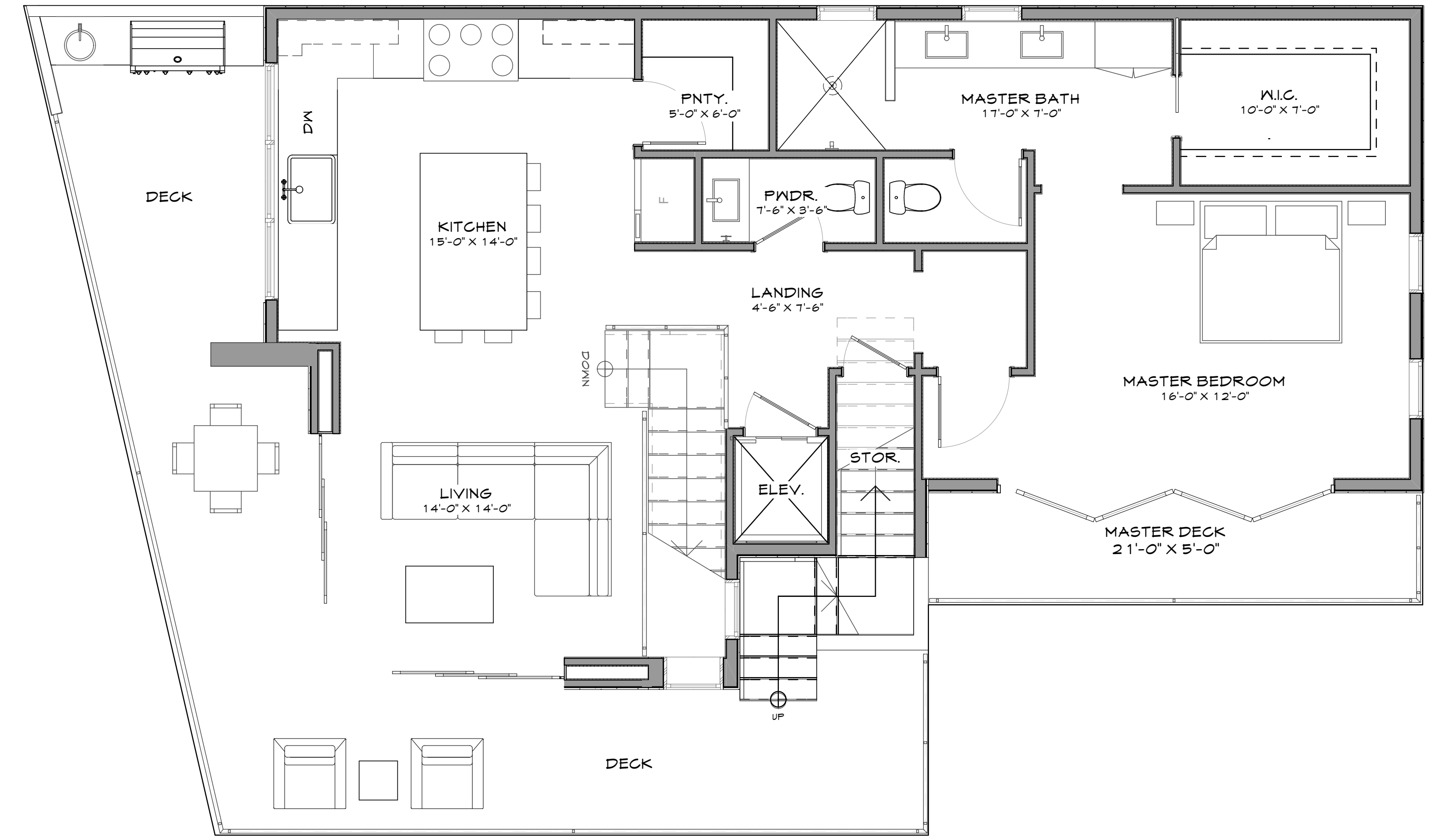
