	F.P.	FACE OF STUD	F.P.P.	FIREPROOF	F.S.	FULL SIZE	F.T.	FOOT FEET	F.T.G.	FOOTING	FURR.	FURRING	FUT.	FUTURE	GA.	GALV.	GALVANIZED	G.B.	GRAB BAR	G.I.	GALVANIZED IRON	G.L.B.	GLUE LAMINATED BM.	GL.	GLASS	GND.	GROUND	GYP.	GYP.	GYP.	H.B.	HOSSE BIB	H.C.	HOLLOW CORE	HDR.	HEADER	H.W.D.	HARDWARE	H.W.D.	HARDWARE	HGT.	HEIGHT	H.M.	HOLLOW METAL	HNGR.	HANGER	HORIZ.	HORIZONTAL	HR.	HOUR	HS.	HIGH STRENGTH	H.V.A.C.	HEATING VENTILATION	I.D.	INSIDE DIAMETER	INSUL.	INSULATION	INT.	INTERIOR	INT.	INVERTED	JAN.	JANITOR	JST.	JOIST	JT.	JOINT	KT.	KITCHEN	LAB.	LABORATORY	LAG.	LAG SCREW	LAM.	LAMINATED	LAV.	LAVATORY	L.H.	LEFT HAND	LOCKER	LOCKER	LONG LEG HORIZONTAL	LONG LEG VERTICAL	LT.	LIGHT	LT. WT.	LIGHT WEIGHT	MAX.	MAXIMUM	M.C.	MEDICINE CABINET	M.ECH.	MECHANICAL	MEM.	MEMBER	MEMBRANE	MFR.	MANUFACTURER	M.H.	MANHOLE	MIN.	MINIMUM	MIR.	MIRROR	MISC.	MISCELLANEOUS	MUL.	MULLION	MOUNTED	MTL.	METAL	MILLION	MOUNTED	MISC.	MISCELLANEOUS	MASONRY OPENING	SH.	SHELF	SHWR.	SHOWER	SHFT.	SHEET	SIM.	SIMILAR	SPEC.	SPECIFICATION	SQ.	SQUARE	SS.	STAINLESS STEEL	S.S.K.	SERVICE SINK	STA.	STATION	STRAG.	STRAGGERED	S.T.C.	SOUND TRANSMISSION CLASS	STRG.	STRONG	STL.	STEEL	STROR.	STORAGE	STRL.	STRUCTURAL	SUSP.	SUSPENDED	SYM.	SYMETRICAL	T.	TREAD	T.B.	TOP OF BEAM	T&B	TOP AND BOTTOM	T.C.	TOP OF CURB	TEL.	TELEPHONE	TEMP.	TEMPORARY/TEMPRED	TER.	TERAZO	T.F.	TOP OF FRAME	T&G	TONGUE & GROVE	T&G	TONGUE & GROVE	THK.	THICK	THRU.	THROUGH	T.P.	TOP OF PAVEMENT	T.S.	TOP OF SHEATHING	T.S.L.	TOP OF STEEL
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## CONSULTANTS

**LAND SURVEYOR**  
 DENN ENGINEERING, INC.  
 GARY J. ROEHL  
 STRUCTURAL CONSULTING  
 3914 DEL AMO BLVD, SUITE #21  
 TORRANCE, CA 90503  
 TEL. (310) 542-9433

**LANDSCAPE ARCHITECT**  
 RICHELLE BRAY INC.  
 DEBORAH RICHELLE  
 2432 VIA AMADOR  
 PALOS VERDES ESTATES, CA. 90274  
 TEL. (310) 377-5868 FAX (310) 377-3484

## VICINITY MAP



## SYMBOLS

	BUILDING SECTION
	WALL SECTION
	INTERIOR ELEVATION
	DETAIL REFERENCE
	DOOR NUMBER (SEE SCHEDULE)
	WINDOW (SEE SCHEDULE)
	REVISIONS
	SHEAR WALL
	DATUM WORK POINT
	MATCH LINE

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DATE	ISSUE/REVISION
07/17/2016	PRELIMINARY ART
12/12/2016	INITIAL NEIGHBOR
03/14/2017	COMPLIABILITY SUBMITTAL
03/14/2017	BUILDING HEIGHT
03/14/2017	DROP SUBMITTAL
03/27/2017	BUILDING HEIGHT
03/27/2017	DROP AND REVISED DESIGN
03/27/2017	ELIMINATE AREAS SUBMITTAL

NEW SINGLE FAMILY RESIDENCE FOR:  
**2004 MUROS LLC.**  
 2004 MUROS PL. PALOS VERDES ESTATES



ARCHITECTURE

Larry Peha, A.I.A.

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 HERMOSA BEACH, CA 90254  
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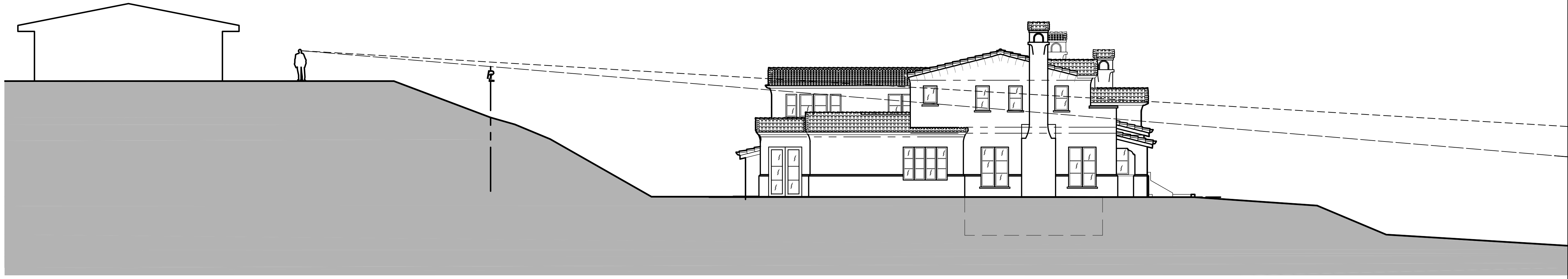
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 DRAWN: ATR  
 JOB NO. 1607  
 DRAWING TITLE  
 TITLE SHEET

DRAWING NUMBER  
**GO.0**

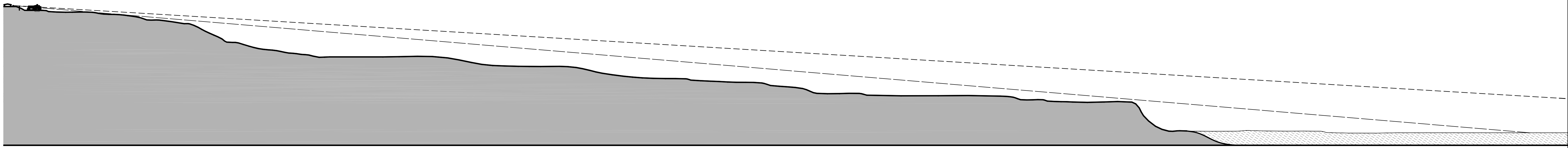


28231 GOLDEN  
MEADOW DR  
APN T584-002-016

2004 MUROS PL  
LOT 56, TRACT NO. 30905  
M.B. 840-61-69  
APN T543-043-006



SITE SECTION / SIGHTLINE (ENLARGED)  
3/32" = 1'-0"



SCALE 0 500 250

SITE SECTION / SIGHTLINE

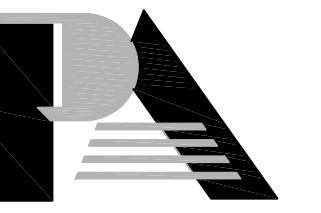
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DATE	ISSUE/REVISION
4/7/2016	PRELIMINARY ART
7/1/2016	JURY SUBMITTAL
12/12/2016	INITIAL NEIGHBOR COMPATIBILITY SUBMITTAL
2/14/2017	BUILDING HEIGHT DROP SUBMITTAL
3/27/2017	BUILDING HEIGHT DROP AND REVISED DESIGN ELIMINATE AREAS SUBMITTAL

NEW SINGLE FAMILY RESIDENCE FOR:

**2004 MUROS LLC.**

2004 MUROS PL, PALOS VERDES ESTATES



PEHA & ASSOCIATES  
ARCHITECTURE

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Web: www.pehaarch.com

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DATE: -  
DRAWN: ATR  
JOB NO. 1607  
DRAWING TITLE  
SITE SECTION / LINE OF SIGHT

DRAWING NUMBER  
**GO.3**

## SURVEY AND TOPOGRAPHY

FOR  
BILL & ELIZABETH MESSORI  
1520 VIA MARTINEZ  
PALOS VERDES ESTATES, CA 90274  
PHONE 310-594-9706

### JOB ADDRESS

2004 MUROS PLACE  
PALOS VERDES ESTATES, CA 90274

### LEGAL DESCRIPTION

LOT 56,  
TRACT NO. 30905  
M.B. 840-61-69  
APN 7543-043-006

THIS MAP CORRECTLY REPRESENTS A SURVEY  
MADE BY ME OR UNDER MY DIRECTION IN  
CONFORMANCE WITH THE REQUIREMENTS OF  
PROFESSIONAL LAND SURVEYORS ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY KW CHECK BY TS

DRAWN ON APRIL 4, 2016

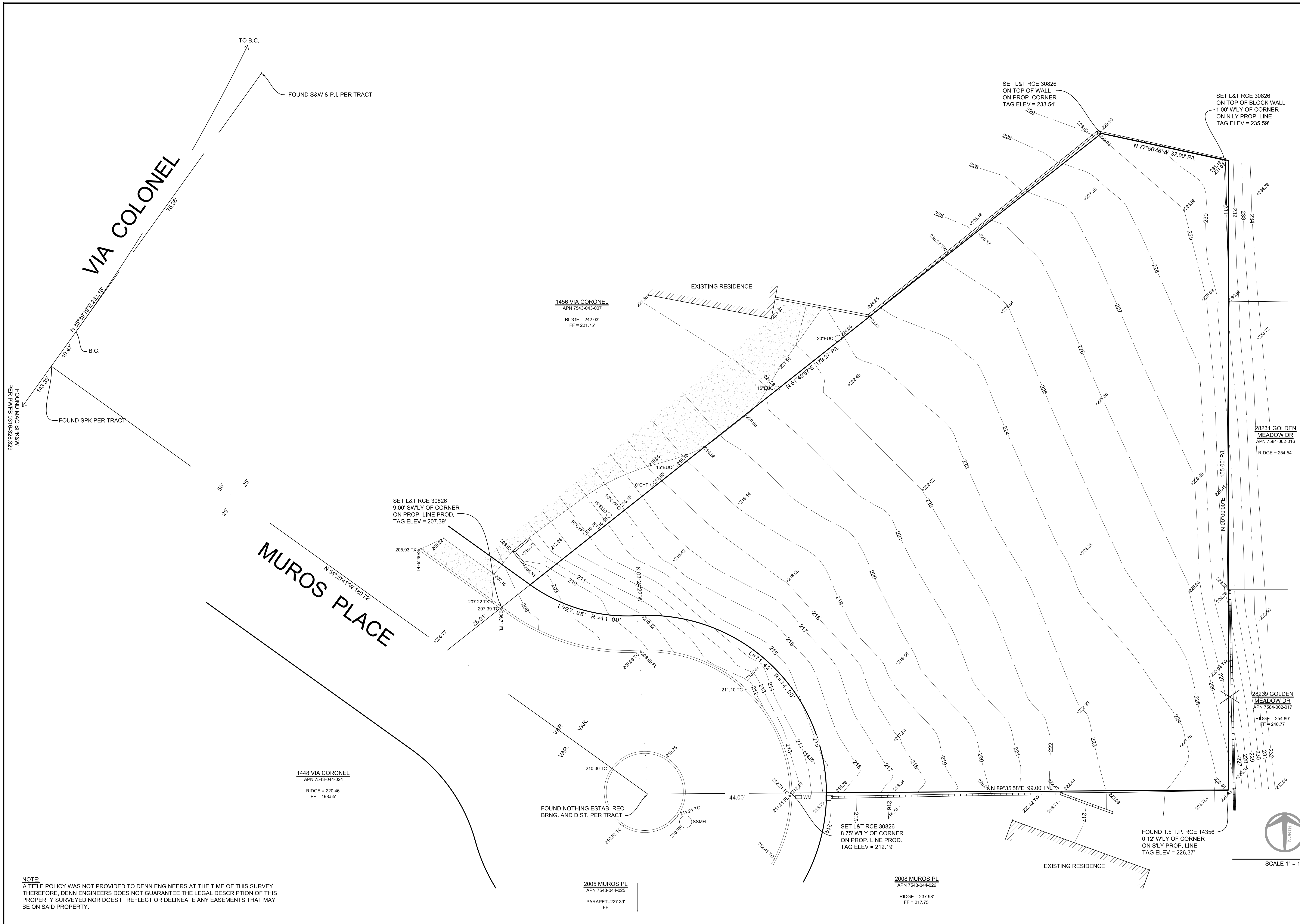
REVISIONS  
REVISIONS

### LEGEND

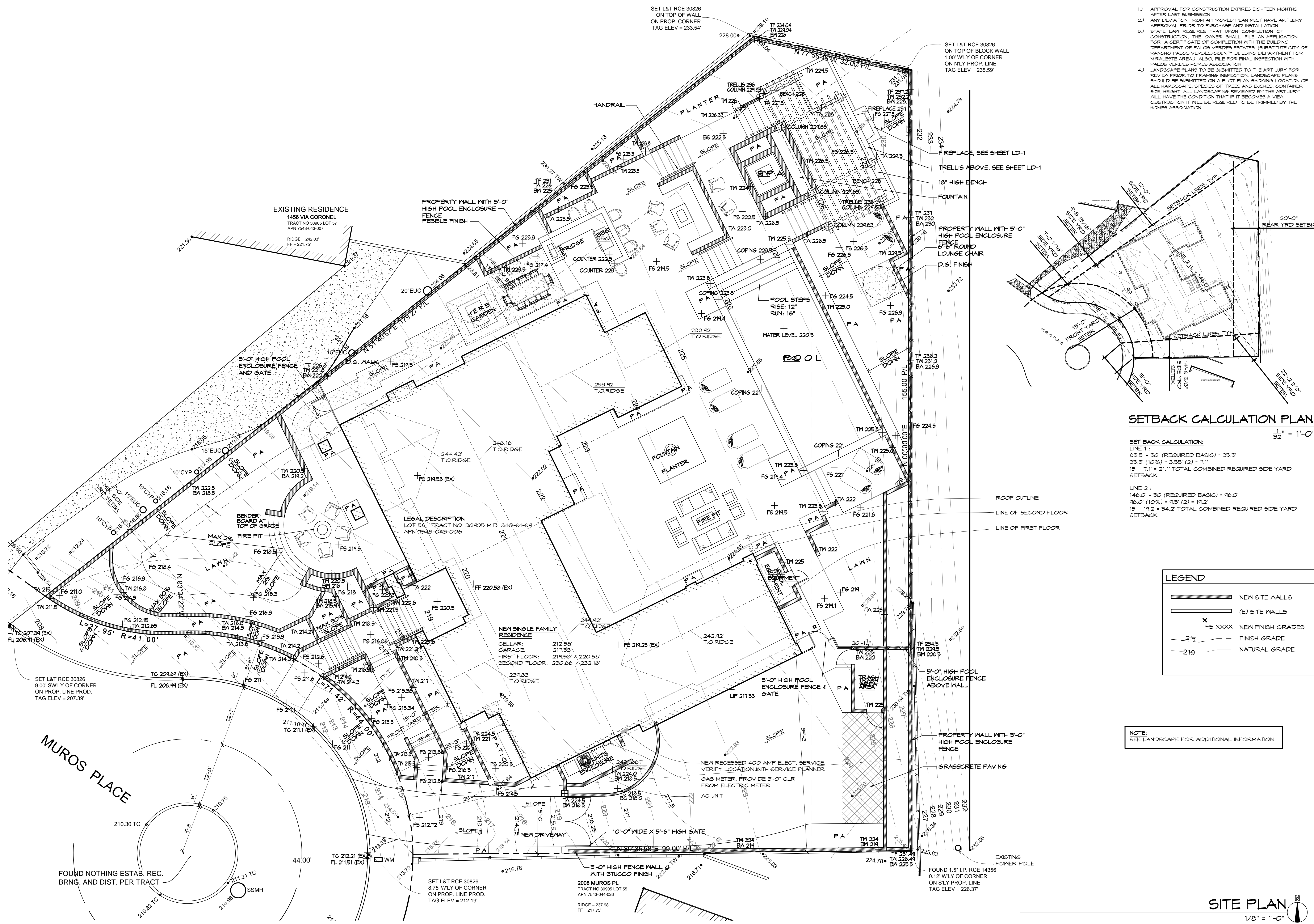
- |  |                                     |  |           |
|--|-------------------------------------|--|-----------|
|  | EXISTING BUILDING                   |  | BRICK     |
|  | CONCRETE                            |  | WOOD DECK |
|  | +106.76 EXISTING ELEVATION          |  |           |
|  | 70.0 EXISTING CONTOUR               |  |           |
|  | X EXISTING FENCE                    |  |           |
|  | BCR BEGINNING OF CURB RETURN        |  |           |
|  | CL CENTERLINE                       |  |           |
|  | C.L.F. CHAIN-LINK                   |  |           |
|  | E.L.Y. EASTERLY                     |  |           |
|  | EM ELECTRIC METER                   |  |           |
|  | FD FOUND                            |  |           |
|  | FE FENCE                            |  |           |
|  | FF FINISH FLOOR                     |  |           |
|  | FH FIRE HYDRANT                     |  |           |
|  | FL FLOW LINE                        |  |           |
|  | GFF GARAGE FINISH FLOOR             |  |           |
|  | GM GAS METER                        |  |           |
|  | GW GUY WIRE                         |  |           |
|  | L&T LEAD AND TAG                    |  |           |
|  | MH MANHOLE                          |  |           |
|  | N.L.Y. NORTHERLY                    |  |           |
|  | PC PROPERTY CORNER / PROP. LINE     |  |           |
|  | PL, P.L. PROPERTY LINE / PROP. LINE |  |           |
|  | PP POWER POLE                       |  |           |
|  | PFT PARAPET                         |  |           |
|  | SAW SPIKE AND WASHER                |  |           |
|  | S.L.Y. SOUTHERLY                    |  |           |
|  | SPK SPIKE                           |  |           |
|  | SSCO SANITARY SEWER CLEAN OUT       |  |           |
|  | SSMH SANITARY SEWER MANHOLE         |  |           |
|  | STK STAKE                           |  |           |
|  | STLT STREET LIGHT                   |  |           |
|  | TC TOP OF CURB                      |  |           |
|  | TW TOP OF WALL / T.O.W.             |  |           |
|  | TX TOP OF DRIVEWAY APRON            |  |           |
|  | W.L.Y. WESTERLY                     |  |           |
|  | WM WATER METER                      |  |           |

NOTE: ALL SETBACK DIMENSIONS SHOWN  
ARE MEASURED TO EXTERIOR SURFACE OF  
BUILDINGS UNLESS OTHERWISE NOTED.  
BOUNDARY MONUMENTS ARE NOT NECESSARILY  
SET ON PROPERTY CORNERS. PLEASE REFER TO  
THE NOTATION ON THE PLANS FOR OFFSET  
DISTANCES. IF THERE ARE ANY QUESTIONS,  
PLEASE DO NOT HESITATE TO CONTACT DENN  
ENGINEERS FOR CLARIFICATION AT:  
(310) 542-9433, M-F 8:00 AM TO 5:00 PM.

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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN  
WITHOUT WRITTEN CONSENT OF DENN ENGINEERS  
SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY  
OR DAMAGE RESULTING FROM SUCH CHANGES OR  
MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR  
COSTS INCURRED IN ANY PROCEEDING THAT DENN  
ENGINEERS MAY BE JOINED.



NOTE:  
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY.  
THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS  
PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY  
BE ON SAID PROPERTY.

