



# Inspection Report

**Bob Crowe**

**Property Address:**  
1327 S Helberta Ave  
Redondo Beach CA 90277



**Ferguson Home Inspections**

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<b>Date:</b> 1/5/2021	<b>Time:</b> 09:00 AM	<b>Report ID:</b> 01052021Helberta
<b>Property:</b> 1327 S Helberta Ave Redondo Beach CA 90277	<b>Customer:</b> Bob Crowe	<b>Real Estate Professional:</b> Bilge Coskun

### Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

The property was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed, venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Venting and ducting that is visible is inspected. The inspection does not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Suggest reviewing with the local city council/offices to determine/confirm any local city ordinances that are required during and/or prior to the close of escrow.

**Standards of Practice:**

ASHI American Society of Home Inspectors

**In Attendance:**

Inspector Only

**Type of building:**

Single Family

**Year Built:**

1953

**Dwelling Square footage:**

1729

**Beds/Baths:**

3/2

**Weather:**

Overcast and cool

**Rain in last 3 days:**

No



# 1. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

## Styles & Materials

**Driveway:**

Concrete

**Walkways:**

Concrete  
Brick

**Fences:**

Vinyl  
Block

**Siding Material(s):**

Cement Stucco  
Wood  
Brick

**Trim/Facia/Eaves Material(s):**

Wood  
Aluminum

**Windows & Doors:**

Wood  
Vinyl  
Aluminum

**Gutters/Downspouts:**

Aluminum  
See Lot Grade/Drainage comments

**Retaining Walls:**

Block

**Planters:**

Brick

**Gas meter location:**

Left side

**Gas Seismic shut-off valve:**

No

		IN	NI	NP	RR
1.0	Driveway				•
1.1	Walkways	•			
1.2	Fences	•			
1.3	Siding				•
1.4	Trim/Eaves/Fascia	•			
1.5	Windows	•			
1.6	Doors	•			
1.7	Electrical				•
1.8	Gutters/Downspouts				•
1.9	Retaining Walls	•			
1.10	Planters				•
1.11	Gas Meter	•			
1.12	Comments				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

**Comments:**

**1.0** The driveway slopes toward the main garage door, during heavy rains water may intrude into the garage area. Suggest review with a licensed contractor for installation costs to re-grading, swale or drain installation to divert water away from the garage and the main garage door.



1.0 Item 1(Picture)

**1.3 (1)** Patched areas, open seams and deterioration noted at various wood siding areas. Suggest review with a licensed termite company and/or a licensed contractor for repair/replacement costs as needed.



1.3 Item 1(Picture)



1.3 Item 2(Picture)



1.3 Item 3(Picture)



**1.3 (2)** Deteriorated and blistering stucco noted at various areas. See the Lot/Drainage comments and review with a licensed contractor to repair as needed and divert water away from the foundation areas.



1.3 Item 4(Picture)

**1.7 (1)** The exterior outlet(s) are missing the weather cover(s). Suggest installation for safety and as required.



1.7 Item 1(Picture)

1.7 (2) Open wiring and splices noted from the dwelling to the garage, common for the age of the dwelling. This is a potential safety hazard, suggest review with a licensed electrician to upgrade the electrical supply to garage for safety.



1.7 Item 2(Picture)



1.7 Item 3(Picture)

**1.8** Suggest installation of gutters throughout all eave areas and installation of an area drainage system to divert the water away from the foundation to the street as an upgrade.



1.8 Item 1(Picture)

**1.10** No drain holes noted in the planter(s). Suggest installing drain holes to prevent ponding during the rainy season.



1.10 Item 1(Picture)

**1.12** Suggest review of trees and root structures to prevent future damage to the property, drainage systems and structures.

## 2. Lot Grade/Drainage

### Styles & Materials

**Home is built on:**

Sloped lot

**Grading at the foundation:**

Inadequate

**Lot drains towards:**

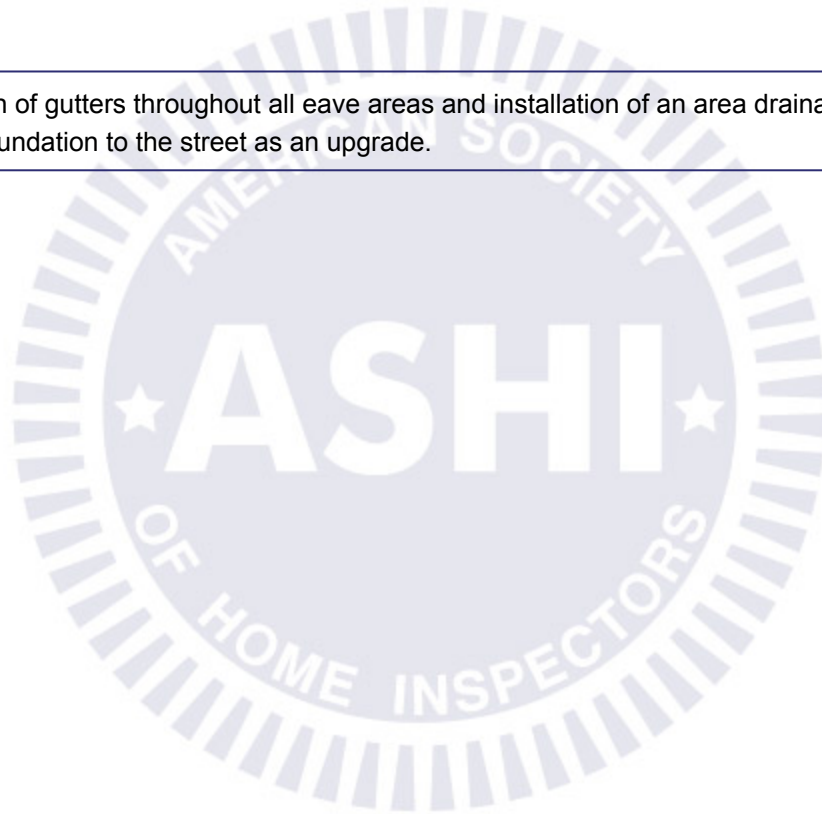
Rear  
Left side  
of the lot  
The dwellings foundation

		IN	NI	NP	RR
2.0	Lot Grade/Drainage				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**2.0** Suggest installation of gutters throughout all eave areas and installation of an area drainage system to divert the water away from the foundation to the street as an upgrade.



### 3. Foundation

The Home Inspector shall observe structural components including foundations, floors, columns or piers. The home inspector shall describe the type of Foundation, floor structure, columns or piers. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces; and Report signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

#### Styles & Materials

**Foundation:**

Raised concrete foundation  
The Structure is bolted to the foundation

**Interior footing/support:**

Concrete pier and posts  
Concrete stem walls

		IN	NI	NP	RR
3.0	Foundations, Basement and Crawlspace				•
3.1	Floors (Structural)	•			
		IN	NI	NP	RR

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#### Comments:

**3.0** White efflorescence (powder substance) on foundation footings indicates prior, and possibly ongoing, excessive moisture build up at the exterior of the foundation. Ongoing water intrusion at the foundations can, in some cases, cause the steel in the foundations to rust, called spawling, which can lead to horizontal cracking of the foundation ( currently there are no major cracks visible at the foundation ). Any future cracking/damaged can be an expensive repair as the foundation is now structurally weak and susceptible to horizontal movement. Suggest review of the Lot/Grade and drainage systems, including rain gutters, to reduce and prevent further and future water buildup at the exterior of the dwellings foundations.



3.0 Item 1(Picture)

## 4. Crawl Space

The Home Inspector shall observe; structural components including foundations, floors, columns or piers, Insulation and vapor retarders in unfinished spaces; Ventilation of foundation areas. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Enter under floor crawl spaces and basements except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Report on concealed insulation and vapor retarders; Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

### Styles & Materials

**Crawlspace access location(s):**      **Crawl Space Insulation:**

Exterior location(s) x 3

None, common for age

Left side

Rear

		IN	NI	NP	RR
4.0	Crawl Space				•
4.1	Insulation		•		
4.2	Ventilation				•
4.3	Electrical	•			
4.4	Plumbing Supply & Drainage				•
4.5	Comments				•
		IN	NI	NP	RR

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### Comments:

**4.0** Suggest removal of debris and construction items from the crawl area.



4.0 Item 1(Picture)



4.0 Item 2(Picture)

**4.2** Loose, missing or deteriorated vent screens noted. Suggest re-screening missing and/or deteriorated vent screens as needed to prevent rodent and insect intrusion .



4.2 Item 1(Picture)

**4.4** (1) Excessive rust, seepage and corrosion noted at various cast iron drain lines within the crawl space. Suggest review by a licensed plumbing contractor for replacement costs as needed to prevent future leakage at the crawl area.



4.4 Item 1(Picture)





4.4 Item 2(Picture)



4.4 Item 3(Picture)





4.4 Item 4(Picture)



4.4 Item 5(Picture)

**4.4 (2)** Inadequate slope noted at various drains in the crawl area, suggest review with a licensed plumber for costs to re-slope the drains as required/ needed.



4.4 Item 6(Picture)

**4.5 (1)** The original gas floor heating system is abandoned as noted at the crawl area.



4.5 Item 1(Picture)

**4.5 (2)** Suggest review with a licensed plumber to disconnect and cap the gas feed line to the abandoned floor heater at the crawl area for safety.



4.5 Item 2(Picture)



## 5. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

### Styles & Materials

**Roof Type & Material(s):**

Pitched  
Composition shingle

**Roof viewed from:**

Roof

		IN	NI	NP	RR
5.0	Roof				•
5.1	Flashings	•			
5.2	Skylights, Chimneys and Roof Penetrations				•
		IN	NI	NP	RR

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### Comments:

**5.0 (1)** The roof shows normal wear for its age and type, suggest periodic review with a licensed roofer for maintenance as needed.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)





5.0 Item 4(Picture)

**5.0 (2)** Deteriorated ridge caps noted at the pitched roof, suggest review by licensed roofer for replacement costs and replace as needed.

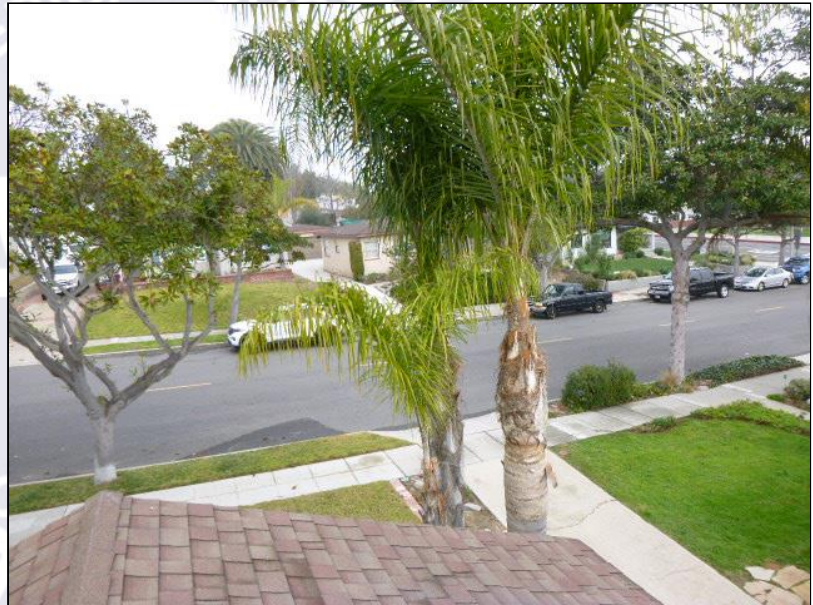


5.0 Item 5(Picture)



5.0 Item 6(Picture)

**5.0 (3)** The tree limbs that are in contact with roof or hanging near roof should be trimmed to prevent damaging the roof. Suggest trimming as needed.



5.0 Item 7(Picture)

**5.2** Suggest review by a licensed roofer and seal all penetrations at the roof to prevent water intrusion.



5.2 Item 1(Picture)



## 6. Attic

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

### Styles & Materials

**Hatch Location(s):**

Multiple locations  
 Front  
 Hallway  
 Exterior, rear

**Framing:**

2 X 4 Rafters  
 2 X 6 Rafters  
 2 X 8 Rafters

**Sheathing:**

Solid sheathing  
 Spaced Sheathing  
 Plywood  
 1" X 4"  
 1" x 6"

**Insulation:**

Blown  
 6" - 8"

**Ventilation:**

Gable vents  
 Eave vents  
 Dormer vents

		IN	NI	NP	RR
6.0	Framing & Sheathing	•			
6.1	Insulation	•			
6.2	Ventilation				•
6.3	Electrical	•			
6.4	Ducting				•
6.5	Plumbing Supply & Drainage	•			
6.6	Comments				•
		IN	NI	NP	RR

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**Comments:**

**6.2** Loose, missing or deteriorated vent screens noted. Suggest re-screening missing and/or deteriorated vent screens as needed to prevent rodent and insect intrusion .

