



# Inspection Report

5709 Sunmist Dr  
Rancho Palos Verdes, CA 90275



PREPARED EXCLUSIVELY FOR:  
Martha Stanley

Thursday, August 27, 2020

INSPECTOR:  
David Kramer



# EXECUTIVE SUMMARY

This first section is a Summary review of the inspector's findings during this inspection. However, it does not contain every detailed observation and condition. This is provided as an additional service to our client, and is designed to provide more detailed description of conditions that may require your immediate attention, and in some cases suggestion for securing further evaluation or resolution.

Summary may include:

- ~> Items that are no longer functioning as intended
- ~> Conditions that present safety issues
- ~> Items or conditions that require repair, replacement, or further evaluation by a specialist

The Full Report (starts after the index) includes the Summary items (in BLUE) as well as:

- ~> Conditions requiring repair that arise due to wear and the passage of time
- ~> Conditions that have not significantly affected usability or function, but may if left unattended

The COMPLETE REPORT consists of: Executive Summary, Full Report and Inspection Agreement.

Our recommendations are not intended as criticisms of the building, but as professional opinions regarding conditions present. As a courtesy, the inspector list items that they feel have priority in the Executive Summary. Although the items listed in this section may be of higher priority in the opinion of the inspector, it is ultimately the client's responsibility to review the entire report. If the client has questions regarding any of the items listed, please contact the inspector for further consultation.

Lower priority conditions contained in the body of the report that are disregarded or neglected may become higher priority conditions. Also, do not equate low cost with low priority. Cost should not be the primary motivation for performing repairs. All repair and upgrade recommendations are important and need attention.

## NOTICE TO THIRD PARTIES:

The inspection report is for the sole benefit and reliance of Client named in the report and is nontransferable. The report is a summary of the inspection and all conditions between Inspector and Client is issued subject to the terms, conditions and limitations under which the inspection was performed. The terms, conditions and limitations are part of this report and are attached hereto and incorporated by referenced herein. Inspector assumes no liability for third party interpretation or use of the report. **THIRD PARTIES ARE ENCOURAGED TO OBTAIN A HOME INSPECTION FROM A QUALIFIED INSPECTOR OF THIER CHOICE.**

Throughout the Executive Summary and Full Report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

- SC** = Conditions in their present state may pose a hazard to humans, the structure or both.
- FE** = Conditions that warrant further evaluation by a qualified specialist, disclosure from the sellers, or future observations.
- CR** = Conditions to be in need of maintenance, repair or replacement.
- RU** = Upgrades are systems and/or components that may not have been available or have been improved since the building was constructed. These may be, but are not limited to safety related items; such as GFCI receptacle and smoke detector locations and the installation of safety glass where subject to human impact.

# SITE & GROUNDS

## GRADING

**CR s-25:** Grading along the left rear of the building slopes toward the foundation. This condition promotes water accumulation near the building, which could result in deterioration of the foundation and water penetration into the structure. We suggest re-grading of areas near the building as needed.

## WALKWAYS

**SC s-26:** Uneven sections are observed in the walkway surface. This condition poses a trip hazard. We recommend correcting the condition(s) noted for safety reasons.



## DRIVEWAY

**SC s-27:** Uneven sections were observed in the driveway surface. This condition poses a trip hazard. We recommend correcting the condition(s) noted for safety reasons.



## GATES

**SC RU s-29:** The gates/fencing do not meet the pool safety standards. We recommend they be upgraded to industry standards. A copy of which may be obtained at the local building department.

## LANDSCAPE IRRIGATION

**CR s-31:** Testing of the yard irrigation system is beyond the scope of this inspection. However, one or more of the sprinklers leaks at the left side of the building. We suggest that all leaking, malfunctioning or damaged sprinklers should be repaired or replaced.



## MISCELLANEOUS FEATURES

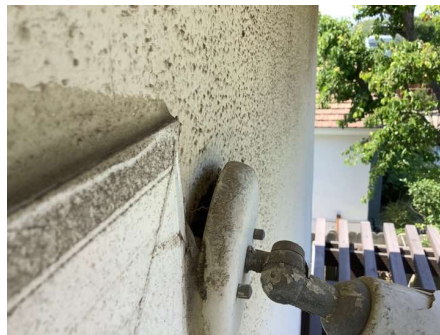
**SC s-32:** There are not at least two of the seven child drowning safety features of the 2018 Pool Safety Act. This condition is a child drowning hazard. We suggest that at least two of the child drowning safety features should be installed by a qualified pool contractor. A list of the seven child drowning safety features can be found with the following link:

<https://www.creia.org/assets/docs/442%20flyer%20rev.%201-21-18.pdf>

## EXTERIOR

### STUCCO

**FE CR s-38:** There is a gap(s) in the exterior cladding at joints with dissimilar materials, a utility, pipe or vent penetration. This can permit water entry and result in damage to the cladding and underlying building elements. We suggest that open joints or gaps in the siding should be caulked and sealed.



## WOOD SIDING

**CR s-40:** Sections of the siding are deteriorated. We suggest a qualified technician should repair or replace any deteriorated siding. NOTE: Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.



**CR s-41:** There is a gap(s) in the exterior cladding at joints with dissimilar materials, a utility, pipe or vent penetration. This can permit water entry and result in damage to the cladding and underlying building elements. We suggest that open joints or gaps in the siding should be caulked and sealed.



## DOORS GENERAL

**FE CR s-42:** The exterior door is deteriorated on the left rear of the building. We suggest deteriorated doors should be repaired or replaced as necessary. NOTE: Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.



## EAVES/SOFFITS

**CR s-44:** On the front of the building one or more of the rafter tails are damaged. We suggest a qualified technician should evaluate this condition and make repairs or modifications as necessary.



## TRIM

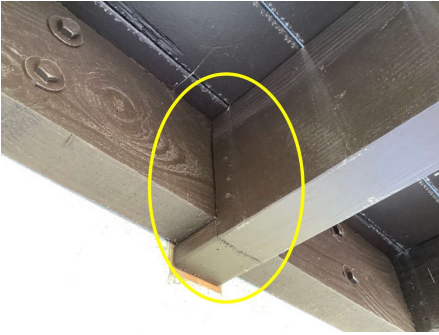
**CR s-46:** Some of the exterior trim is damaged and/or deteriorated on the left rear of the building. We have NOT listed every instance of trim damage. We suggest having a qualified contractor examine all exterior trim for deterioration, damage or missing parts, and repair or replace as necessary. Regular routine maintenance is recommended. NOTE: Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.



## DECK STRUCTURE

**CR s-48:** The ledger board that supports the deck/balcony is installed without flashing. Where wood decks, porches or balconies are connected to the structure, flashing which goes upward under the vertical siding, and over the top of the deck/porch joist framing attached to the structure should be present to prevent leaks into the structure at this joint. Leaks are common under door thresholds. Lack of flashing is presently, or could allow leaks contributing to decay of the interior surfaces or structure. Such damage may or may not be visible at the interior. Installation of flashing after the siding and deck/porch is built can be complex and expensive. We suggest all ledger boards should be properly flashed. A common solution is to keep the house-deck joint covered with a drip cap well sealed with a good silicon caulk.

**SC CR s-49:** The deck/balcony support and connections are minimal or inadequate by industry standards for deck/balcony design and construction. This can allow damage of the deck, especially under heavy loads and/or seismic activity. We suggest a qualified technician evaluate the deck and make repairs or modifications as necessary.



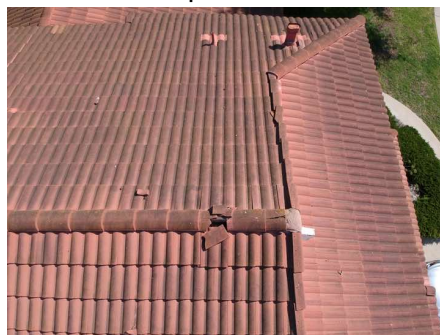
## FLASHINGS

**CR s-50:** No flashing is installed at the veneer on the left front of the building. We suggest a qualified technician could install flashings to ensure that the area remains watertight.



## ROOF TILE

**CR s-58:** There are a number of cracked, damaged or dislodged tiles on the roof. We suggest a qualified roofer should evaluate the entire roof and make repairs or modifications as necessary.



**CR s-59:** Tiles are installed too close to or over the valley flashing(s). This will promote a build up of debris which will not allow the valley to drain properly and decrease the valleys life expectancy. It is also difficult to maintain. We suggest a qualified roofer evaluate the roof and cut back or reinstall the tiles as necessary to provide proper clearance at the valleys.

## GENERAL ROOFING CONDITIONS

**FE s-60:** There are water stains on the underside of the eaves at the front of the building. These visible conditions strongly indicate an active leak. We suggest the source of the water penetration should be located and appropriate repairs made to prevent more damage to the eaves.



## VALLEY FLASHINGS

**FE CR s-62:** The valleys are obstructed by an accumulation of debris. The debris can promote moisture penetration of the roofing system. We suggest regular maintenance and clearing of all debris from the valleys is recommended as part of routine roof maintenance.



## CHIMNEY FLASHINGS

**CR s-63:** The chimney flashings are obstructed by an accumulation of debris. The debris can promote moisture penetration of the roofing system. We suggest regular maintenance and clearing of all debris from the valleys is recommended as part of routine roof maintenance.

## STRUCTURE - ROOF STRUCTURE CONDITIONS

### RAFTERS

**FE s-82:** A tile roof has been installed on a roof structure originally intended to support a lighter weight roofing material. Determining the load capacity of the roof framing goes beyond the scope of this inspection, although no issues or evidence of roof sagging framing was observed during inspection. Client is advised to obtain and review all applicable roofing permits and certificates of completion for the re-roofing. If concerns remain we suggest a qualified roofer should evaluate the installation.

## STRUCTURE - PEST CONTROL CONDITIONS

### PESTS IN CRAWLSPACE

**SC s-85:** There are animal droppings in the under building crawlspace. This could be a potential health and safety concern. We suggest a qualified technician should locate the entrance point (s) and make repairs, and remove all waste and debris.

## PLUMBING - SUPPLY CONDITIONS

### WATER PRESSURE

**CR s-92:** System pressure as measured by a gauge at an exterior hose bibb-was excessive at 90 p.s.i. Excessive pressure can result in damage or failure to valves, seats and washers, and fixture supply lines. We suggest the pressure regulator should be adjusted by a qualified plumber to keep pressure below 80 p.s.i. or the regulator should be replaced.



## PLUMBING - DRAIN, WASTE & VENT CONDITIONS

### DRAIN & WASTE LINES

**FE s-95:** You should be aware that older structures commonly have old-style exterior sewer pipe and plumbing in general. These older sewer pipes are frequently made up of individual short sections of clay pipe. The joint connections between the individual pipes are a vulnerable area at which roots from trees and/or bushes can enter the sewer line. Roots can cause partial or full blockage of the sewer line. Periodic cleaning of the sewer by a plumber may be required. We suggest a plumber equipped with a special camera that displays the condition of the interior of the sewer can be contacted if you suspect a problem with the sewer line. Based on the age of this structure, having this done during your inspection contingency may be warranted.

**FE s-96:** There are drains in the concrete slab which are inaccessible to view/inspect. Given the age of the building these drains are nearing the end of their estimated service life. We suggest a qualified plumber, equipped with a special camera that displays the interior of the drains can be contacted to examine the drain lines in the slab and advise on current condition and estimated service life.

**FE CR s-97:** There have been previous repairs and concerns with the drain lines. Inquiries should be made with the sellers as to the reason for the repairs. If concerns remain, we suggest a qualified technician should evaluate this condition and make repairs or modifications as necessary.