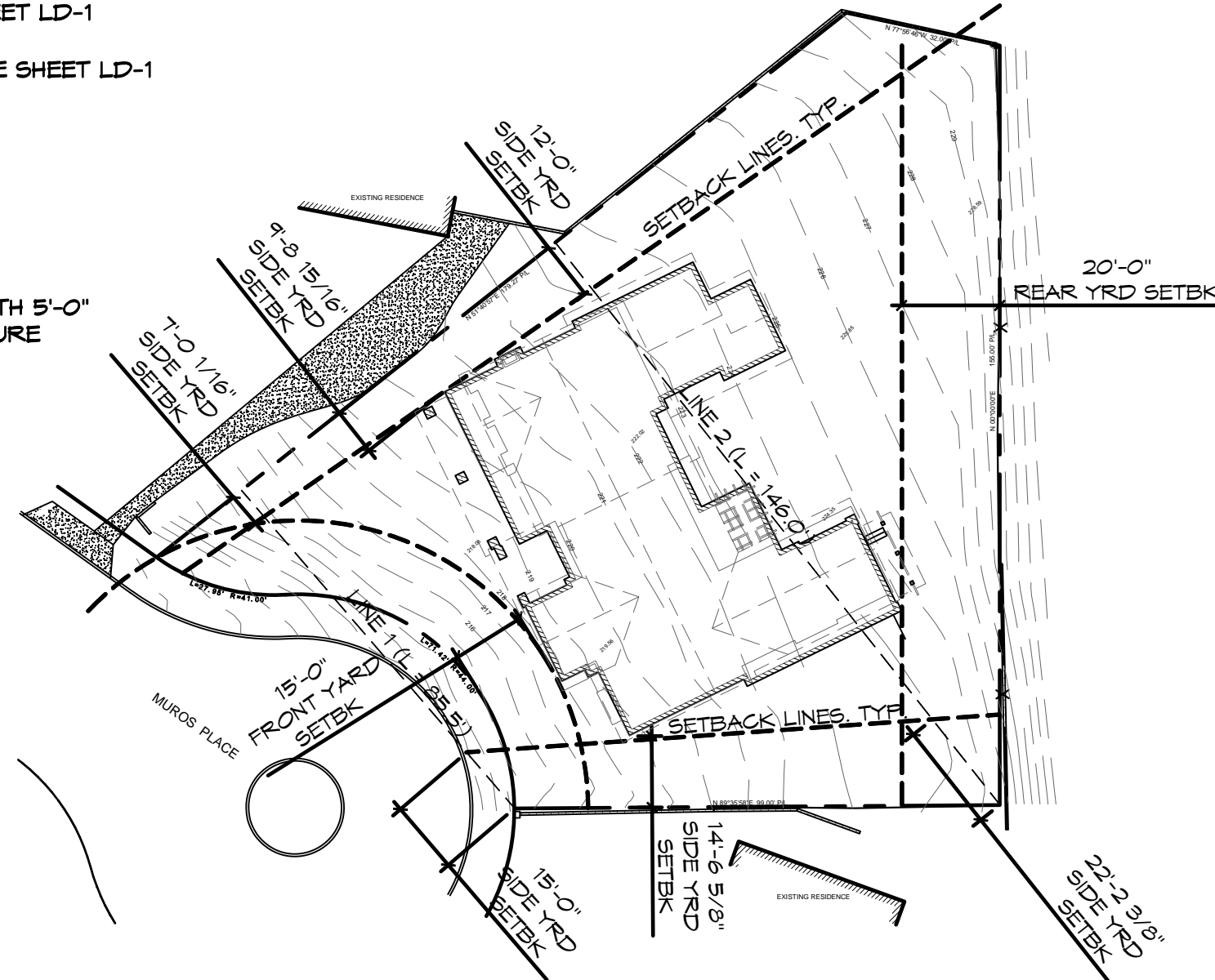


**ADDITIONAL ART JURY NOTES**

- 1.) APPROVAL FOR CONSTRUCTION EXPIRES EIGHTEEN MONTHS AFTER LAST SUBMISSION.
- 2.) ANY DEVIATION FROM APPROVED PLAN MUST HAVE ART JURY APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
- 3.) STATE LAW REQUIRES THAT UPON COMPLETION OF CONSTRUCTION, THE OWNER SHALL FILE AN APPLICATION FOR A CERTIFICATE OF COMPLETION WITH THE BUILDING DEPARTMENT OF PALOS VERDES ESTATES. (SUBSTITUTE CITY OF RANCHO PALOS VERDES/COUNTY BUILDING DEPARTMENT FOR MIJALESTE AREA.) ALSO, FILE FOR FINAL INSPECTION WITH PALOS VERDES HOMES ASSOCIATION.
- 4.) LANDSCAPE PLANS TO BE SUBMITTED TO THE ART JURY FOR REVIEW PRIOR TO FRAMING INSPECTION. LANDSCAPE PLANS SHOULD BE SUBMITTED ON A PLOT PLAN SHOWING LOCATION OF ALL HARDSCAPE, SPECIES OF TREES AND BUSHES, CONTAINER SIZE, HEIGHT, ALL LANDSCAPING REVIEWED BY THE ART JURY WILL HAVE THE CONDITION THAT IF IT BECOMES A VIEW OBSTRUCTION IT WILL BE REQUIRED TO BE TRIMMED BY THE HOMES ASSOCIATION.

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DATE	ISSUE/REVISION
9/7/2016	PRELIMINARY ART JURY SUBMITTAL
12/12/2016	INITIAL NEIGHBOR COMPATIBILITY SUBMITTAL
2/14/2017	BUILDING HEIGHT DROP SUBMITTAL
3/27/2017	BUILDING HEIGHT DROP AND REVISED DESIGN ELIMINATE AREAS SUBMITTAL



**SETBACK CALCULATION PLAN**

SET BACK CALCULATION:  
 LINE 1:  
 85.5' - 50' (REQUIRED BASIC) = 35.5'  
 35.5' (10%) = 3.55' (2) = 7.1'  
 15' + 7.1' = 22.1' TOTAL COMBINED REQUIRED SIDE YARD SETBACK

LINE 2:  
 146.0' - 50' (REQUIRED BASIC) = 96.0'  
 96.0' (10%) = 9.6' (2) = 19.2'  
 15' + 19.2' = 34.2' TOTAL COMBINED REQUIRED SIDE YARD SETBACK

**LEGEND**

- NEW SITE WALLS
- (E) SITE WALLS
- x FS XXXX NEW FINISH GRADES
- - - FINISH GRADE
- - - NATURAL GRADE

NOTE:  
SEE LANDSCAPE FOR ADDITIONAL INFORMATION

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DATE:	-
DRAWN:	ATR
JOB NO.	1607
DRAWING TITLE	SITE PLAN

DRAWING NUMBER

**A1.1**

**SITE PLAN**  
 1/8" = 1'-0"

**WALL LEGEND**

	2 X 4 STUD WALL
	2 X 6 STUD WALL
	2 X 8 STUD WALL
	2 X 10 STUD WALL
	8" P.I.P. CONC. RETAINING WALL

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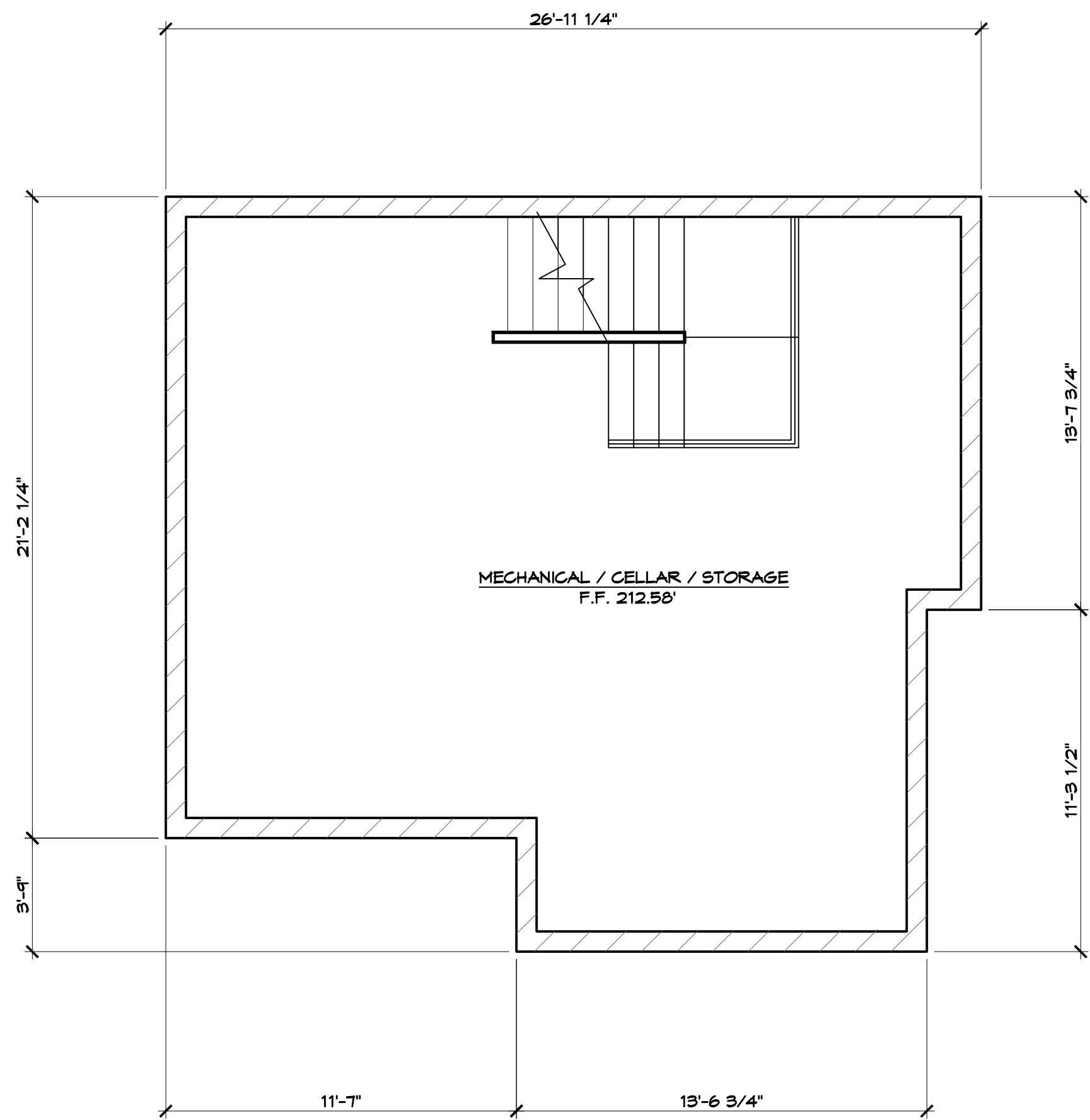
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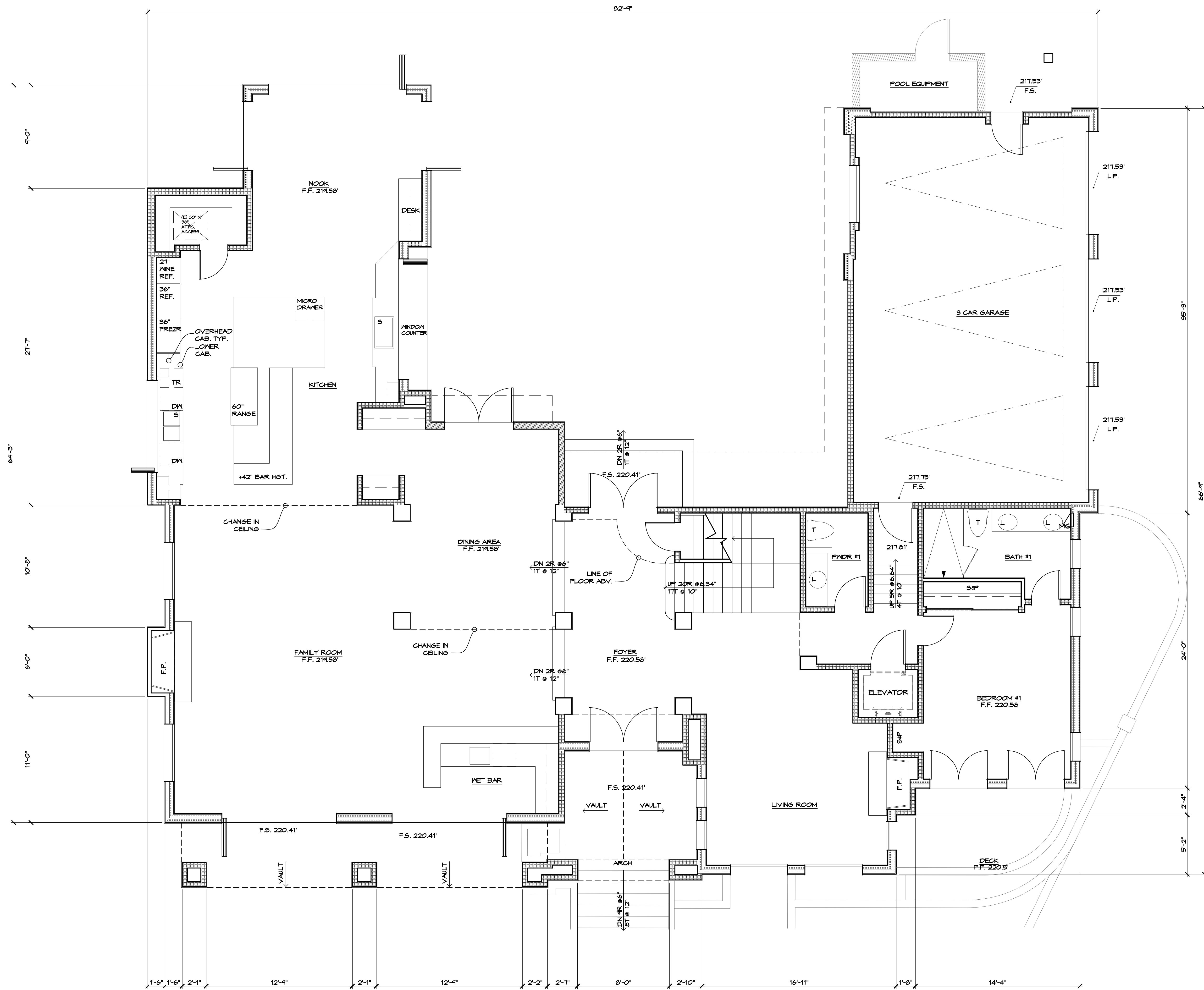
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DATE:	-
DRAWN:	ATR
JOB NO.	1607
DRAWING TITLE	PROPOSED MECH./CELLAR/STORAGE PLAN
DRAWING NUMBER	

**A2.1**



**PROPOSED MECH./CELLAR/STORAGE PLAN**  
 1/4" = 1'-0"



**WALL LEGEND**

- 2 X 4 STUD WALL
- 2 X 6 STUD WALL
- 2 X 8 STUD WALL
- 2 X 10 STUD WALL
- 8" P.I.P. CONC. RETAINING WALL

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3/21/2017	BUILDING HEIGHT DROP AND REVISED DESIGN ELIMINATE AREAS SUBMITTAL

NEW SINGLE FAMILY RESIDENCE FOR:  
**2004 MUROS LLC.**  
 2004 MUROS PL. PALOS VERDES ESTATES



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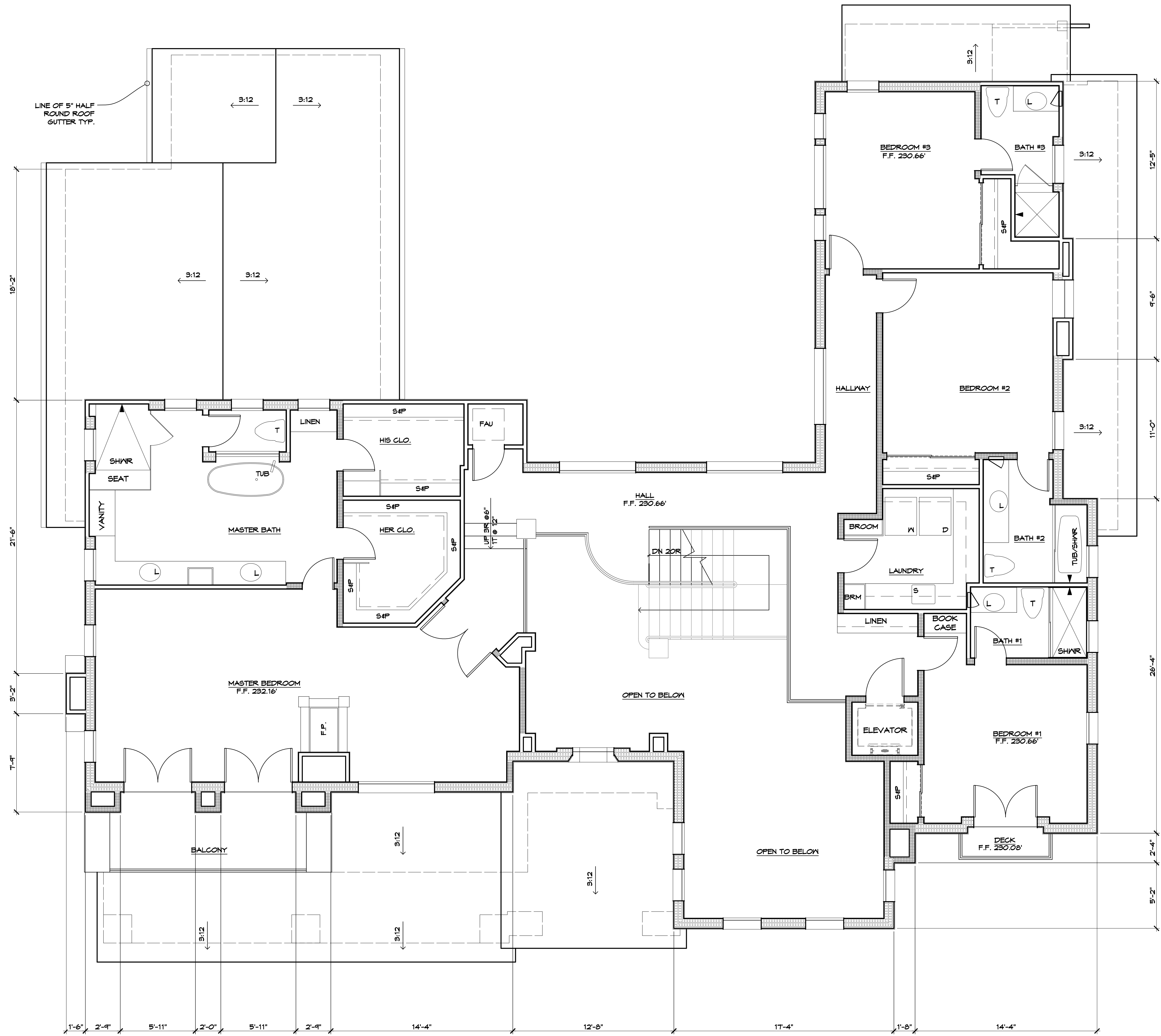
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 DRAWN: ATR  
 JOB NO. 1607  
 DRAWING TITLE  
 PROPOSED  
 FIRST FLOOR  
 PLAN

DRAWING NUMBER

**A2.2**

**PROPOSED FIRST FLOOR PLAN**  
 1/4" = 1'-0"



**WALL LEGEND**

- 2 X 4 STUD WALL
- 2 X 6 STUD WALL
- 2 X 8 STUD WALL
- 2 X 10 STUD WALL
- 8" P.I.P. CONC. RETAINING WALL

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DATE	ISSUE/REVISION
9/7/2016	PRELIMINARY ART
12/12/2016	JULY SUBMITTAL
3/14/2017	COMPATIBILITY SUBMITTAL
3/14/2017	BUILDING HEIGHT DROP SUBMITTAL
3/21/2017	BUILDING HEIGHT DROP AND REVISED DESIGN ELIMINATE AREAS SUBMITTAL

NEW SINGLE FAMILY RESIDENCE FOR:  
**2004 MUROS LLC.**  
 2004 MUROS PL. PALOS VERDES ESTATES



Larry Peha, A.I.A.