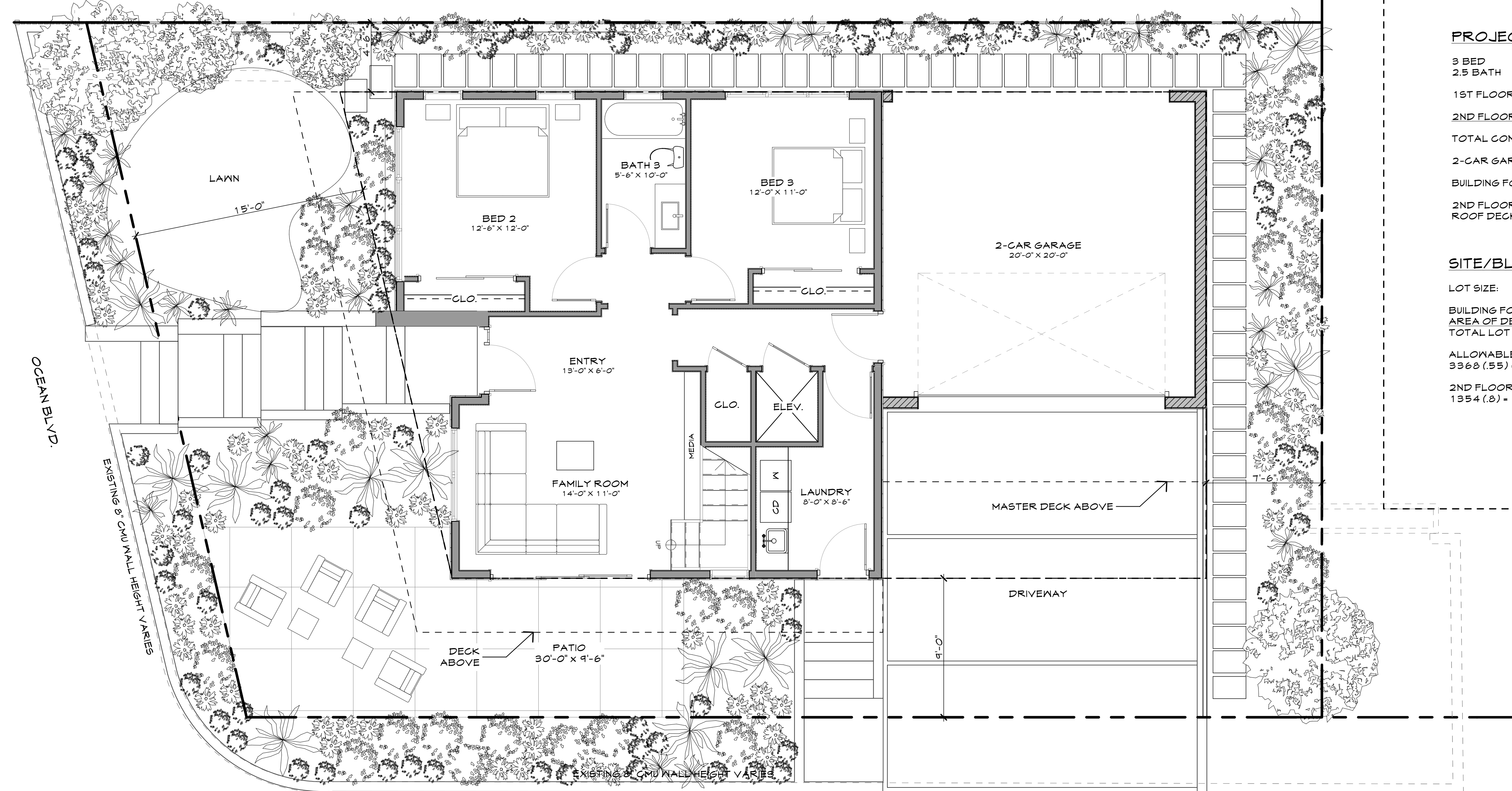