**6.4 (1)** Possible asbestos like material, tape and wrap noted at ducting and joints. Tape and wrap, torn and loose in the several areas, suggest review by licensed contractor for repairs/replacement or removing material or encapsulating the damaged areas.



6.4 Item 1(Picture)



6.4 Item 2(Picture)

**6.4 (2)** Generally a certification of the existing ducting is required when replacing the heating to determine and confirm no leakage will occur which can/will result in the asbestos insulation being damaged and blown through the dwelling/attic area. Suggest review with the sellers and the heater installation company for confirmation of this requirement and/or costs to replace the existing asbestos ducting as required.

**6.6** The kitchen oven vent currents exits/terminates in the rear attic. Suggest review with a licensed contractor for costs to repair/extend the vent through the roof as required.



6.6 Item 1(Picture)



# 7. Laundry

The home inspector shall observe: Walls, ceiling, closets and floors where visible without moving the appliances or personal effects; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles, the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, the operation of ground fault circuit interrupters; report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

## Styles & Materials

**Location:**

Right side  
Rear

**Floor Covering(s):**

Tile

**Doors:**

Wood  
Pocket door  
Single pane  
Tempered safety glass

**Countertop:**

Laminate  
Tile

**Dryer Fuel Supply:**

Natural Gas

**Dryer Vented to the exterior:**

Yes

		IN	NI	NP	RR
7.0	Floors	•			
7.1	Walls	•			
7.2	Ceilings	•			
7.3	Doors				•
7.4	Screens				•
7.5	Electrical	•			
7.6	Washer Hook-Up	•			
7.7	Dryer Hook-Up	•			
7.8	Counter/Cabinets	•			
		IN	NI	NP	RR

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**Comments:**

**7.3** The door to the exterior impacts on the impacts/sticks on the jamb when operating, suggest repair as needed.



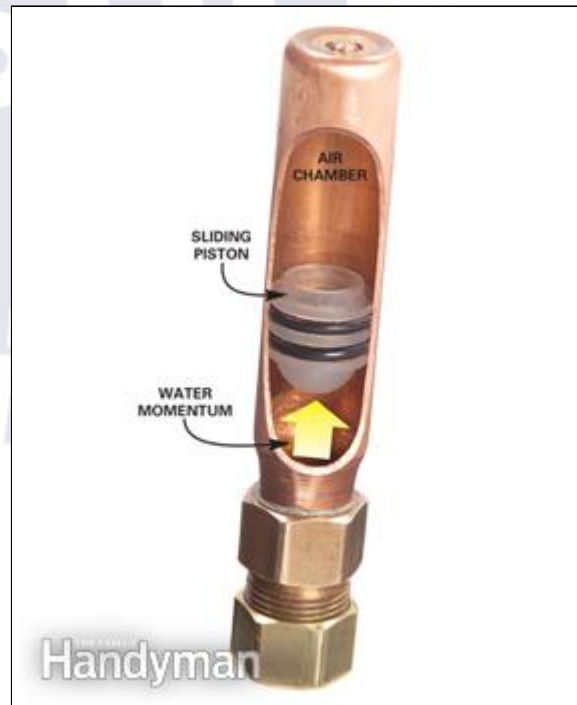
7.3 Item 1(Picture)

**7.4** Deteriorated door/window screen(s) noted, suggest repair or replace as needed.

**7.6** Suggest upgrading with 'hammer valve' plumbing supply systems if a water sensor/efficient/smart washing machine is to be installed at this area.



7.6 Item 1(Picture) HV



7.6 Item 2(Picture) Hv



7.6 Item 3(Picture)

**7.7** Suggest periodic cleaning of dryer vent to exterior to prevent blockages, which can result in extended drying times and leakage.



## 8. Patio/Porch

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

### Styles & Materials

**Location:**

Front door

**Deck/Slab:**

Brick

**Doors:**

Wood  
Single pane  
UTD Tempered glass

**Window Types:**

Vinyl  
Wood  
Dual pane  
Single pane

**Doorbell/Chime:**

Operational

		IN	NI	NP	RR
8.0	Deck/Slab	•			
8.1	Steps/Stairs/Railings	•			
8.2	Electrical				•
8.3	Windows	•			
8.4	Doors				•
		IN	NI	NP	RR

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**Comments:**

**8.2** Various exterior light fixtures were inoperable, possible bulbs out. Suggest repair/replace as needed.

**8.4 (1)** The front door and threshold are weathered and deteriorated, suggest repairs/maintenance as needed.



8.4 Item 1(Picture)

**8.4 (2)** Unable to determine if tempered glass is installed at this area ( no labelling/etching is visible ). Windows and doors with glass 18 inches off the floor area or windows within doors should have safety glass. Suggest review of these areas for possible costs to upgrade and to enhance safety as needed.

## 9. Patio/Porch #2

### Styles & Materials

**Location:**

Right side  
Rear

**Cover:**

Wood awning

**Deck/Slab:**

Brick

**Doors:**

Wood  
Single pane  
Tempered glass

**Window Types:**

Vinyl  
Dual pane

**Closet/Cabinetry:**

Wood

**Hose bib:**

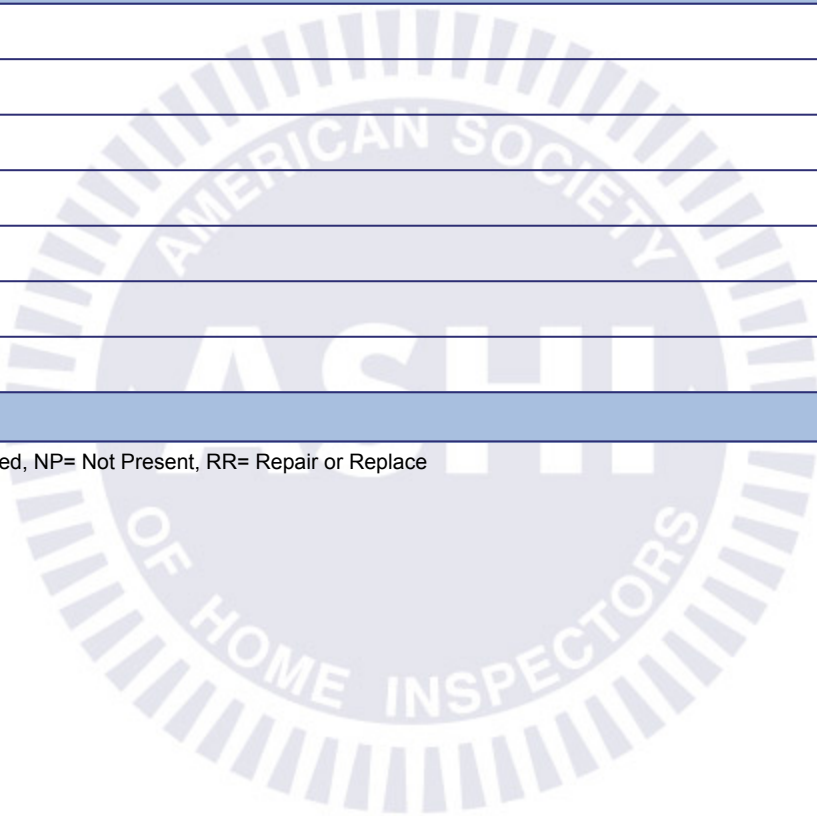
Yes

**Gas Stub/Valve:**

Yes

		IN	NI	NP	RR
9.0	Cover				•
9.1	Deck/Slab	•			
9.2	Steps/Stairs/Railings	•			
9.3	Electrical				•
9.4	Windows	•			
9.5	Doors	•			
9.6	Screens				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



**Comments:**

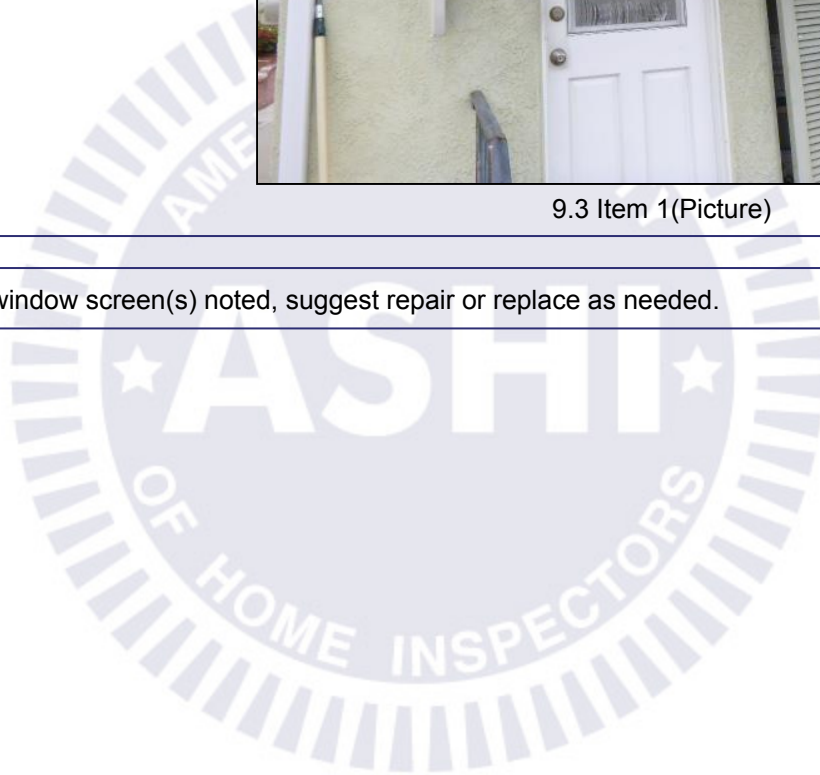
**9.0** Wood deterioration noted at various areas, see termite report and/or review with a licensed contractor for repair/replacement costs as needed.

**9.3** No light fixture installed at this area as required, this is a possible safety hazard. Suggest review with a licensed electrician for installation costs for a light fixture to enhance safety.



9.3 Item 1(Picture)

**9.6** Deteriorated door/window screen(s) noted, suggest repair or replace as needed.



# 10. Garage

The home inspector shall observe: Walls, ceiling, closets and floors where visible without moving the appliances or personal effects; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles, the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, the operation of ground fault circuit interrupters; report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

## Styles & Materials

<b>Location:</b> Detached	<b>Siding Material(s):</b> Cement Stucco	<b>Roof Type &amp; Material(s):</b> Pitched Composition shingle
<b>Roof viewed from:</b> Roof	<b>Garage Door &amp; Type:</b> One, automatic Tilt-up	<b>Garage Door Material:</b> Aluminum Non- Insulated
<b>Auto-opener Manufacturer:</b> GENIE	<b>Optical sensors:</b> Yes	<b>Safety reverse operating:</b> No, see comments
<b>GFCI Outlets:</b> No, common for age		

		IN	NI	NP	RR
10.0	Siding				•
10.1	Roof				•
10.2	Roof Flashings	•			
10.3	Slab				•
10.4	Garage Door (s)				•
10.5	Garage Door Hardware	•			
10.6	Door Opener				•
10.7	Garage Walls & Ceilings (including Firewall & Ceiling Separation)				•
10.8	Electrical	•			
10.9	Comments				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

**Comments:**

**10.0 (1)** Suggest installation of gutters at the garage eave areas and installation of an area drainage system to divert the water away from the garage foundation to the street as an upgrade.

**10.0 (2)** Paint blistering, peeling and wood deterioration noted at various trim areas. Suggest review with termite company and/or a licensed contractor and repair/replace as needed.

**10.1 (1)** The roof shows normal wear for its age and type, suggest periodic review with a licensed roofer for maintenance as needed.



10.1 Item 1(Picture)

**10.1 (2)** The tree limbs that are in contact with roof or hanging near roof should be trimmed to prevent damaging the roof. Suggest trimming as needed.



10.1 Item 2(Picture)

**10.1 (3)** Deteriorated ridge caps noted at the pitched roof, suggest review by licensed roofer for replacement costs and replace as needed.



10.1 Item 3(Picture)

**10.3 (1)** Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



10.3 Item 1(Picture)

**10.3 (2)** Patched and repaired areas of the garage slab were noted. Suggest review with the seller on the cause and any repairs needed. Suggest repair/replace as needed.



10.3 Item 2(Picture)

**10.4 (1)** Evidence of previous and possible ongoing water intrusion noted at the main door, see the driveway comments and repair/replace as needed.



10.4 Item 1(Picture)

10.4 (2) Surface rust and corrosion noted at the garage door panels, suggest repair/replace as needed.



10.4 Item 2(Picture)



10.4 Item 3(Picture)



**10.6 (1)** Unreasonable resistance was required to stop the main garage door in motion, this is a safety concern. Suggest adjusting door opener so the safety reverse operates as required. The US Product Safety Commission recommends these devices be checked monthly.

**10.6 (2)** The garage door opener is improperly wired with an extension cord. Suggest review with a licensed electrician for costs to hard wire a receptacle adjacent to the garage door opening unit for electrical service and remove the extension cord.