67 14TH STREET  
 HERMOSA BEACH, CA 90254  
 PHONE: (310) 372 - 1755  
 FAX: (310) 376 - 6837  
 E-MAIL: pa@pehaarch.com  
 Web: www.pehaarch.com

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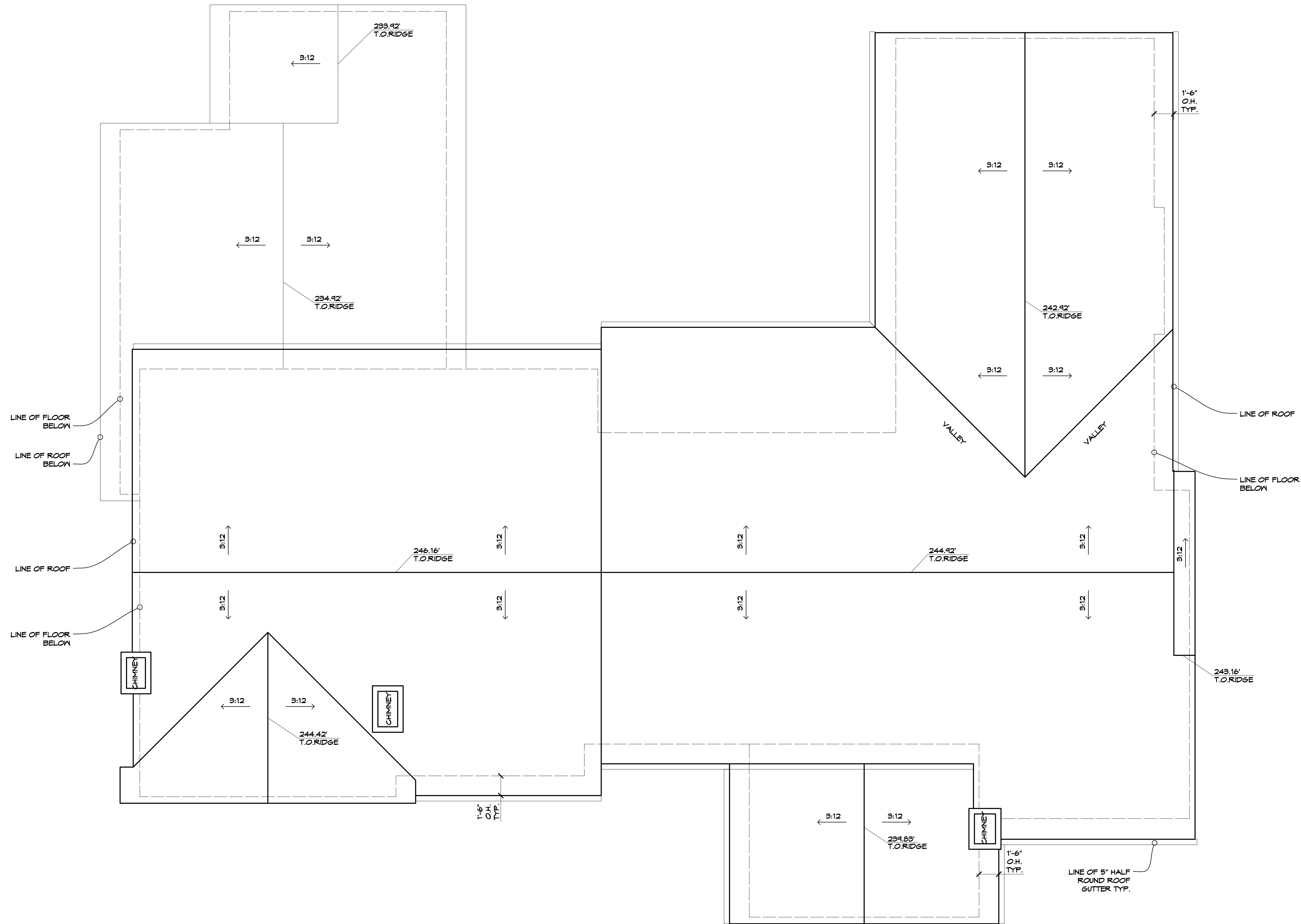
DATE: -  
 DRAWN: ATR  
 JOB NO. 1607  
 DRAWING TITLE  
 PROPOSED  
 SECOND  
 FLOOR PLAN

DRAWING NUMBER

**A2.3**

**PROPOSED SECOND FLOOR PLAN**  
 1/4" = 1'-0"





**PROPOSED ROOF PLAN**  
 1/4" = 1'-0"

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DATE	ISSUE/REVISION
9/7/2016	PRELIMINARY ART
12/12/2016	INITIAL NEIGHBOR COMPATIBILITY SUBMITTAL
3/14/2017	BUILDING HEIGHT DROP SUBMITTAL
3/21/2017	BUILDING HEIGHT DROP AND REVISED DESIGN ELIMINATE AREAS SUBMITTAL

NEW SINGLE FAMILY RESIDENCE FOR:  
**2004 MUROS LLC.**  
 2004 MUROS PL. PALOS VERDES ESTATES

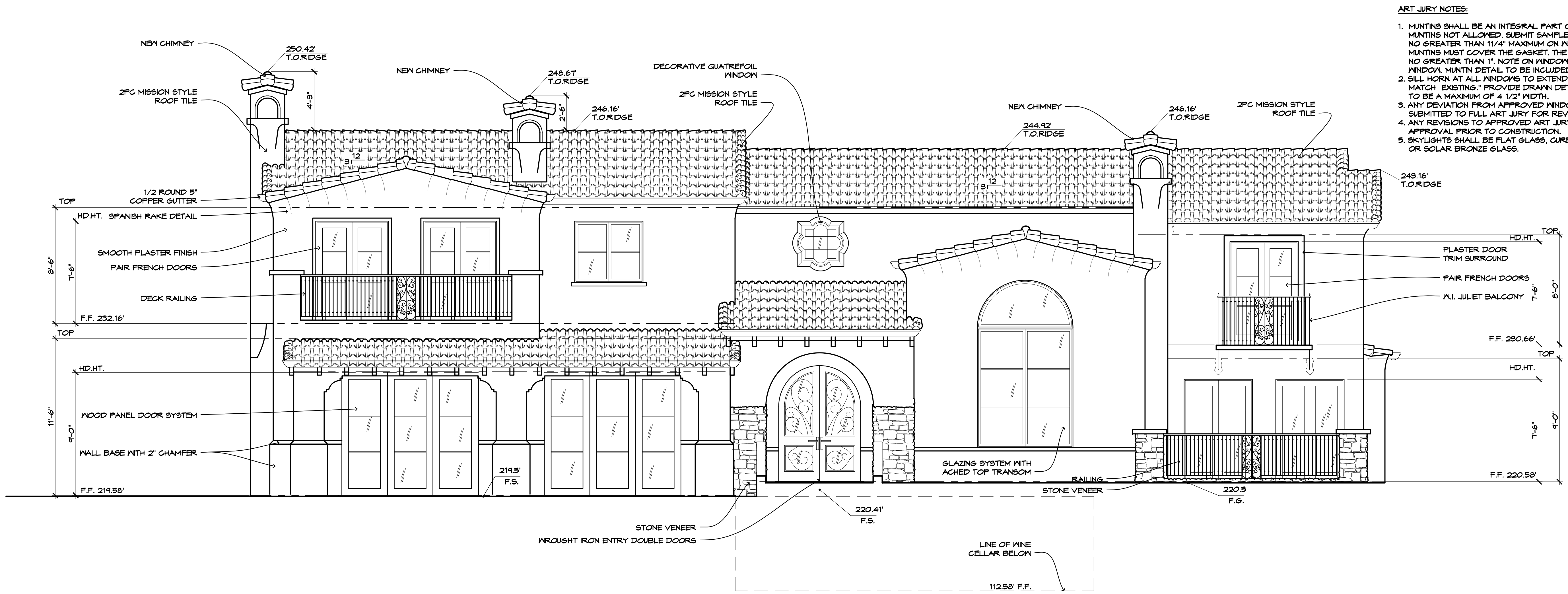


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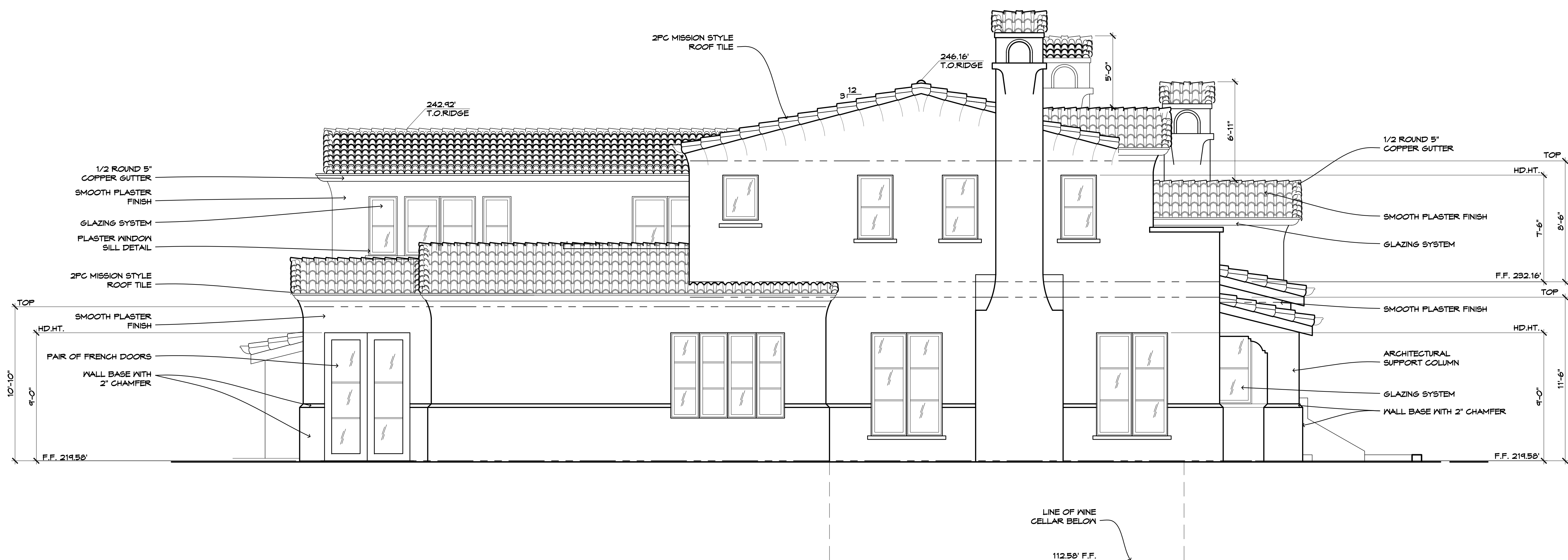
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DATE:	-
DRAWN:	ATR
JOB NO.	1607
DRAWING TITLE	PROPOSED ROOF PLAN
DRAWING NUMBER	A2.4



PROPOSED WEST ELEVATION

1/4" = 1'-0"



PROPOSED NORTH ELEVATION

1/4" = 1'-0"

- ART JURY NOTES:**
- MUNTINS SHALL BE AN INTEGRAL PART OF ALL WINDOWS AND DOORS. "SNAP-IN/SNAP OUT" MUNTINS NOT ALLOWED. SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW. MUNTINS MAY BE NO GREATER THAN 1/4" MAXIMUM ON WINDOWS WITH INSULATED GLASS. SINCE WOOD MUNTINS MUST COVER THE GASKET, THE MAXIMUM MUNTIN SIZE FOR SINGLE PANES SHALL BE NO GREATER THAN 1". NOTE ON WINDOW SCHEDULE MANUFACTURER AND MATERIAL OF WINDOW. MUNTIN DETAIL TO BE INCLUDED ON DETAIL SHEET.
  - SILL HORN AT ALL WINDOWS TO EXTEND A MAXIMUM OF 2" TO A MINIMUM OF 1/2" OR SHALL MATCH EXISTING. PROVIDE DRAWN DETAIL INDICATING EXTENDED SILL. WOOD DOOR STILES TO BE A MAXIMUM OF 4 1/2" WIDTH.
  - ANY DEVIATION FROM APPROVED WINDOW AND DOOR MUNTIN LIGHT SIZES MUST BE SUBMITTED TO FULL ART JURY FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - ANY REVISIONS TO APPROVED ART JURY PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
  - SKYLIGHTS SHALL BE FLAT GLASS, CURB MOUNTED DARK ANODIZED FRAME, SOLAR GRAY OR SOLAR BRONZE GLASS.

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DATE	ISSUE/REVISION
9/7/2016	PRELIMINARY ART JURY SUBMITTAL
12/12/2016	INITIAL NEIGHBOR COMPATIBILITY SUBMITTAL
2/14/2017	BUILDING HEIGHT DROP SUBMITTAL
3/27/2017	BUILDING HEIGHT DROP AND REVISED DESIGN ELIMINATE AREAS SUBMITTAL

NEW SINGLE FAMILY RESIDENCE FOR:

# 2004 MUROS LLC.

2004 MUROS PL., PALOS VERDES ESTATES



PEHA & ASSOCIATES  
ARCHITECTURE

Larry Peha, A.I.A.

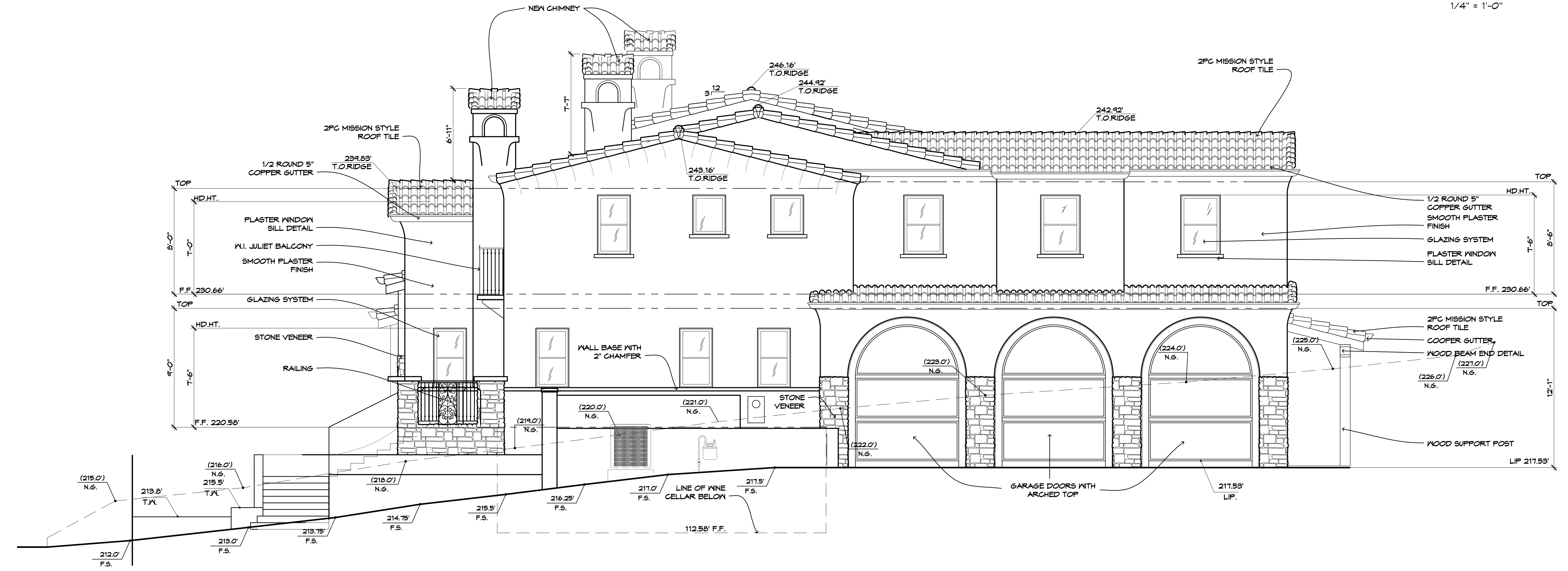
67 14TH STREET  
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FAX: (310) 376-6837  
E-MAIL: paha@pehaarch.com  
Web: www.pehaarch.com

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DATE:	-
DRAWN:	ATR
JOB NO.:	1607
DRAWING TITLE:	PROPOSED EXTERIOR ELEVATIONS
DRAWING NUMBER:	A3.1



PROPOSED EAST ELEVATION  
1/4" = 1'-0"



PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"

**ART JURY NOTES:**

- MUNTINS SHALL BE AN INTEGRAL PART OF ALL WINDOWS AND DOORS. "SNAP-IN/SNAP OUT" MUNTINS NOT ALLOWED. SUBMIT SAMPLE OF WINDOW FOR ART JURY REVIEW. MUNTINS MAY BE NO GREATER THAN 1/4" MAXIMUM ON WINDOWS WITH INSULATED GLASS, SINCE WOOD MUNTINS MUST COVER THE GASKET. THE MAXIMUM MUNTIN SIZE FOR SINGLE PANEES SHALL BE NO GREATER THAN 1". NOTE ON WINDOW SCHEDULE MANUFACTURER AND MATERIAL OF WINDOW. MUNTIN DETAIL TO BE INCLUDED ON DETAIL SHEET.
- SILL HORN AT ALL WINDOWS TO EXTEND A MAXIMUM OF 2" TO A MINIMUM OF 1/2" OR SHALL MATCH EXISTING. PROVIDE DRAWN DETAIL INDICATING EXTENDED SILL. WOOD DOOR STILES TO BE A MAXIMUM OF 4 1/2" WIDTH.
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- ANY REVISIONS TO APPROVED ART JURY PLANS MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- SKYLIGHTS SHALL BE FLAT GLASS, CURB MOUNTED DARK ANODIZED FRAME, SOLAR GRAY OR SOLAR BRONZE GLASS.

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DATE	ISSUE/REVISION
9/7/2016	PRELIMINARY ART JURY SUBMITTAL
12/12/2016	INITIAL NEIGHBOR COMPATIBILITY SUBMITTAL
2/14/2017	BUILDING HEIGHT DROP SUBMITTAL
5/21/2017	BUILDING HEIGHT DROP AND REVISED DESIGN ELIMINATE AREAS SUBMITTAL

NEW SINGLE FAMILY RESIDENCE FOR:  
**2004 MUROS LLC.**  
2004 MUROS FL. PALOS VERDES ESTATES



PEHA & ASSOCIATES  
ARCHITECTURE  
Larry Peha, A.I.A.

