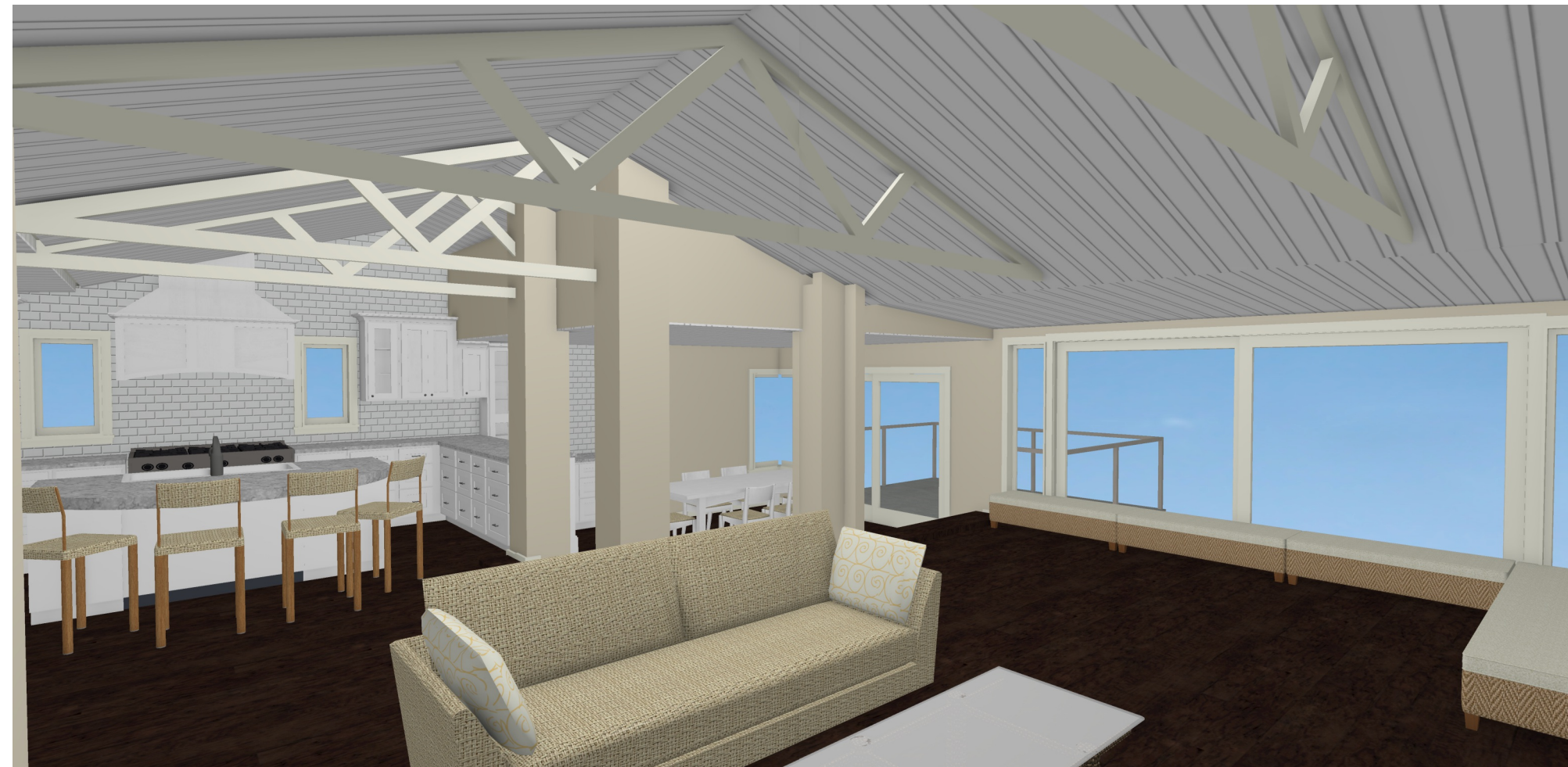


PROPOSED REMODEL FOR:

THE OWENS FAMILY

12 South La Senda Drive
Laguna Beach, CA 92651



1. ALL WORK SHALL CONFORM TO THE CITY MUNICIPAL CODE, THE PROJECT SOILS REPORT AND SPECIAL REQUIREMENTS OF THE PERMIT.
2. WORK HOURS ARE LIMITED FROM 7:00 AM TO 6:30 PM MONDAY THROUGH FRIDAY; 8:00 AM TO 6:00 PM SATURDAYS; AND NO WORK ON SUNDAYS AND HOLIDAYS PER CITY MUNICIPAL CODE.
3. NOISE, EXCAVATION, DELIVERY AND REMOVAL OF MATERIALS SHALL BE CONTROLLED PER OF THE CITY OF TUSTIN MUNICIPAL CODE.
4. THE STAMPED SET OF APPROVED PLANS SHALL BE ON THE JOB SITE AT ALL TIMES.
5. POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL BUILDING AND SLOPE AREAS.
6. DRAINAGE SYSTEM TO BE DESIGNED TO RETAIN CONCENTRATED AND SURFACE SHEET FLOW FROM DRY WEATHER RUN OFF AND MINOR RAIN EVENTS WITHIN THE SITE.
7. FAILURE TO REQUEST INSPECTIONS AND/OR HAVE REMOVABLE EROSION CONTROL DEVICES ON-SITE AT THE APPROPRIATE TIMES SHALL RESULT IN A STOP WORK ORDER.
8. NO PAINT, PLASTER, CEMENT, SOIL, MORTAR OR OTHER RESIDUE SHALL BE ALLOWED TO ENTER STREETS, CURBS, GUTTERS OR STOP.
9. TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FROM OCTOBER 15 TO MAY 15.
10. EROSION CONTROL DEVICES SHALL BE AVAILABLE ON SITE BETWEEN OCTOBER 15 AND MAY 15.
11. BETWEEN OCTOBER 15 AND MAY 15, EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHENEVER THE FIVE-DAY PROBABILITY OF RAIN EXCEEDS 30 PERCENT. DURING THE REMAINDER OF THE YEAR, THEY SHALL BE AT THE END OF THE WORKING DAY, WHENEVER THE DAILY RAINFALL PROBABILITY EXCEEDS 50 PERCENT.
12. BUILDING PERMIT IS REQUIRED FOR FREE STANDING STRUCTURES (FENCES, RETAINING WALLS, GAZEBO, PATIO COVER ETC).
13. EROSION CONTROL DEVICES SHALL BE AVAILABLE ANY TIME THERE IS A 50% OR MORE CHANCE OF RAIN.

BMP NOTES

1. NO CHANGES ARE TO BE MADE ON THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT OF THE ENGINEER WHOSE SIGNATURE APPEARS HEREON.
2. DIMENSIONS AS INDICATED ARE THE DIMENSIONS TO BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS.
3. NO FRAMING OF ANY TYPE TO BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
4. REFERENCES TO ANY DETAIL OR DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWINGS.
5. DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY ALL CONTRACTORS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER OF RECORD, DESIGNER AND TO THE OWNER. CORRECTED DRAWINGS OF INSTRUCTIONS SHALL BE ISSUED BY THE ENGINEER PRIOR TO THE INSTALLATION OF ANY WORK. ALL DIMENSIONS ARE TO BE ROUGH UNLESS OTHERWISE NOTED.
6. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE BUILDING CODE AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF CONSTRUCTION. IT IS THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIAL OR BOTH TO BRING TO THE ATTENTION OF THE ENGINEER OF RECORD, DESIGNER AND THE PROPERTY OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS. AND THE APPLICABLE CODES SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO:
BUILDING CODES:
LOCAL MUNICIPAL CODE
2016 ADMINISTRATIVE CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 PLUMBING CODE
2016 ENERGY CODE
2016 CA. ELEVATOR SAFETY CODE
2016 CALIFORNIA FIRE CODE
2016 CA REF. STANDARDS CODE (PART 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 & TITLE 24)
7. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
8. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ENGINEER OF RECORD AND DESIGNER OF ANY DISCREPANCIES IMMEDIATELY BEFORE COMMENCING ANY WORK.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL SHEETS OF THE CONSTRUCTION DOCUMENTS AND CONDITIONS ON SITE.
10. THE GENERAL BUILDING PERMIT AND PLAN CHECK SHALL BE SECURED AND PAID FOR BY THE OWNER. ALL OTHER PERMITS SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.
11. THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK, THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY.
12. ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. AT THE COMPLETION OF THE WORK, REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING, SURPLUS MATERIALS AND LEAVE THE JOB IN A BROOM CLEAN CONDITION.
13. ALL EXIT DOORS MUST BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
14. CONTRACTOR SHALL PROVIDE ALL NECESSARY CEILING OR WALL ACCESS PANELS (OR ACCESS DOORS) AS REQUIRED BY GOVERNING AGENCIES FOR AIR CONDITIONING, AND ELECTRICAL SYSTEMS. PROVIDE APPROVED ASSEMBLIES WITH SELF-CLOSING DEVICES IN 1-HOUR RATED CONSTRUCTION.