# PLUMBING - PLUMBING FIXTURE CONDITIONS

## STOPS & SUPPLIES

**CR s-98:** In the area(s) listed below the water supply shutoff valves are noticeably corroded, but are not leaking at this time. We recommend replacing any corroded valve before leaks are discovered.

Master bathroom left wash basin



## FIXTURE DRAINS

**CR s-99:** In the area(s) listed below although no active leak was observed, there is/are corroded and/or deteriorated drain line(s) with a limited useful life. We suggest considering replacing such drains before leaks occur.

Upper floor hallway bathroom wash basin



**CR s-100:** In the area(s) listed below the drain pipe(s) are leaking. We suggest all leaking drain lines should be repaired or replaced. A qualified plumber should do the work.

Master bathroom right wash basin



**CR s-101:** In the area(s) listed below the drain(s) are draining slow or is clogged. We suggest a qualified plumber should clear all of the drains as necessary.

Hallway bathroom shower/tub

## ELECTRICAL - ELECTRICAL SYSTEM CONDITIONS

### SERVICE CAPACITY

**FE** **RU** **s-122:** The service capacity is only marginally acceptable for the existing demand. With changes in patterns of electricity use, the existing electrical service could soon prove inadequate. We suggest the size of the service should be upgraded to provide for the use of modern electrical devices. The underground service conductors will likely need to be replaced and the utility provider may require replacing the underground conduit as well, which can constitute a significant expense. During your inspection contingency a qualified electrician should provide an estimate for the work.

## ELECTRICAL - FIXTURE CONDITIONS

### RECEPTACLES ALL AREAS

**CR** **s-130:** There are several ungrounded three-hole receptacles in the building. This can be a hazard to personal safety. Buildings wired prior to the 1960's were typically wired without a third ground wire, and only two prong type outlets should be connected to these circuits. If the wiring is a 3-wire system and an outlet is not grounded, repair is also indicated. We suggest a qualified electrician should repair any ungrounded 3-hole receptacle.

### GFCI'S ALL AREAS

**SC** **RU** **s-131:** Ground Fault Circuit Interrupter (GFCI) protection is installed for some, but not all, of the receptacles where this type of protection is presently required. This includes locations in bathrooms, garages, exteriors, basements, crawl spaces, kitchen countertops and within six feet of any wet bar sink. They are also commonly utilized for equipment such as sump pumps, whirlpools, spas and pool equipment. GFCI's have two different forms: receptacles with test/reset buttons, and panel breakers. Either form is effective in protecting appropriate outlets or fixtures. We suggest upgrading unprotected receptacles in areas where GFCI protection is presently required.

## HEATING - FORCED AIR UNIT

### CONDITIONS: ASBESTOS ON THE HEATING SYSTEM

**FE** **s-146:** Small sections at the end of each duct are wrapped with a material that may contain asbestos. Asbestos is a known carcinogen. The material is generally intact. Actual asbestos content can only be determined by laboratory testing. Testing for asbestos is not within the scope of this inspection. We suggest that information regarding asbestos can be obtained from your state or federal EPA office or a licensed asbestos abatement contractor.

**FE** **s-147:** The duct material may contain asbestos. Asbestos is a known carcinogen. Actual asbestos content can only be determined by laboratory testing. Testing for asbestos is not within the scope of this inspection. We suggest information regarding asbestos can be obtained from your state or federal EPA office or a licensed asbestos abatement contractor.

## GARAGE

### VEHICLE DOOR OPENER

**SC** **s-167:** The garage door opener raised and lowered the door, and it stopped and reversed when the light beam was interrupted. However, it did not stop or reverse when meeting resistance. Sometimes, this condition can be remedied by an adjustment of the door sensitivity. We suggest the sensitivity on the closing (downward) force exerted by the opener mechanism should be adjusted to a safe level or other repairs be performed as necessary by a qualified garage door technician.

## FIRE SEPARATION

**CR s-168:** There are holes/damage in the fire-resistive barrier between the garage and interior or attic. This condition can allow more rapid spread of smoke and flames in the event of a fire. We suggest all voids should be repaired per current industry standards.



## PASSAGE DOOR

**CR s-169:** The passage door is fire-rated and equipped with an automatic self closer. However, the door does not fully close and latch. We suggest the door and/or door hardware should be repaired, replaced or adjusted to ensure that the door closes and latches properly.

## GENERAL

**RU s-170:** The framing in the garage is not braced and supported per current industry standards. Even though this type of framing was allowed when the building was constructed, it is subject to damage during seismic activity. We suggest the framing should be modified, repaired or replaced as necessary. A qualified contractor should do the work.

## GARAGE FLOOR

**FE CR s-171:** Prior repairs have been made in the garage slab. Inquiries should be made with the sellers as to the reason for the repairs. If concerns remain, we suggest a qualified technician should evaluate this condition and make repairs or modifications as necessary.



# INTERIOR - MOISTURE EVIDENCE

## WALLS & CEILINGS

**FE CR s-178:** In the area(s) listed below there are water stains and/or minor surface damage to the wall and ceiling. We suggest the source of the moisture should be identified and eliminated. The surface could be refinished as necessary.

Garage

Master bedroom closet

Family room

Power room

Living room



Garage



Garage



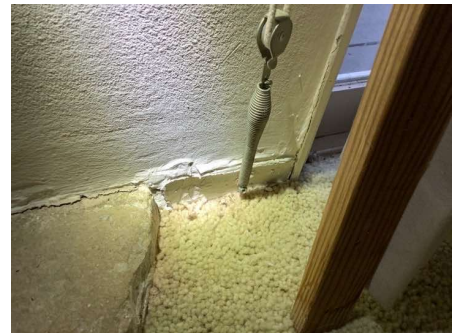
Master bedroom closet



Family room



Family room



Family room



Powder room



Powder room



Living room



Living room



Living room



Living room



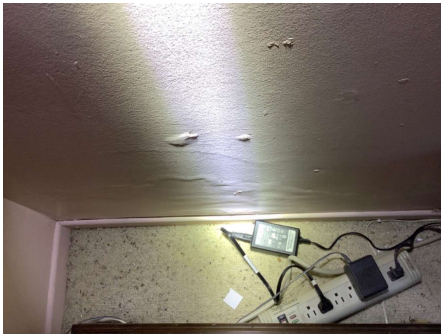
Living room



Living room



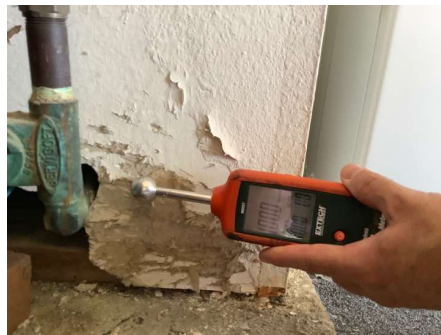
Living room



Living room

**FE CR s-179:** In the area(s) listed below when tested with a moisture meter, staining and/or active moisture was confirmed at the wall and ceiling indicating an active leak. We suggest the source of the leak should be identified and necessary repairs performed before any attempt is made to restore surface appearance. Restoration of surface appearance may require extensive patching and/or replacement of some of the surface materials.

**Garage**



## SURFACE GROWTH

**FE s-180:** In the area(s) listed below there is surface growth and/or an earthy odor on the walls. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.

Garage

Master bathroom closet



Garage



Garage



Master bathroom closet

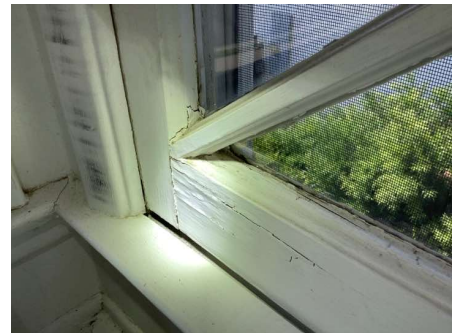
## INTERIOR - WINDOW CONDITIONS

### WINDOWS OVERALL

**FE CR s-181:** In the area(s) listed below there are water stains and/or damage at the wall or sill near the window(s). The leaks that caused the damage may still exist. We suggest a qualified technician should identify and repair all leaks. If damage to finished surfaces and underlying materials are discovered during the course of repairs, repairs should be made as necessary.

Left front bedroom

Right front bedroom



## SAFETY GLASS

**SC FE s-182:** In the area(s) listed below the glass at the window or door has no visible marking to indicate that it is tempered or laminated safety glass. We suggest if tempered or laminated safety glass cannot be confirmed at this location, a qualified glass company should be consulted to examine it and identify its composition. Non-safety glass can be hazardous if broken. If it is not safety glazing, we recommend modifying or replacing it with safety glass.

Entryway



## HUNG WINDOWS

**CR s-183:** Several of the windows are stuck or have been painted shut. They could not be opened. Stuck windows cannot be easily used for an exit in an emergency. We suggest all windows should be made fully functional.

**CR s-184:** The hung windows in the area(s) listed below do not fully close and latch. We suggest a qualified window technician should make repairs or modifications as necessary to restore proper function of the windows.

Left front bedroom

## INTERIOR - SMOKE & CARBON MONOXIDE ALARMS

### SMOKE DETECTORS

**CR s-187:** In the area(s) listed below there is no smoke alarm. We suggest that since smoke alarm regulations vary from jurisdiction to jurisdiction, you consult the local building and safety department for a copy of their smoke alarm requirements. Smoke alarm should be installed as needed.

Living room

All bedrooms

**CR s-188:** In the area(s) listed below the smoke alarm is improperly located. It should be located near the top of the tall or vaulted ceiling. It may take longer for the smoke alarm to be activated during a fire. We suggest that any improperly located smoke alarms should be moved and reinstalled in locations specified in the manufacturer's instructions.

Upper floor hallway

**CR s-189:** The smoke alarm in the kitchen is improperly located. Smoke alarms should be at least 20 feet away from a cooking appliance to prevent nuisance alarms. We suggest that any improperly located smoke alarms should be moved and reinstalled in locations specified in the manufacturer's instructions.

### CARBON MONOXIDE DETECTORS

**CR s-190:** There is no carbon monoxide alarm(s) in the property. We suggest any property with an attached garage, fireplace, any gas burning appliances such as furnaces, water heaters or kitchen appliances, should have carbon monoxide alarm(s) outside each sleeping area, in sleeping areas that have a fuel burning appliance or fireplace, on every occupiable level of the home including a basement.

## INTERIOR - GENERAL CONDITIONS

### PESTS

**SC s-191:** There is evidence of vermin droppings and/or activity observed in the area(s) listed below. This could be a potential health and safety concern. We suggest an exterminator locate the vermin entrance point and make repairs, and remove all waste, debris and any contaminated materials.  
Crawl space

**FE s-192:** In the areas listed below there are dropping or pellets that may indicate the presence of wood destroying organisms. Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.  
Living room

## KITCHEN

### VENT SYSTEM

**CR s-197:** The vent fan did not work at the time of inspection. We suggest having the fan or vent serviced or replaced by a qualified appliance technician.

## BATHROOM

### Master

#### VENTILATION

**CR s-204:** The vent fan in the bathroom is not functional. We suggest the vent fan could be repaired or replaced by a qualified technician.

### TOILETS

**CR s-211:** The toilet is not securely attached at the floor. This could allow leaks at or into the floor. We suggest if no leaks are evident, the bolts can often simply be tightened with a wrench. We strongly recommend that these toilets be removed and reset by a qualified plumber. At the time the toilet is removed, and before it is reset, the floor in the vicinity of the toilet should be carefully inspected for damage, rot or other deterioration caused by water seeping past the seal at the base of the toilet.

**CR s-212:** The toilet handle has to be manually raised to get the mechanism to function properly. We suggest replacing the internal components. A qualified plumber could make repairs or modifications as necessary.