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Web: www.pehaarch.com

4/6/2017 2:05:40 PM

DATE: -  
DRAWN: ATR  
JOB NO. 1607  
DRAWING TITLE  
PROPOSED EXTERIOR ELEVATIONS

DRAWING NUMBER  
**A3.2**

# 2004 MUROS LLC.

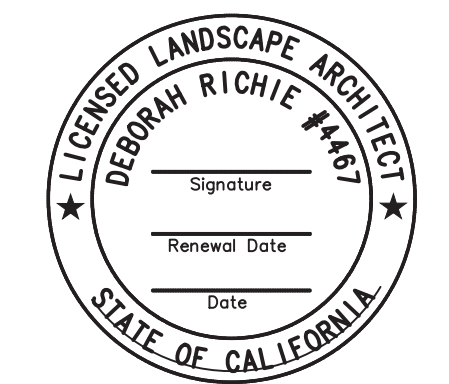
2004 MUROS PLACE  
PALOS VERDES ESTATES, CA 90274

LOT 56, TRACT No. 30905  
M.B. 804-61-69 APN 7543-043-006



2432 Via Amador,  
Palos Verdes Estates, CA 90274  
(310) 377-5868  
FAX : (310) 377-3484

E-mail: rbadm@richie-bray.com



## PROJECT INFORMATION :

OWNER : BILL AND LIZ MESSORI  
MAILING ADDRESS : 1520 VIA MARTINEZ, PALOS VERDES ESTATES, CA 90274  
PROJECT ADDRESS : 2004 MUROS PLACE, PALOS VERDES ESTATES, CA 90274  
PHONE NUMBER : (310) 809-8775

LANDSCAPE ARCHITECT : RICHIE-BRAY, INC.  
MAILING ADDRESS : 2432 VIA AMADOR, PALOS VERDES ESTATES, CA 90274  
PHONE NUMBER : (310) 377-5868

ARCHITECT : PEHA & ASSOCIATES  
MAILING ADDRESS : 67 14TH STREET, HERMOSA BEACH, CA 90254  
PHONE NUMBER : (310) 372-1755

DWG. NO.	SCALE	DATE	REV. DATE	DESCRIPTIONS
L-0	N/A	11-12-2016	4-5-2017	COVER SHEET
L-1	1/8" = 1'-0"	11-4-2016	---	TOPOGRAPHIC SURVEY
L-1.1	N/A	3-4-2017	---	EXISTING CONDITION
L-2	1/8" = 1'-0"	11-4-2016	4-5-2017	LANDSCAPE LAYOUT
L-3	1/8" = 1'-0"	11-13-2016	4-5-2017	SITE SECTIONS
LD-1	1/8" = 1'-0"	2-8-2017	4-5-2017	FIREPLACE & TRELIS DETAIL
LP-1	1/8" = 1'-0"	2-24-2017	4-5-2017	PLANTING PLAN
LP-2	N/A	2-24-2017	---	PLANT SCHEDULE
LP-3	AS SHOWN	2-24-2017	---	FIREPLACE & TRELIS DETAIL

## SCOPE OF WORK:

THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE FOLLOWING NEW FEATURES :

- NEW HOME
- FRONT, SIDE, AND REAR HARDSCAPE, POOL, SPA, ENTRY STAIR, POOL EQUIPMENT, CABANA, BBQ COUNTER

## CUT & FILL

CUT :	CUBIC YDS.	MAX. DEPTH	MAX. DEPTH LOCATION
UNDER HOUSE/ADDITION IN YARD AREAS	375.00	7'	@ REAR NORTH WEST CORNER
TOTAL CUT	1,666.00	8'	REAR POOL WALL
FILL :			
UNDER HOUSE/ADDITION IN YARD AREAS	42.21	7'	@ FRONT ENTRY LANDING
TOTAL FILL	143.20	8'	@ FRONT PLANTER WALL
TOTAL GRADING (SUM OF TOTAL CUT AND TOTAL FILL) :	2,226.41		
IMPORT OR EXPORT QUANTITY (THIS APPLICATION ONLY) :	1,855.60		EXPORT

## GENERAL NOTES :

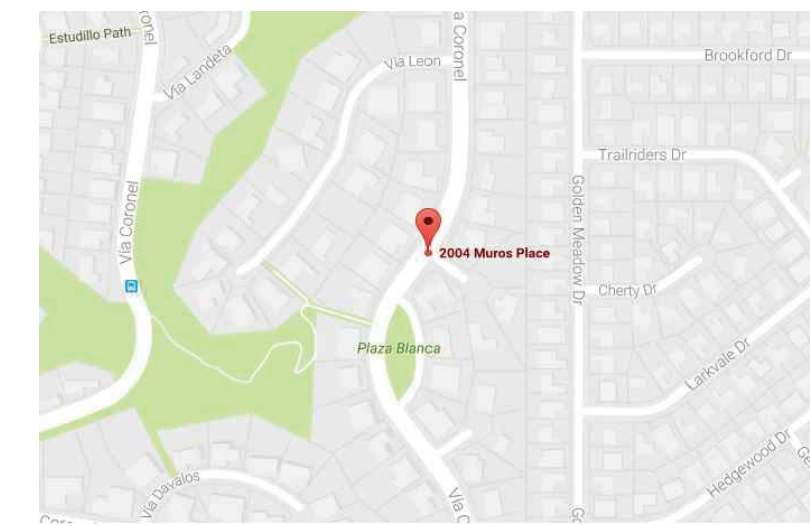
- ANY YARD DRAINAGE IMPROVEMENTS SHALL BE INSPECTED AND CERTIFIED BY THE ENGINEER OF RECORD PRIOR TO FINAL APPROVAL.
- ANY DRAINAGE DIRECTED TO THE STREET THROUGH PIPING SHALL BE DRAWN UP BY A LICENSED CIVIL ENGINEER AND SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO OBTAINING A PUBLIC WORKS PERMIT FOR CURB CORING.
- CONTRACTOR TO VERIFY LOCATIONS OF SMOKE DETECTORS AND CARBON MONOXIDE ALARMS IN NEW WORK PER SECTIONS R314 & R315 OF THE CRC RESPECTIVELY.
- ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES & MUST BE ATHENS DUMPSTERS ONLY (CALL 1-888-336-6100)
- A RE-INSPECTION FEE MAY BE CHARGED BY THE CITY FOR AN INSPECTION WHICH IS NOT ACCESSIBLE OR APPROVED PLANS ARE NOT ON SITE, OR JOB IS NOT READY AND ALL COSTS SHALL BE BORNE BY THE CONTRACTOR RESPONSIBLE FOR THE SAID WORK.
- CONTRACTOR TO VERIFY LOCATIONS OF SMOKE DETECTORS AND CARBON MONOXIDE ALARMS IN NEW WORK PER SECTIONS R314 & R315 OF THE CRC RESPECTIVELY.
- ALL GENERAL CONTRACTORS, SUB-CONTRACTORS, ARCHITECTS & ENGINEERS CONDUCTING BUSINESS WITHIN THE CITY ARE REQUIRED TO MAINTAIN A CURRENT CITY BUSINESS LICENSE AS DESCRIBED IN THE MUNICIPAL CODE ORDINANCE NO. 092-559 AND RESOLUTION NO. R92-72.
- PER LOCAL REQUIREMENTS, THE WORKING HOURS ARE BETWEEN 7:00 AM TO 7:00 PM MONDAY THROUGH THURSDAY; 7:00 AM TO 5:00 PM ON FRIDAY AND 9:00 AM TO 5:00 PM ON SATURDAY WITH NO WORK ON SUNDAYS OR HOLIDAYS. THE ABOVE LIMITS ARE FOR REFERENCE ONLY AND CONTRACTOR ARE RESPONSIBLE TO ASCERTAIN THE WORKING HOUR LIMIT FROM RELEVANT CITY REQUIREMENTS.
- ALL WORKS SHALL CONFORM TO ALL RELEVANT CURRENT CODES INCLUDING BUT NOT LIMITED TO :
  - 2013 CALIFORNIA BUILDING CODE
  - 2013 CALIFORNIA RESIDENTIAL CODE
  - 2013 CALIFORNIA PLUMBING CODE
  - 2013 CALIFORNIA MECHANICAL CODE
  - 2013 CALIFORNIA ELECTRICAL CODE
  - THE CURRENT REQUIREMENTS OF THE ENERGY
  - COUNTY OF LOS ANGELES FIRE CODE
- DUST CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- SEPARATE PUBLIC WORKS PERMIT SHALL BE REQUIRED FOR ANY APPROACH TO PRIVATE DRIVEWAYS, SEWER LATERALS, CURBS, CURB CORES, STREET IMPROVEMENTS OR ANY WORK IN THE PUBLIC RIGHT OF WAY OR PARKWAYS.
- CONTRACTOR TO ASCERTAIN ALL REQUIRED SWIMMING POOL FENCING TO BE MAINTAINED DURING CONSTRUCTION OR THE POOL SHALL BE EMPLOYED.
- PRIOR TO ANY DEMOLITION/GRADING WORK COMMENCES, A PRE-DEMCO/GRADING MEETING SHALL BE ARRANGED WITH CITY BUILDING OFFICIALS, GENERAL CONTRACTOR, OWNER OR OWNER'S REPRESENTATIVE, SOIL ENGINEER, LANDSCAPE ARCHITECT AND/OR GRADING CONTRACTOR.
- CONTRACTOR TO INSTALL ALL NECESSARY EROSION CONTROL AND SEDIMENT RETENTION PROVISIONS ACCORDING TO PLAN OR AS NECESSARY.
- DETACHED PATIO COVERS, CARPORTS, ARBORS, OPEN LATTICE WORK & SUN SHADES MAY BE CONSTRUCTED OF ANY MATERIALS ALLOWED BY CODE.

## NOTES :

- ANY PLANTING OR HARDSCAPE ON CITY RIGHT OF WAY WILL BE REQUIRED TO BE REVIEWED AND APPROVED BY THE CITY.
- ALL PLANTING THAT GROWS TO A HEIGHT THAT BECOMES A VIEW OBSTRUCTION, WILL BE REQUIRED TO BE TRIMMED.
- VERIFY ALL DIMENSIONS ON SITE AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORKS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ANY MEANS OR METHODS OF CONSTRUCTION.
- LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR PROPOSED OR EXISTING CONDITIONS.
- ALL DIMENSIONS ARE TO FINISHED SURFACES.
- SEE ENGINEER'S DRAWINGS FOR ALL DETAILS & REQUIREMENTS OF CONCRETE, CMU WALLS, REBARS, ETC.
- ALL EXPOSED GALV. STEEL PARTS TO BE PAINTED W/ PRIMER & 2 COATS OF POLYURETHANE PAINT.
- CONTRACTOR TO VERIFY ALL EQUIPMENT SIZES, UTILITY REQUIREMENTS ETC. PRIOR TO CONSTRUCTION.
- CONTRACTOR TO SUBMIT ALL MATERIAL & COLOR SAMPLES FOR APPROVAL PRIOR TO ANY WORK COMMENCES.
- SURVEY INFORMATION WERE OBTAINED FROM OTHER'S RECORDS AND EXISTING SITE CONDITIONS. CONTRACTOR TO VERIFY ALL CONDITIONS PRIOR TO CONSTRUCTION.
- SURVEY PREPARED BY : BOLTON ENGINEERS (310) 325-5580
- SHOULD EXISTING CONDITIONS DIFFER FROM THIS LAYOUT, CONTRACTOR ARE TO INFORM LANDSCAPE ARCHITECT FOR VERIFICATION PRIOR TO WORK COMMENCES.

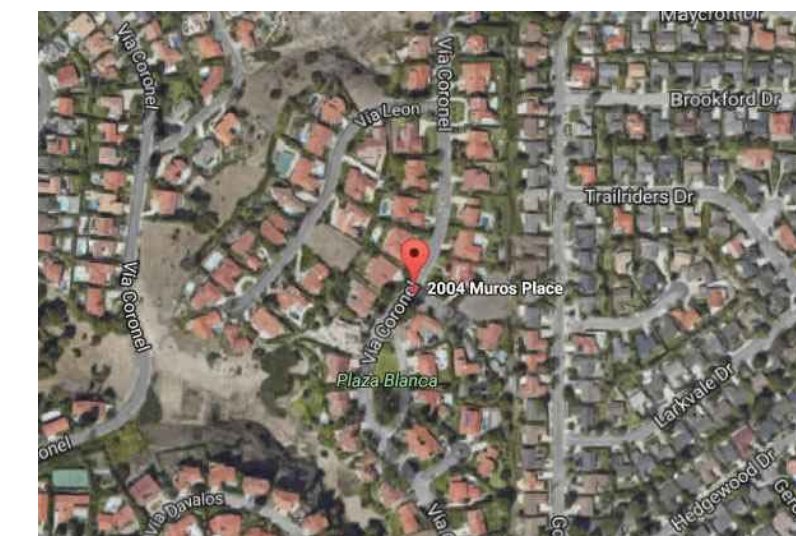
## MAINTENANCE REQUIREMENTS

- LANDSCAPE MAINTENANCE REQUIREMENTS SHALL BE AS FOLLOWS :
- AN AUTOMATIC SPRINKLER OR IRRIGATION SYSTEM SHALL BE INSTALLED AND PERMANENTLY MAINTAINED IN WORKING ORDER.
  - ALL LANDSCAPING SHALL BE PERMANENTLY MAINTAINED.
  - LAWN AND GROUND COVERS SHALL BE MOWED OR TRIMMED REGULARLY. ALL PLANTED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS.
  - ALL PLANTINGS SHALL BE KEPT IN A HEALTHY AND GROWING CONDITION. ADJUSTMENTS, REPLACEMENTS, REPAIRS AND CLEANING SHALL BE A PART OF THE REGULAR MAINTENANCE.
  - STAKES, CLYS AND TIES ON TREES SHALL BE CHECKED REGULARLY FOR CORRECT FUNCTION. TIES SHALL BE ADJUSTED TO AVOID CREATING ABRASION OR GIRDING ON TRUNKS OR BRANCHES.



VICINITY MAP

SCALE: NTS



SITE AERIAL VIEW

SCALE: NTS

## CITY OF PALOS VERDES ESTATES REQUIRED PLAN CHECK INFORMATION

THE FOLLOWING INFORMATION IS MANDATORY AND MUST BE SUBMITTED WITH THE PLAN CHECK APPLICATION

OWNER/APPLICANT: 2004 MUROS LLC.  
PROJECT ADDRESS: 2004 MUROS PLACE, PALOS VERDES ESTATES, CA 90274  
LEGAL DESCRIPTION: LOT 56, BLOCK, TRACT 30905  
APPLICANT'S AGENT: RICHIE-BRAY, INC. PHONE: (310) 377-5868  
DATE:

LOT SIZE: 17,137.69 SQ. FT.  
ALLOWABLE FLOOR AREA: 6,891.31 SQ. FT. EQUALS THE SMALLER OF 30% (LOT SIZE) OR 50% (LOT SIZE)

EXISTING LOT COVERAGE:  
0 SQ. FT. 0% BUILDING  
0 SQ. FT. 0% HARDSCAPE (POOL, PATIO, DECK, DRIVEWAY, ETC.)  
0 SQ. FT. 0% TOTAL

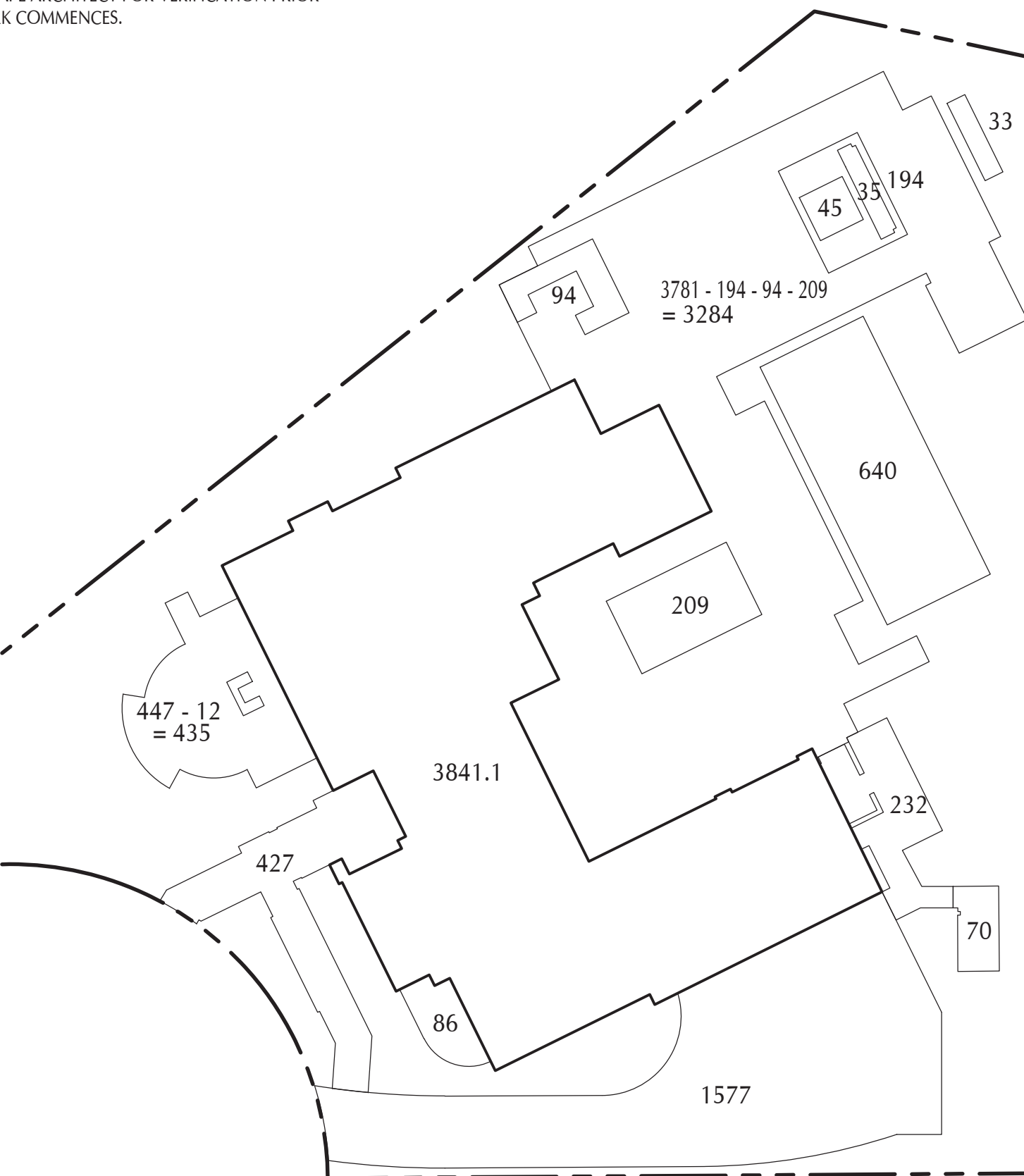
PROPOSED LOT COVERAGE (INCLUDING ONLY ADDED LOT COVERAGE)  
4,017.00 SQ. FT. 23.4% BUILDING  
6,508.00 SQ. FT. 39.0% HARDSCAPE (POOL, PATIO, DECK, DRIVEWAY, ETC.)  
10,525.00 SQ. FT. 61.4% TOTAL

TOTAL LOT COVERAGE (SUM OF EXISTING AND PROPOSED)  
4,017.00 SQ. FT. 23.4% BUILDING (NOT TO EXCEED 30%)  
6,508.00 SQ. FT. 39.0% HARDSCAPE (POOL, PATIO, DECK, DRIVEWAY, ETC.)  
10,525.00 SQ. FT. 61.4% TOTAL

EXISTING FLOOR AREA:  
0 SQ. FT. FIRST FLOOR  
0 SQ. FT. SECOND FLOOR  
0 SQ. FT. BASEMENT  
0 SQ. FT. MEZZANINE  
0 SQ. FT. GARAGE  
0 SQ. FT. TOTAL\*

PROPOSED FLOOR AREA: (INCLUDE ONLY ADDED FLOOR AREA)  
3,053.00 SQ. FT. FIRST FLOOR  
2,393.00 SQ. FT. SECOND FLOOR  
--- SQ. FT. BASEMENT  
--- SQ. FT. MEZZANINE  
748.00 SQ. FT. GARAGE  
6,194.00 SQ. FT. TOTAL

TOTAL FLOOR AREA: (SUM OF EXISTING AND PROPOSED)  
3,053.00 SQ. FT. FIRST FLOOR  
2,393.00 SQ. FT. SECOND FLOOR  
--- SQ. FT. BASEMENT  
--- SQ. FT. MEZZANINE  
--- SQ. FT. GARAGE  
6,194.00 SQ. FT. TOTAL



## AREA CALCULATION

RESIDENCE	3841.1	
DRIVEWAY	1577	
FOUNTAIN	35	
FIREPLACE	33	
BBQ	94	
TRASH	70	6273
FRONT PATIO	435	
FRONT STAIR & WALK	427	
FRONT PATIO	86	
REAR DECK (3284+232)	3516	
POOL	640	685
SPA	45	