ROOF DECK PLAN 1/4" = 1'-0"



SECOND FLOOR PLAN 1/4" = 1'-0"



FIRST FLOOR PLAN 1/4" = 1'-0"

PROJECT STATISTICS

3 BED	
2.5 BATH	
1ST FLOOR CONDITIONED:	924 S.F.
2ND FLOOR CONDITIONED:	1070 S.F.
TOTAL CONDITIONED:	1994 S.F.
2-CAR GARAGE:	430 S.F.
BUILDING FOOTPRINT:	1354 S.F.
2ND FLOOR DECKS:	471 S.F.
ROOF DECK:	597 S.F.

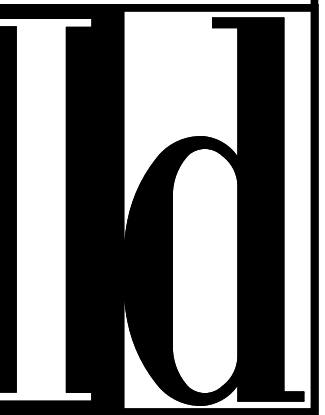
SITE/BLDG. CALCULATIONS

LOT SIZE:	3368 S.F.
BUILDING FOOTPRINT:	1354 S.F.
AREA OF DECK OVER SETBACK:	204 S.F.
TOTAL LOT COVERAGE:	1558 S.F.
ALLOWABLE LOT COVERAGE = 55% OF LOT SIZE	3368 (55) = 1852.4 > 1558 S.F.
2ND FLOOR = 80% OF FOOTPRINT	1354 (80) = 1083.2 > 1070 S.F.

SCHEMATIC FLOOR PLANS

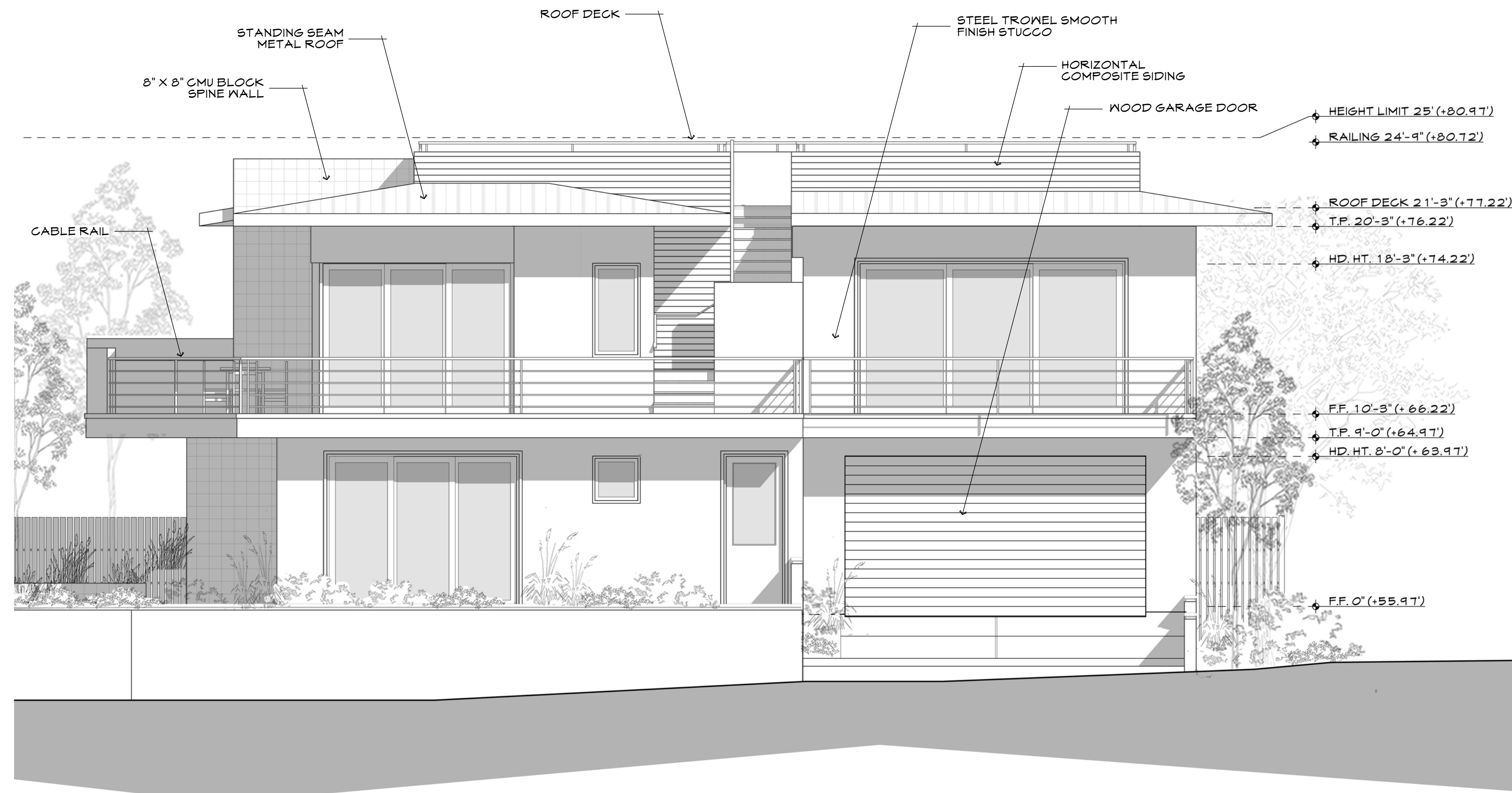
Isaman design, Inc.