### Upper Floor Hallway

#### VENTILATION

**CR s-214:** The vent fan in the bathroom is not functional. We suggest the vent fan could be repaired or replaced by a qualified technician.

## FIREPLACE & CHIMNEY

### Family Room

#### DAMPERS

**SC s-226:** The fireplace is not equipped with a damper clamp. Because the fireplace is equipped with a gas supply and artificial logs, care should be taken to ensure that the damper is open whenever the fireplace is in use. If the damper is closed during operation, combustible gas fumes or toxic combustion products could be trapped in the building. We suggest a damper clamp should be installed to keep the damper open.

## CHIMNEY MASONRY CONDITIONS

**FE CR s-232:** There are cracks in the chimney brick and/or mortar. We recommend the entire fireplace and chimney should be evaluated by a qualified fireplace technician to determine what corrective action is necessary.



## CHIMNEY CAP CONDITIONS

**FE CR s-233:** The mortar chimney cap is significantly cracked, damaged or deteriorated. This can promote damage to the chimney. We suggest a qualified mason repair the mortar cap as necessary.



## Overall

### GENERAL CONDITIONS

**FE s-237:** The NFPA (National Fire Protection Association) 211 standards state that upon a sale or transfer of property a Level II inspection should be conducted on a fireplace and chimney. Please note that a change in burning habits can result in a fire loss or personal injury if the system does not meet or exceed the industry standards and/or manufacturers requirements. This means that a change in operation or use, such as a property resale, is a time of higher risk. We suggest a Level II inspection by a F.I.R.E. Certified Inspector during your inspection contingency.

Thursday, August 27, 2020  
Martha Stanley  
5709 Sunmist Dr  
Rancho Palos Verdes, CA 90275

Dear Martha Stanley,

We have enclosed the following Full Report for the property inspection we conducted for you on Thursday, August 27, 2020 at:

5709 Sunmist Dr  
Rancho Palos Verdes, CA 90275

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully. If there is anything you would like us to explain, or if there is other information you would like, please feel free to call us. We would be happy to answer any questions you may have.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

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We thank you for the opportunity to be of service to you.

Sincerely,

David Kramer



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## INTRODUCTION

We have inspected the major structural components and mechanical systems for signs of significant nonperformance, excessive or unusual wear and general state of repair. The inspection does not include any attempt to find or list cosmetic flaws. You, the client, are the final judge of aesthetic issues. Our inspection is conducted in accordance with the Standards of Practice of the California Real Estate Inspection Agreement. A copy of these standards are included with the Inspection Agreement and available at [www.creia.org](http://www.creia.org) . The following report is an overview of the conditions observed.

Any statements made in the body of the inspection report pertaining to left, right, front or rear are referenced as if the inspector is standing at the front of the building.

Other than new construction, we recommend having the locks on all of the exterior doors rekeyed after taking possession of the property for security reasons.

The presence of furnishings, personal items and decorations in occupied structures sometimes limits the scope of the inspection. For instance, the placement of furniture prevents access to every electrical receptacle. In the report, there may be specific references to areas and items that were inaccessible. We can make no representations regarding conditions that may be present but were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions may be discovered. Inspection of the inaccessible areas will be performed upon arrangement and at additional cost after access is provided.

We do not review recall lists. Information regarding recalled appliances, fixtures and any other items in this property can be found on the Consumer Product Safety website. These items may be present but are not reviewed.

The presence or extent of building code or zoning violations is not the subject of this inspection nor is it included in this report. No information is offered on the legal use, or possible uses of the building or property. Information with regard to these issues may be available from the appropriate building and/or zoning agency. Important information about this property may be a matter of public record. However, a search of public records is not in the scope of this inspection. We recommend the buyer review all appropriate public records if this information is desired.

We recommend the buyer(s) ask the sellers to provide any and all owners manuals and warranties that they may have for the equipment installed at the property.

We also recommend asking the sellers for any permits and inspection records with finalized signatures for any changes or additions that may have been made to the structure, and/or any known conditions that may have been inadvertently left out of the disclosure statements.

This report is a "snapshot" of the property on the date of the inspection. The structure and all related components will continue to deteriorate/wear out with time and may not be in the same condition at the close of escrow.

Photographs and videos when used, are simply a tool to convey our findings as observed, they are not intended to enhance the findings or diminish those findings not photographed. Any deficiency discussed in this report should be carefully considered by the client and reviewed with the real estate agent as appropriate. Because a report of a deficiency is often based on the experience of the inspector using visual clues, it should be understood more extensive problems can be present which can be more costly to resolve than simply correcting the visible symptoms. Further, it is beyond the scope of this inspection

to list every instance of similar deficiencies. The inspector's notation of any given deficiency should be interpreted such that additional similar defects may be present or more extensive. Any reported deficiency may require additional investigation to better determine the number of similar defects and related problems in order to make an informed decision. We suggest you consult with your inspector and/or agent to gain a comfort level about any defect(s) cited in this report. As needed, consult an appropriate contractor/technician who can provide a detailed list of deficiency locations, specifications and costs of repairs or recommended further evaluation PRIOR TO THE CLOSE OF THE TRANSACTION for purchases without an inspection contingency or DURING THE INSPECTION CONTINGENCY for all other purchases.

While we make an effort to identify existing as well as potential problems, it is not possible for anyone to predict future performance of all the systems and appliances in a building. We suggest budgeting annually for unforeseen repairs and/or the purchase of a comprehensive home warranty policy.

This report is not intended for use by anyone other than the client named herein. No other persons should rely upon the information in this report. Client agrees to indemnify, defend and hold inspector harmless from any third party claims arising out of client's unauthorized distribution of the inspection report.

By accepting this inspection report, you acknowledge that you have reviewed and are in agreement with all of the terms contained in the standard California Real Estate Inspection Agreement contract provided by the inspector who prepared this report.

We recommend that the buyer conduct a thorough pre-closing walkthrough inspection.

Videos are accessed online through your registered [www.Dropbox.com](http://www.Dropbox.com) account. We suggest downloading the videos as they will be deleted from our Dropbox account over time.

\*The following comments in BLUE represent items present in the Executive Summary Section.

## INSPECTION INFORMATION

*This report is conducted and based on the California Real Estate Inspectors Association (CREIA) Standards of Practice, some areas have been expanded for ease of review, a copy of the standards is available at [www.creia.org](http://www.creia.org). This report is intended only as a general guide to help the client make their own evaluation of the overall condition of the structure, and is not intended to reflect the value of the premises, nor make any representations as to the advisability of its purchase. The report expresses the personal opinion of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. No disassembly of equipment, opening of walls, moving of furnishings, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from this report.*

### REPORT #

1: 082720DK1

### PROPERTY ADDRESS

2: 5709 Sunmist Dr  
Rancho Palos Verdes, CA 90275

**INSPECTOR**

3: David Kramer

**DATE & TIME**

4: Thursday, August 27, 2020 at 9:00 AM

**CLIENT(S) NAME**

5: Martha Stanley

**ATTENDEES**

6: The following people were present during or at the end of the inspection: client(s).

**TYPE OF INSPECTION**

7: This inspection and subsequent report was conducted on a single family residence.

8: At the time of the inspection the building was vacant with interior furnishings and access to some items, such as; electrical outlets, windows, wall or floor surfaces and cabinets are or may be restricted by furniture or personal belongings. Any such items are excluded from this inspection.

**BUILDING AGE**

9: The age of the building was reported to be 56 years old.

**WEATHER/SOIL**

10: Weather conditions at the start of the inspection: the sky was clear, the outside temperature was between 70-80 degrees and the ground was dry.

**PRIOR WEATHER**

11: No rain fell during the inspection, or in the preceding 24 to 48 hours.

**ELECTRIC SHUT OFF LOCATION**

12: The electric panel and/or shut off location is on the left front of the building.

**WATER SHUT OFF LOCATION**

13: The water shut off valve is located on the front of the building.

**GAS METER AND SHUT OFF**

14: The gas meter and/or shut off valve are located on the right front of the building.

**CLIENT INFORMATION**

**FE 15:** Some companies that underwrite owner's insurance policies have begun to tighten up their underwriting standards, and are refusing to write policies on structures with older electrical/plumbing system components, weathered or worn roof coverings, perceived vulnerability to earthquake damage, or past moisture/water issues to name a few. Your inspector is not a representative of any insurance company and cannot predict the actions of your insurance carrier. If you have any uncertainty about what your carrier may be willing to insure (and for how long), we recommend that you consult your insurance agent before you close escrow.

**16:** Because of the age of this building, there will be features and systems that do not conform to present building standards. While we attempt to point out conditions that might affect health and safety as well as structural issues that may need correction, we do not warrant that all non-conforming conditions are reported. Imperfections such as sloping floors, floors and stairs that squeak, along with sticking doors are common in a building of this age. An older building such as this will require upgrading and repair now and in the future, as all buildings do.

### **EXCLUDED SYSTEMS**

**17:** The pool and/or spa and any related equipment is not included as part of this inspection. No representations are made as to its present or future conditions.

**FE 18:** The inspection of the following and any related equipment is not included in the scope of this inspection: fire pit.

### **ENVIRONMENTAL CONCERNS**

**19:** Environmental issues include but are not limited to asbestos, lead paint, lead contamination, radon, toxic waste, formaldehyde, toxic mold, electromagnetic radiation, buried fuel oil tanks, ground water contamination and soil contamination. We are not trained or licensed to recognize or discuss any of these materials. We may make reference to one or more of these materials in this report when we observe one of the common forms of these substances. If further study or analysis seems prudent, the advice and services of the appropriate specialists is recommended. Information related to these products can be found in the "Homeowners Guide to Earthquake Safety & Environmental Hazards" pamphlet.

**20:** The latest "hot topic" in the home inspection industry, lawyers and experts in the field of toxicology is mold spores. Many "home inspection companies" have entered the highly lucrative business of delivering mold seminars and mold inspection test results to the home inspection client. As of this date the Center for Disease Control, The Environmental Protection Agency or any other independent authority have yet to set standards for toxicity levels. Without any specific standards to refer to, the collected information can be interpreted very differently depending on the inspector or the tester's personal opinion. Our perspective on mold is simple, "If you see mold or smell mold, you have mold". You do not need to test for mold if you see it or smell it. Knowing the type of mold does not change the way you should respond. All MOLD should be treated the same way. It should be removed without exposing people to high levels of mold spores or fragments and the underlying cause of the moisture problem causing the mold should be fixed. Knowing the specific type of mold does not affect what must be done to correct the moisture problem or to safely clean up the mold. If you have any questions regarding mold or other indoor air contaminants, we recommend you contact the Center for Disease Control or The Environment Protection Agency.

**FE 21:** Recent studies have shown that Americans spend up to 90 percent of their time at home. Indications from a growing body of scientific evidence suggest that the air within homes and other buildings can be more polluted than the outdoor air in even the largest and most industrialized cities. Thus for many people, the risks to health may be greater due to indoor rather than outdoor air pollution. For more information regarding indoor air quality we recommend reviewing, "The Inside Story" a guide to indoor air quality. Published by the Environmental Protection Agency, in conjunction with: The Consumer Product Safety Commission, Office of Radiation and Indoor Air. Or visit the website at:  
<http://www.epa.gov/iaq/pubs/insidest.html>

## SITE & GROUNDS

The items listed are visually observed to determine their current condition during the inspection, areas concealed from view by any means are excluded from this report. The permanently installed components or equipment are checked for basic operation, with exception to lawn sprinklers and low voltage yard lighting. This inspection is a visual observation and does not attempt to determine site drainage performance or the condition of any underground piping, including municipal water and sewer service piping or concealed cleanouts. This inspection is not intended to address or include any geological conditions or site stability information, for information in these areas we recommend consulting with a geologist and/or a geotechnical engineer.