## LIST OF Bmps (BEST MANAGEMENT PRACTICES)

- CA1 Dewatering Operations - Remove sediments from ground water
- CA2 Paving Operations - Reduce discharge of pollutants from paving operations
- CA3 Structure Construction and Painting - Prevent & reduce discharge from construction sites & painting projects
- CA10 Material Delivery and Storage - Prevent & reduce discharge of pollutants to storm water from material delivery & storage
- CA11 Material Use - Prevent & reduce discharge of pollutants to storm water from material use
- CA12 Spill Prevention and Control - Prevent & reduce discharge of pollutant to storm water systems with good housekeeping
- CA20 Solid Waste Management - Prevent & reduce discharge of pollutants to storm water systems from solid waste or construction
- CA21 Hazardous Waste Management - Prevent & reduce discharge of pollutants to storm water from toxic materials
- CA22 Contaminated Soil Management - Prevent & reduce discharge of pollutants to storm water contaminated soil
- CA23 Concrete Waste Management - Prevent & reduce discharge of pollutants to storm water from concrete waste
- CA24 Sanitary/Septic Waste Management - Prevent & reduce discharge of pollutants to storm water from sanitary & septic systems
- CA30 Vehicle and Equipment Cleaning - Prevent & reduce discharge of pollutants to storm water from cleaning of vehicles and equipment
- CA31 Vehicle and Equipment Fueling - Prevent & reduce discharge of pollutants to storm water from fueling of vehicles and equipment
- CA32 Vehicle and Equipment Maintenance - Prevent & reduce discharge of pollutants to storm water from maintenance of vehicles & equipment
- CA40 Employee/Subcontractor Training - SWPPP Storm Water Pollution Prevention Plan
- ESC1 Scheduling - Sequencing the construction project to reduce the amount of soil exposed to erosion
- ESC2 Preservation of Existing Vegetation - Minimize damage and erosion by preserving the existing vegetation
- ESC10 Seeding and Planting - Minimize erosion with seeding and planting
- ESC11 Mulching - For stabilizing cleared and freshly seeded areas
- ESC20 Geotextiles and Mats - For stabilization of soils
- ESC21 Dust Controls - Reduce dust and soil erosion
- ESC22 Temporary Stream Crossing - Recommendations for installing a temporary culvert, ford or bridge
- ESC23 Construction Road Stabilization - Recommendations for dust and erosion control
- ESC24 Stabilized Construction Entrance - Recommendations for dust, sediment and erosion control for public streets
- ESC30 Earth Dike - Temporary berm or ridge of compacted soil
- ESC31 Temporary Drains and Swales - To divert off-site runoff around a construction site
- ESC32 Slope Drain - Temporary pipe to divert runoff from the top of a slope to the bottom without causing erosion
- ESC40 Outlet Protection - Install rip-rap to reduce sediment in the soil
- ESC41 Check Dams - Reduces velocity of concentrated storm water flows and reduces erosion
- ESC42 Slope Roughening/Terracing - Creates microclimates for establishing vegetation
- ESC50 For Sedimentation Control
- ESC51 Straw Bale Barriers - For sedimentation control
- ESC52 Sand Bag Barrier - For sedimentation control
- ESC53 Brush or Rock Filter - For sedimentation control and velocity reduction
- ESC54 Storm Drain Inlet Protection - Devices which detain sediment laden runoff
- ESC55 Sediment Trap - Small excavated or bermed area for sedimentation
- ESC56 Sediment Basin - Pond created to allow excessive sediment to settle

PROJECT TITLE

2004 MUROS LLC.

LOT 56, TRACT No. 30905  
M.B. 804-61-69 APN 7543-043-006

SHEET TITLE

COVER SHEET

REVISIONS

2-8-2017

2-6-2017

12-15-2016

12-14-2016

12-5-2016

4-5-2017 11-14-2016

SCALE: N/A

DATE: 11-12-2016

DRAWN BY:

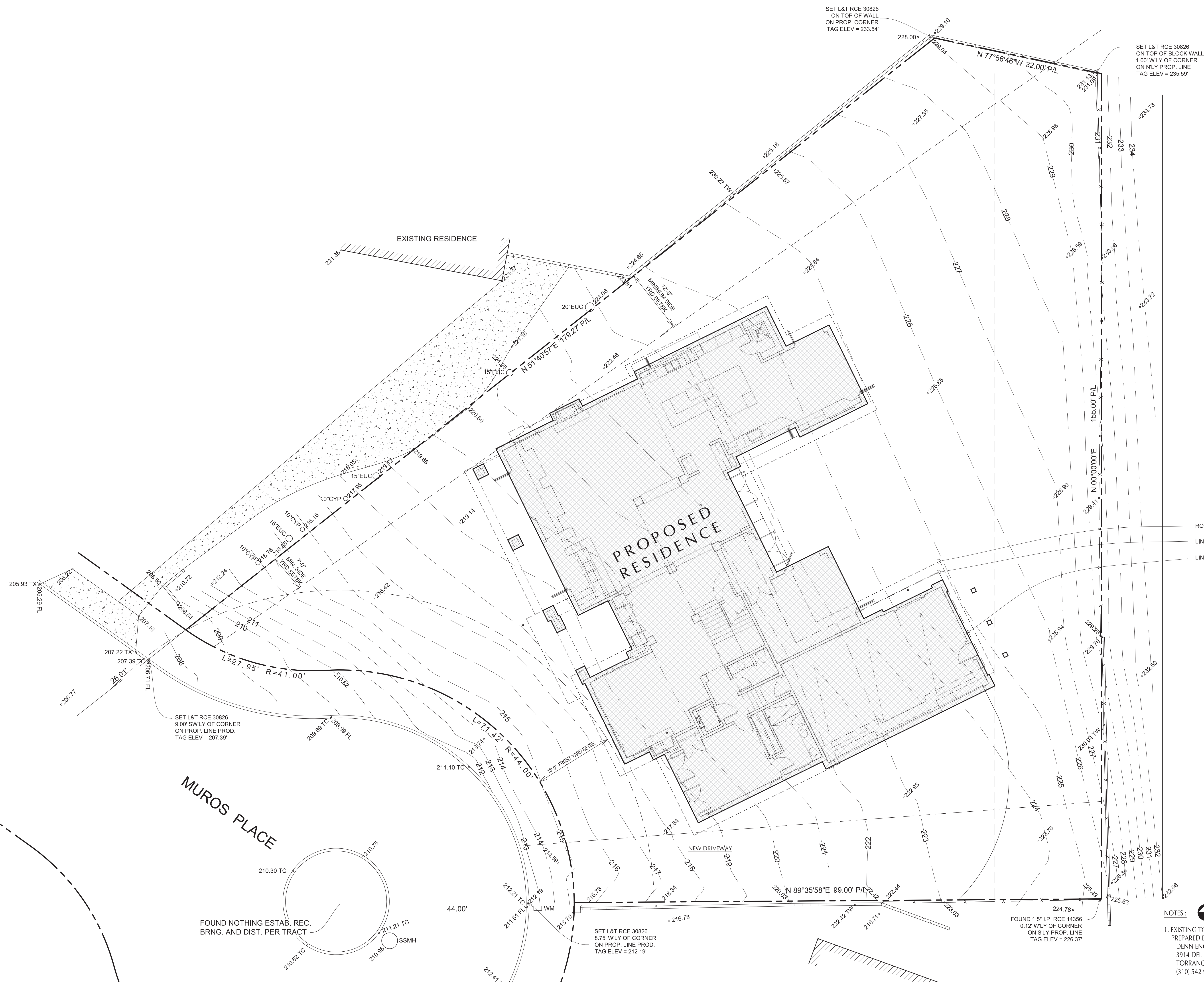
CHECKED:

XREF FILE:

PROJECT NO.

SHEET NO.

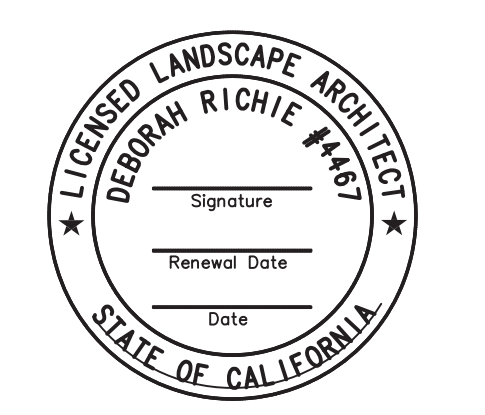
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*Richie-Bray, Inc.*  
 LANDSCAPE ARCHITECTURE

2432 Via Amador,  
 Palos Verdes Estates, CA 90274  
 (310) 377-5868  
 FAX : (310) 377-3484

E-mail: [Richie-b@richie-bray.com](mailto:Richie-b@richie-bray.com)



PROJECT TITLE

2004 MUROS LLC.

2004 MUROS PLACE  
 PALOS VERDES ESTATES,  
 CA 90274

LOT 56, TRACT No. 30905  
 M.B. 840-61-69 APN 7543-043-006

TOPOGRAPHIC SURVEY

ROOF OUTLINE  
 LINE OF SECOND FLOOR  
 LINE OF FIRST FLOOR

REVISIONS

SCALE: 1/8" = 1'-0"

DATE: 11-4-2016

DRAWN BY:

CHECKED:

XREF FILE:

PROJECT NO.

SHEET NO.

NOTES:  
 1. EXISTING TOPOGRAPHIC SURVEY WAS PREPARED BY:  
 DENN ENGINEERS  
 3914 DEL AMO BLVD, SUITE 921  
 TORRANCE, CA 90503  
 (310) 542 9433

L-1



1 FRONT YARD FROM SOUTH WEST SIDE OF PROPERTY



2 FRONT YARD CENTER VIEW FROM SOUTH WEST SIDE OF PROPERTY



3 FRONT YARD - NORTH-WEST VIEW FROM CENTER



4 NORTH-EAST CORNER LOOKING INTO BACK YARD



5 NORTH-EAST CORNER LOOKING INTO CENTER OF PROPERTY



6 REAR YARD FROM NORTH-EAST CORNER



7 REAR YARD FROM SOUTH EAST CORNER



8 SILHOUETTE OF PROPOSED STRUCTURE - VIEW FROM SE CORNER



9 SOUTHERN PROPERTY LINE - VIEW FROM SE CORNER



10 SOUTHERN PROPERTY LINE - VIEW FROM SW CORNER



11 SILHOUETTE OF PROPOSED STRUCTURE FROM SOUTH WEST VIEW



12 TWO EXISTING EUCALYPTUS TREES ON PROPERTY LINE



13 NORTHERN PROPERTY LINE - FROM SOUTH-WEST VIEW



14 NORTH WEST CORNER OF FRONT YARD FROM FRONT CENTER VIEW

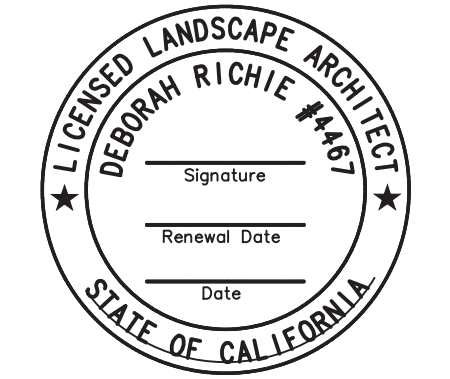


15 THREE EXISTING CYPRUS TREES; THREE EXISTING EUCALYPTUS TREES (ALL LOCATED ON PROPERTY LINE)

Richie-Bray, Inc.  
LANDSCAPE ARCHITECTURE

2432 Via Amador,  
Palos Verdes Estates, CA 90274  
(310) 377-5868  
FAX : (310) 377-3484

E-mail: rbadmin@richie-bray.com



PROJECT TITLE

2004 MUROS LLC.

2004 MUROS PLACE  
PALOS VERDES ESTATES,  
CA 90274

LOT 56, TRACT No. 30905  
M.B. 840-61-69 APN 7543-043-006

SHEET TITLE

EXISTING CONDITIONS  
PHOTO STUDY

REVISIONS

SCALE: N/A

DATE: 3-2-2017

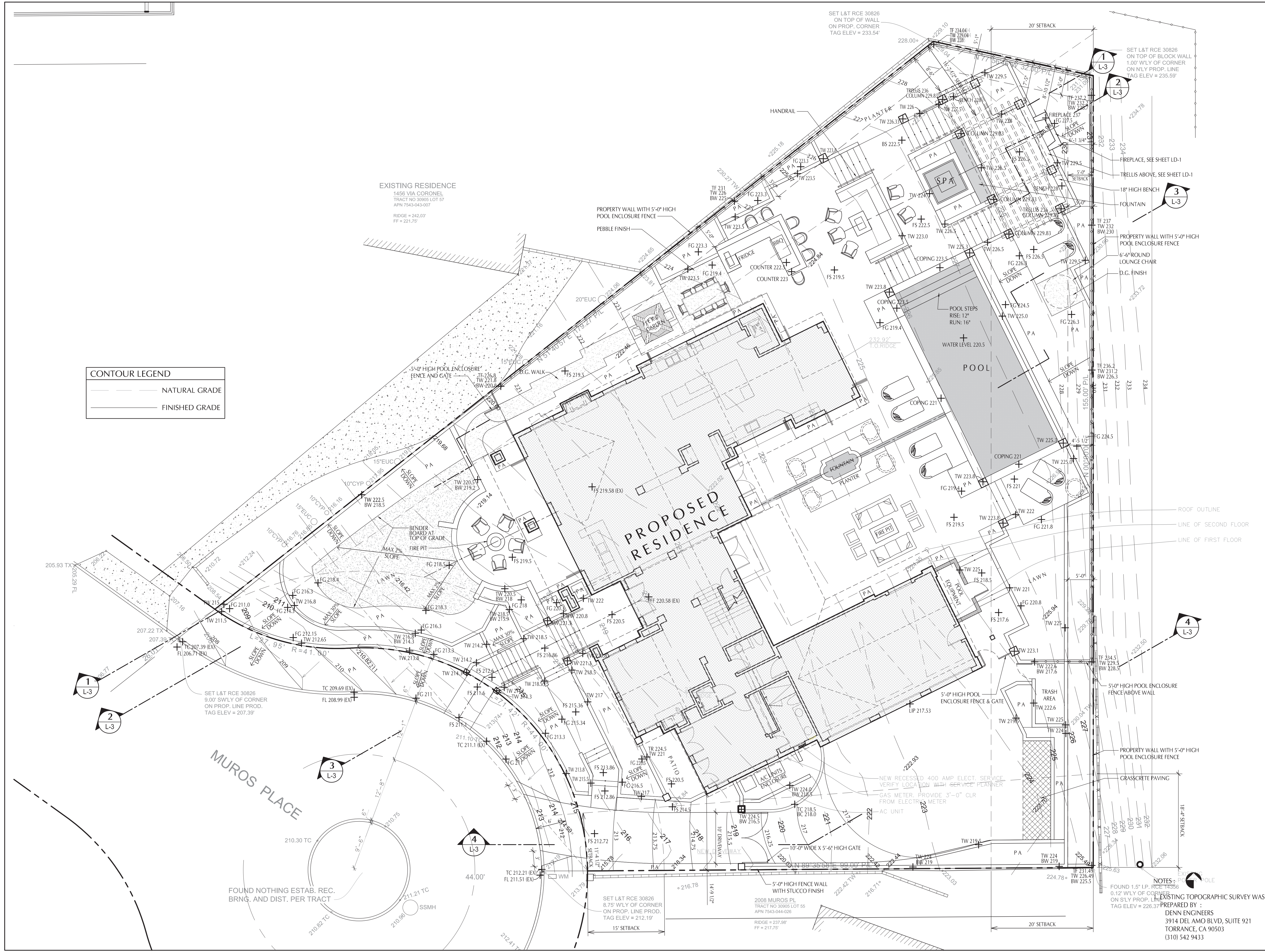
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CHECKED:

XREF FILE:

PROJECT NO.

SHEET NO.



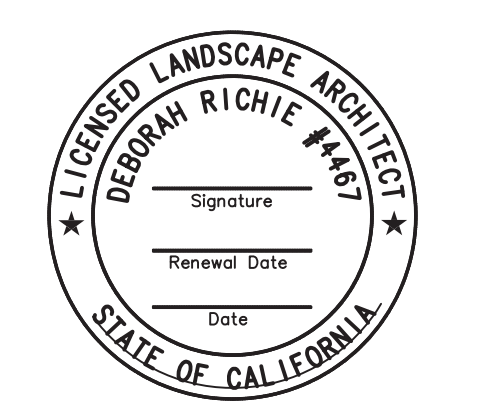
**CONTOUR LEGEND**

	NATURAL GRADE
	FINISHED GRADE

*Richie-Bray, Inc.*  
LANDSCAPE ARCHITECTURE

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PROJECT TITLE

**2004 MUROS LLC.**

2004 MUROS PLACE  
PALOS VERDES ESTATES,  
CA 90274

LOT 56, TRACT No. 30905  
M.B. 840-61-69 APN 7543-043-006  
SHEET TITLE

**LANDSCAPE LAYOUT**

**SUBMITTAL SET**  
3-6-2017

REVISIONS

	12-14-2016
4-6-2017	12-13-2016
4-5-2017	12-5-2016
2-7-2017	12-1-2016
2-6-2017	11-14-2016
1-31-2017	11-11-2016

SCALE: 1/8" = 1'-0"

DATE: 11-4-2016

DRAWN BY:

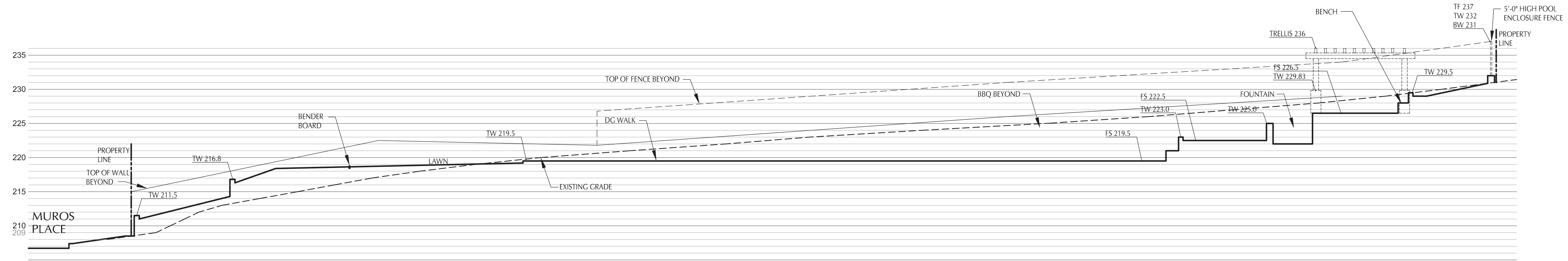
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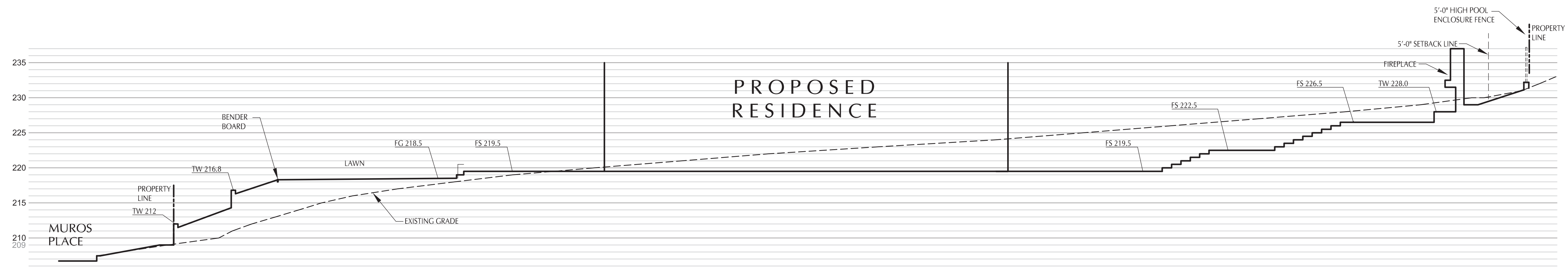
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SHEET NO.