10.6 Item 1(Picture)



**10.7 (1)** Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.

**10.7 (2)** Wood deterioration noted at various areas of the garage framing, suggest review with a termite company and/or a licensed contractor for repairs as needed.

**10.8** A minimum number of outlets were installed at this area at the time of the inspection, this is common for the original age of dwelling. Suggest review by a licensed electrician for installation costs for additional outlets if desired as an upgrade.

**10.9** Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



10.9 Item 1(Picture)

# 11. Heating A/C System

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

## Styles & Materials

**Location:**

Rear  
Hallway closet

**Heat Type:**

Forced Air

**Energy Source:**

Natural gas

**Heat System Brand:**

GOODMAN

**Ductwork ( where visible ):**

Possible asbestos tape  
Possible asbestos sleeving

**Filter Type:**

Washable

**Filter Size:**

14x25x1

**A/C Equipment Type:**

None

**Thermostat location & Type:**

Family room  
Digital  
Programable

		IN	NI	NP	RR
11.0	Heating Equipment				•
11.1	Venting	•			
11.2	Thermostat	•			
11.3	Ducting				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

11.0 (1) The heating unit was tested and was operational at the time of the inspection.



11.0 Item 1(Picture)



11.0 Item 2(Picture)

**11.0 (2)** Suggest replacing/cleaning the filter(s) as needed.



11.0 Item 3(Picture)

**11.3 (1)** Possible asbestos like material, tape and wrap noted at ducting and joints. Tape and wrap, torn and loose in the several areas, suggest review by licensed contractor for repairs/replacement or removing material or encapsulating the damaged areas.



11.3 Item 1(Picture)



11.3 Item 2(Picture)



11.3 Item 3(Picture)





11.3 Item 4(Picture)

**11.3 (2)** Generally a certification of the existing ducting is required when replacing the heating to determine and confirm no leakage will occur which can/will result in the asbestos insulation being damaged and blown through the dwelling/attic area. Suggest review with the sellers and the heater installation company for confirmation of this requirement and/or costs to replace the existing asbestos ducting as required.



# 12. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

## Styles & Materials

<b>Electrical Service:</b> Overhead service	<b>Main Panel Location:</b> Right side exterior	<b>Main Panel capacity:</b> 100 AMP 240 Volts
<b>Main disconnect:</b> Yes	<b>Panel Type:</b> Circuit breakers	<b>Branch wire ( where visible ):</b> Copper
<b>Wiring Methods ( where visible ):</b> Romex	<b>Grounding system:</b> Yes	<b>Future space at Panel(s):</b> Yes

		IN	NI	NP	RR
12.0	Service Entrance Conductors	•			
12.1	Service, Grounding Equipment, Main/Sub Panels				•
12.2	Branch Circuits, Overcurrent Devices				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

**Comments:**

**12.1 (1)** The main electrical panel is a Zinsco brand panel box, a product that hasn't been manufactured for many years. There are problems with these panels that can, in some cases, be serious. Some Zinsco panels have aluminum bus bars (the bars that run down the middle of the panel to which the breakers connect). Over a period of years, oxide forms on the aluminum causing a poor connection with the breakers and leading to arcing, overheating, and, eventually, breaker failure. Other problems with Zinsco panels include circuit breakers (depending on the vintage) with a dismal performance record and the possibility of unbalanced multi-wire circuits. Also, please be aware that various insurance companies will not insure homes with this style of electrical panel. Suggest review by a licensed electrician for replacement costs as needed.



12.1 Item 1(Picture)

**12.1 (2)** Suggest adding correct/complete indexing/labelling to all breakers for identification of each circuit for safety.

**12.2** Minimal/Inadequate circuits noted servicing the interior of the dwelling, this is common for the age of the dwelling. Suggest review with a licensed electrician for costs to install additional circuits to the interior of the dwelling as needed

# 13. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; piping supports and pipe insulation; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. The inspector will comment on any areas where the plumbing may be corroded and/or deteriorated where visible. Please be aware that multiple cities/areas of Los Angeles are now obtaining their water supply from different sources and are also adding various chemicals which can cause corrosion, pin hole leaks and accelerate leaking in various plumbing supply lines. At the time of the inspection no active leaking was visible or present ( unless otherwise stated in the inspection report ), but leaks may develop in the future as the plumbing supply lines continue to corrode/deteriorate over time. Suggest review with a licensed plumber for repair/replacement costs as need

### Styles & Materials

**Main shut off location:**

Front of dwelling

**Main Water Supply (into home where visible):**

Copper

**Water Distribution (inside home where visible):**

Copper , both M & L type where visible

**Water pressure - PSI:**

90

**Water Pressure Regulator Installed:**

Yes, see comments

		IN	NI	NP	RR
13.0	Plumbing Water Supply and Distribution System				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**13.0 (1)** Suggest repair/replace the faulty pressure regulator due to excessively high water pressure as tested. This will reduce water pressure below 80 PSI to relieve stress on all plumbing joints and fittings.



13.0 Item 1(Picture)

**13.0 (2)** Corroded plumbing and fittings noted at various areas within the dwelling. Suggest further review by a licensed plumber for repair/replacement costs as needed to prevent future leakage, pin hole leaks and possible stains/damage to the interior of the dwelling.



13.0 Item 2(Picture)

**13.0 (3)** Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

[https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill\\_id=200920100SB407](https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407)

# 14. Sewer/Waste System

The home inspector shall observe: Interior water drainage systems where visible, including: piping materials, leaks; and cross connections; piping supports and functional drainage. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

## Styles & Materials

### Waste/Drains ( where visible ):

Cast iron

ABS

		IN	NI	NP	RR
14.0	Waste/Drains				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**14.0 (1)** See the crawl plumbing/drainage comments and repair/replace as needed.

**14.0 (2)** Slow drains noted at various areas throughout the dwelling. Suggest review by licensed plumber for repair/ replacement costs as needed.

**14.0 (3)** Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

**14.0 (4)** Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

# 15. Water Heater

The home inspector shall observe: Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; flues, and vents; Fuel distribution systems including: interior supply piping, venting, and supports; leaks. The home inspector shall describe: Water heating equipment; and water supply shutoff device.

### Styles & Materials

**Water Heater Location:**

Exterior  
Utility Closet  
Rear

**Water Heater Power Source:**

Tank ( Gas )

**Water Heater Capacity:**

40 Gallon

**Manufacturer:**

BRADFORD-WHITE

**Manufactured Date:**

T-2019

**Cold water shut off:**

Yes

**Gas Shut off:**

Yes

**TP Valve & discharge installed:**

Yes  
No Discharge drain  
See comments

**Seismic Strapping:**

Yes  
Two straps

**Smitty pan:**

Yes  
See comments

**Gas supply line drip leg/sediment trap installed:**

No, see comments

**Expansion tank installed:**

No, see comments

		IN	NI	NP	RR
15.0	Water Heater				•
15.1	Venting	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**15.0 (1)** The water heater was operational at the time of the inspection.



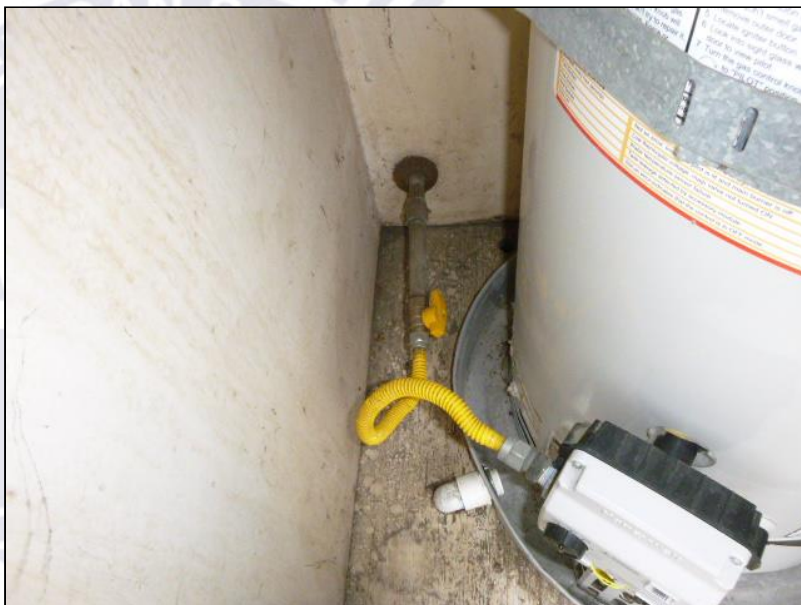
15.0 Item 1(Picture)

**15.0 (2)** A Spill/smitty pan is installed under the water heater, but the drain exits into the crawl area. Suggest installing the drain line to the exterior of the dwelling as required when installed.



15.0 Item 2(Picture)

**15.0 (3)** Currently no gas supply line drip leg/sediment trap is installed, please be aware that various cities do not enforce/require this installation. Suggest review with the local City Building Department and/or with a licensed plumbing contractor for installation costs as needed.



15.0 Item 3(Picture)

**15.0 (4)** No discharge pipe connected to the TP&R valve, this is a potential safety hazard. Suggest review by a licensed plumber for costs to install the TP discharge drain down to within 4-6 inches of the exterior grade/deck as required for safety.



15.0 Item 4(Picture)

**15.0 (5)** The current water heater does not have a "Thermal Expansion tank" which is generally installed to prevent a possible leak at the T&P or "pop-off" valve and/or excessive pressure build-up at the internal plumbing, fixtures and joints. Recent changes ( 2012 ) require one when a new water heater is installed, but various cities do not enforce this installation for multiple reasons ( the home is not on a closed system and various tankless units do not require it ) . There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. Suggest review with the city and/or a licensed plumber to determine if this installation is required and install as needed.

**15.0 (6)** An in-line water filter/de-scaling system was noted. Suggest periodic review and replacement of the system as needed to prevent blockages and restrictions on the hot water system.



15.0 Item 5(Picture)

# 16. Kitchen

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

## Styles & Materials

<b>Floor Covering(s):</b> Tile	<b>Window Types:</b> Vinyl Dual pane	<b>Countertop/Backsplash:</b> Laminate Tile
<b>Sink(s):</b> Cast Iron	<b>Dishwasher Brand:</b> WHIRLPOOL	<b>Disposal Brand:</b> IN SINK ERATOR
<b>Oven(s):</b> ELECTRIC ROPER	<b>Cooktop:</b> ELECTRIC FRIGIDAIRE	<b>Exhaust/Range hood:</b> VENTED See comments
<b>Microwave:</b> NONE	<b>Low flow sink fixture(s):</b> Yes, 2.2 GPM Maximum	

		IN	NI	NP	RR
16.0	Floors	•			
16.1	Walls	•			
16.2	Ceiling	•			
16.3	Doors	•			
16.4	Windows	•			
16.5	Screens	•			
16.6	Cabinets				•
16.7	Counter Tops				•
16.8	Electrical				•
16.9	Sinks	•			
16.10	Faucets				•
16.11	Traps/Drains & Supply	•			
16.12	Dishwasher				•
16.13	Food Waste Disposal	•			
16.14	Ranges/Ovens/Cooktops	•			
16.15	Range Hood (s)				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

**Comments:**

**16.6** The base cabinet under the sink is deteriorated/stained from previous leaks, suggest repair/replace as needed.



16.6 Item 1(Picture)

**16.7** Deteriorated and missing grout noted at various areas of the tile countertop, suggest repair/replace as needed.



16.7 Item 1(Picture)

**16.8 (1)** Ungrounded three prong outlets noted at this area. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protect the outlet(s) on a GFCI circuit where recommended.

**16.8 (2)** Various countertop outlets are not GFCI protected as required. Countertop GFCI outlet(s)/protection has been required within six feet of the sink since 1987 and all countertop outlets since 1996. Suggest review by a licensed electrician for installation costs as required for safety.

**16.8 (3)** Inadequate countertop/appliance outlets/circuits installed, suggest review with a licensed electrician for installation costs as needed/required.

**16.10** Poor water flow noted at the sink faucet, suggest review with a licensed plumber for repair/replacement costs as needed.



16.10 Item 1(Picture)

**16.12 (1)** The inspector was unable to select between the multiple washing cycles as needed, Suggest review with a licensed appliance contractor for repair/replacement costs as needed.



16.12 Item 1(Picture)

**16.12 (2)** Suggest review with a licensed plumber for costs to reduce the length of the drain from the air gap to the disposal as this has created a trap in the drainage system.



16.12 Item 2(Picture)

**16.12 (3)** The dishwasher partially drains over countertop/sink through air gap as there appears to be a blockage in the drain line. Suggest review by a licensed plumber and repair as needed.