### LIMITATIONS & EXCLUSIONS: IRRIGATION

**FE 22:** Operation and evaluation of irrigation (sprinkler) systems is outside of the scope of this inspection and was not inspected. We suggest that you have the owner or a sprinkler technician demonstrate the irrigation system and any related equipment.

### DESCRIPTIONS: WALKWAYS

**23:** The walkway surface material is concrete and brick.

### DESCRIPTIONS: DRIVEWAY

**24:** The driveway surface material is concrete.

### GRADING

**CR 25:** Grading along the left rear of the building slopes toward the foundation. This condition promotes water accumulation near the building, which could result in deterioration of the foundation and water penetration into the structure. We suggest re-grading of areas near the building as needed.

### WALKWAYS

**SC 26:** Uneven sections are observed in the walkway surface. This condition poses a trip hazard. We recommend correcting the condition(s) noted for safety reasons.



## DRIVEWAY

**SC 27:** Uneven sections were observed in the driveway surface. This condition poses a trip hazard. We recommend correcting the condition(s) noted for safety reasons.



## GATES

**CR 28:** The gate and or hardware at the right front of the building needed adjustment or repairs to restore proper operation and function.

**SC RU 29:** The gates/fencing do not meet the pool safety standards. We recommend they be upgraded to industry standards. A copy of which may be obtained at the local building department.

## WOOD FENCING

**CR 30:** The wood fencing was observed to have damaged and/or missing boards. We suggest a qualified technician should repair or replace the fencing as necessary.

## LANDSCAPE IRRIGATION

**CR 31:** Testing of the yard irrigation system is beyond the scope of this inspection. However, one or more of the sprinklers leaks at the left side of the building. We suggest that all leaking, malfunctioning or damaged sprinklers should be repaired or replaced.



## MISCELLANEOUS FEATURES

**SC 32:** There are not at least two of the seven child drowning safety features of the 2018 Pool Safety Act. This condition is a child drowning hazard. We suggest that at least two of the child drowning safety features should be installed by a qualified pool contractor. A list of the seven child drowning safety features can be found with the following link:

<https://www.creia.org/assets/docs/442%20flyer%20rev.%201-21-18.pdf>

# EXTERIOR

The exterior surfaces and materials of the structure are visually observed to determine their current condition. Moisture intrusion through cracks or openings in the exterior siding, trim, windows and doors are the source of moisture deterioration and damage. We recommend sealing all cracks or openings in, and between the exterior siding and trim materials, especially around windows and doors. Routine maintenance may extend the service life and minimize deterioration of the exterior surfaces. Areas hidden from view by vegetation and/or stored items can not be observed and are not included in this inspection.

## LIMITATIONS & EXCLUSIONS: DECKS

**FE 33:** We could not inspect inaccessible areas under the deck or porch. Conditions in inaccessible areas are unknown.

## DESCRIPTIONS: COVERINGS

**34:** The exterior wall covering is stucco, wood siding and brick veneer.

## DESCRIPTIONS: WINDOWS

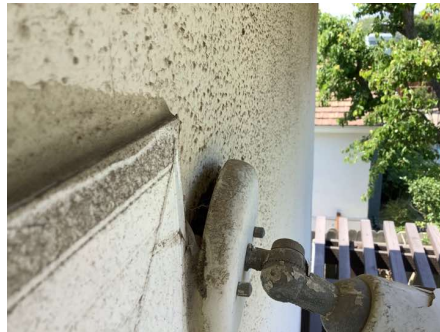
**35:** The exterior window material is vinyl, metal and wood.

## STUCCO

**RU 36:** This structure was built in an era before weep screeds were installed at the bottom edge of the stucco siding, the stucco was extended into the soil. The stucco wicks water up out of the soil which causes the stucco to deteriorate from being moist for prolonged periods. We recommend minimizing moisture around the building to help protect the stucco and the foundation from moisture damage.

**FE CR 37:** Sections of the stucco are damaged and/or deteriorated. We suggest a qualified plastering technician should evaluate the stucco and make repairs or modifications as necessary.

**FE CR 38:** There is a gap(s) in the exterior cladding at joints with dissimilar materials, a utility, pipe or vent penetration. This can permit water entry and result in damage to the cladding and underlying building elements. We suggest that open joints or gaps in the siding should be caulked and sealed.



**FE 39:** Obvious repairs have been made to the stucco walls. We suggest that the owner may have information about the conditions that necessitated the repairs and the nature of the repair work.

## WOOD SIDING

**CR 40:** Sections of the siding are deteriorated. We suggest a qualified technician should repair or replace any deteriorated siding. **NOTE:** Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.



**CR 41:** There is a gap(s) in the exterior cladding at joints with dissimilar materials, a utility, pipe or vent penetration. This can permit water entry and result in damage to the cladding and underlying building elements. We suggest that open joints or gaps in the siding should be caulked and sealed.



## DOORS GENERAL

**FE CR 42:** The exterior door is deteriorated on the left rear of the building. We suggest deteriorated doors should be repaired or replaced as necessary. **NOTE:** Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.



**CR 43:** The door rubs on its frame and/or drags on its threshold on the front of the building. We suggest a qualified technician should make repairs or modifications as necessary.

## EAVES/SOFFITS

**CR 44:** On the front of the building one or more of the rafter tails are damaged. We suggest a qualified technician should evaluate this condition and make repairs or modifications as necessary.



**CR 45:** There are one or more wasp nests under the overhang around the building. We suggest the nests be removed.

## TRIM

**CR 46:** Some of the exterior trim is damaged and/or deteriorated on the left rear of the building. We have NOT listed every instance of trim damage. We suggest having a qualified contractor examine all exterior trim for deterioration, damage or missing parts, and repair or replace as necessary. Regular routine maintenance is recommended. NOTE: Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.



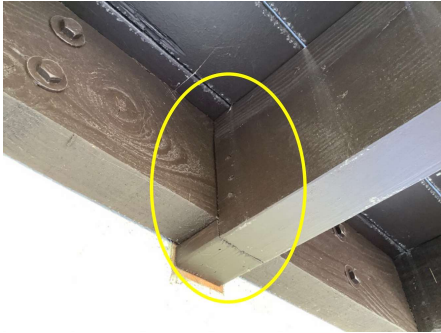
## DECKS GENERAL

**CR 47:** There is earth-to-wood contact at the deck on the right rear of the building. This is a condition conducive to infestation by wood-destroying organisms. We suggest eliminate all earth/wood contact. A clearance of six inches or more is suggested between wood building elements and the soil. Any damaged material should be removed and replaced.

## DECK STRUCTURE

**CR 48:** The ledger board that supports the deck/balcony is installed without flashing. Where wood decks, porches or balconies are connected to the structure, flashing which goes upward under the vertical siding, and over the top of the deck/porch joist framing attached to the structure should be present to prevent leaks into the structure at this joint. Leaks are common under door thresholds. Lack of flashing is presently, or could allow leaks contributing to decay of the interior surfaces or structure. Such damage may or may not be visible at the interior. Installation of flashing after the siding and deck/porch is built can be complex and expensive. We suggest all ledger boards should be properly flashed. A common solution is to keep the house-deck joint covered with a drip cap well sealed with a good silicon caulk.

**SC CR 49:** The deck/balcony support and connections are minimal or inadequate by industry standards for deck/balcony design and construction. This can allow damage of the deck, especially under heavy loads and/or seismic activity. We suggest a qualified technician evaluate the deck and make repairs or modifications as necessary.



### FLASHINGS

**CR 50:** No flashing is installed at the veneer on the left front of the building. We suggest a qualified technician could install flashings to ensure that the area remains watertight.



### PAINT & CAULKING

**CR 51:** One or more of the windows are retro-fit type windows and require the sealant at the trim to be sealed at all times, these areas will require future maintenance/sealant. We recommend further evaluation and corrections by a qualified technician.

## ROOF

*The visible portions of the roof and components are observed to determine their current condition during the inspection, areas concealed from view by any means are excluded from this report. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall which is beyond the scope of this report. The testing of gutters, downspouts and underground drain piping is beyond the scope of this report.*

### LIMITATIONS & EXCLUSIONS: INSPECTION LIMITATIONS

**FE 52:** The inspection of the roof as reported in this section was made from various locations. Actually walking on the roof was judged to be potentially damaging to the surface materials, high pitch or too high to access. The following comments were based upon a somewhat limited inspection.

**DESCRIPTIONS: INSPECTION METHOD**

**53:** Comments regarding the roof covering are based on an examination conducted from another elevation, building or from interior locations. In our judgment, direct access to the subject roof would have been potentially damaging to the roof surface, and/or hazardous to the inspector. The following comments are based on a somewhat limited inspection.

**DESCRIPTIONS: MATERIALS**

**54:** The material in the roof covering, or its type, is tile.

**DESCRIPTIONS: SLOPE**

**55:** The slope or pitch of the roof is medium.

**DESCRIPTIONS: PENETRATIONS**

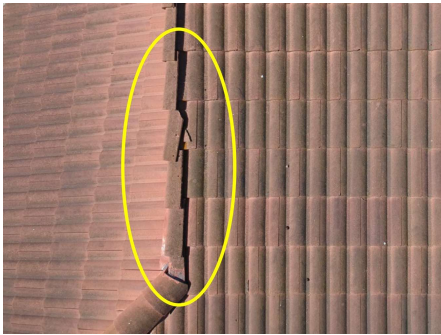
**56:** The connections and penetrations in the roofing surface are sealed with sheet metal and mastic.

**DESCRIPTIONS: ROOF DRAINAGE**

**57:** The roof drainage system is comprised of gutters and downspouts.

**TILE**

**CR 58:** There are a number of cracked, damaged or dislodged tiles on the roof. We suggest a qualified roofer should evaluate the entire roof and make repairs or modifications as necessary.



**CR 59:** Tiles are installed too close to or over the valley flashing(s). This will promote a build up of debris which will not allow the valley to drain properly and decrease the valleys life expectancy. It is also difficult to maintain. We suggest a qualified roofer evaluate the roof and cut back or reinstall the tiles as necessary to provide proper clearance at the valleys.

## GENERAL ROOFING CONDITIONS

**FE 60:** There are water stains on the underside of the eaves at the front of the building. These visible conditions strongly indicate an active leak. We suggest the source of the water penetration should be located and appropriate repairs made to prevent more damage to the eaves.



## FLASHINGS OVERALL

**CR 61:** The mastic used to seal the roof penetrations is deteriorated. We suggest all deteriorated mastic sealant should be repaired as necessary to help prevent leaks.

## VALLEY FLASHINGS

**FE CR 62:** The valleys are obstructed by an accumulation of debris. The debris can promote moisture penetration of the roofing system. We suggest regular maintenance and clearing of all debris from the valleys is recommended as part of routine roof maintenance.



## CHIMNEY FLASHINGS

**CR 63:** The chimney flashings are obstructed by an accumulation of debris. The debris can promote moisture penetration of the roofing system. We suggest regular maintenance and clearing of all debris from the valleys is recommended as part of routine roof maintenance.

## GUTTER CONDITIONS

**CR 64:** Only portions of the roof have gutters. Gutters installed at all roof edges would be beneficial. We suggest installing gutters all around the building. A qualified technician could do the work.

**FE CR 65:** Gutters on one or more sides of the roof are clogged. This can prevent it from draining as designed. We suggest the gutters should be cleaned, and kept clean. During a gutter cleaning job, it is not unusual for workers to find areas that need repair.

## **DOWNSPOUT CONDITIONS**

**CR 66:** Downspouts have no splashblock or extension. Splashblocks and extensions help divert water away from the foundation. We suggest splashblocks or extensions should be installed at the base of every downspout.