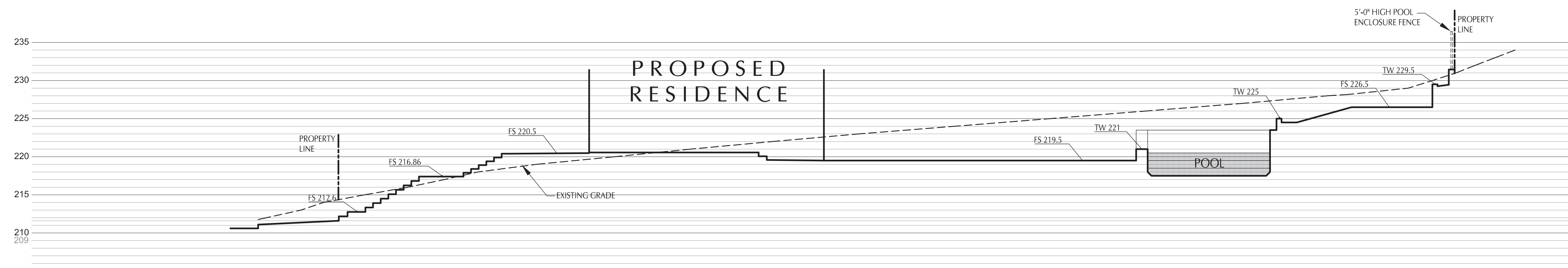
**NOTES:**  
FOUND 1.5" I.P. RCE 14356  
ON SLY PROP. LINE. EXISTING TOPOGRAPHIC SURVEY WAS  
PREPARED BY :  
DENN ENGINEERS  
3914 DEL AMO BLVD, SUITE 921  
TORRANCE, CA 90503  
(310) 542 9433



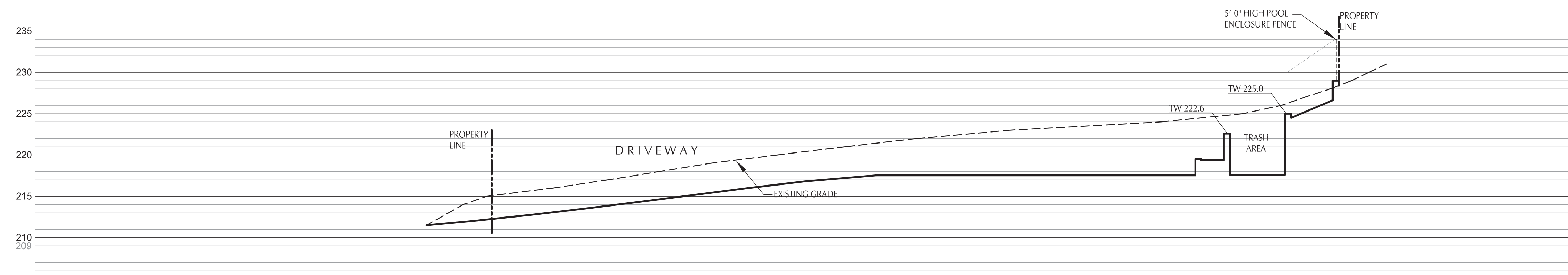
SITE SECTION 1



SITE SECTION 2



SITE SECTION 3

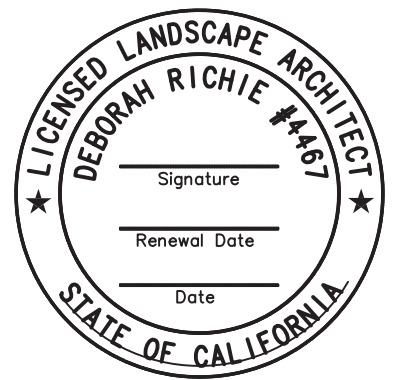


SITE SECTION 4

*Richie-Bray, Inc.*  
LANDSCAPE ARCHITECTURE

2432 Via Amador,  
Palos Verdes Estates, CA 90274  
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E-mail: rbadm@richie-bray.com



PROJECT TITLE

2004 MUROS LLC.

2004 MUROS PLACE  
PALOS VERDES ESTATES,  
CA 90274

LOT 56, TRACT No. 30905  
M.B. 840-61-69 APN 7543-043-006

SHEET TITLE

SITE SECTIONS

SUBMITTAL SET  
3-6-2017

REVISIONS

	4-5-2017
	2-7-2017
	2-6-2017
	12-13-2016
	12-5-2016
	4-6-2017 11-14-2016

SCALE: 1/8" = 1'-0"

DATE: 11-13-2016

DRAWN BY:

CHECKED:

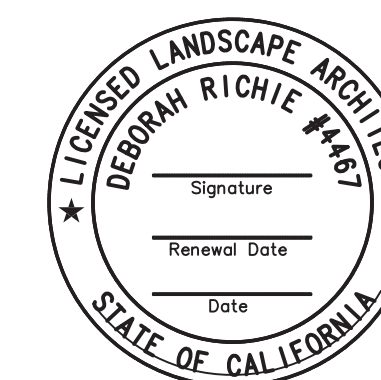
XREF FILE:

PROJECT NO.

SHEET NO.

L-3





PROJECT TITLE

2004 MUROS LLC.

2004 MUROS PLACE  
PALOS VERDES ESTATES,  
CA 90274

LOT 56, TRACT No. 30905  
M.B. 840-61-69 APN 7543-043-006

SHEET TITLE

FIREPLACE, TRELLIS  
DETAILS

REVISIONS

SCALE: 1/2" = 1'-0"

DATE: 2-8-2017

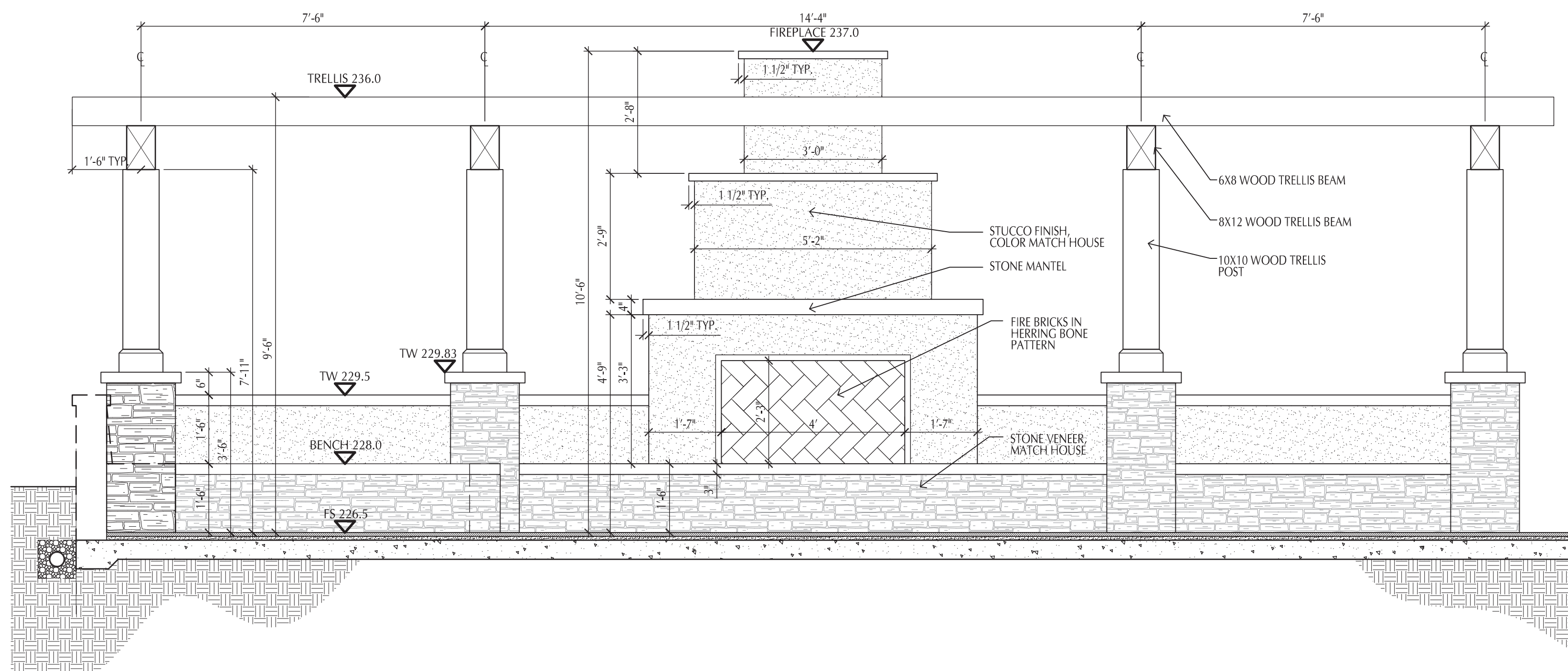
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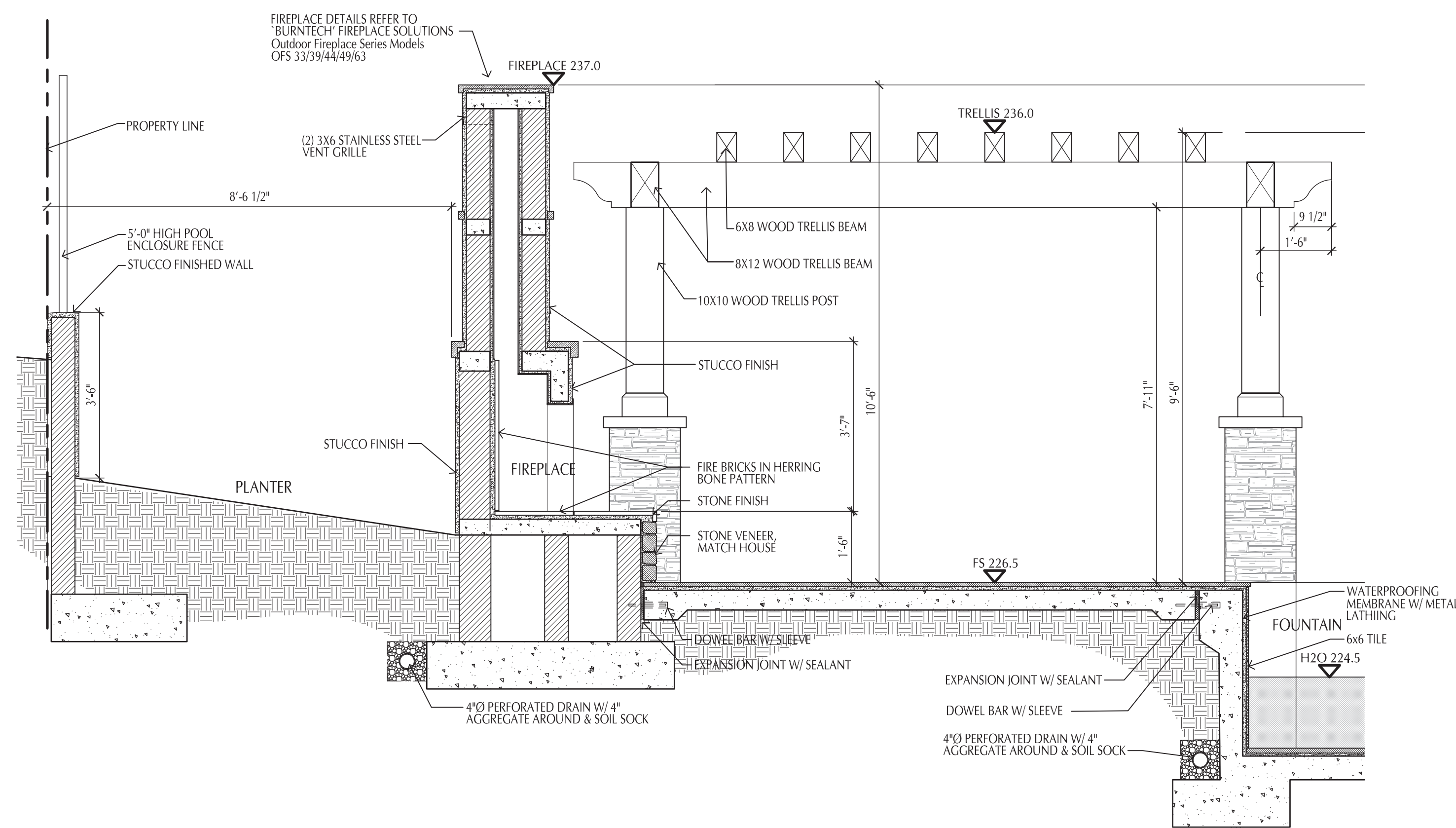
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PROJECT NO.

SHEET NO.



SECTION A



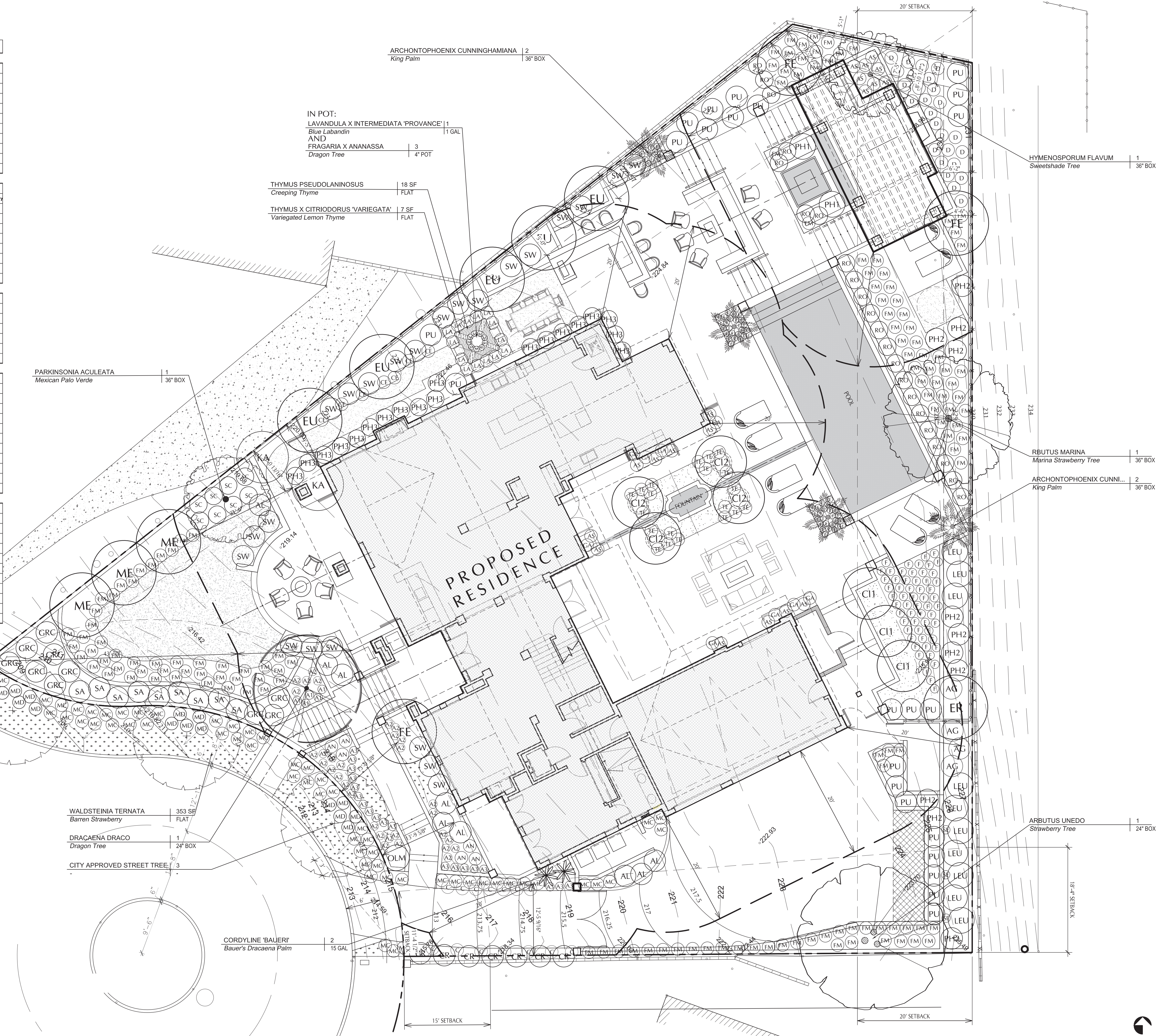
SECTION B

**PLANT LEGEND:**

BOTANICAL NAME	COMMON NAME
<b>SUCCULENTS</b>	
A1 AEONEUM 'SUNBURST'	Copper Pinwheel
A2 AEONEUM 'JACK CAITLIN'	Jack Caitlin Aeonium
A3 AEONEUM 'KIWI'	Kiwi Aeonium
AG AGAVE ATTENUATA 'VARIEGATA'	Variiegated Fox Tail Agave
AL ALOE 'BIG MAC'	Big Mac Aloe
C CISTANTHE GRANDIFLORA 'JAZZ TIME'	Rock Purslane / Calandrinia
CR CRASSULA OVATA	Jade Plant
E ECHEVERIA ELEGANS	Mexican Snowball
EU EUPHORBIA INGENS CANDELABRA	Candelabra Tree
KA KALANCHOE BEHARENSIS VAR. SUBNUDA	Naked Feltleaf
SE SEDUM 'PALMERI'	Palmer's Sedum
<b>HERBS / PERENNIAL</b>	
AN ANIGOZANTHOS 'GOLD VELVET'	Gold Kangaroo Paw
AS ASPARAGUS DENSIFLORUS 'SPRENGERI COMPACT'	Compact Sprenger Asparagus Fern
CE CERASTIUM TOMENTOSUM	Snow-in-Summer
F FRAGARIA X ANANASSA	Strawberry
LA LAVANDULA X INTERMEDIATA 'PROVANCE'	Blue Lavandin
M MATRICARIA CHAMOMILLA	German Chamomile
TE TEUCRIUM CHAMAEDRYS	Germander
T1 THYMUS X CITRIODORUS 'VARIEGATA'	Variiegated Lemon Thyme
T2 THYMUS PSEUDOLANINOSUS	Creeping thyme
W WILDSTERNIA TERNATA	Barren Strawberry
<b>GRASS/GRASS-LIKE</b>	
D DIANELLA TASMANICA 'GOLD STRIPE'	Gold Stripe Flax Lilly
FM FESTUCA MUELLERI	Mueller's Fescue
MC MUHLENBERGIA CAPILLARIS	Hair Awn Muhly
MD MUHLENBERGIA DUBIA	Pine Muhly Grass
PH1 PHORIUM COOKIANUM 'CREAM DELIGHT'	Variiegated New Zealand Flax
PH2 PHORIUM 'DUSKY CHIEF'	New Zealand Flax
PH3 PHORIUM 'YELLOW WAVE'	New Zealand Flax
<b>SHRUBS</b>	
CY CYNARA SCOLYMUS	Globe Artichoke
GA GARDENIA JASMINOIDES 'VEITCHII'	Everbloming Gardenia
GRC GREVILLEA LANIGERA 'COASTAL GEM'	Coastal Gem Woolly Grevillea
GRM GREVILLEA 'MOONLIGHT'	Moonlight Woolly Grevillea
LEU LEUCADENDRON 'SAFARI GOLDSTRIKE'	Yellow Conebush
OLM OLEA EUROPAEA 'MONTRA'	Little Ollie
PU PUNICA GRANATUM 'NANA'	Dwarf Pomegranate
RO ROSA CARPET PINK SUPREME	Pink Carpet Rose
SW SALVIA 'WAVERLY'	Waverly Sage
SA SALVIA 'ALLEN CHICKERING'	Allen Chickering Sage
SC SANTOLINA CHAMAECYPARISSUS	Lavender Cotton
WE WESTRINGIA 'WYNABBIE GEM'	Wynabbie Coast Rosemary
<b>TREES</b>	
* ARBUTUS MARINA	Marina Strawberry Tree
* ARBUTUS UNEDO	Strawberry Tree
ARCU ARCHONTOPHOENIX CUNNINGHAMIANA	King Palm
C11 CITRUS LIMON 'EUREKA'	Dwarf Eureka Lemon Tree
C12 CITRUS X MEYERI	Dwarf Myer Lemon
* CORDYLINA 'BAUERI'	Bauer's Dracaena Palm
* DRACAENA DRACO	Dragon Tree
ER ERIOBOTRYA DEFLEXA	Bronze Loquat Tree
FE FEIJOA (ACCA) SELLOWIANA	Pineapple Guava
* HYMENOSPORUM FLAVUM	Sweetshade Tree
ME METROSIDEROS EXCELSA	New Zealand Christmas Tree
* PARKINSONIA ACULEATA	Mexican Palo Verde

\* See Planting Plan Label  
NOTE: PLANT SCHEDULE SEE SHEET LP-2

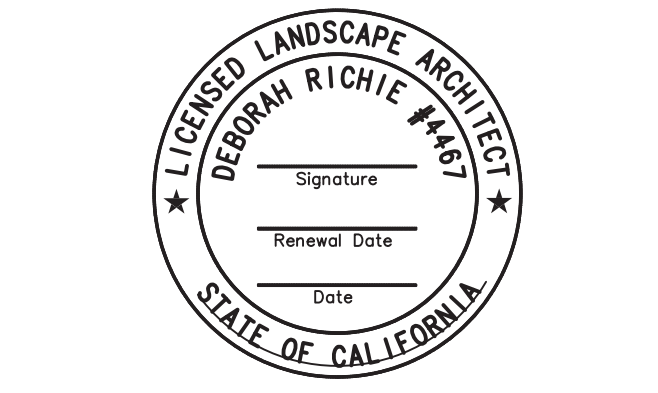
**LANDSCAPE NOTE:**  
AS A CONDITION OF APPROVAL OF THIS LANDSCAPE PLAN, THE APPLICANT AGREES THAT ALL PLANTING THAT GROWS TO A HEIGHT THAT BECOMES A VIEW OBSTRUCTION, MUST BE TRIMMED BY THE PROPERTY OWNER OF THE PLANTING. ANY PLANTING OR HARDSCAPE ON THE CITY RIGHT-OF-WAY REQUIRES APPROVAL BY THE CITY.