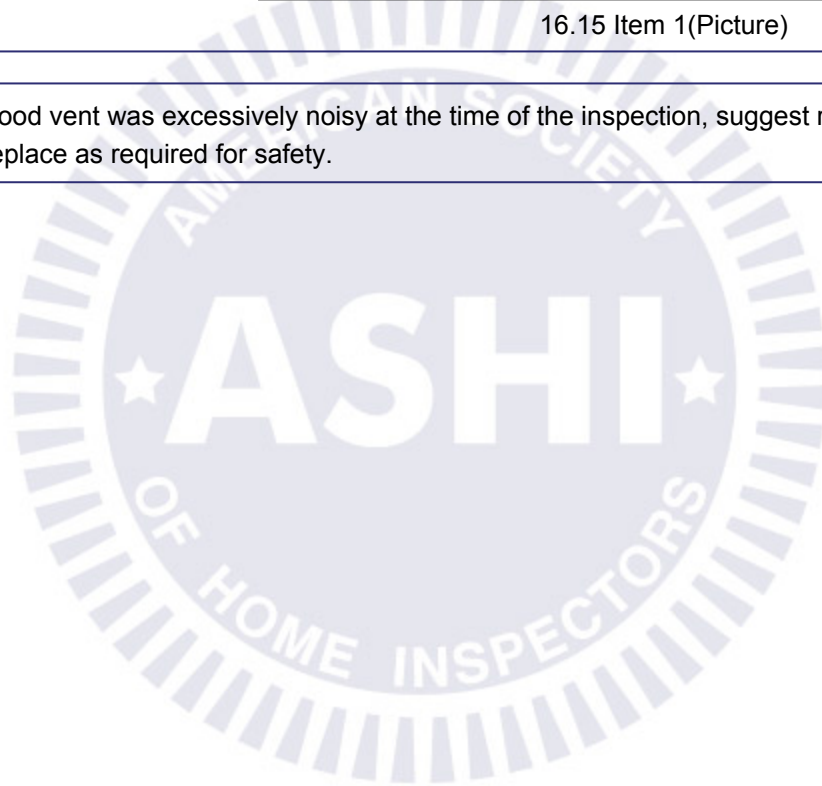
16.12 Item 3(Picture)

**16.15** (1) The light bulbs at the vent hood were inoperable at the time of the inspection, suggest replacing the bulbs as needed.



16.15 Item 1(Picture)

**16.15** (2) The range/hood vent was excessively noisy at the time of the inspection, suggest review with a licensed contractor and repair/replace as required for safety.



# 17. Hallway Bathroom

The home inspector shall observe: Walls, ceiling, and floors; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles, the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, all plumbing fixtures, including their faucets, except where the flow end of the faucet is connected to an appliance; The operation of ground fault circuit interrupters; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

## Styles & Materials

**Location:**

Left side  
Center

**Floor Covering(s):**

Vinyl

**Doors:**

Wood

**Window Types:**

Vinyl  
Dual pane

**Tub & Surround:**

Tile

**Shower & Surround:**

Tile  
Glass doors  
Glass

**Countertop:**

Tile

**GFCI Protection:**

Yes, see comments

**Heating source:**

Combination  
Fau register  
Ceiling heat coil and fan

**Low flow toilet:**

Yes  
1.28 GPF

**Low flow sink fixture(s):**

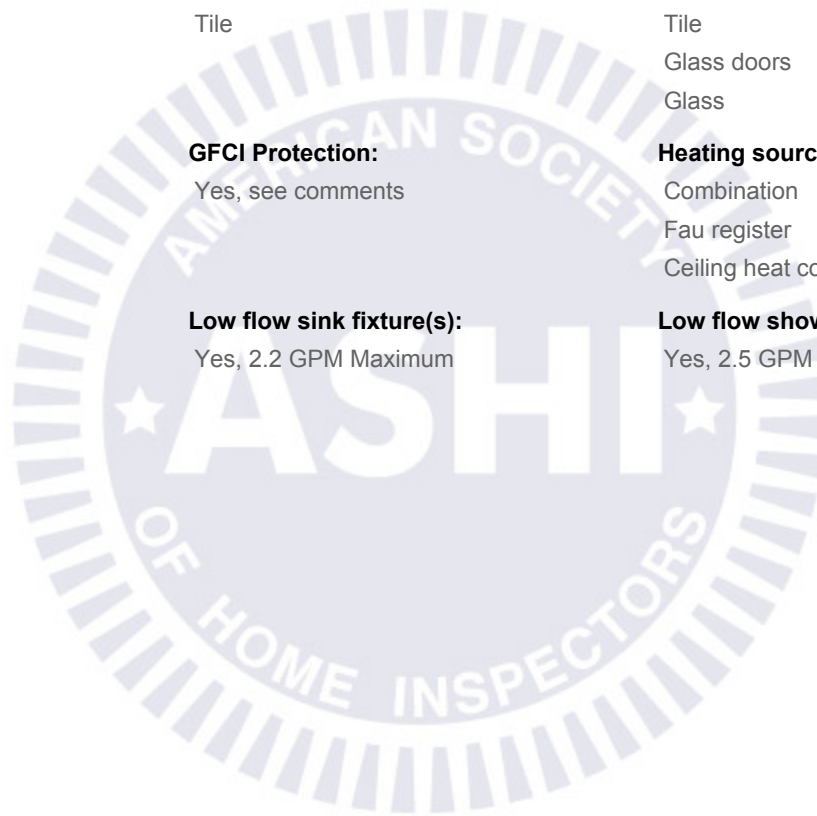
Yes, 2.2 GPM Maximum

**Low flow shower fixture(s):**

Yes, 2.5 GPM Maximum

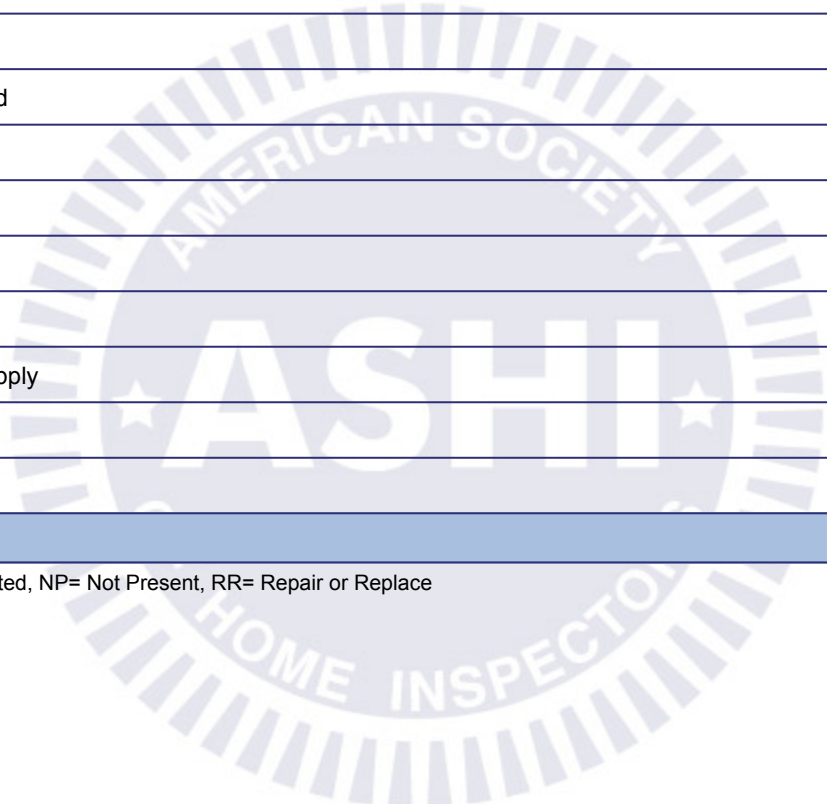
**Low flow tub faucet(s):**

No, see comments



		IN	NI	NP	RR
17.0	Floors	•			
17.1	Walls	•			
17.2	Ceilings				•
17.3	Doors	•			
17.4	Windows	•			
17.5	Screens	•			
17.6	Electrical	•			
17.7	Exhaust Fan	•			
17.8	Heating	•			
17.9	Tub & Surround				•
17.10	Tub Faucet				•
17.11	Shower & Surround	•			
17.12	Shower Enclosure	•			
17.13	Shower Faucet	•			
17.14	Sink(s)	•			
17.15	Sink Faucet(s)				•
17.16	Traps/Drains & Supply				•
17.17	Toilets(s)	•			
17.18	Counter/Cabinets				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



**Comments:**

**17.2** Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.

**17.6** The GFCI outlet(s) at this area are not grounded. The GFCI should still provide GFCI protection but the outlet should generally be grounded. Suggest review by a licensed electrician for repair/grounding cost as needed and required for safety.



17.6 Item 1(Picture)

**17.7** Suggest upgrading the exhaust fan with a motion and humidity sensor system to reduce the moisture buildup at this area.

**17.9** The tub stopper was inoperable at the time of the inspection, suggest repair/replace as needed.

**17.10** The existing tub faucet is not a low-flow system as required. Suggest review with a licensed plumber for costs to replace the existing tub faucet with a low flow faucet (2.2 gallons per minute) as required by the State of California as of January 1st, 2017. See the plumbing system comments for further details and a link to the State of California plumbing ordinance.



17.10 Item 1(Picture)

**17.15** The sink faucet handles are not set square, suggest repair as needed.



17.15 Item 1(Picture)

**17.16** (1) Corrosion noted at the sink drain and angle valve(s), no leaking noted at the time of the inspection. Suggest review by a licensed plumber and repair/replace as needed.



17.16 Item 1(Picture)

**17.16** (2) The tub drains slowly, suggest review with a licensed plumber for costs to clear the trap or drain as needed and confirm correct drainage as needed.

**17.18** The base cabinet under the sink is deteriorated/stained from previous leaks, suggest repair/replace as needed.



17.18 Item 1(Picture)



# 18. Master Bathroom

The home inspector shall observe: Walls, ceiling, and floors; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles, the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, all plumbing fixtures, including their faucets, except where the flow end of the faucet is connected to an appliance; The operation of ground fault circuit interrupters; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

## Styles & Materials

**Location:**

Left side  
Center  
Rear

**Floor Covering(s):**

Vinyl

**Doors:**

Wood  
Pocket door

**Window Types:**

Vinyl  
Dual pane

**Shower & Surround:**

Tile  
Glass doors  
Glass

**Countertop:**

Tile

**GFCI Protection:**

Yes

**Heating source:**

Combination  
Fau register  
Heat lamps

**Low flow toilet:**

Yes  
1.28 GPF

**Low flow sink fixture(s):**

Yes, 2.2 GPM Maximum

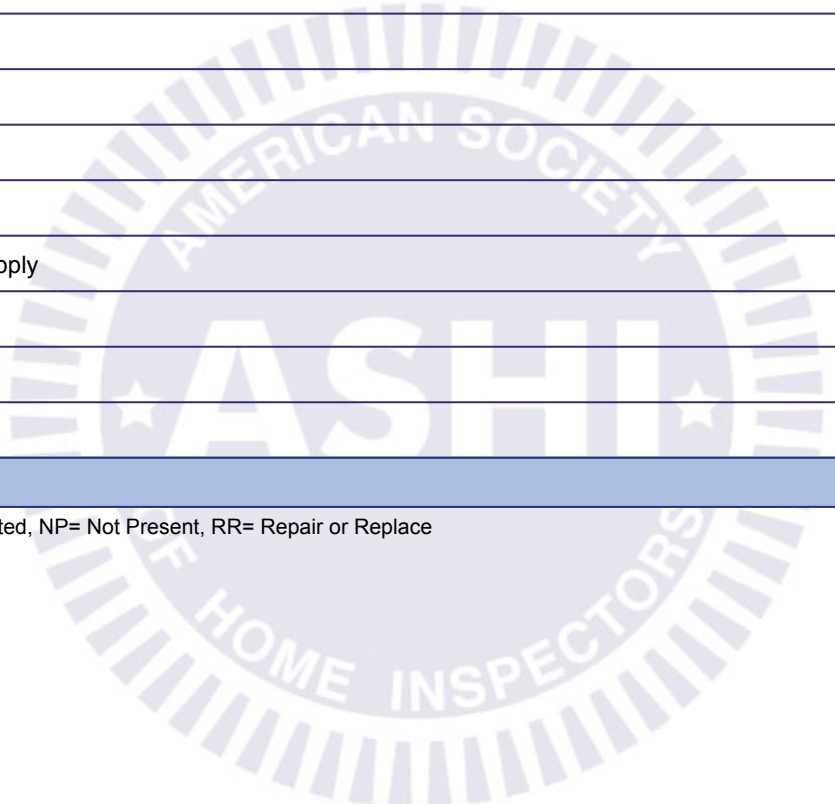
**Low flow shower fixture(s):**

Yes, 2.5 GPM Maximum



		IN	NI	NP	RR
18.0	Floors	•			
18.1	Walls	•			
18.2	Ceilings	•			
18.3	Doors	•			
18.4	Windows	•			
18.5	Screens	•			
18.6	Electrical				•
18.7	Exhaust Fan			•	
18.8	Heating	•			
18.9	Shower & Surround	•			
18.10	Shower Enclosure	•			
18.11	Shower Faucet				•
18.12	Sink(s)				•
18.13	Sink Faucet(s)	•			
18.14	Traps/Drains & Supply				•
18.15	Toilets(s)	•			
18.16	Counter/Cabinets				•
18.17	Comments				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



**Comments:**

**18.6** The cover globe(s) are missing at light fixture(s) at the time of the inspection. Suggest replacing the missing cover globe(s) for safety.