# **STRUCTURE**

*Sections of the foundation and/or structural components of the building are inaccessible because they are installed at or below grade level, and/or behind walls. Assessing the structural integrity of a building is beyond the scope of a home inspection. The inspector's visual observations take into account the age of the building and the construction standards of that time, older structures may lack many of the modern framing and seismic connections presently being utilized. Foundations may have curing cracks that do not represent a structural problem. All concrete experiences some degree of cracking due to shrinkage in the drying process. If large cracks are present along with movement, we recommend further evaluation by a structural engineer, foundation specialist, geologist or a geotechnical engineer. All exterior grades should allow for surface and roof water to be diverted away from the foundation system.*

## **DESCRIPTIONS**

### **FOUNDATION**

**67:** The foundation material and design is concrete with a combination of slab on grade and perimeter wall with interior stem walls and interior post & piers.

### **CRAWLSPACE ACCESS**

**68:** The underbuilding crawl space was entered and inspected from an access hatch or door on the rear of the exterior.

### **CRAWLSPACE VENTILATION**

**69:** The foundation is ventilated by screened foundation vents.

### **WALL SYSTEMS**

**70:** The load bearing walls are conventional wood stud construction.

### **CEILING SYSTEMS**

**71:** The ceiling system consists of wood joists.

### **ROOF SYSTEMS**

**72:** The roof structure covering this building is a conventional rafter system.

## **FOUNDATION & SEISMIC CONDITIONS**

### **SLAB FOUNDATION**

**73:** Because finishes conceal virtually all floor and wall surfaces, the floor slab is mostly inaccessible and could not be thoroughly inspected. However, no signs of significant settlement or related interior cracking were observed.

## RAISED FOUNDATION

**FE 74:** During our examination of the foundation, cracks were visible at several locations around the structure. While we observed no related conditions suggesting the need for immediate repairs, these cracks should be monitored. We suggest if ongoing movement is observed, further review of the area by a qualified technician would then be recommended.

## ANCHOR BOLTS & STRAPS

**RU 75:** The original building is anchored to the foundation using older technology. The original configuration appears to have performed adequately to date. Consider upgrades as part of any future modernization and/or remodeling.

## CRIPPLE WALLS

**76:** Due to the configuration and framing of this building there are no cripple walls.

## VENTILATION & MOISTURE CONDITIONS

### CRAWLSPACE VENTILATION

**CR 77:** One or more of the crawl space vents are unscreened. We suggest a qualified technician should replace vent screens as necessary.

### CRAWLSPACE MOISTURE

**CR 78:** A condition known as efflorescence is evident on portions of the concrete foundation walls or slab. This whitish, fuzzy material is a mineral deposit left when moisture in the concrete evaporates. The presence of efflorescence often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations.

## FLOOR & WALL CONDITIONS

### POST & COLUMNS

**RU 79:** The girder and post connections are not reinforced according to modern standard building practice. No adverse effects resulting from this condition are noted. We suggest as an up-grading these connections would be considered optional.

## ROOF STRUCTURE CONDITIONS

### CEILING JOISTS

**80:** The ceiling joists are in adequate condition, other than any exceptions noted. Ceiling joists are the structural members that support the finished ceiling below.

### RAFTERS

**81:** The original framing is in adequate condition, even though the rafters do not conform to present standards. There are no adverse conditions at this time, and no action is indicated.

**FE 82:** A tile roof has been installed on a roof structure originally intended to support a lighter weight roofing material. Determining the load capacity of the roof framing goes beyond the scope of this inspection, although no issues or evidence of roof sagging framing was observed during inspection. Client is advised to obtain and review all applicable roofing permits and certificates of completion for the re-roofing. If concerns remain we suggest a qualified roofer should evaluate the installation.

## PURLINS

**RU 83:** The purlins, which are the board beams installed about mid-span and perpendicular to the rafters, are inadequately supported per current industry standards. This condition has likely existed for many years. In our opinion, reinforcing the purlins would be a beneficial upgrade.

## SHEATHING

**84:** The roof sheathing is in adequate condition, other than any exceptions noted.

## PEST CONTROL CONDITIONS

### PESTS IN CRAWLSPACE

**SC 85:** There are animal droppings in the under building crawlspace. This could be a potential health and safety concern. We suggest a qualified technician should locate the entrance point (s) and make repairs, and remove all waste and debris.

## PLUMBING

*Our inspection of the plumbing system includes a visual examination of the exposed portions of the domestic water supply lines, water heater, drain, waste and vent lines, gas lines, faucets, fixtures, valves, drains, traps, exposed pipes and fittings. These items are examined for excessive or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint. Plumbing leaks can be present but not evident in the course of a normal inspection. A sewer lateral test to determine the condition of the underground sewer lines is beyond the scope of this inspection. If desired, a qualified individual could be retained for such a test. Our review of the plumbing system does not include landscape irrigation systems, water wells, on site and/or private water supply systems, water quality, off site community water supply systems or private (septic) waste disposal systems. If desired, review of such systems should be performed by qualified specialists prior to the close of escrow.*

## LIMITATIONS & EXCLUSIONS

### SUPPLY

**FE 86:** During the inspection, we only operate the valves or faucets that are normally operated by the occupants in their daily use of the plumbing system. Be aware that we will not operate:

- \* The main water supply shutoff (although we will report on its existence and location when accessible)
- \* The temperature & pressure relief valve on the water heater (although we will check its installation)
- \* The water heater tank supply or drain valves
- \* Any stop valves supplying water to plumbing fixtures
- \* The laundry supply shutoff valves.

Any valve that is not operated on a daily basis may fail; that is, start leaking or dripping, when tested. As we are not equipped to repair a leaky shutoff caused by a test, we encourage you to operate them in the presence of the seller, before escrow closing. If the seller is not available for this exercise, we recommend that you have a plumber present so that he can make any repairs or replacements.

**FE 87:** The flow rate for shower heads, kitchen sinks, lavatory faucets, toilets and urinals were not evaluated as part of this property condition report, is an unknown condition and deferred. We recommend inquires to the Seller as to their knowledge of current flow rates. If disclosure is not forthcoming, it is recommended that a qualified licensed plumber determine:

If a shower head flows more than 2.5 gpm, a 2.0 gpm showerhead is required

If a kitchen faucet flows more than 2.2 gpm, a 1.8 gpm showerhead is required

If a lavatory faucet flows more than 2.2 gpm, a 1.2 gpm showerhead is required

If a toilet is greater than 1.6 gpf, a 1.28 gpf toilet is required

If a urinal (wall mounted) is greater than 1 gpf, a .125 gpf urinal is required

## DESCRIPTIONS

### INTERIOR SUPPLY PIPING

**88:** Where visible, the water supply piping inside the structure used to deliver water to the fixtures is copper.

### GAS SUPPLY PIPING

**89:** Where visible, the gas supply piping inside the structure used to deliver gas is steel pipe.

### DRAIN, WASTE & VENT

**90:** The visible drain, waste and vent (DWV, the "sewer pipe") piping within the structure is ABS plastic, galvanized steel and cast iron.

## SUPPLY CONDITIONS

### INTERIOR WATER PIPES

**91:** The accessible supply piping is in adequate condition, other than any exceptions noted.

### WATER PRESSURE

**CR 92:** System pressure as measured by a gauge at an exterior hose bibb-was excessive at 90 p.s.i. Excessive pressure can result in damage or failure to valves, seats and washers, and fixture supply lines. We suggest the pressure regulator should be adjusted by a qualified plumber to keep pressure below 80 p.s.i. or the regulator should be replaced.



## PRESSURE REGULATOR

**RU 93:** The water supply system has a pressure regulator but no expansion tank. The jurisdiction may not have required one at the time the regulator was installed. Most regulators create a closed system downstream from the regulator. As the water heater recovers heat, pressure rises. To prevent excessive pressure, expansion tanks are then required and usually placed in the cold water line just above the water heater. We suggest when the water heater is replaced, a qualified plumber should install an expansion tank in accordance with industry standards.

## WATER FLOW

**94:** Water flow at the most remote fixture is adequate. We operated several fixtures simultaneously. Minor changes in flow when other fixtures are turned on or off is normal.

## DRAIN, WASTE & VENT CONDITIONS

### DRAIN & WASTE LINES

**FE 95:** You should be aware that older structures commonly have old-style exterior sewer pipe and plumbing in general. These older sewer pipes are frequently made up of individual short sections of clay pipe. The joint connections between the individual pipes are a vulnerable area at which roots from trees and/or bushes can enter the sewer line. Roots can cause partial or full blockage of the sewer line. Periodic cleaning of the sewer by a plumber may be required. We suggest a plumber equipped with a special camera that displays the condition of the interior of the sewer can be contacted if you suspect a problem with the sewer line. Based on the age of this structure, having this done during your inspection contingency may be warranted.

**FE 96:** There are drains in the concrete slab which are inaccessible to view/inspect. Given the age of the building these drains are nearing the end of their estimated service life. We suggest a qualified plumber, equipped with a special camera that displays the interior of the drains can be contacted to examine the drain lines in the slab and advise on current condition and estimated service life.

**FE CR 97:** There have been previous repairs and concerns with the drain lines. Inquiries should be made with the sellers as to the reason for the repairs. If concerns remain, we suggest a qualified technician should evaluate this condition and make repairs or modifications as necessary.

## PLUMBING FIXTURE CONDITIONS

### STOPS & SUPPLIES

**CR 98:** In the area(s) listed below the water supply shutoff valves are noticeably corroded, but are not leaking at this time. We recommend replacing any corroded valve before leaks are discovered.  
Master bathroom left wash basin



### FIXTURE DRAINS

**CR 99:** In the area(s) listed below although no active leak was observed, there is/are corroded and/or deteriorated drain line(s) with a limited useful life. We suggest considering replacing such drains before leaks occur.  
Upper floor hallway bathroom wash basin



**CR 100:** In the area(s) listed below the drain pipe(s) are leaking. We suggest all leaking drain lines should be repaired or replaced. A qualified plumber should do the work.  
Master bathroom right wash basin



**CR 101:** In the area(s) listed below the drain(s) are draining slow or is clogged. We suggest a qualified plumber should clear all of the drains as necessary.  
Hallway bathroom shower/tub

## FUEL GAS CONDITIONS

### GAS METER & SHUTOFF

**RU 102:** There is no shut off wrench in the vicinity of the gas meter. A meter wrench is recommended in areas subject to seismic activity. We suggest emergency shutoff wrench should be chained to the meter to provide a convenient means for shutoff in an emergency. The valve can be turned 90 degrees in either direction to shut the gas supply off.

## WATER HEATER

### DESCRIPTIONS: LOCATION

**103:** The water heater is located in the garage.

### DESCRIPTIONS: AGE

**104:** The age of the water heater is estimated to be eight years.

### DESCRIPTIONS: CAPACITY OF THE WATER HEATER

**105:** The capacity of the water heater is 50 gallons, with a first hour rating of 75 gallons.

### DESCRIPTIONS: ENERGY SOURCE

**106:** The energy source for the water heater is natural gas.

### CONNECTIONS & VALVES

**107:** The water heater piping and valve installation is acceptable, other than any exceptions noted.

### T&P VALVE

**108:** The water heater has a temperature-and-pressure (T&P) relief valve. This device is an important safety feature. No adverse conditions were observed.

### T&P DISCHARGE PIPE

**CR 109:** The T&P pipe discharges in the garage. Industry standards require that the pipe terminate at an approved exterior location, but some local jurisdictions allow them to terminate in the garage. Regulations vary from jurisdiction to jurisdiction. We recommend that you consult the local building and safety department for a copy of their installation requirements, and take appropriate action.