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1027 Marsh Street Suite 200
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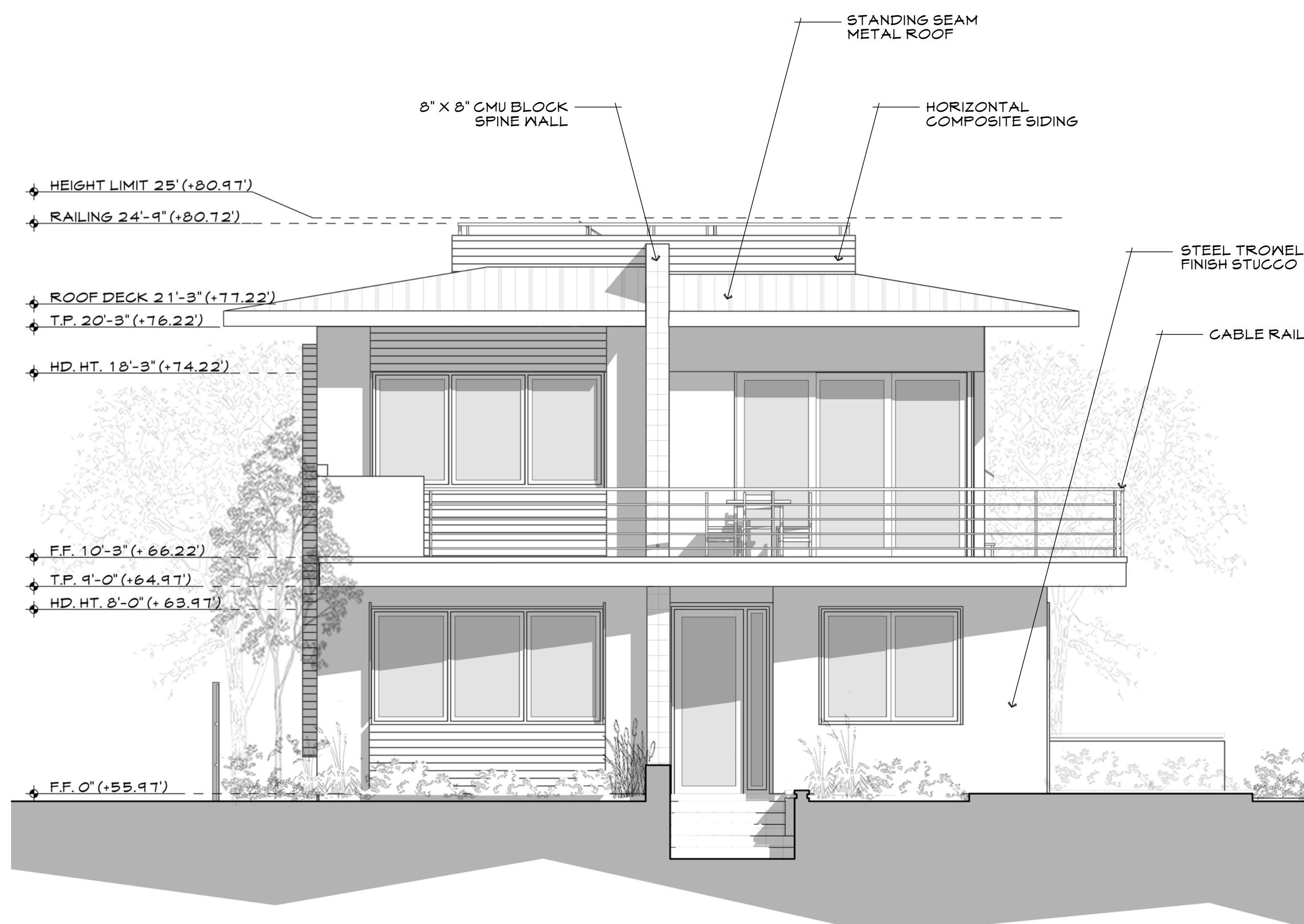