18.6 Item 1(Picture)

**18.7** No exhaust fan installed, common for the age of the dwelling and not required when built. Suggest installation of the exhaust fan and vent to the exterior of the dwelling as an upgrade.

**18.11** The hot shower faucet handle is difficult to operate and sticks when trying to rotate. Suggest review by licensed plumber and repair as needed.



18.11 Item 1(Picture)

**18.12** The sink stopper was missing, suggest replacement as needed.

**18.14** Corrosion noted at the sink drain and angle valve(s), no leaking noted at the time of the inspection. Suggest review by a licensed plumber and repair/replace as needed.



18.14 Item 1(Picture)

**18.16** The base cabinet under the sink is deteriorated/stained from previous leaks, suggest repair/replace as needed.



18.16 Item 1(Picture)

**18.17** The wall mirror and cabinet were missing/removed at the time of the inspection. Suggest review with the seller and/or a licensed contractor for installation costs as needed.



18.17 Item 1(Picture)



18.17 Item 2(Picture)

# 19. Entry

The home inspector shall observe: Walls, ceiling, closets and floors where visible without moving furniture and personal effects; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles located inside the house, the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, the operation of ground fault circuit interrupters and Smoke & Carbon monoxide alarms and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

## Styles & Materials

**Floor Covering(s):**

Tile

**Doors:**

Wood  
 Single pane  
 UTD Tempered glass

		IN	NI	NP	RR
19.0	Floors	•			
19.1	Walls	•			
19.2	Ceilings	•			
19.3	Doors				•
19.4	Electrical				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

- 19.3 (1)** Suggest installation of door stops to prevent damage to the walls and/or surrounding area.
- 19.3 (2)** Unable to determine if tempered glass is installed at this area ( no labelling/etching is visible ). Windows and doors with glass 18 inches off the floor area or windows within doors should have safety glass. Suggest review of these areas for possible costs to upgrade and to enhance safety as needed.
- 19.4** The light fixture(s) are inoperable, possibly bulb out or faulty switch. Suggest repair/replace as needed.

## 20. Living Room

### Styles & Materials

**Floor Covering(s):**

Wood

**Doors:**

Wood  
Pocket door

**Window Types:**

Wood  
Single pane

		IN	NI	NP	RR
20.0	Floors	•			
20.1	Walls	•			
20.2	Ceilings	•			
20.3	Windows	•			
20.4	Electrical	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**20.0** Squeaky/noisy floors noted, suggest repair as needed.

**20.2** Settling cracks and patching noted.

**20.4 (1)** Two wire and two prong electrical receptacles noted. At the time of the original construction this type of system was the acceptable standard and appears to be intact. If three prong and GFCI receptacles are desired a ground source is required. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protected the outlet(s) on a GFCI circuit where recommended.

**20.4 (2)** A minimum number of outlets were installed at this area at the time of the inspection, this is common for the original age of dwelling. Suggest review by a licensed electrician for installation costs for additional outlets if desired as an upgrade.

**20.4 (3)** The switched outlet(s) location is on the front wall(s).

**20.4 (4)** Ungrounded three prong outlets noted at this area. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protect the outlet(s) on a GFCI circuit where recommended.

# 21. Dining Room

## Styles & Materials

**Floor Covering(s):**

Wood

**Window Types:**

Vinyl

Dual pane

		IN	NI	NP	RR
21.0	Floors	•			
21.1	Walls	•			
21.2	Ceilings				•
21.3	Windows	•			
21.4	Screens	•			
21.5	Electrical	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**21.0** Squeaky/noisy floors noted, suggest repair as needed.

**21.2** Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.



21.2 Item 1(Picture)

**21.5 (1)** Ungrounded three prong outlets noted at this area. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protect the outlet(s) on a GFCI circuit where recommended.

**21.5 (2)** A minimum number of outlets were installed at this area at the time of the inspection, this is common for the original age of dwelling. Suggest review by a licensed electrician for installation costs for additional outlets if desired as an upgrade.



## 22. Family Room

### Styles & Materials

**Location:**

Center  
Rear

**Floor Covering(s):**

Engineered flooring

**Doors:**

Wood

**Window Types:**

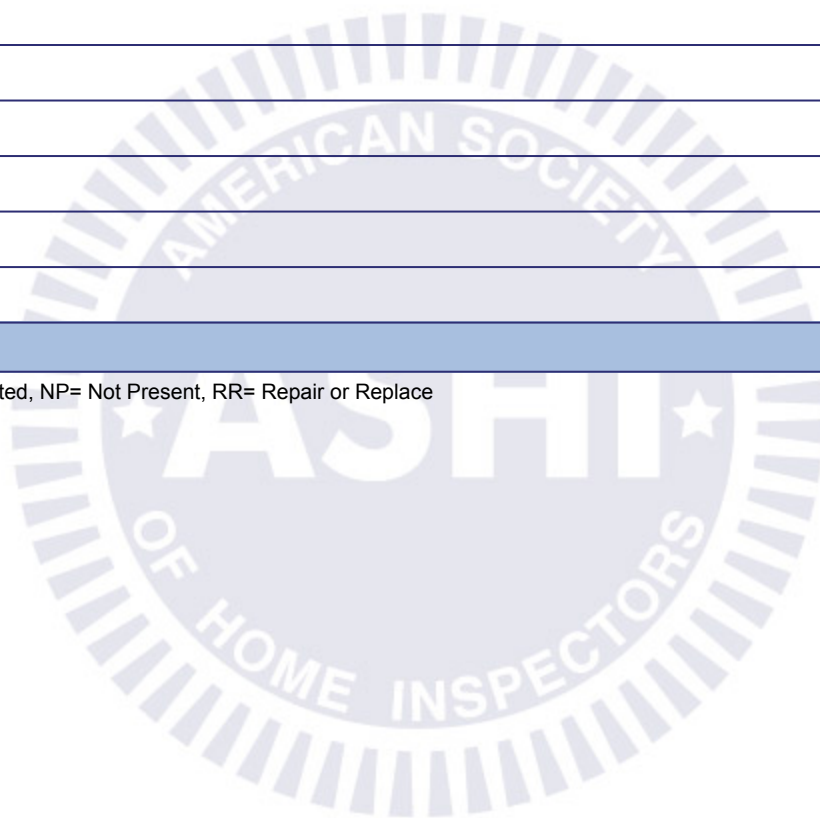
Vinyl  
Dual pane

**Ceiling fan:**

One  
Manual operation

		IN	NI	NP	RR
22.0	Floors				•
22.1	Walls	•			
22.2	Ceilings				•
22.3	Doors				•
22.4	Windows	•			
22.5	Screens	•			
22.6	Electrical	•			
22.7	Comments	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



**Comments:**

**22.0** Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

**22.2 (1)** Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.



22.2 Item 1(Picture)



22.2 Item 2(Picture)



**22.2** (2) Settling cracks and patching noted.

**22.3** Suggest installation of door stops to prevent damage to the walls and/or surrounding area.

**22.6** (1) A minimum number of outlets were installed at this area at the time of the inspection, this is common for the original age of dwelling. Suggest review by a licensed electrician for installation costs for additional outlets if desired as an upgrade.

**22.6** (2) Ungrounded three prong outlets noted at this area. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protect the outlet(s) on a GFCI circuit where recommended.

**22.7** The ceiling fan system was operational at the time of the inspection.



22.7 Item 1(Picture)

## 23. Hallway

The home inspector shall observe: Walls, ceiling, closets and floors where visible without moving furniture and personal effects; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles, smoke detectors, heat detectors, carbon monoxide detectors; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Low voltage systems; Security system devices, Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

### Styles & Materials

**Location:**

Left side  
Center  
Off bedroom(s)

**Floor Covering(s):**

Wood

**Doors:**

Wood  
Pocket door

**Closet/Cabinetry:**

Multiple closets/cabinets  
Wood

**Smoke alarms:**

No, see comments

**Carbon Monoxide alarms:**

No, see comments

		IN	NI	NP	RR
23.0	Floors				•
23.1	Walls	•			
23.2	Ceilings	•			
23.3	Doors	•			
23.4	Electrical	•			
23.5	Closets/Cabinets	•			
23.6	Smoke & Carbon Monoxide Alarms				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**23.0** Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

**23.2** An attic access hatch was noted at this area.

**23.6 (1)** No smoke alarm, suggest installation to enhance safety and as required by the State of California.

**23.6 (2)** There is no Carbon Monoxide alarm at this area. Suggest installing Carbon Monoxide alarms outside each sleeping area and on every level of the home, including any basement areas, as required by the State of California.

# 24. Hallway

## Styles & Materials

**Location:**

Center  
Rear  
Off bedroom(s)

**Floor Covering(s):**

Engineered flooring

**Doors:**

Wood

**Closet/Cabinetry:**

Multiple closets/cabinets  
Wood

**Smoke alarms:**

No, see comments

**Carbon Monoxide alarms:**

No, see comments

		IN	NI	NP	RR
24.0	Floors	•			
24.1	Walls	•			
24.2	Ceilings	•			
24.3	Doors	•			
24.4	Electrical	•			
24.5	Closets/Cabinets	•			
24.6	Smoke & Carbon Monoxide Alarms				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**24.6 (1)** No smoke alarm, suggest installation to enhance safety and as required by the State of California.

**24.6 (2)** There is no Carbon Monoxide alarm at this area. Suggest installing Carbon Monoxide alarms outside each sleeping area and on every level of the home, including any basement areas, as required by the State of California.

## 25. Bedroom #1

The home inspector shall observe: Walls, ceiling, closets and floors where visible without moving beds, furniture and personal effects; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles, smoke detectors, heat detectors, carbon monoxide detectors, and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, ; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

### Styles & Materials

**Location:**

Left side  
Front

**Floor Covering(s):**

Wood

**Doors:**

Wood

**Window Types:**

Vinyl  
Dual pane

**Closet/Cabinetry:**

Multiple closets/cabinets  
Wood  
Wood sliding doors

**Smoke alarms:**

Yes

		IN	NI	NP	RR
25.0	Floors	•			
25.1	Walls	•			
25.2	Ceilings	•			
25.3	Doors	•			
25.4	Windows	•			
25.5	Screens	•			
25.6	Electrical				•
25.7	Closet/Wardrobe(s)	•			
25.8	Smoke Alarms	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

**Comments:**

**25.0** Squeaky/noisy floors noted, suggest repair as needed.

**25.6 (1)** Two wire and two prong electrical receptacles noted. At the time of the original construction this type of system was the acceptable standard and appears to be intact. If three prong and GFCI receptacles are desired a ground source is required. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protected the outlet(s) on a GFCI circuit where recommended.

**25.6 (2)** A minimum number of outlets were installed at this area at the time of the inspection, this is common for the original age of dwelling. Suggest review by a licensed electrician for installation costs for additional outlets if desired as an upgrade.

**25.6 (3)** No power to the left side wall outlet(s) at the time of the inspection. Suggest review with a licensed electrician for repair/replacement costs as needed and confirm correct operation as needed.



## 26. Bedroom #2

### Styles & Materials

**Location:**

Left side  
Center

**Floor Covering(s):**

Carpet

**Doors:**

Wood

**Window Types:**

Vinyl  
Dual pane

**Closet/Cabinetry:**

Multiple closets/cabinets  
Wood  
Wood sliding doors

**Smoke alarms:**

Yes, see comments

		IN	NI	NP	RR
26.0	Floors				•
26.1	Walls	•			
26.2	Ceilings				•
26.3	Doors				•
26.4	Windows	•			
26.5	Screens	•			
26.6	Electrical				•
26.7	Closet/Wardrobe(s)	•			
26.8	Smoke Alarms				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

**Comments:**

**26.0** Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

**26.2 (1)** Settling cracks and patching was noted, suggest repair as needed.

**26.2 (2)** Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.



26.2 Item 1(Picture)

**26.3** Suggest installation of door stops to prevent damage to the walls and/or surrounding area.

**26.6 (1)** Two wire and two prong electrical receptacles noted. At the time of the original construction this type of system was the acceptable standard and appears to be intact. If three prong and GFCI receptacles are desired a ground source is required. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protected the outlet(s) on a GFCI circuit where recommended.

**26.6 (2)** No power to the left side wall outlet(s) at the time of the inspection. Suggest review with a licensed electrician for repair/replacement costs as needed and confirm correct operation as needed.

**26.8** Smoke alarms have a general 'life span' of approximately 10 years. Many of the units throughout this dwelling appear to be original and/or older than 10 years. Suggest replacing all of the older units as needed/suggested by the California State Fire Department.