### GAS VALVES

**110:** The gas supply piping installation includes a hand operated 90-degree shutoff valve in the vicinity of the appliance. Operation of the valve is not within the scope of this inspection.

### GAS PIPES

**CR 111:** The gas pipe at the water heater has no sediment trap. Most manufactures require installing these features called "T" extensions or "drip legs" to collect condensation and debris. Lack of a sediment trap can cause the gas valve to foul, which could be a safety hazard. We suggest a sediment trap should be added to the gas piping just ahead of the connector per manufactures specifications.

### VENTS

**112:** The water heater vents are in adequate condition, other than any exceptions noted.

## **COMBUSTION AIR**

**113:** The combustion air supply for the water heater is adequate, other than any exceptions noted.

## **SEISMIC RESTRAINT**

**114:** The water heater tank is properly secured, other than any exceptions noted. This feature will help prevent water heater movement and possible gas leakage, limit damage and provide a source of usable domestic water in the event of an earthquake.

## **GENERAL**

**115:** This water heater is near the end of its anticipated service life. Although it is functional, you should expect to replace it in the next few years.

# **ELECTRICAL**

*Our examination of the electrical system includes a visual examination of the exposed and accessible service entry wiring, service panels, subpanels, overcurrent protection devices, branch circuit wiring, light fixtures, switches and receptacles. Service equipment, proper wiring methods, grounding, bonding and overcurrent protection are focal points. We inspected for adverse conditions such as improper installation of aluminum wiring, lack of grounding and bonding, overfusing, exposed wiring, open-air wire splices, reversed polarity and defective GFCIs. The hidden nature of the electrical wiring prevents inspection of every length of wire. Performing voltage tests, load calculations or determining the adequacy of the electrical system is outside the scope of this inspection. Telephone, video, audio, data transfer, security system, intercom, landscape lighting, and other low voltage wiring was not included in this inspection unless specifically noted. We recommend you have the seller or a qualified specialist demonstrate the serviceability of such systems to you.*

## **LIMITATIONS & EXCLUSIONS**

### **LIMITATIONS & EXCLUSIONS**

**116:** Determining if various electrical circuits will support the use of high load appliances such as hair dryers, toasters, microwave ovens, space heaters, etc., and testing the overcurrent protective protection to see if they 'trip' is beyond the scope of this inspection.

## **DESCRIPTIONS**

### **SERVICE ENTRY**

**117:** The service entrance supplying electricity into the building is an underground service lateral.

### **AMPS & VOLTS**

**118:** The voltages available at the building are both 120 and 240.

The service ampacity is 100 amps.

Determination of service capacity was based upon the labeled rating of the main electrical service disconnect.

### **CONDUCTORS**

**119:** The branch circuit conductor wire material is copper, exclusively.

## WIRING TYPE

**120:** The wiring used in this structure is asphaltic cloth sheathed cable, non-metallic sheathed cable "Romex", flexible metal conduit & rigid metal conduit.

## CIRCUIT PROTECTION

**121:** Branch circuit overload protection is provided by circuit breakers.

## ELECTRICAL SYSTEM CONDITIONS

### SERVICE CAPACITY

**FE** **RU** **122:** The service capacity is only marginally acceptable for the existing demand. With changes in patterns of electricity use, the existing electrical service could soon prove inadequate. We suggest the size of the service should be upgraded to provide for the use of modern electrical devices. The underground service conductors will likely need to be replaced and the utility provider may require replacing the underground conduit as well, which can constitute a significant expense. During your inspection contingency a qualified electrician should provide an estimate for the work.

### SERVICE GROUNDING & BONDING

**FE** **123:** We could not visually confirm the grounding of the electrical system. It may be inaccessible or in a location that is not visible. Confirmation of proper grounding may require more exhaustive and possibly destructive inspection. The grounding system is an important safety component of the electrical system. We recommend that a licensed electrician confirm the presence of a proper grounding system.

## MAIN PANEL CONDITIONS

### MAIN DISCONNECT

**124:** The main electrical disconnect mechanism appears to be in adequate condition, other than any exceptions noted. To avoid disrupting power to the building, we did not operate the switch(es).

### ENCLOSURE

**125:** The main service panel and interior components are in adequate condition, other than any exceptions noted.

### CIRCUIT BREAKERS

**CR** **126:** Some circuits in the main panel are labeled, some are not. We did not verify the accuracy of the labeling. We suggest checking the labeling by operating the breakers and observing what equipment or room is controlled by each breaker. All of the circuits should be labeled.

**CR** **127:** Some of the circuit breakers are not appropriate for installation in this panel. These breakers may not perform dependably, which would be unsafe. We suggest a licensed electrician replace the incorrect circuit breakers with new breakers compatible with the panel.

### GFCI BREAKERS

**128:** Ground Fault Circuit Interrupter (GFCI) protection is provided by a special circuit breaker installed in the panel to protect all of the receptacles on the circuit served by this breaker(s). We suggest testing the device monthly using the built-in test button.

## AFCI BREAKERS

**RU 129:** It should be noted that the building's electrical system was not equipped with branch circuit Arc-Fault-Interrupter protection device(s) controlling all electrical outlets in the family room, dining room, living room, kitchen, laundry room, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. It is recommended that consideration be given to having this important electrical protection installed by a qualified electrician. Due to the age and configuration of the panel AFCI breakers may not be able to be installed. AFCI protection can be provided by outlet branch circuit AFCI (receptacles), blank face AFCI (lighting and/or hardwired smoke alarms), combination AFCI switch (lighting).

## FIXTURE CONDITIONS

### RECEPTACLES ALL AREAS

**CR 130:** There are several ungrounded three-hole receptacles in the building. This can be a hazard to personal safety. Buildings wired prior to the 1960's were typically wired without a third ground wire, and only two prong type outlets should be connected to these circuits. If the wiring is a 3-wire system and an outlet is not grounded, repair is also indicated. We suggest a qualified electrician should repair any ungrounded 3-hole receptacle.

### GFCI'S ALL AREAS

**SC RU 131:** Ground Fault Circuit Interrupter (GFCI) protection is installed for some, but not all, of the receptacles where this type of protection is presently required. This includes locations in bathrooms, garages, exteriors, basements, crawl spaces, kitchen countertops and within six feet of any wet bar sink. They are also commonly utilized for equipment such as sump pumps, whirlpools, spas and pool equipment. GFCI's have two different forms: receptacles with test/reset buttons, and panel breakers. Either form is effective in protecting appropriate outlets or fixtures. We suggest upgrading unprotected receptacles in areas where GFCI protection is presently required.

### SWITCHES ALL AREAS

**FE 132:** In the area(s) listed below we tested a representative number of switches, and found one in without an obvious function. It is unknown if it controls a receptacle located behind furnishings. We suggest asking the owner to explain the function of any such switch. If this does not solve the "mystery," consult with a qualified electrician.

Master bathroom

Family room

**CR 133:** In the area(s) listed below a dimmer light switch knob is missing. We suggest any missing knobs should be replaced.

Left front bedroom

### LIGHTS ALL AREAS

**134:** The light fixtures in this building are generally in adequate condition, other than any exceptions noted.

### CEILING FANS ALL AREAS

**135:** Visible parts of the ceiling fan(s) are functional, other than any exceptions noted.

# HEATING

*Our examination of the heating system includes a visual examination of the exposed and accessible equipment, thermostat, safety controls, venting and the means of distribution. These items are examined for excessive or unusual wear and general state of repair. Our inspection of a heating system includes activating it via the thermostat and checking for appropriate temperature response. Modern furnace heat exchangers are inaccessible by design, which would require significant dismantling of the furnace to be evaluated. Our inspection does not include disassembly of the furnace, therefore heat exchangers are not included in the scope of this inspection. To obtain maximum efficiency and reliability from your heating system, we recommend annual seasonal servicing and inspection by a qualified technician.*

## FORCED AIR UNIT

### DESCRIPTIONS: TYPE & FUEL

**136:** The heating system is gas forced air furnace. Forced air furnaces operate by heating a stream of air which is moved by a blower through a system of ducts. Important elements of the system include the heat exchanger, exhaust venting, blower, controls, and ducting. Average life of a gas furnace is 15-20 years.

### DESCRIPTIONS: APPROX. AGE

**137:** The age of the heating plant, based on the manufacturer's data plate is 17 years old.

### DESCRIPTIONS: LOCATION

**138:** The heating system is located in the attic.

### DESCRIPTIONS: BTU(S)

**139:** The input rating of the heating plant is 88,000 BTU's

### DESCRIPTIONS: FILTER

**140:** The filter type in this system is a disposable device.

### CONDITIONS: FORCED AIR UNIT

**141:** The inducer fan is in operating condition, other than any exceptions noted.

### CONDITIONS: FILTERS

**142:** The installed filter in the HVAC system is acceptable. Disposable filters should be changed quarterly, or more often if the building is particularly dusty. This is important for the long-term operation of your HVAC system. Dirty filters will decrease system efficiency, and cause accelerated wear and tear on the system.

### CONDITIONS: RETURN AIR

**143:** The return air for the heating system installation is functional, other than any exceptions noted.

### CONDITIONS: BLOWER & AIR HANDLER

**FE 144:** [NOTE] We were unable to remove the blower compartment door to inspect the blower. We suggest having the blower inspected during regular servicing.

### CONDITIONS: DUCTS & INSULATION

**145:** The accessible distribution ducts are functioning, other than any exceptions noted.

## **CONDITIONS: ASBESTOS ON THE HEATING SYSTEM**

**FE 146:** Small sections at the end of each duct are wrapped with a material that may contain asbestos. Asbestos is a known carcinogen. The material is generally intact. Actual asbestos content can only be determined by laboratory testing. Testing for asbestos is not within the scope of this inspection. We suggest that information regarding asbestos can be obtained from your state or federal EPA office or a licensed asbestos abatement contractor.

**FE 147:** The duct material may contain asbestos. Asbestos is a known carcinogen. Actual asbestos content can only be determined by laboratory testing. Testing for asbestos is not within the scope of this inspection. We suggest information regarding asbestos can be obtained from your state or federal EPA office or a licensed asbestos abatement contractor.

## **CONDITIONS: HEATING SOURCE IN ROOMS**

**148:** There is a permanently installed source of heat in each habitable room.

## **CONDITIONS: THERMOSTAT**

**149:** The unit responded to the user controls on the thermostat. Keep in mind that the thermostat is a programmable device with many options for setback settings, timed events, etc. We made no attempt to test all of the functions of this thermostat.

## **CONDITIONS: GAS VALVES**

**150:** The gas supply piping installation includes a hand operated 90-degree shutoff valve in the vicinity of the appliance. Operation of the valve is not within the scope of this inspection.

## **CONDITIONS: VENTING**

**151:** The visible components of the furnace venting system appears to be in acceptable condition, other than any exceptions noted.

## **CONDITIONS: COMBUSTION AIR**

**152:** The combustion air supply is adequate, other than any exceptions noted.

## **CONDITIONS: BURNERS**

**153:** The burners were inspected and are functional, other than any exceptions noted.

## **CONDITIONS: IGNITION SYSTEM**

**154:** The burner is equipped with a hot surface ignition system, which is an energy saving feature that allows operation without the need for a continuously burning pilot light. The ignition system was activated during the inspection and is in adequate condition, other than any exceptions noted.

## **CONDITIONS: GENERAL CONDITIONS**

**155:** The heating system is near the end of its expected service life. Although it responded to normal operating controls, you should expect to replace it within the next few years.

**CR 156:** It is common practice to post a record of servicing on the heating equipment. No visible record was evident in this case. Servicing prior to the heating season would be appropriate for this unit. Starting a service record should be considered.