*Richie-Bray, Inc.*  
LANDSCAPE ARCHITECTURE

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Palos Verdes Estates, CA 90274  
(310) 377-5868  
FAX : (310) 377-3484

E-mail: rbadmin@richie-bray.com



PROJECT TITLE

2004 MUROS LLC.

2004 MUROS PLACE  
PALOS VERDES ESTATES,  
CA 90274

LOT 56, TRACT No. 30905  
M.B. 840-61-69 APN 7543-043-006

SHEET TITLE

PLANTING PLAN

SUBMITTAL SET  
3-6-2017

REVISIONS

4-6-2017

4-5-2017

SCALE: 1/8" = 1'-0"

DATE: 2-24-2017

DRAWN BY:

CHECKED:

XREF FILE:

PROJECT NO.

SHEET NO.

**LP-1**



2432 Via Amador,  
Palos Verdes Estates, CA 90274  
(310) 377-5868  
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E-mail: rbadmin@richie-bray.com



PROJECT TITLE

2004 MUROS LLC.

2004 MUROS PLACE  
PALOS VERDES ESTATES,  
CA 90274

LOT 56, TRACT No. 30905  
M.B. 840-61-69 APN 7543-043-006

SHEET TITLE

PLANT SCHEDULE

FUEL MOD  
SUBMITTAL SET  
03-XX-2017

REVISIONS

4-6-2017

SCALE: 1/8" = 1'-0"

DATE: 2-24-2017

DRAWN BY:

CHECKED:

XREF FILE:

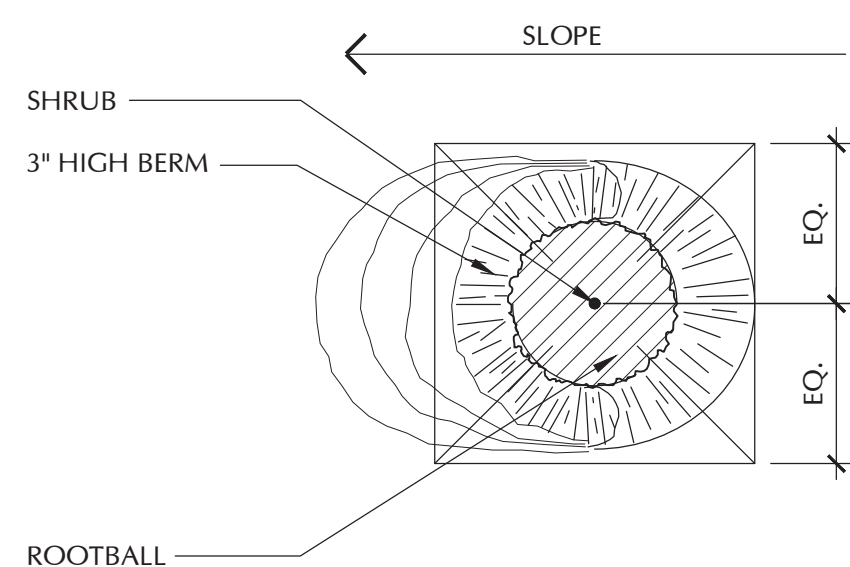
PROJECT NO.

SHEET NO.

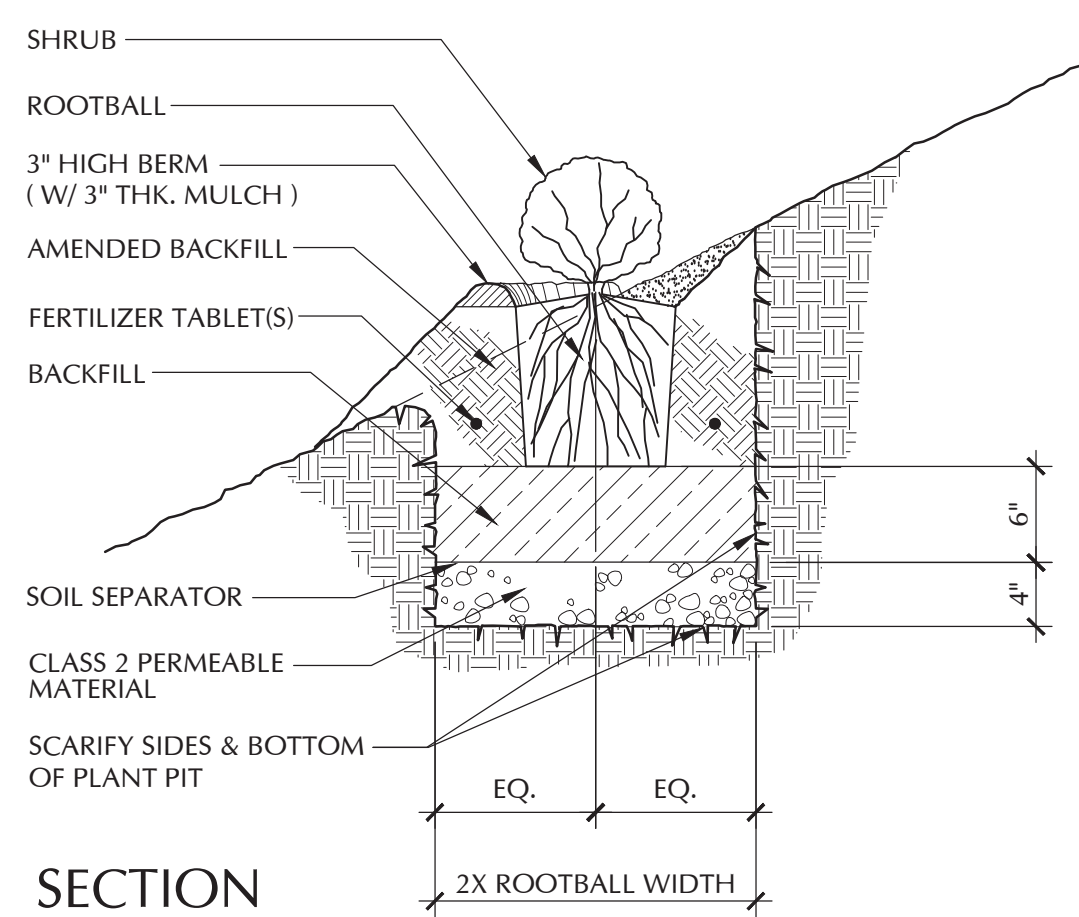
LP-2

	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ZONE	WATER	HEIGHT	SPREAD	REMARKS
<b>SUCCULENTS</b>									
A1	AEONEUM 'SUNBURST'	<i>Copper Pinwheel</i>	5	3 GAL	A,B	L	1'-2'	1'-2'	
A2	AEONEUM 'JACK CAITLIN'	<i>Jack Caitlin Aeoneum</i>	46	3 GAL	A,B	L	2'-3'	1'-2'	
A3	AEONEUM 'KIWI'	<i>Kiwi Aeoneum</i>	19	1 GAL	A,B	L	2'-3'	1'-2'	
AG	AGAVE ATTENUATA 'VARIEGATA'	<i>Variegated Fox Tail Agave</i>	5	5 GAL	A,B	L	3'-4'	4'-5'	
AL	ALOE 'BIG MAC'	<i>Big Mac Aloe</i>	9	5 GAL	A,B	L	4'-5'	4'-5'	
C	CISTANTHE GRANDIFLORA 'JAZZ TIME'	<i>Rock Purslane / Calandrinia</i>	14	1 GAL	A,B	L	1'	2'-3'	
CR	CRASSULA OVATA	<i>Jade Plant</i>	7	5 GAL	A,B	L	3'-5'	4'-5'	
E	ECHEVERIA ELEGANS	<i>Mexican Snowball</i>	65	1 GAL	A,B	L	<1'	<1'	
EU	EUPHORBIA INGENS CANDELABRA	<i>Candelabra Tree</i>	5	15 GAL	A,B	L	10'-20'	10'-15'	
KA	KALANCHOE BEHARENSIS VAR. SUBNUDA	<i>Naked Feltleaf</i>	2	15 GAL	A,B	L	10'-16'	6'-12'	
SE	SEDUM 'PALMERI'	<i>Palmer's Sedum</i>	3	1 GAL	A,B	L,VL	<1'	1'-2'	
<b>HERBS / PERENNIAL</b>									
AN	ANIGOZANTHOS 'GOLD VELVET'	<i>Gold Kangaroo Paw</i>	6	5 GAL	A, B	M,L	4'-6'	2'-3'	
AS	ASPARAGUS DENSIFLORUS 'SPRENGERI COMPACT'	<i>Compact Sprenger Asparagus Fern</i>	24	1 GAL	A, B	M,L	2'	4'	
CE	CERASTIUM TOMENTOSUM	<i>Snow-in-Summer</i>	7	1 GAL	A, B	M,L	6"-8"	2'-3'	
F	FRAGARIA X ANANASSA	<i>Strawberry</i>	58	4" POT	A,B	L,VL	1'	1'-2'	herb garden
LA	LAVANDULA X INTERMEDIATA 'PROVANCE'	<i>Blue Lavandin</i>	15	1 GAL	A,B	L	1'-2'	2'-3'	herb garden
M	MATRICARIA CHAMOMILLA	<i>German Chamomile</i>	9	1 GAL	A,B	M,L	1'	1'	herb garden
TE	TEUCRIUM CHAMAEDRYIS	<i>Germander</i>	20	1 GAL	A, B	M,L	1'-2'	2'-3'	
T1	THYMUS X CITRIODORUS 'VARIEGATA'	<i>Variegated Lemon Thyme</i>	7	FLATS	A,B	M,L	6"-10"	8"-12"	6" O.C., herb garden
T2	THYMUS PSEUDOLANINOSUS	<i>Creeping thyme</i>	18	FLATS	A,B	M,L	2-3"	12"	6" O.C., herb garden
W	WALDSTEINIA TERNATA	<i>Barren Strawberry</i>	353	FLATS	A, B	L	3"-6"	6"-12"	
<b>GRASS/GRASS-LIKE</b>									
D	DIANELLA TASMANICA 'GOLD STRIPE'	<i>Gold Stripe Flax Lilly</i>	26	5 GAL	not listed	L	2'-4'	2'-3'	
FM	FESTUCA MUELLERI	<i>Meuller's Fescue</i>	1361 40	5 GAL	not listed	M	2'-3'	Running	A, B
MC	MUHLENBERGIA CAPILLARIS	<i>Hair Awn Muhly</i>	59	5 GAL	not listed	L	2'-3'	2'-3'	
MD	MUHLENBERGIA DUBIA	<i>Pine Muhly Grass</i>	15	5 GAL	not listed	L	2'-3'	2'-3'	
PH1	PHORIUM COOKIANUM 'CREAM DELIGHT'	<i>Variegated New Zealand Flax</i>	2	15 GAL	not listed	M	2'-3'	4'-6'	A, B
PH2	PHORIUM 'DUSKY CHIEF'	<i>New Zealand Flax</i>	-9- 11	5 GAL OR 15	not listed	M	4'-8'	4'-5'	A, B
PH3	PHORIUM 'YELLOW WAVE'	<i>New Zealand Flax</i>	19	5 GAL	not listed	M	3'-4'	3'-4'	A, B
<b>SHRUBS</b>									
CY	CYNARA SCOLYMUS	<i>Globe Artichoke</i>		1 GAL	A, B	M	5'	3'-4'	
GA	GARDENIA JASMINOIDES 'VEITCHII'	<i>Everblomming Gardenia</i>	12	5 GAL	A, B	H	4'	3'	
GRC	GREVILLEA LANIGERA 'COASTAL GEM'	<i>Coastal Gem Woolly Grevillea</i>	10	5 GAL	B	L,VL	1'	4'-5'	
GRM	GREVILLEA 'MOONLIGHT'	<i>Moonlight Woolly Grevillea</i>		5 GAL	B	L,VL	1'	4'-5'	
LEU	LEUCADENDRON 'SAFARI GOLDSTRIKE'	<i>Yellow Conebush</i>	10	5 GAL	not listed	L	4'-6'	4'-6'	
OLM	OLEA EUROPAEA 'MONTRA'	<i>Little Ollie</i>	1	15 GAL	A,B-15	L, VL	4'-6'	4'-6'	
PU	PUNICA GRANATUM 'NANA'	<i>Dwarf Pomegranite</i>	-15- 23	15 GAL	A,B-10	L	2'-3'	4'-5'	
RO	ROSA CARPET PINK SUPREME	<i>Pink Carpet Rose</i>	22	5 GAL	A,B	M	2'-3'	3'-4'	
SW	SALVIA 'WAVERLY'	<i>Waverly Sage</i>	24	5 GAL	A,B	L,VL	3'-5'	3'-5'	
SA	SALVIA 'ALLEN CHICKERING'	<i>Allen Chickering Sage</i>	9	5 GAL	A,B	L	4'-5'	4'-5'	
SC	SANTOLINA CHAMAECYPARISSUS	<i>Lavender Cotton</i>	8	1 GAL	A,B	L	1'-2'	3'-4'	
WE	WESTRINGIA 'WYNYABBIE GEM'	<i>Wynabbie Coast Rosemary</i>		5 GAL	A, B-10	L	6'-8'	4'-6'	
<b>TREES</b>									
*	ARBUTUS MARINA	<i>Marina Strawberry Tree</i>	1	36" BOX	A,B-10	M,L	30'	30'	multi-stem
*	ARBUTUS UNEDO	<i>Strawberry Tree</i>	1	24" BOX	A,B-10	M,L	12'-35'	20'-35'	standard
ARCU	ARCHONTOPHOENIX CUNNINGHAMIANA	<i>King Palm</i>	4	36" BOX	A,B	M	40'-60'	8'-12'	
CI1	CITRUS LIMON 'EUREKA'	<i>Dwarf Eureka Lemon Tree</i>	3	24" BOX	A,B	M	8'-10'	12'	
CI2	CITRUS X MEYERI	<i>Dwarf Myer Lemon</i>	4	24" BOX	A,B	M	8'-10'	12'	
*	CORDYLINA 'BAUERI'	<i>Bauer's Dracaena Palm</i>	2	15 GAL	A,B	M	5'	3'-5'	
*	DRACAENA DRACO	<i>Dragon Tree</i>	1	24" BOX	A,B	M,L	15'-25'	15'-25'	
ER	ERIOBOTRYA DEFLEXA	<i>Bronze Loquat Tree</i>	1	24" BOX	A,B-10	M,L	15'-20'	15'-20'	
FE	FEIJOA (ACCA) SELLOWIANA	<i>Pineapple Guava</i>	3	24" BOX	A,B	M,L	10'-15'	10'-15'	multi-stem
*	HYMENOSPORUM FLAVUM	<i>Sweetshade Tree</i>	1	36" BOX	A,B	M,L	20'-40'	15'-20'	
ME	METROSIDEROS EXCELSA	<i>New Zealand Christmas Tree</i>	3	24" BOX	A,B-10	L,VL	20'-30'	10'-15'	
*	PARKINSONIA ACULEATA	<i>Mexican Palo Verde</i>	1	36" BOX	A,B-10	L,VL	15'-20'	15'-20'	

\* See Planting Plan Label



PLAN VIEW

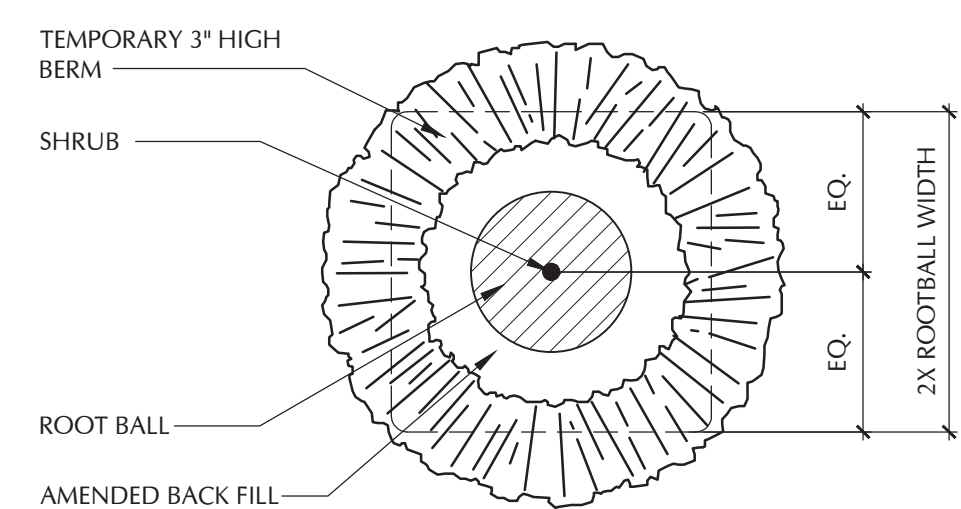


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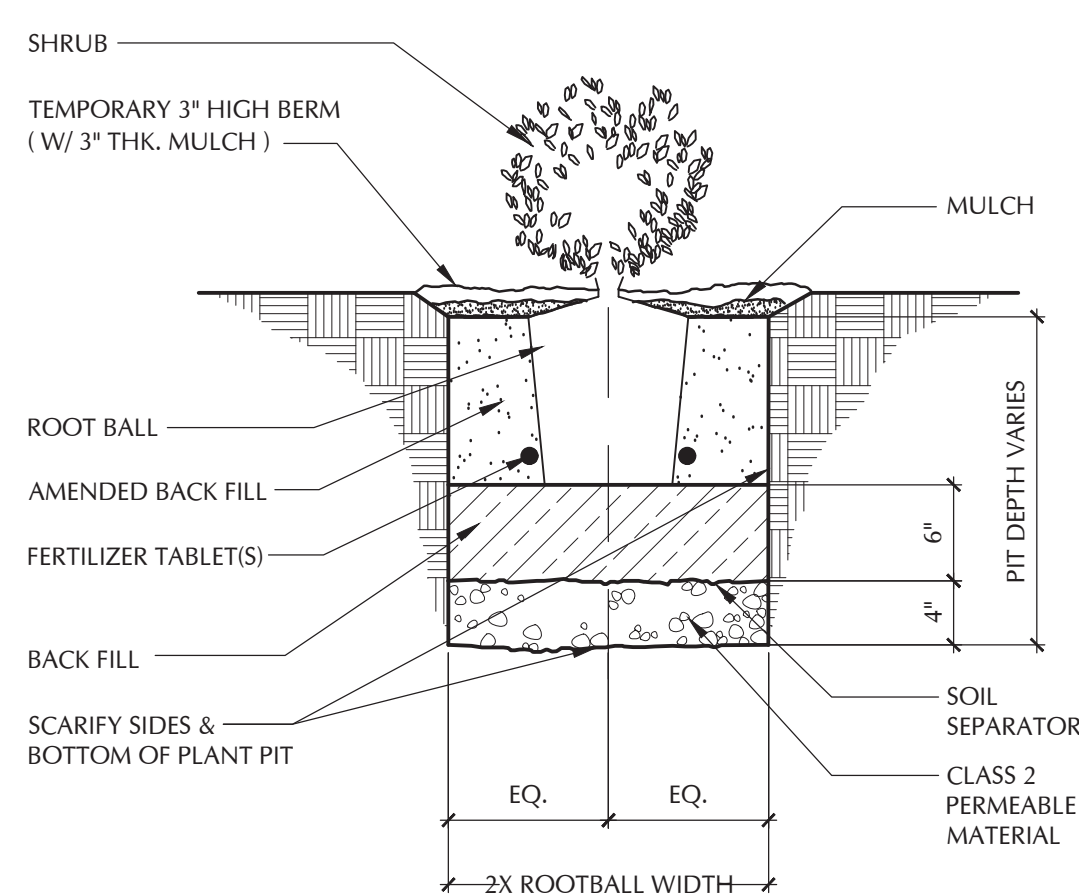
SHRUB PLANTING ON SLOPE DETAIL