## 27. Master Bedroom

### Styles & Materials

**Location:**

Left side  
Rear

**Floor Covering(s):**

Carpet

**Doors:**

Wood

**Window Types:**

Vinyl  
Dual pane

**Closet/Cabinetry:**

Multiple closets/cabinets  
Wood sliding doors

**Smoke alarms:**

No, see comments

		IN	NI	NP	RR
27.0	Floors				•
27.1	Walls	•			
27.2	Ceilings	•			
27.3	Doors	•			
27.4	Windows	•			
27.5	Screens	•			
27.6	Electrical	•			
27.7	Closet/Wardrobe(s)				•
27.8	Smoke Alarms				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

**27.0** Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

**27.6** The switched outlet(s) location is on the left side wall(s).

**27.7** The closet doors are off the door tracks, suggest repair/replace as needed.

**27.8** No smoke alarm, suggest installation to enhance safety and as required by the State of California.



# INVOICE

**Ferguson Home Inspections**  
 318 Ave I # 673  
 Redondo Beach, CA 90277  
 Inspected By: Paul

**Inspection Date:** 1/5/2021  
**Report ID:** 01052021Helberta

<b>Customer Info:</b>	<b>Inspection Property:</b>
Bob Crowe	1327 S Helberta Ave Redondo Beach CA 90277
<b>Customer's Real Estate Professional:</b> Bilge Coskun	

**Inspection Fee:**

Service	Price	Amount	Sub-Total
SFD Sq Ft 1,501 - 2,000	550.00	1	550.00
			<b>Tax \$0.00</b>
			<b>Total Price \$550.00</b>

**Payment Method:** Chase-Quickpay/Zelle  
**Payment Status:** Paid  
**Note:**

## General Summary



### Ferguson Home Inspections

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

#### 1. Exterior



##### 1.0 Driveway

###### Repair or Replace

The driveway slopes toward the main garage door, during heavy rains water may intrude into the garage area. Suggest review with a licensed contractor for installation costs to re-grading, swale or drain installation to divert water away from the garage and the main garage door.



1.0 Item 1(Picture)

##### 1.3 Siding

**Repair or Replace**

(1) Patched areas, open seams and deterioration noted at various wood siding areas. Suggest review with a licensed termite company and/or a licensed contractor for repair/replacement costs as needed.



1.3 Item 1(Picture)





1.3 Item 2(Picture)



1.3 Item 3(Picture)

(2) Deteriorated and blistering stucco noted at various areas. See the Lot/Drainage comments and review with a licensed contractor to repair as needed and divert water away from the foundation areas.



1.3 Item 4(Picture)

**1.7 Electrical**

**Repair or Replace**

(1) The exterior outlet(s) are missing the weather cover(s). Suggest installation for safety and as required.



1.7 Item 1(Picture)

(2) Open wiring and splices noted from the dwelling to the garage, common for the age of the dwelling. This is a potential safety hazard, suggest review with a licensed electrician to upgrade the electrical supply to garage for safety.



1.7 Item 2(Picture)



1.7 Item 3(Picture)

**1.8 Gutters/Downspouts**

**Repair or Replace**

Suggest installation of gutters throughout all eave areas and installation of an area drainage system to divert the water away from the foundation to the street as an upgrade.





1.8 Item 1(Picture)

**1.10 Planters**

**Repair or Replace**

No drain holes noted in the planter(s). Suggest installing drain holes to prevent ponding during the rainy season.



1.10 Item 1(Picture)

**1.12 Comments**

**Repair or Replace**

Suggest review of trees and root structures to prevent future damage to the property, drainage systems and structures.

**2. Lot Grade/Drainage**

**2.0 Lot Grade/Drainage**

**Repair or Replace**

Suggest installation of gutters throughout all eave areas and installation of an area drainage system to divert the water away from the foundation to the street as an upgrade.

### 3. Foundation

#### 3.0 Foundations, Basement and Crawlspace

##### Repair or Replace

White efflorescence (powder substance) on foundation footings indicates prior, and possibly ongoing, excessive moisture build up at the exterior of the foundation. Ongoing water intrusion at the foundations can, in some cases, cause the steel in the foundations to rust, called spawling, which can lead to horizontal cracking of the foundation ( currently there are no major cracks visible at the foundation ). Any future cracking/damaged can be an expensive repair as the foundation is now structurally weak and susceptible to horizontal movement. Suggest review of the Lot/ Grade and drainage systems, including rain gutters, to reduce and prevent further and future water buildup at the exterior of the dwellings foundations.



3.0 Item 1(Picture)

### 4. Crawl Space

#### 4.0 Crawl Space

##### Repair or Replace

Suggest removal of debris and construction items from the crawl area.



4.0 Item 1(Picture)



4.0 Item 2(Picture)

#### 4.2 Ventilation

##### Repair or Replace

Loose, missing or deteriorated vent screens noted. Suggest re-screening missing and/or deteriorated vent screens as needed to prevent rodent and insect intrusion .



4.2 Item 1(Picture)

#### 4.4 Plumbing Supply & Drainage

##### Repair or Replace

(1) Excessive rust, seepage and corrosion noted at various cast iron drain lines within the crawlspace. Suggest review by a licensed plumbing contractor for replacement costs as needed to prevent future leakage at the crawl area.



4.4 Item 1(Picture)



4.4 Item 2(Picture)



4.4 Item 3(Picture)



4.4 Item 4(Picture)



4.4 Item 5(Picture)

(2) Inadequate slope noted at various drains in the crawl area, suggest review with a licensed plumber for costs to re-slope the drains as required/needed.



4.4 Item 6(Picture)

#### 4.5 Comments

##### Repair or Replace

(2) Suggest review with a licensed plumber to disconnect and cap the gas feed line to the abandoned floor heater at the crawl area for safety.



4.5 Item 2(Picture)

## 5. Roofing

### 5.0 Roof

#### Repair or Replace

(2) Deteriorated ridge caps noted at the pitched roof, suggest review by licensed roofer for replacement costs and replace as needed.

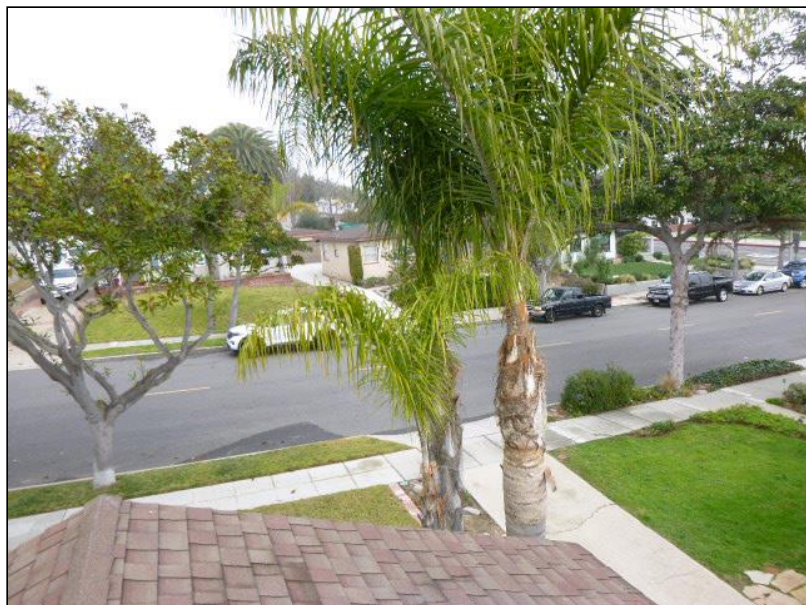


5.0 Item 5(Picture)



5.0 Item 6(Picture)

(3) The tree limbs that are in contact with roof or hanging near roof should be trimmed to prevent damaging the roof. Suggest trimming as needed.



5.0 Item 7(Picture)

## 5.2 Skylights, Chimneys and Roof Penetrations

### Repair or Replace

Suggest review by a licensed roofer and seal all penetrations at the roof to prevent water intrusion.



5.2 Item 1(Picture)

## 6. Attic

### 6.2 Ventilation

#### Repair or Replace

Loose, missing or deteriorated vent screens noted. Suggest re-screening missing and/or deteriorated vent screens as needed to prevent rodent and insect intrusion .

### 6.4 Ducting

#### Repair or Replace

(1) Possible asbestos like material, tape and wrap noted at ducting and joints. Tape and wrap, torn and loose in the several areas, suggest review by licensed contractor for repairs/replacement or removing material or encapsulating the damaged areas.



6.4 Item 1(Picture)



6.4 Item 2(Picture)

(2) Generally a certification of the existing ducting is required when replacing the heating to determine and confirm no leakage will occur which can/will result in the asbestos insulation being damaged and blown through the dwelling/attic area. Suggest review with the sellers and the heater installation company for confirmation of this requirement and/or costs to replace the existing asbestos ducting as required.

## 6.6 Comments

### Repair or Replace

The kitchen oven vent currents exits/terminates in the rear attic. Suggest review with a licensed contractor for costs to repair/extend the vent through the roof as required.



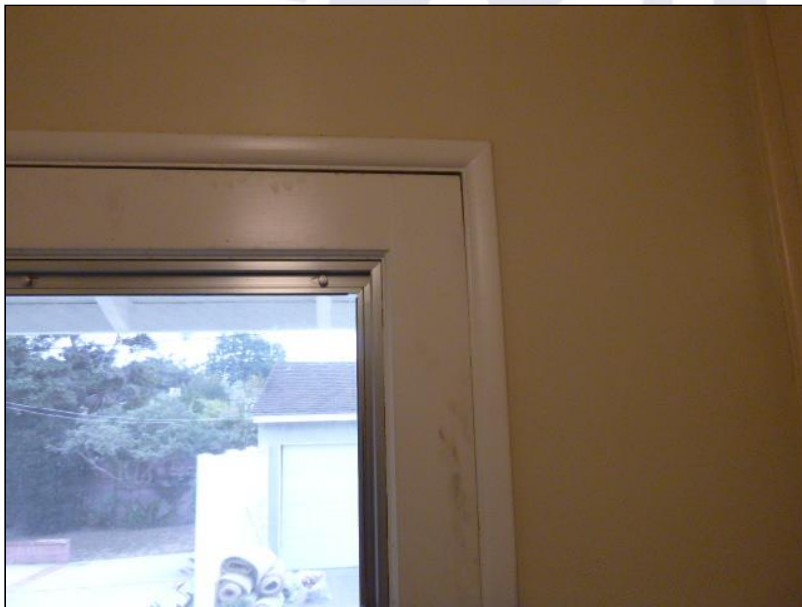
6.6 Item 1(Picture)

## 7. Laundry

### 7.3 Doors

#### Repair or Replace

The door to the exterior impacts on the impacts/sticks on the jamb when operating, suggest repair as needed.



7.3 Item 1(Picture)

### 7.4 Screens

#### Repair or Replace

Deteriorated door/window screen(s) noted, suggest repair or replace as needed.

## 8. Patio/Porch

### 8.2 Electrical

**Repair or Replace**

Various exterior light fixtures were inoperable, possible bulbs out. Suggest repair/replace as needed.

**8.4 Doors****Repair or Replace**

(1) The front door and threshold are weathered and deteriorated, suggest repairs/maintenance as needed.



8.4 Item 1(Picture)

(2) Unable to determine if tempered glass is installed at this area ( no labelling/etching is visible ). Windows and doors with glass 18 inches off the floor area or windows within doors should have safety glass. Suggest review of these areas for possible costs to upgrade and to enhance safety as needed.

**9. Patio/Porch #2****9.0 Cover****Repair or Replace**

Wood deterioration noted at various areas, see termite report and/or review with a licensed contractor for repair/replacement costs as needed.

**9.3 Electrical****Repair or Replace**

No light fixture installed at this area as required, this is a possible safety hazard. Suggest review with a licensed electrician for installation costs for a light fixture to enhance safety.



9.3 Item 1(Picture)

#### 9.6 Screens

##### **Repair or Replace**

Deteriorated door/window screen(s) noted, suggest repair or replace as needed.

### 10. Garage

#### 10.0 Siding

##### **Repair or Replace**

(1) Suggest installation of gutters at the garage eave areas and installation of an area drainage system to divert the water away from the garage foundation to the street as an upgrade.

(2) Paint blistering, peeling and wood deterioration noted at various trim areas. Suggest review with termite company and/or a licensed contractor and repair/replace as needed.

#### 10.1 Roof

##### **Repair or Replace**

(2) The tree limbs that are in contact with roof or hanging near roof should be trimmed to prevent damaging the roof. Suggest trimming as needed.



10.1 Item 2(Picture)

(3) Deteriorated ridge caps noted at the pitched roof, suggest review by licensed roofer for replacement costs and replace as needed.



10.1 Item 3(Picture)

**10.3 Slab**

**Repair or Replace**

(1) Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



10.3 Item 1(Picture)

(2) Patched and repaired areas of the garage slab were noted. Suggest review with the seller on the cause and any repairs needed. Suggest repair/replace as needed.