## ATTIC

*Our inspection of the accessible areas of the attic includes a visual examination of the roof framing (see also Structure Section), ventilation, insulation, and any plumbing, electrical and mechanical systems therein. There are often heating ducts, bathroom vent ducts, electrical wiring, chimneys and appliance and plumbing vents in the attic, some of which may not be accessible. We examine the visible systems and components for excessive or unusual wear and general state of repair. When low clearance, framing design or obstructions, deep insulation and mechanical components prohibit walking safely in an unfinished attic, inspection is conducted from the available service platforms or access openings only.*

### DESCRIPTIONS: ACCESS

**157:** The attic is accessible at the ceiling hatch in the master bedroom closet and upper floor hallway.

### DESCRIPTIONS: INSULATION

**158:** The thermal insulation visible in the attic is blown-in.

### DESCRIPTIONS: VENTILATION

**159:** The attic space is ventilated by gable and dormer vents.

### ACCESS

**RU 160:** The attic access is small. Current industry standards specify minimum acceptable opening size for scuttle hole access panels is 22 x 30 inches. We suggest a qualified technician should modify the opening size if desired.

### INSULATION

**CR 161:** There is only partial insulation in the attic. We suggest insulation should be installed throughout the entire attic to meet current industry standards.

### ATTIC VENTILATION

**162:** The attic is adequately vented, consistent with industry standards, other than any exceptions noted.

## GARAGE

*Our inspection of the garage includes a visual examination of the readily accessible portions of the walls, ceilings, floors, vehicle and personnel doors, steps and stairways, fire resistive barriers, garage door openers and hardware if applicable. Garage door openers are operated with the mounted control button only. Please note that a representative sample of accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of stored personal property. In such cases, some items may not be inspected.*

### LIMITATIONS & EXCLUSIONS: GENERAL

**FE 163:** Personal belongings prevented full access to the garage at the time of this inspection. We suggest a walk-through is recommended when the area is cleared and accessible.

### DESCRIPTIONS: VEHICLE PARKING

**164:** The vehicle parking area for this building is an attached garage.

**DESCRIPTIONS: GARAGE DOOR**

**165:** The garage is equipped with a roll up type door.

**DESCRIPTIONS: DOOR OPENER**

**166:** The garage door is controlled by an automatic opener.

**VEHICLE DOOR OPENER**

**SC 167:** The garage door opener raised and lowered the door, and it stopped and reversed when the light beam was interrupted. However, it did not stop or reverse when meeting resistance. Sometimes, this condition can be remedied by an adjustment of the door sensitivity. We suggest the sensitivity on the closing (downward) force exerted by the opener mechanism should be adjusted to a safe level or other repairs be performed as necessary by a qualified garage door technician.

**FIRE SEPARATION**

**CR 168:** There are holes/damage in the fire-resistive barrier between the garage and interior or attic. This condition can allow more rapid spread of smoke and flames in the event of a fire. We suggest all voids should be repaired per current industry standards.



**PASSAGE DOOR**

**CR 169:** The passage door is fire-rated and equipped with an automatic self closer. However, the door does not fully close and latch. We suggest the door and/or door hardware should be repaired, replaced or adjusted to ensure that the door closes and latches properly.

**GENERAL**

**RU 170:** The framing in the garage is not braced and supported per current industry standards. Even though this type of framing was allowed when the building was constructed, it is subject to damage during seismic activity. We suggest the framing should be modified, repaired or replaced as necessary. A qualified contractor should do the work.

## GARAGE FLOOR

**FE CR 171:** Prior repairs have been made in the garage slab. Inquiries should be made with the sellers as to the reason for the repairs. If concerns remain, we suggest a qualified technician should evaluate this condition and make repairs or modifications as necessary.



## INTERIOR

*Our inspection of the interior includes a visual examination for structural and safety deficiencies of the readily accessible portions of the walls, ceilings, floors, doors, windows, cabinetry, countertops, steps, stairways, balconies, railings and smoke/carbon monoxide alarms. Not included in the scope of inspection are cosmetic conditions of floor and wall covering or determination of failed seals in insulated windows and doors. Please note that a representative sample of accessible windows and electrical receptacles and fixtures are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be accessible in an occupied building because of furniture and personal effects. In such cases these items are not inspected.*

## LIMITATIONS & EXCLUSIONS

### LIMITATIONS & EXCLUSIONS: INTERIOR ENVIRONMENT

**FE 172:** The sprayed-on ceiling material in the closets/cabinets may contain asbestos. Asbestos content can be determined only by laboratory testing. We suggest you to obtain further information on asbestos from a licensed asbestos consultant or abatement contractor.

### LIMITATIONS & EXCLUSIONS: CLOSETS

**FE 173:** Personal goods stored in closets prevented access to inspection of all features contained in them.

## DESCRIPTIONS

### WALLS & CEILINGS

**174:** The finished walls & ceilings inside this building are predominantly a combination of drywall and plaster.

### WINDOW TYPES

**175:** The predominant type, or design, of the operable windows in this structure is double hung.

## FLOOR WALL & CEILING CONDITIONS

### WALLS & CEILINGS

**176:** Minor cracks are evident in the walls and/or ceilings. This is a common condition with this type of construction and, in this case, does not indicate any structural concerns. We suggest the cracks can be repaired or painted during routine maintenance.

**FE 177:** There is evidence of previous patching and/or repairs to the finished surfaces in several areas. We suggest asking the owner what caused the damage and what repairs were done.

### MOISTURE EVIDENCE

#### WALLS & CEILINGS

**FE CR 178:** In the area(s) listed below there are water stains and/or minor surface damage to the wall and ceiling. We suggest the source of the moisture should be identified and eliminated. The surface could be refinished as necessary.

Garage

Master bedroom closet

Family room

Power room

Living room



Garage



Garage



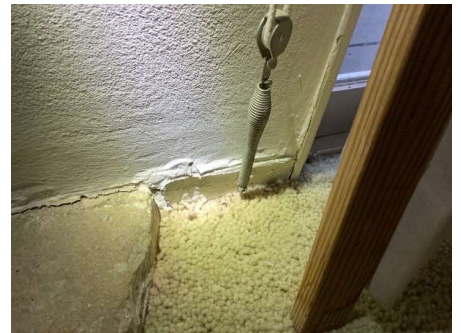
Master bedroom closet



Family room



Family room



Family room



Powder room



Powder room



Living room



Living room



Living room



Living room



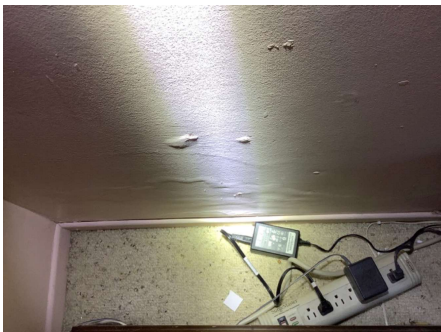
Living room



Living room



Living room



Living room

**FE CR 179:** In the area(s) listed below when tested with a moisture meter, staining and/or active moisture was confirmed at the wall and ceiling indicating an active leak. We suggest the source of the leak should be identified and necessary repairs performed before any attempt is made to restore surface appearance. Restoration of surface appearance may require extensive patching and/or replacement of some of the surface materials.

Garage



### SURFACE GROWTH

**FE 180:** In the area(s) listed below there is surface growth and/or an earthy odor on the walls. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.

Garage

Master bathroom closet



Garage



Garage



Master bathroom closet

## WINDOW CONDITIONS

### WINDOWS OVERALL

**FE CR 181:** In the area(s) listed below there are water stains and/or damage at the wall or sill near the window(s). The leaks that caused the damage may still exist. We suggest a qualified technician should identify and repair all leaks. If damage to finished surfaces and underlying materials are discovered during the course of repairs, repairs should be made as necessary.

Left front bedroom

Right front bedroom



### SAFETY GLASS

**SC FE 182:** In the area(s) listed below the glass at the window or door has no visible marking to indicate that it is tempered or laminated safety glass. We suggest if tempered or laminated safety glass cannot be confirmed at this location, a qualified glass company should be consulted to examine it and identify its composition. Non-safety glass can be hazardous if broken. If it is not safety glazing, we recommend modifying or replacing it with safety glass.

Entryway



### HUNG WINDOWS

**CR 183:** Several of the windows are stuck or have been painted shut. They could not be opened. Stuck windows cannot be easily used for an exit in an emergency. We suggest all windows should be made fully functional.

**CR 184:** The hung windows in the area(s) listed below do not fully close and latch. We suggest a qualified window technician should make repairs or modifications as necessary to restore proper function of the windows.

Left front bedroom

## DOOR CONDITIONS

### DOOR KNOBS & LOCKS

**CR 185:** In the area(s) listed below the interior door lock is difficult, inoperable or missing. We suggest the hardware on all the doors can be repaired or replaced to restore full operation.

Front door

**CR 186:** One or more of the deadbolts on the exterior doors is the type that requires a key to operate from either side. This condition can provide more security but can also be a hazard in case of an emergency. Some jurisdictions may not permit their installation. It is the occupant's choice as to which issue is more important. We recommend keeping a key near the door as well as educating occupants or tenants (especially children or the elderly) in the use of the double deadbolt and the location of the keys.

## SMOKE & CARBON MONOXIDE ALARMS

### SMOKE DETECTORS

**CR 187:** In the area(s) listed below there is no smoke alarm. We suggest that since smoke alarm regulations vary from jurisdiction to jurisdiction, you consult the local building and safety department for a copy of their smoke alarm requirements. Smoke alarm should be installed as needed.

Living room

All bedrooms

**CR 188:** In the area(s) listed below the smoke alarm is improperly located. It should be located near the top of the tall or vaulted ceiling. It may take longer for the smoke alarm to be activated during a fire. We suggest that any improperly located smoke alarms should be moved and reinstalled in locations specified in the manufacturer's instructions.

Upper floor hallway

**CR 189:** The smoke alarm in the kitchen is improperly located. Smoke alarms should be at least 20 feet away from a cooking appliance to prevent nuisance alarms. We suggest that any improperly located smoke alarms should be moved and reinstalled in locations specified in the manufacturer's instructions.

### CARBON MONOXIDE DETECTORS

**CR 190:** There is no carbon monoxide alarm(s) in the property. We suggest any property with an attached garage, fireplace, any gas burning appliances such as furnaces, water heaters or kitchen appliances, should have carbon monoxide alarm(s) outside each sleeping area, in sleeping areas that have a fuel burning appliance or fireplace, on every occupiable level of the home including a basement.

## GENERAL CONDITIONS

### PESTS

**SC 191:** There is evidence of vermin droppings and/or activity observed in the area(s) listed below. This could be a potential health and safety concern. We suggest an exterminator locate the vermin entrance point and make repairs, and remove all waste, debris and any contaminated materials.

Crawl space

**FE 192:** In the areas listed below there are dropping or pellets that may indicate the presence of wood destroying organisms. Review of a current pest control operator's report, if available is recommended to determine what action might be appropriate. If no current report is available, a report should be ordered from a qualified, licensed pest control operator.