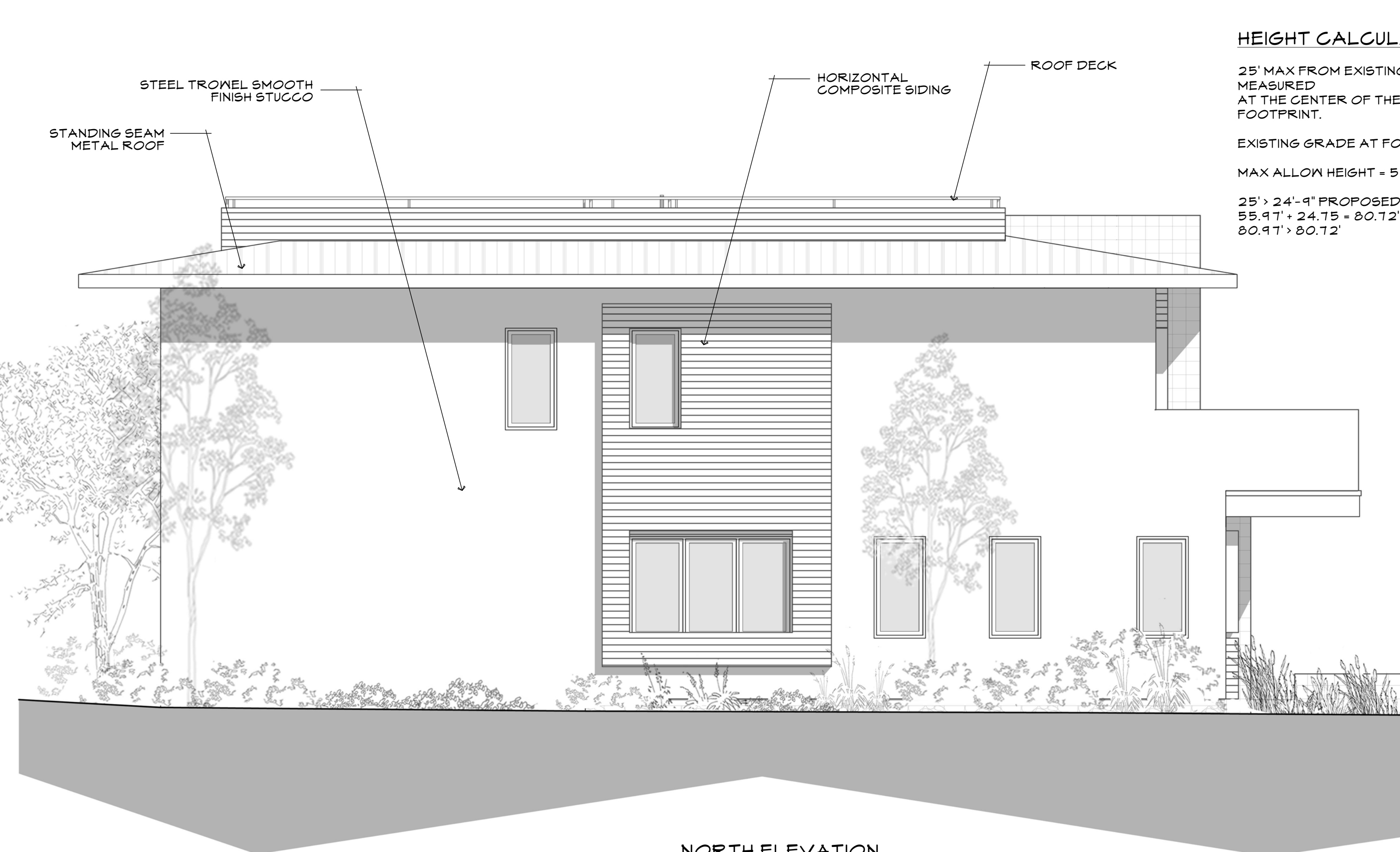
EAST ELEVATION



SOUTH ELEVATION



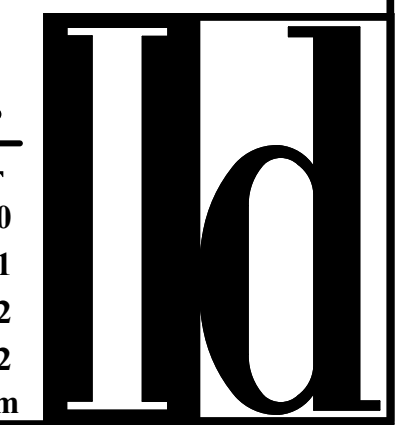
WEST ELEVATION



NORTH ELEVATION

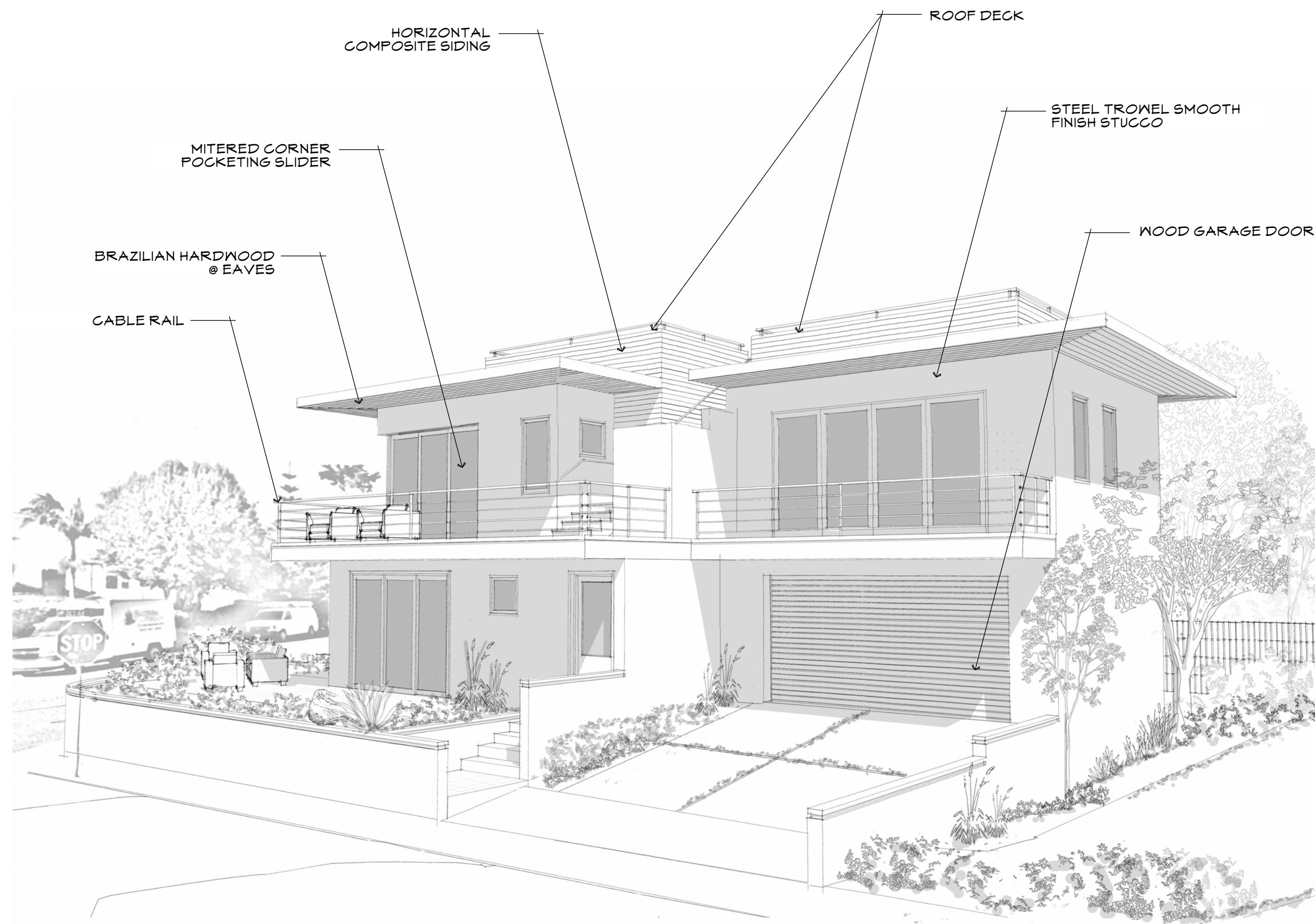
HEIGHT CALCULATION

25' MAX FROM EXISTING SITE GRADE MEASURED AT THE CENTER OF THE BUILDING FOOTPRINT.
EXISTING GRADE AT FOOTPRINT: 55.91'
MAX ALLOW HEIGHT = 55.91' + 25' = 80.91'
25' x 24'-9" PROPOSED BLDG HEIGHT
55.91' + 24.15' = 80.12'
80.91' > 80.12'