10.3 Item 2(Picture)

**10.4 Garage Door (s)**

**Repair or Replace**

(1) Evidence of previous and possible ongoing water intrusion noted at the main door, see the driveway comments and repair/replace as needed.



10.4 Item 1(Picture)

(2) Surface rust and corrosion noted at the garage door panels, suggest repair/replace as needed.



10.4 Item 2(Picture)





10.4 Item 3(Picture)

**10.6 Door Opener****Repair or Replace**

(1) Unreasonable resistance was required to stop the main garage door in motion, this is a safety concern. Suggest adjusting door opener so the safety reverse operates as required. The US Product Safety Commission recommends these devices be checked monthly.

(2) The garage door opener is improperly wired with an extension cord. Suggest review with a licensed electrician for costs to hard wire a receptacle adjacent to the garage door opening unit for electrical service and remove the extension cord.



10.6 Item 1(Picture)

**10.7 Garage Walls & Ceilings (including Firewall & Ceiling Separation)****Repair or Replace**

(1) Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.

(2) Wood deterioration noted at various areas of the garage framing, suggest review with a termite company and/or a licensed contractor for repairs as needed.

**10.9 Comments****Repair or Replace**

Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



10.9 Item 1(Picture)

**11. Heating A/C System****11.0 Heating Equipment****Repair or Replace**

(2) Suggest replacing/cleaning the filter(s) as needed.



11.0 Item 3(Picture)

**11.3 Ducting****Repair or Replace**

(1) Possible asbestos like material, tape and wrap noted at ducting and joints. Tape and wrap, torn and loose in the several areas, suggest review by licensed contractor for repairs/replacement or removing material or encapsulating the damaged areas.



11.3 Item 1(Picture)





11.3 Item 2(Picture)



11.3 Item 3(Picture)



11.3 Item 4(Picture)

(2) Generally a certification of the existing ducting is required when replacing the heating to determine and confirm no leakage will occur which can/will result in the asbestos insulation being damaged and blown through the dwelling/attic area. Suggest review with the sellers and the heater installation company for confirmation of this requirement and/or costs to replace the existing asbestos ducting as required.

## 12. Electrical System

### 12.1 Service, Grounding Equipment, Main/Sub Panels

#### Repair or Replace

(1) The main electrical panel is a Zinsco brand panel box, a product that hasn't been manufactured for many years. There are problems with these panels that can, in some cases, be serious. Some Zinsco panels have aluminum bus bars (the bars that run down the middle of the panel to which the breakers connect). Over a period of years, oxide forms on the aluminum causing a poor connection with the breakers and leading to arcing, overheating, and, eventually, breaker failure. Other problems with Zinsco panels include circuit breakers (depending on the vintage) with a dismal performance record and the possibility of unbalanced multi-wire circuits. Also, please be aware that various insurance companies will not insure homes with this style of electrical panel. Suggest review by a licensed electrician for replacement costs as needed.



12.1 Item 1(Picture)

(2) Suggest adding correct/complete indexing/labelling to all breakers for identification of each circuit for safety.

## 12.2 Branch Circuits, Overcurrent Devices

### Repair or Replace

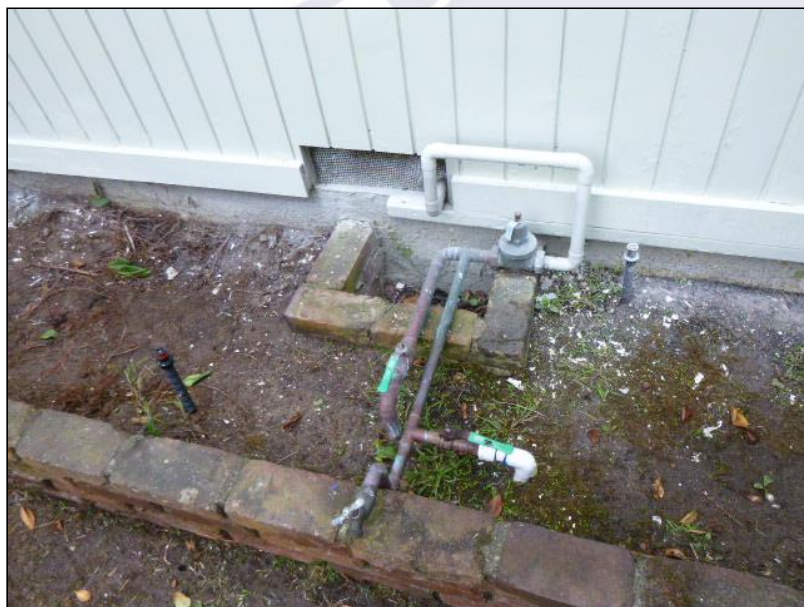
Minimal/Inadequate circuits noted servicing the interior of the dwelling, this is common for the age of the dwelling. Suggest review with a licensed electrician for costs to install additional circuits to the interior of the dwelling as needed

## 13. Plumbing System

### 13.0 Plumbing Water Supply and Distribution System

#### Repair or Replace

(1) Suggest repair/replace the faulty pressure regulator due to excessively high water pressure as tested. This will reduce water pressure below 80 PSI to relieve stress on all plumbing joints and fittings.



13.0 Item 1(Picture)

(2) Corroded plumbing and fittings noted at various areas within the dwelling. Suggest further review by a licensed plumber for repair/replacement costs as needed to prevent future leakage, pin hole leaks and possible stains/damage to the interior of the dwelling.



13.0 Item 2(Picture)

(3) Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

[https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill\\_id=200920100SB407](https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407)

## 14. Sewer/Waste System

### 14.0 Waste/Drains

#### Repair or Replace

(1) See the crawl plumbing/drainage comments and repair/replace as needed.

(2) Slow drains noted at various areas throughout the dwelling. Suggest review by licensed plumber for repair/replacement costs as needed.

(3) Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

(4) Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

## 15. Water Heater

### 15.0 Water Heater

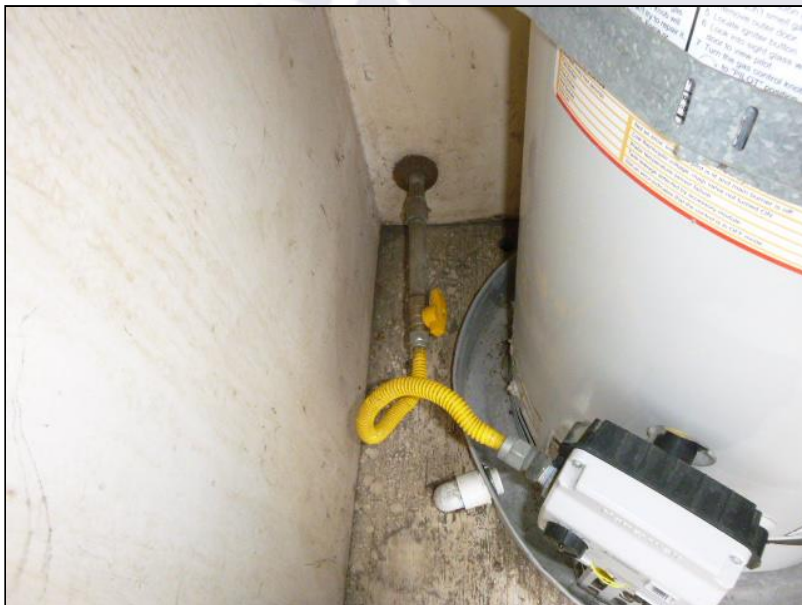
#### Repair or Replace

(2) A Spill/smitty pan is installed under the water heater, but the drain exits into the crawl area. Suggest installing the drain line to the exterior of the dwelling as required when installed.



15.0 Item 2(Picture)

(3) Currently no gas supply line drip leg/sediment trap is installed, please be aware that various cities do not enforce/require this installation. Suggest review with the local City Building Department and/or with a licensed plumbing contractor for installation costs as needed.



15.0 Item 3(Picture)

(4) No discharge pipe connected to the TP&R valve, this is a potential safety hazard. Suggest review by a licensed plumber for costs to install the TP discharge drain down to within 4-6 inches of the exterior grade/deck as required for safety.



15.0 Item 4(Picture)

(5) The current water heater does not have a "Thermal Expansion tank" which is generally installed to prevent a possible leak at the T&P or "pop-off" valve and/or excessive pressure build-up at the internal plumbing, fixtures and joints. Recent changes ( 2012 ) require one when a new water heater is installed, but various cities do not enforce this installation for multiple reasons ( the home is not on a closed system and various tankless units do not require it ). There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. Suggest review with the city and/or a licensed plumber to determine if this installation is required and install as needed.

(6) An in-line water filter/de-scaling system was noted. Suggest periodic review and replacement of the system as needed to prevent blockages and restrictions on the hot water system.



15.0 Item 5(Picture)

## 16. Kitchen

### 16.6 Cabinets

#### Repair or Replace

The base cabinet under the sink is deteriorated/stained from previous leaks, suggest repair/replace as needed.



16.6 Item 1(Picture)

## 16.7 Counter Tops

### Repair or Replace

Deteriorated and missing grout noted at various areas of the tile countertop, suggest repair/replace as needed.



16.7 Item 1(Picture)

## 16.8 Electrical

### Repair or Replace

(1) Ungrounded three prong outlets noted at this area. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protect the outlet(s) on a GFCI circuit where recommended.

(2) Various countertop outlets are not GFCI protected as required. Countertop GFCI outlet(s)/protection has been required within six feet of the sink since 1987 and all countertop outlets since 1996. Suggest review by a licensed electrician for installation costs as required for safety.

(3) Inadequate countertop/appliance outlets/circuits installed, suggest review with a licensed electrician for installation costs as needed/required.

## 16.10 Faucets

**Repair or Replace**

Poor water flow noted at the sink faucet, suggest review with a licensed plumber for repair/replacement costs as needed.



16.10 Item 1(Picture)

**16.12 Dishwasher****Repair or Replace**

(1) The inspector was unable to select between the multiple washing cycles as needed, Suggest review with a licensed appliance contractor for repair/replacement costs as needed.



16.12 Item 1(Picture)

(2) Suggest review with a licensed plumber for costs to reduce the length of the drain from the air gap to the disposal as this has created a trap in the drainage system.



16.12 Item 2(Picture)

(3) The dishwasher partially drains over countertop/sink through air gap as there appears to be a blockage in the drain line. Suggest review by a licensed plumber and repair as needed.



16.12 Item 3(Picture)

### 16.15 Range Hood (s)

#### Repair or Replace

(1) The light bulbs at the vent hood were inoperable at the time of the inspection, suggest replacing the bulbs as needed.



16.15 Item 1(Picture)

(2) The range/hood vent was excessively noisy at the time of the inspection, suggest review with a licensed contractor and repair/replace as required for safety.

## 17. Hallway Bathroom

### 17.2 Ceilings

#### Repair or Replace

Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.

### 17.9 Tub & Surround

#### Repair or Replace

The tub stopper was inoperable at the time of the inspection, suggest repair/replace as needed.

### 17.10 Tub Faucet

#### Repair or Replace

The existing tub faucet is not a low-flow system as required. Suggest review with a licensed plumber for costs to replace the existing tub faucet with a low flow faucet (2.2 gallons per minute) as required by the State of California as of January 1st, 2017. See the plumbing system comments for further details and a link to the State of California plumbing ordinance.



17.10 Item 1(Picture)

**17.15 Sink Faucet(s)****Repair or Replace**

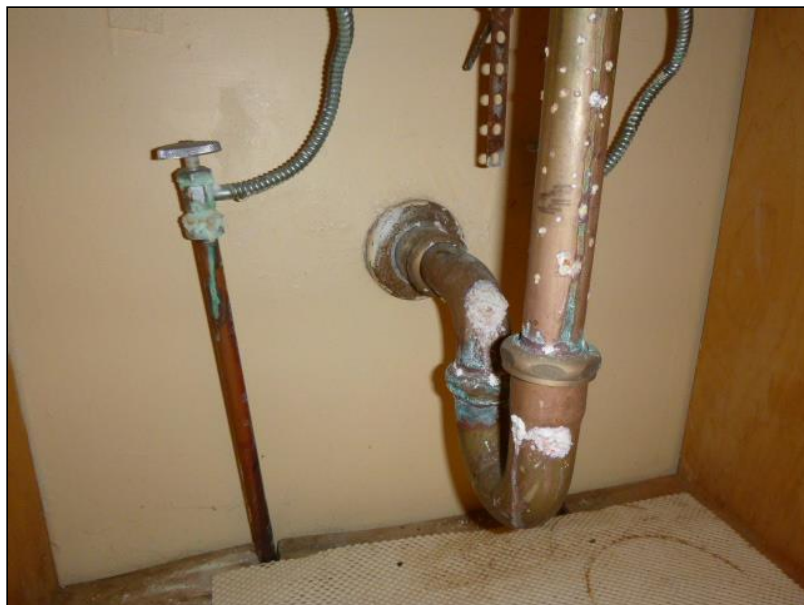
The sink faucet handles are not set square, suggest repair as needed.