1" = 1'-0"

5



PLAN VIEW

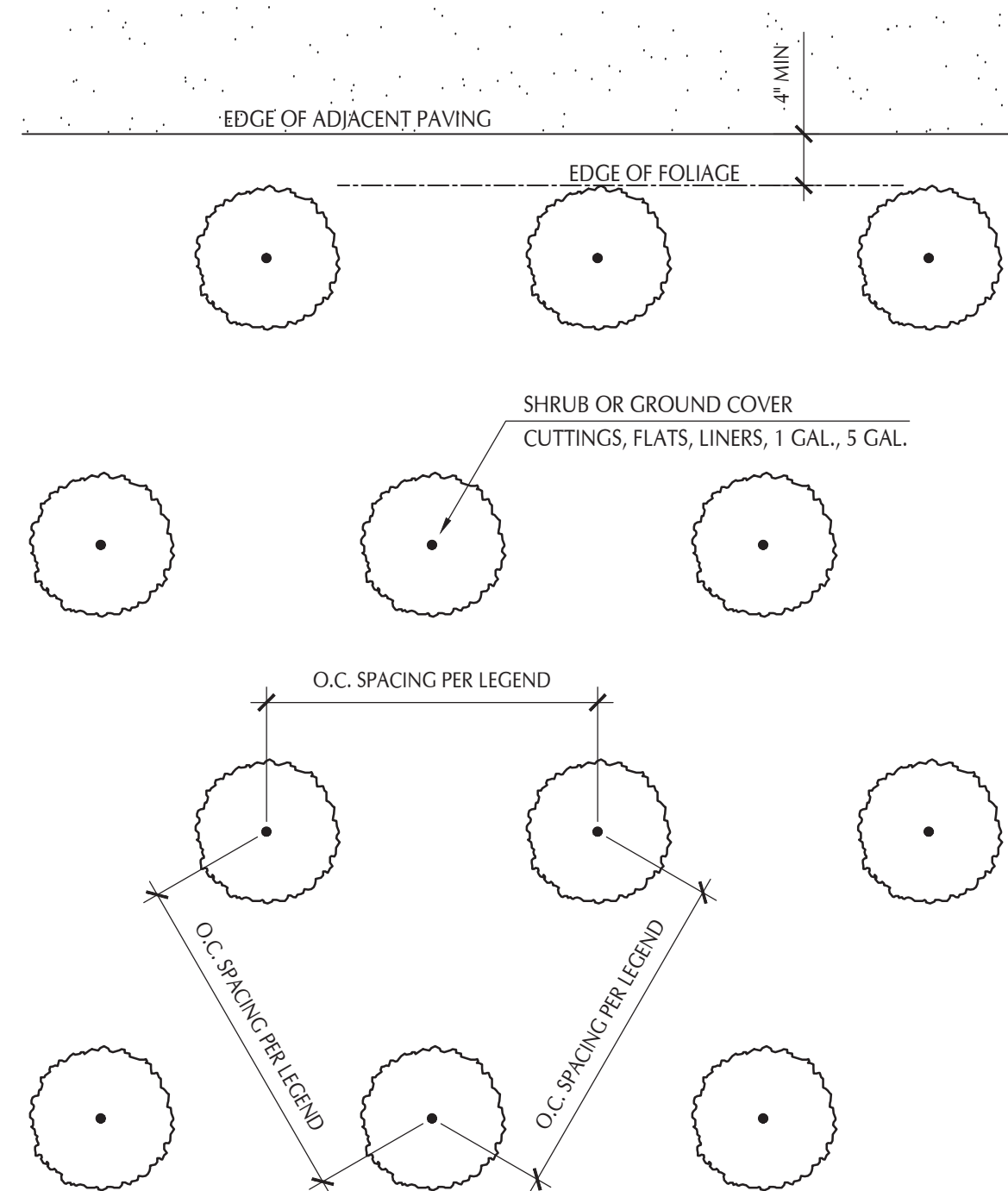


SECTION

SHRUB PLANTING DETAIL

1" = 1'-0"

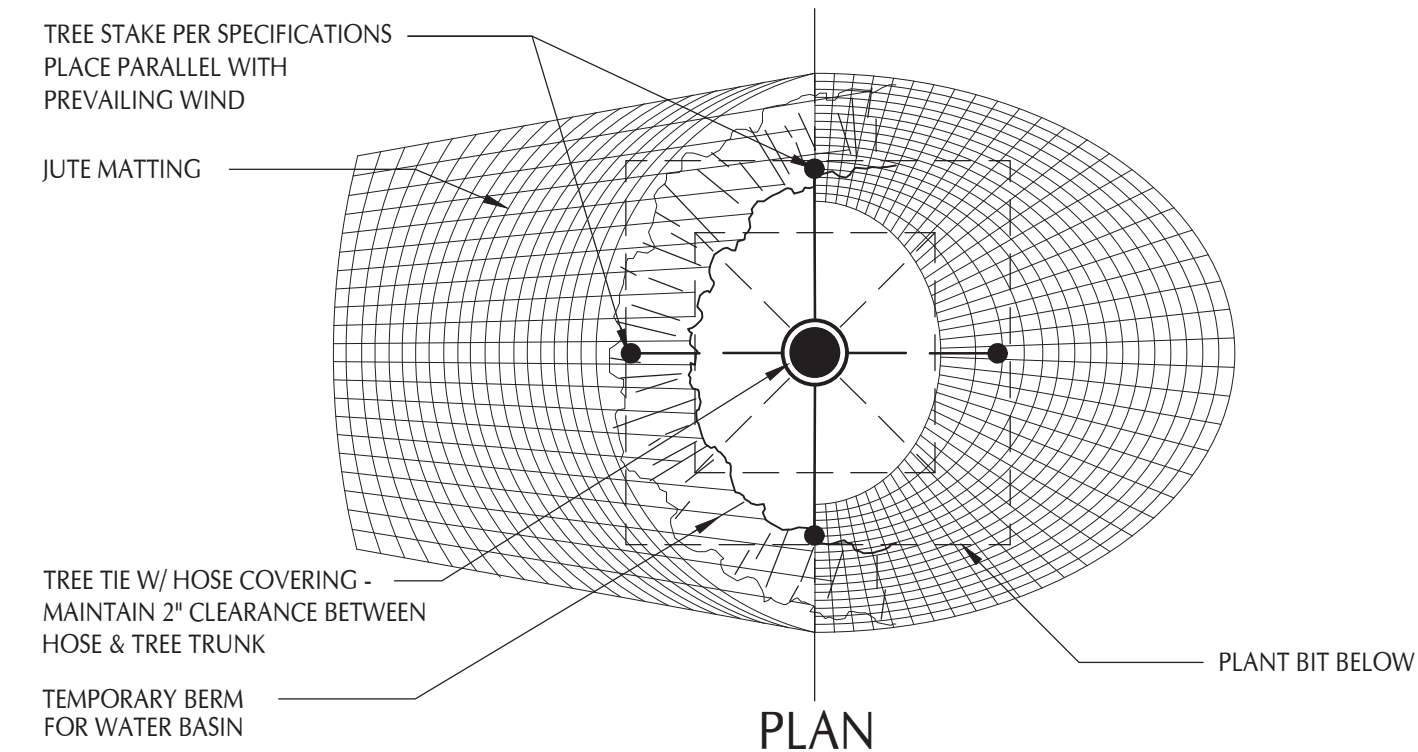
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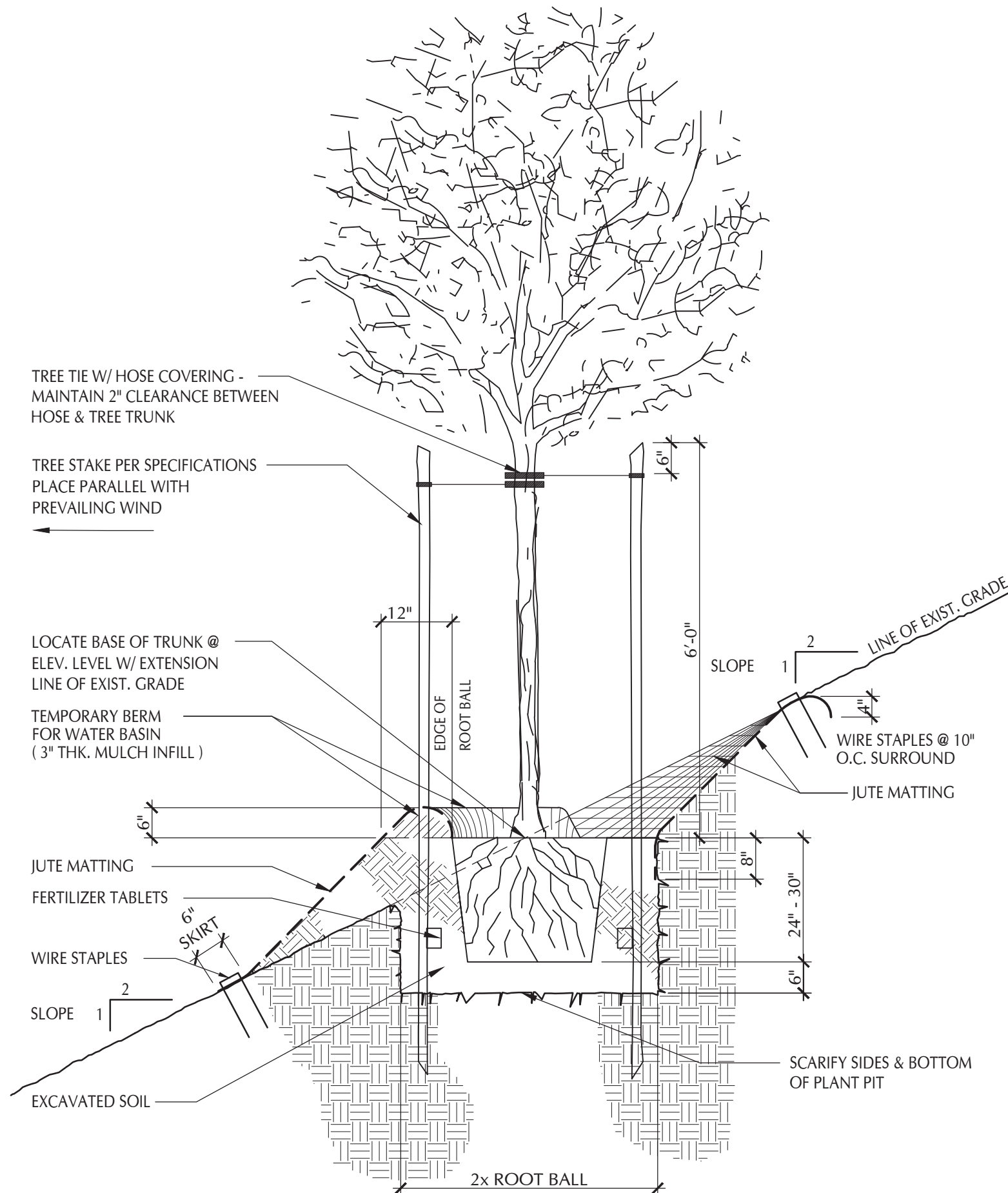
SHRUB PLANTING - LOCATION

1" = 1'-0"

4



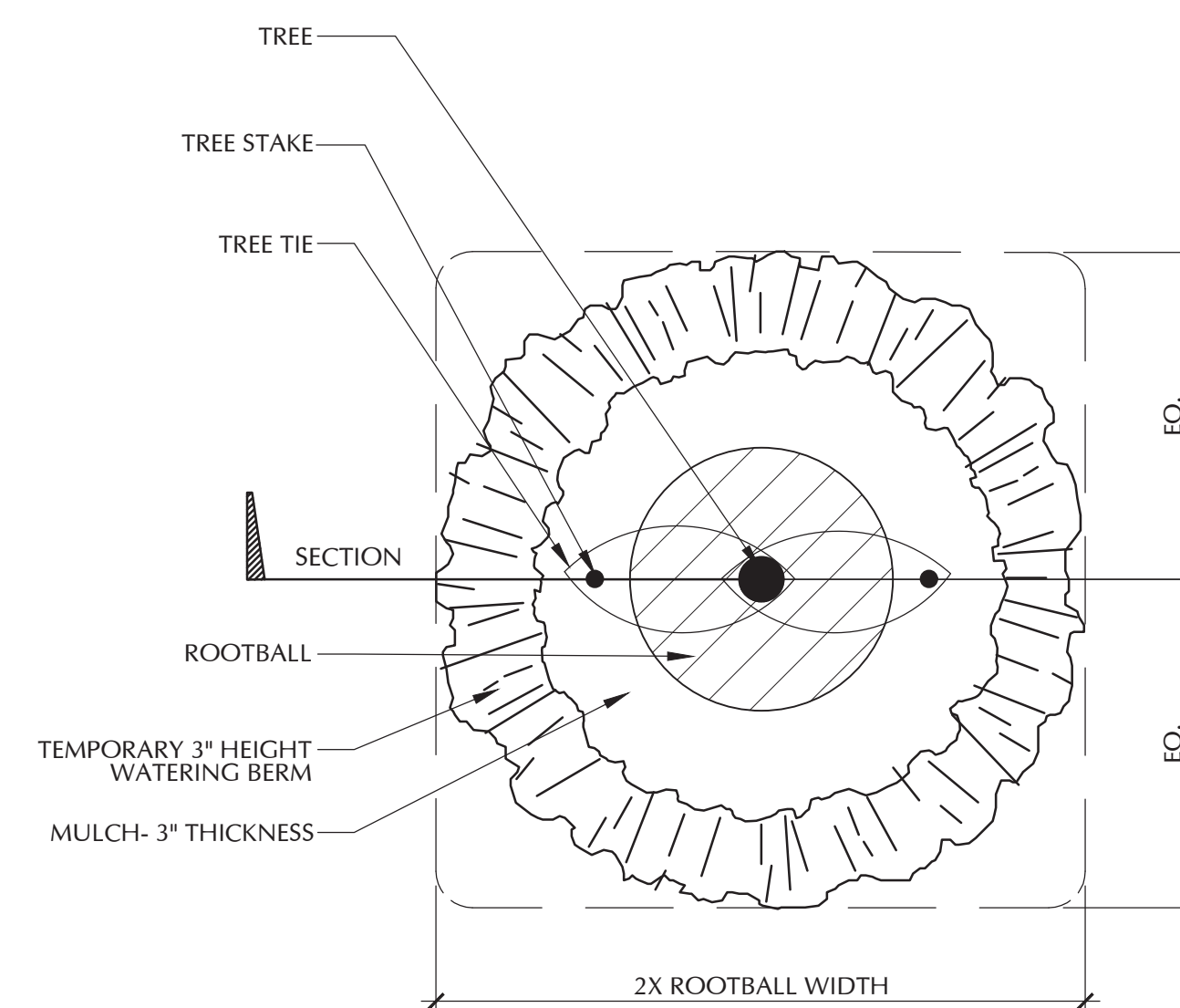
PLAN



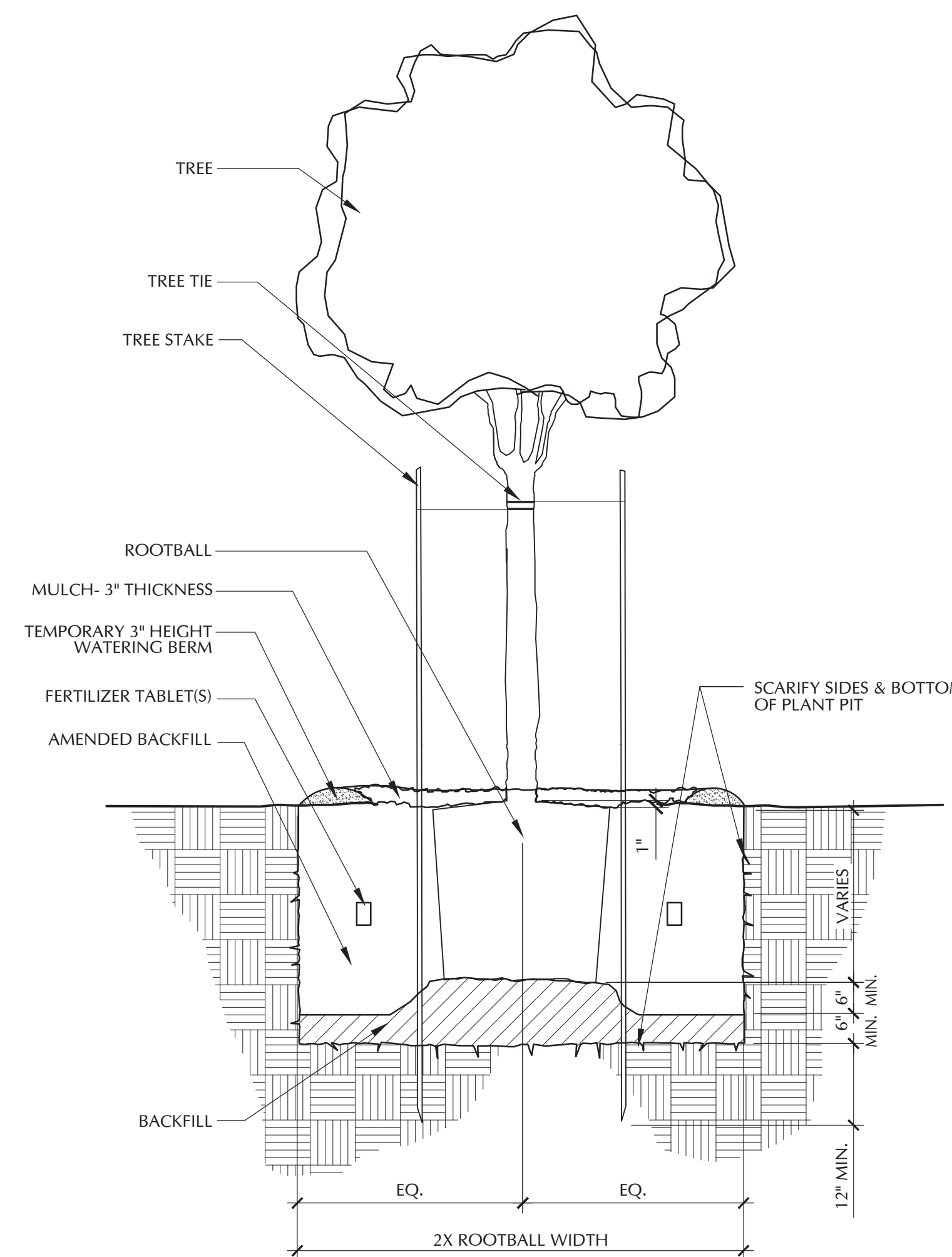
TREE PLANTING & STAKING ON SLOPE DETAIL

1/2" = 1'-0"

2



PLAN VIEW



SECTION

TREE PLANTING & STAKING DETAIL

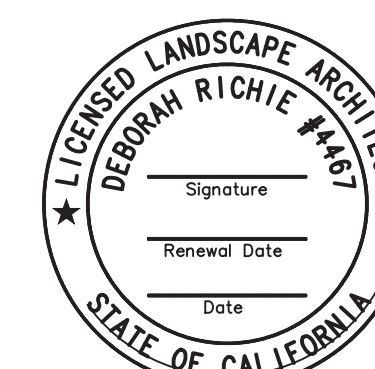
1/2" = 1'-0"

1

Richie-Bray, Inc.  
LANDSCAPE ARCHITECTURE

2432 Via Amador,  
Palos Verdes Estates, CA 90274  
(310) 377-5868  
FAX : (310) 377-3484

E-mail: rbadmin@richie-bray.com



PROJECT TITLE

2004 MUROS LLC.

2004 MUROS PLACE  
PALOS VERDES ESTATES,  
CA 90274

LOT 56, TRACT No. 30905  
M.B. 840-61-69 APN 7543-043-006

SHEET TITLE

PLANTING DETAILS

FUEL MOD  
SUBMITTAL SET  
03-XX-2017

REVISIONS

SCALE: AS SHOWN

DATE: 2-24-2017

DRAWN BY:

CHECKED:

XREF FILE:

PROJECT NO.

SHEET NO.

LP-3