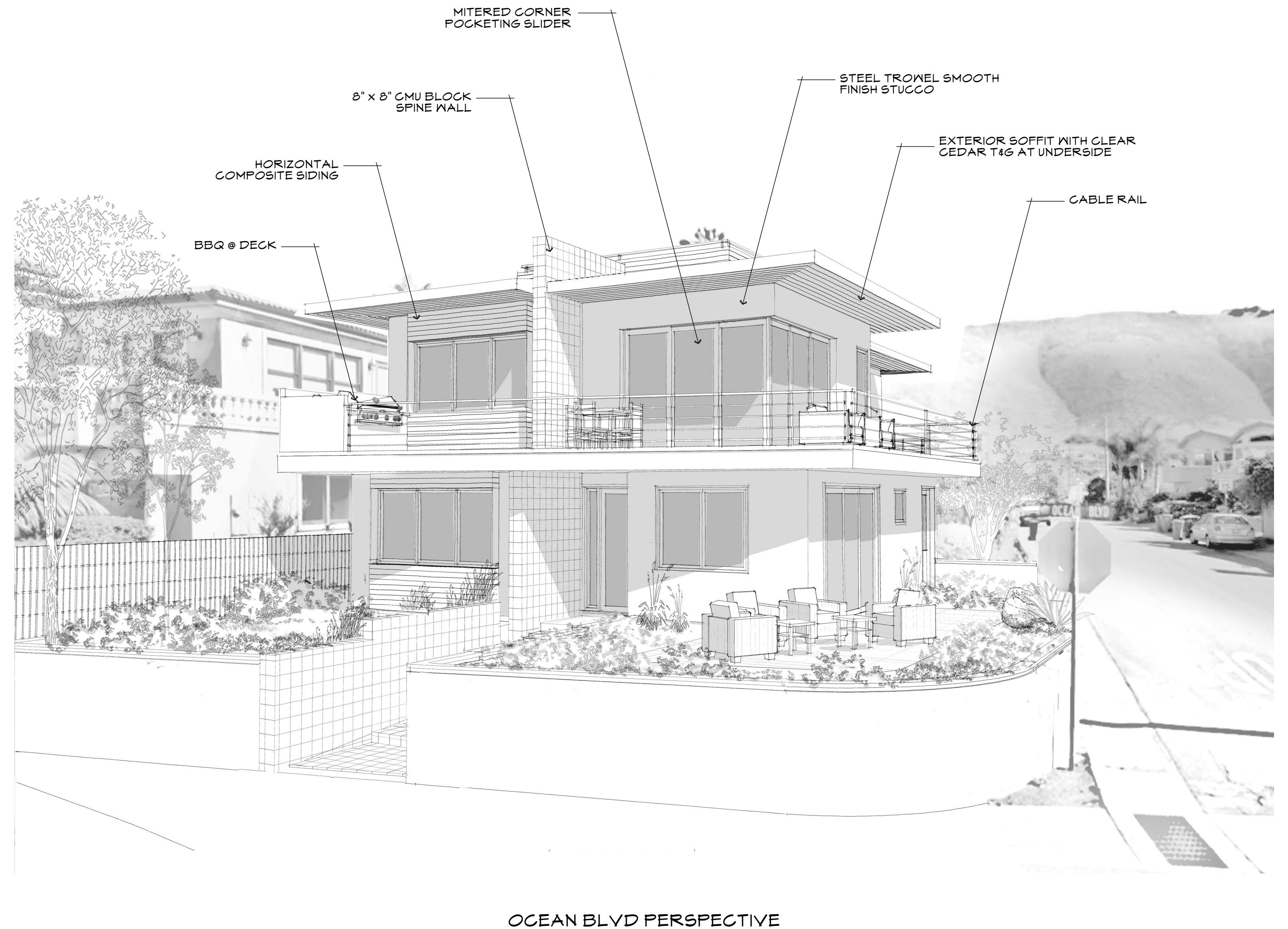


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A3.0 EXTERIOR ELEVATIONS



PLACENTIA AVE PERSPECTIVE



OCEAN BLVD PERSPECTIVE



SHELL BEACH, CALIFORNIA

1026 OCEAN - LOT 3

Ocean Boulevard Perspective Rendering

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