17.15 Item 1(Picture)

**17.16 Traps/Drains & Supply****Repair or Replace**

(1) Corrosion noted at the sink drain and angle valve(s), no leaking noted at the time of the inspection. Suggest review by a licensed plumber and repair/replace as needed.



17.16 Item 1(Picture)

(2) The tub drains slowly, suggest review with a licensed plumber for costs to clear the trap or drain as needed and confirm correct drainage as needed.

#### 17.18 Counter/Cabinets

##### Repair or Replace

The base cabinet under the sink is deteriorated/stained from previous leaks, suggest repair/replace as needed.



17.18 Item 1(Picture)

## 18. Master Bathroom

#### 18.6 Electrical

##### Repair or Replace

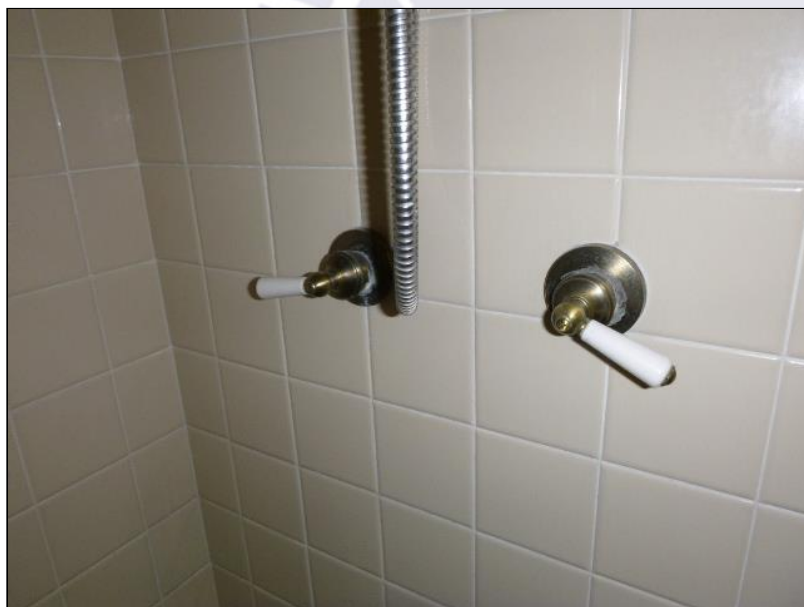
The cover globe(s) are missing at light fixture(s) at the time of the inspection. Suggest replacing the missing cover globe(s) for safety.



18.6 Item 1(Picture)

**18.11 Shower Faucet****Repair or Replace**

The hot shower faucet handle is difficult to operate and sticks when trying to rotate. Suggest review by licensed plumber and repair as needed.



18.11 Item 1(Picture)

**18.12 Sink(s)****Repair or Replace**

The sink stopper was missing, suggest replacement as needed.

**18.14 Traps/Drains & Supply****Repair or Replace**

Corrosion noted at the sink drain and angle valve(s), no leaking noted at the time of the inspection. Suggest review by a licensed plumber and repair/replace as needed.



18.14 Item 1(Picture)

**18.16 Counter/Cabinets****Repair or Replace**

The base cabinet under the sink is deteriorated/stained from previous leaks, suggest repair/replace as needed.



18.16 Item 1(Picture)

**18.17 Comments****Repair or Replace**

The wall mirror and cabinet were missing/removed at the time of the inspection. Suggest review with the seller and/or a licensed contractor for installation costs as needed.



18.17 Item 1(Picture)



18.17 Item 2(Picture)

## 19. Entry

### 19.3 Doors

#### Repair or Replace

- (1) Suggest installation of door stops to prevent damage to the walls and/or surrounding area.
- (2) Unable to determine if tempered glass is installed at this area ( no labelling/etching is visible ). Windows and doors with glass 18 inches off the floor area or windows within doors should have safety glass. Suggest review of these areas for possible costs to upgrade and to enhance safety as needed.

### 19.4 Electrical

#### Repair or Replace

The light fixture(s) are inoperable, possibly bulb out or faulty switch. Suggest repair/replace as needed.

**21. Dining Room****21.2 Ceilings****Repair or Replace**

Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.



21.2 Item 1(Picture)

**22. Family Room****22.0 Floors****Repair or Replace**

Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

**22.2 Ceilings****Repair or Replace**

(1) Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.



22.2 Item 1(Picture)



22.2 Item 2(Picture)

(2) Settling cracks and patching noted.

**22.3 Doors**

**Repair or Replace**

Suggest installation of door stops to prevent damage to the walls and/or surrounding area.

**23. Hallway**

**23.0 Floors**

**Repair or Replace**

Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

**23.6 Smoke & Carbon Monoxide Alarms**

**Repair or Replace**

(1) No smoke alarm, suggest installation to enhance safety and as required by the State of California.

(2) There is no Carbon Monoxide alarm at this area. Suggest installing Carbon Monoxide alarms outside each sleeping area and on every level of the home, including any basement areas, as required by the State of California.

## 24. Hallway

### 24.6 Smoke & Carbon Monoxide Alarms

#### Repair or Replace

(1) No smoke alarm, suggest installation to enhance safety and as required by the State of California.

(2) There is no Carbon Monoxide alarm at this area. Suggest installing Carbon Monoxide alarms outside each sleeping area and on every level of the home, including any basement areas, as required by the State of California.

## 25. Bedroom #1

### 25.6 Electrical

#### Repair or Replace

(3) No power to the left side wall outlet(s) at the time of the inspection. Suggest review with a licensed electrician for repair/replacement costs as needed and confirm correct operation as needed.

## 26. Bedroom #2

### 26.0 Floors

#### Repair or Replace

Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

### 26.2 Ceilings

#### Repair or Replace

(1) Settling cracks and patching was noted, suggest repair as needed.

(2) Patched and uneven areas of the ceiling noted, suggest review with the seller on the cause and any repairs needed. Suggest repair as needed.



26.2 Item 1(Picture)

### 26.3 Doors

#### Repair or Replace

Suggest installation of door stops to prevent damage to the walls and/or surrounding area.

**26.6 Electrical****Repair or Replace**

(2) No power to the left side wall outlet(s) at the time of the inspection. Suggest review with a licensed electrician for repair/replacement costs as needed and confirm correct operation as needed.

**26.8 Smoke Alarms****Repair or Replace**

Smoke alarms have a general 'life span' of approximately 10 years. Many of the units throughout this dwelling appear to be original and/or older than 10 years. Suggest replacing all of the older units as needed/suggested by the California State Fire Department.

**27. Master Bedroom****27.0 Floors****Repair or Replace**

Floor slope, squeaky/noisy and uneven floors noted, suggest repairs as needed.

**27.7 Closet/Wardrobe(s)****Repair or Replace**

The closet doors are off the door tracks, suggest repair/replace as needed.

**27.8 Smoke Alarms****Repair or Replace**

No smoke alarm, suggest installation to enhance safety and as required by the State of California.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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## Inspection Contract Agreement

This contract is an agreement between the client listed below, and Paul D/B/A Ferguson Home Inspections, to perform an inspection of the home or building listed below according to the "Standards of Practice" of ASHI. These standards of practice inform you of what a home inspector should report, and what is not expected of the home inspector to report. This inspection is a limited visual inspection as a generalist. Areas that are inaccessible are not part of this inspection including but not limited to: behind walls, furniture, under rugs, inaccessible areas and below soil. The client signing below assumes all risk for potential problems or conditions including those areas not accessible by the inspector. The Client assumes all risk for problems noted in this report that may reveal further damage during a repair or further investigation by a qualified professional. Your signature (by pen or electronically), is your acceptance of these terms and conditions. A home inspection is not technically exhaustive and the inspector does not dismantle or perform testing that is destructive. The inspector is limited by this inspection agreement and cannot be expected to find or discover all defects in this building.

The purpose and scope of this inspection is to provide you with a better understanding of the property's condition as observed at the time of the home inspection. It will include an inspection of: Structural Components, Exterior, Roofing, Plumbing, Electrical, Heating, Central Air Conditioning, Interiors, Insulation, Ventilation and built-in kitchen appliances.

**Our inspection does not include the inspection or any part of testing or determining whether or not these conditions exist such as:** Asbestos, Formaldehyde, Chinese manufactured products including but not limited to engineered flooring and drywall, Mold or Fungi, or bio-aerosols. Soil or geological conditions. Pools and or equipment related to pools, spas or jacuzzis. Pests or Termites or wood eating insects. Solar systems. Refrigeration units, water filtration units, security alarms, intercoms, phone, cable, satellite, window treatments or mini-blinds, oven clocks or timers or clean feature, solar systems or lightning arrestors. This inspection does not include a test on "Synthetic Stucco" ( EIFS ) as this is a separate test and contract. Ferguson Home Inspections will not operate heating or cooling systems in temperatures that may cause damage to the unit. Air conditioning system will not be operated by Ferguson Home Inspections in outside temperatures of 65 degrees or less. We do not inspect heat exchanger for cracks. Plumbing and electrical must be turned "on" for the inspection of these areas and components. Well or spring systems, pressure, depth, water level or condition is not part of this inspection. Furnaces, must be "on" or capable of being turned on by using normal operating controls. Pilot lights must be "lit" in order to inspect these components or systems (i.e. gas fireplace, wall heaters). Septic field inspections are not inspected and are not part of this contract. Ferguson Home Inspections Inspection does not inspect for code compliance or ordinances. This inspection does not include reviewing with the city for any permits for remodels, additions and/or any add on areas.

The home inspection report is an "opinion" of Ferguson Home Inspections. Our interpretation of what is good or fair, may be different than yours. You are encouraged to be present at the time of your inspection so we will both have an understanding of each others perception. The client accepts responsibility for incomplete information if the Client did not attend the inspection. Our purpose is to determine whether or not a system or component (electrical, heating, visible structure etc) is functioning for which it was intended. We are not responsible to determine all that may be wrong with that system or component, just whether or not a second opinion is needed, such as a licensed electrician or HVAC contractor, or any specialist for that field or trade. They determine what steps are necessary to correct. Their troubleshooting may reveal additional items not mentioned in this report. Any item mentioned in the report may need additional inspections by other qualified specialists. It is up to the Client who will be the person signing this contract to seek qualified specialists to investigate further any item or component that is commented on in the inspection report before closing. We are not responsible for items mentioned in this report. We are not a guarantee nor do we guarantee any items or opinions described on this report. This inspection is to reduce the risk of finding a potential problem, not to eliminate them. We are not a home warranty company nor do we carry insurance on warranty claims. It is strongly recommended that a buyer of a home consider purchasing a one year home warranty which is not part of this agreement. The limited liability of the inspector and

Ferguson Home Inspections and the inspection report to the Client, spouse, executors or heirs or administrators are limited to a refund up to the fee paid for this inspection and report.

**Should the Client want an inspection that does not limit the liability to a refund of the fee paid for the inspection and report, The Client can receive a technically exhaustive inspection and report without the limitation of a refund of the fee paid. The minimum fee for this type of inspection is \$2,700 and up depending upon square feet. This technically exhaustive inspection will be performed with licensed engineers, HVAC, Plumbers, Electricians, General contractors and others depending upon the extent of services requested. If the Client chooses this technically exhaustive inspection, the Client must first call for a quote and request a different contract other than this one.**

The Client's signature below indicates the Client does not want a technically exhaustive inspection without the limits of liability to the inspector or Ferguson Home Inspections. By payment of our fee and the Client's signature, the Client acknowledges and understands and agrees to the statements and terms contained herein, and will hold Ferguson Home Inspections and myself harmless to any claims made. The Client, spouse, executors or heirs or administrators are limited to a refund of the fee paid for this inspection and report. This limitation applies to anyone who claims damages or expenses of any kind incurred due to the errors or omissions in this inspection and report.

The cost of the home inspection is based upon the square footage of the home to be inspected. Payments must be made at the time of inspection. Ferguson Home Inspections agrees to provide you with a report within three business days or sooner ( generally within 24 hours ) by providing your email address.

A copy of this report will be sent to your real estate agent representative for you unless you notify us not to send a copy.

Ferguson Home Inspections **MUST RECEIVE A COPY OF THIS AGREEMENT SIGNED BY THE CLIENT BEFORE THE INSPECTION CAN BEGIN** (either electronically or physically). If viewing this online, Click on the I agree button below if you agree to the terms and conditions spelled out in the agreement. The inspector and company agrees to this agreement if it is being presented to you online with the I agree button below.

Client Name: Bob Crowe

Customer Signature (if signing in person) \_\_\_\_\_

Ferguson Home Inspections  
318 Ave I # 673  
Redondo Beach, CA 90277

**Location:**

1327 S Helberta Ave Redondo Beach CA 90277

**Date: 1/5/2021**

**Inspector: Paul**

Total Inspection Cost: \$550.00