Living room

# KITCHEN

*Our inspection of the kitchen includes a visual examination of the readily accessible portions of the appliances, floors, walls, ceilings, cabinets, and countertops. The kitchen was inspected for proper function of components, active plumbing leaks, excessive or unusual wear and general state of repair. We tested basic, major built-in appliances using normal operating controls. Where they are present, this included the dishwasher, garbage disposal, venting system, microwave and checking the burners or heating elements in the stove and oven. Accuracy and/or function of clocks, timers, temperature controls and self cleaning functions on ovens is beyond the scope of our testing procedure. Refrigerators or other appliances were not tested or inspected unless specifically noted.*

## **DESCRIPTIONS: COOKING FUEL**

**193:** The heat source used for cooking is natural gas.

## **DESCRIPTIONS: VENTILATION**

**194:** Kitchen ventilation is provided by a ceiling vent fan designed to exhaust to the exterior.

## **CABINETS**

**195:** The cabinets were in acceptable condition at the time of this inspection, other than any exceptions noted.

## **APPLIANCES GENERAL**

**FE 196:** The built-in kitchen appliances were all tested by activating one of the user control functions. We did not test every function or cycle on each appliance and cannot confirm that every function or cycle is operable. Testing all cycles/functions on each appliance is recommended prior to close of escrow. Obtain a reputable Home Warranty Protection program to insure against future failure of any appliance that may occur after taking possession of the home.

## **VENT SYSTEM**

**CR 197:** The vent fan did not work at the time of inspection. We suggest having the fan or vent serviced or replaced by a qualified appliance technician.

## **COOKTOP**

**198:** The cooktop was operated with the normal operating controls. It is functional, other than any exceptions noted.

## **OVEN**

**199:** The oven was activated with the normal operating controls. It is functional, other than any exceptions noted.

## **DISPOSAL**

**200:** The disposal was turned on with normal user controls. It is functional, other than any exceptions noted.

## **DISHWASHER**

**201:** The dishwasher responded to normal user controls and is functional, other than any exceptions noted.

## DISHWASHER DISCHARGE

**CR 202:** The dishwasher drain from the air gap to the disposal is kinked. This will promote blockage or restrictions in the drain line. We suggest the dishwasher drain system should be modified as necessary. A qualified technician could do the work.

## MICROWAVE

**203:** This kitchen does not have a built-in microwave oven.

# BATHROOM

*Our inspection of the bathrooms includes a visual examination of the readily accessible portions of the plumbing fixtures, floors, walls ceilings, cabinets, and countertops. Bathrooms are inspected for active leaks, water damage, deterioration to floors and walls, proper function of components, excessive or unusual wear and general state of repair. Bathroom fixtures are run simultaneously to check for adequate water pressure and volume. Fixtures are tested using normal operating features and controls. Vent fans are tested and their ductwork examined where visible. Unusual bath features like steam generators or saunas are not inspected unless specifically discussed in this report.*

## Master

### VENTILATION

**CR 204:** The vent fan in the bathroom is not functional. We suggest the vent fan could be repaired or replaced by a qualified technician.

### SHOWER & TUB WALLS

**FE CR 205:** The tub/shower grout and caulk is cracked, deteriorated and/or missing. Water leakage through unsealed areas can cause structural damage. Damage caused by water seepage cannot be determined by this visual inspection. We suggest all cracked or missing grout and caulking should be replaced to prevent moisture intrusion of the wall.

### SHOWER ENCLOSURE

**206:** The shower enclosure glass is safety labeled and in adequate condition, other than any exceptions noted.

### SHOWER FIXTURES

**207:** The shower fixtures are functional, other than any exceptions noted. Routine maintenance should keep them functional and maximize their useful life.

### WASH BASIN & DRAINS

**208:** The wash basin is in adequate condition, other than any exceptions noted.

### TOILETS

**209:** The toilet is functional, other than any exceptions noted.

**CR 210:** The toilet runs continuously. This wastes water. Toilets often leak at the black rubber "flapper" seal at the bottom of the tank, allowing water to flow continuously into the bowl. A second source is an improperly functioning fill valve or ballcock, which allows water to run continuously into the overflow pipe inside the tank. We suggest adjustments can often repair the problem. Replacing the interior tank parts is not expensive. A qualified technician could make repairs or modifications as necessary.

**CR 211:** The toilet is not securely attached at the floor. This could allow leaks at or into the floor. We suggest if no leaks are evident, the bolts can often simply be tightened with a wrench. We strongly recommend that these toilets be removed and reset by a qualified plumber. At the time the toilet is removed, and before it is reset, the floor in the vicinity of the toilet should be carefully inspected for damage, rot or other deterioration caused by water seeping past the seal at the base of the toilet.

**CR 212:** The toilet handle has to be manually raised to get the mechanism to function properly. We suggest replacing the internal components. A qualified plumber could make repairs or modifications as necessary.

## Upper Floor Hallway

### LIMITATIONS & EXCLUSIONS

**FE 213:** The shower/tub drain was reported to be clogged so the fixtures were not tested.

### VENTILATION

**CR 214:** The vent fan in the bathroom is not functional. We suggest the vent fan could be repaired or replaced by a qualified technician.

### SHOWER & TUB WALLS

**FE CR 215:** The tub/shower grout and caulk is cracked, deteriorated and/or missing. Water leakage through unsealed areas can cause structural damage. Damage caused by water seepage cannot be determined by this visual inspection. We suggest all cracked or missing grout and caulking should be replaced to prevent moisture intrusion of the wall.

### SHOWER ENCLOSURE

**216:** The shower enclosure glass is safety labeled and in adequate condition, other than any exceptions noted.

### WASH BASIN & DRAINS

**217:** The wash basin is in adequate condition, other than any exceptions noted.

### TOILETS

**218:** The toilet is functional, other than any exceptions noted.

## Powder Room

### WASH BASIN & DRAINS

**219:** The wash basin is in adequate condition, other than any exceptions noted.

### TOILETS

**220:** The toilet is functional, other than any exceptions noted.

**CR 221:** The toilet runs continuously. This wastes water. Toilets often leak at the black rubber "flapper" seal at the bottom of the tank, allowing water to flow continuously into the bowl. A second source is an improperly functioning fill valve or ballcock, which allows water to run continuously into the overflow pipe inside the tank. We suggest adjustments can often repair the problem. Replacing the interior tank parts is not expensive. A qualified technician could make repairs or modifications as necessary.

## LAUNDRY AREA

*Testing of clothes washers, dryers, water valves and drains are not within the scope of this inspection. We inspect the general condition and accessibility of the visible water supply, drain and electric and/or gas connections and dryer vent. If present, laundry sink features will be inspected.*

### **DESCRIPTIONS: DRYER**

**222:** Both a gas and 240-volt electric hookup is present for the clothes dryer.

### **DRYER VENT**

**223:** The dryer vent should be kept clear of lint and other debris to ensure proper function. A vent clogged with debris or lint will decrease the efficiency of the dryer, and is a fire hazard. We suggest cleaning the dryer vent after you take possession of the building and before the dryer is used. The building should never be left unoccupied when the dryer is in use.

### **GENERAL**

**224:** The hookups for both the clothes washer and clothes dryer are in adequate condition, other than any exceptions noted. The appliances themselves were not tested, and are not within the scope of this inspection.

## FIREPLACE & CHIMNEY

*Our inspection of fireplaces includes a visual examination of the readily accessible components. A functional and exhaustive evaluation of fireplaces is outside the scope of this inspection. Our chimney review is limited to the visible and/or accessible components as well. Examination of concealed or inaccessible portions such as flue lining or the adequacy of these chimneys to properly draft is not within the scope of this inspection. This includes determining the presence of a flue lining, checking for deterioration, damage or cracks. The purpose of the chimney is to take the combustion products (i.e. smoke and exhaust gases) from certain fuel burning appliances to the outside of the structure. Improper care and maintenance of a chimney can lead to loss of property and compromise the health and safety of the properties occupants. No seismic damage or stability assessments are made on the fireplace or chimney. We recommended a National Fire Protection Association (NFPA) 211 Standard, Level II inspection, including a video scan, by a qualified F.I.R.E. and CSIA certified Fireplace Inspector as part of the property-purchasing process and prior to removing any inspection contingency. A Level II inspection may identify problems that exist which cannot be detected during a general property inspection.*

### Family Room

### **DESCRIPTIONS: FIREPLACE(S)**

**225:** The fireplace is a masonry fireplace.

### **DAMPERS**

**SC 226:** The fireplace is not equipped with a damper clamp. Because the fireplace is equipped with a gas supply and artificial logs, care should be taken to ensure that the damper is open whenever the fireplace is in use. If the damper is closed during operation, combustible gas fumes or toxic combustion products could be trapped in the building. We suggest a damper clamp should be installed to keep the damper open.

## FIREBOXES

**CR 227:** Efflorescence is present on the firebox walls. This whitish fuzzy material is a mineral deposit left when moisture in the brick evaporates. The presence of efflorescence indicates moisture intrusion into the masonry fireplace structure. We suggest installation of an approved rain cap may help prevent or reduce moisture intrusion of the chimney/fireplace. Consult a fireplace contractor for more complex problems.

## CHIMNEY & FLUE

**CR 228:** Exposed corbelled bricks were observed in the smoke chamber at the fireplace. This configuration may have been allowed at the time of construction but is not ideal per current standards for optimal venting. We suggest a qualified fireplace technician should evaluate the fireplace and chimney then make repairs or modifications as necessary.

**CR 229:** There are recesses or voids in the mortar joints between the fireplace and the flue. This can allow a buildup of soot and can affect venting. We suggest a qualified fireplace technician should evaluate the fireplace and chimney then make repairs as necessary.

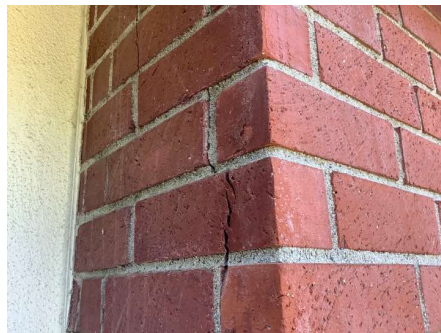
**FE 230:** Exposed rebar was observed in the smoke chamber. This configuration may have been allowed at the time of construction but is not ideal per current standards for optimal venting. We suggest a qualified fireplace technician should evaluate the fireplace and chimney then make repairs or modifications as necessary.

## LOG LIGHTER

**RU 231:** The gas connector is aluminum tubing. Aluminum tubing was approved at the time of this installation. However exposure to the elements deteriorates the tubing. It is unsafe when it deteriorates. We suggest for an increased margin of safety, a connector meeting industry standards could be installed.

## CHIMNEY MASONRY CONDITIONS

**FE CR 232:** There are cracks in the chimney brick and/or mortar. We recommend the entire fireplace and chimney should be evaluated by a qualified fireplace technician to determine what corrective action are necessary.



## CHIMNEY CAP CONDITIONS

**FE CR 233:** The mortar chimney cap is significantly cracked, damaged or deteriorated. This can promote damage to the chimney. We suggest a qualified mason repair the mortar cap as necessary.



## Living Room

### LIMITATIONS & EXCLUSIONS: FIREPLACES

**FE 234:** The switch or remote could not be found to test the decorative appliance.

### DESCRIPTIONS: FIREPLACE(S)

**235:** The fireplace is a decorative gas appliance fireplace.

## Overall

### GENERAL CONDITIONS

**SC 236:** NOTE: Fireplaces and surrounding surfaces become hot during operation. These appliances should be treated with the same caution as hot range tops, ovens and clothing irons. Children and adults should be alerted to the hazards of high surface temperature and should stay away to avoid burns or clothing ignition. Young children should be carefully supervised when they are in the same room as the appliance. Due to the high temperature, the appliance should be located out of traffic areas and away from furniture and draperies. Clothing or flammable material should not be placed on or near the appliance.

**FE 237:** The NFPA (National Fire Protection Association) 211 standards state that upon a sale or transfer of property a Level II inspection should be conducted on a fireplace and chimney. Please note that a change in burning habits can result in a fire loss or personal injury if the system does not meet or exceed the industry standards and/or manufacturers requirements. This means that a change in operation or use, such as a property resale, is a time of higher risk. We suggest a Level II inspection by a F.I.R.E. Certified Inspector during your inspection contingency.