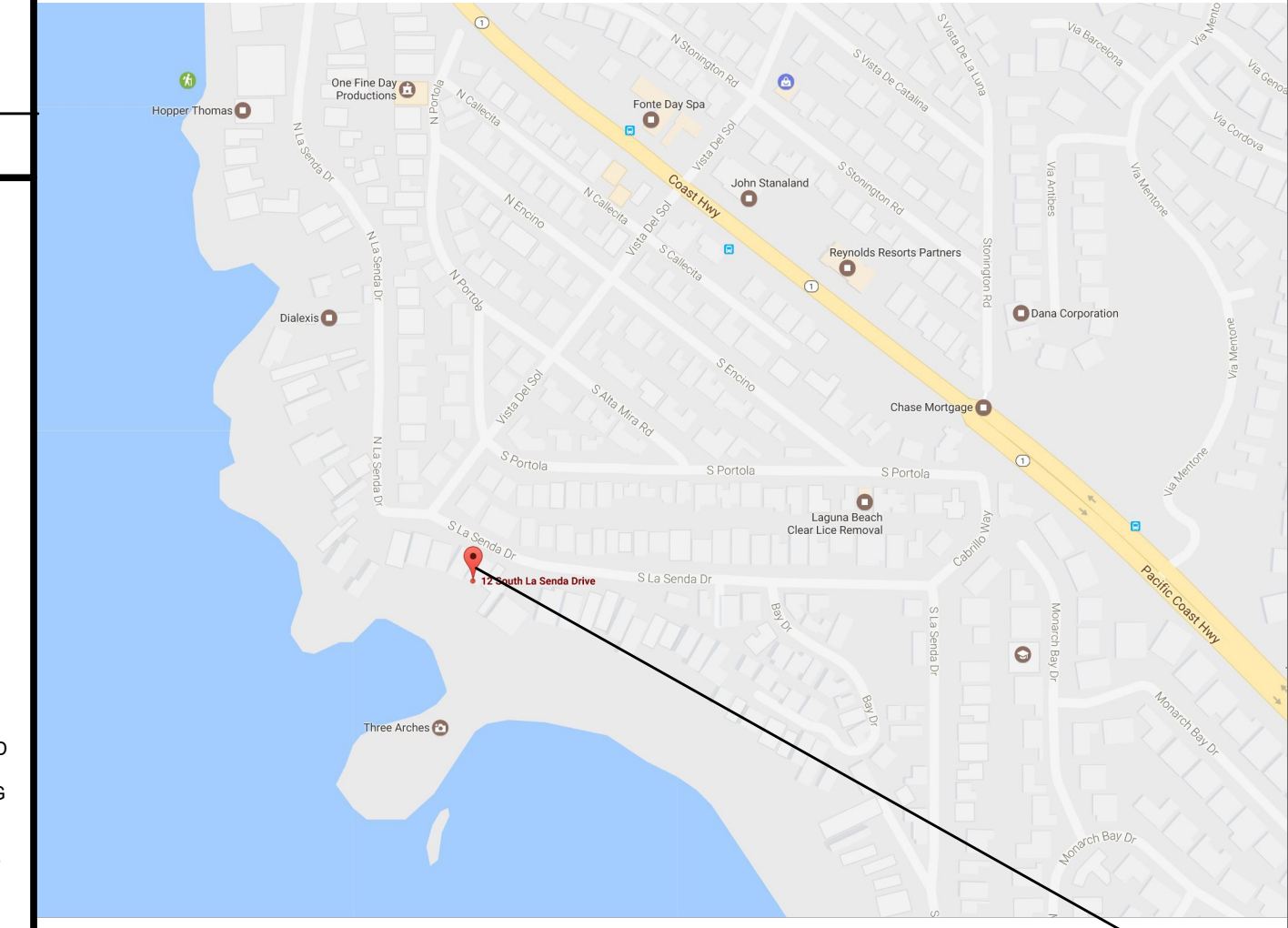
GENERAL NOTES

1. FIELD VERIFY EXISTING AND ELEVATIONS AND IF ANY DISCREPANCIES ARE ENCOUNTERED, NOTIFY THE ENGINEER OF RECORD PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. MAINTAIN A MINIMUM OF 2% POSITIVE DRAINAGE AWAY FROM THE STRUCTURE.
3. FINISH GRADE AROUND THE NEW STRUCTURE/ADDITION STRUCTURE SHALL SLOPE AWAY FROM BUILDING FOR DRAINAGE PURPOSES.
4. ALL BUILDING SETBACKS FROM SLOPES SHALL BE IN ACCORDANCE WITH THE GRADING AND EXCAVATION CODE OF THE GOVERNING AUTHORITY.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CODES OF THE GOVERNING AUTHORITY AND SPECIAL REQUIREMENTS OF THE BUILDING PERMIT.
6. ALL PAD AND SURFACE WATER MUST DRAIN TO DRIVEWAY AND OUT TO STREET UNLESS SHOWN OTHERWISE.
7. VERIFY LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK.
8. DETERMINE LOCATION OF WATER METER, ELECTRIC METER AND GAS METER IN ACCORDANCE WITH SERVICING UTILITY AND VERIFY LOCATION WITH ENGINEER OF RECORD (TO CONFIRM NO CONFLICT WITH DESIGN OCCURS) PRIOR TO INSTALLING ANY METERS.
9. ALL SUBSURFACE DRAINS SHALL BE SCHEDULE 40 OR SDR 35 ABS 4" MIN.
10. CERTIFICATION OF SUITABLE FILL (INCLUDING TRENCHES, BACKFILLS RETAINING WALLS, PADROUGH GRADE, ETC.) AND ITS SATISFACTORY PLACEMENT SHALL BE SUBMITTED BY THE SOILS ENGINEER TO THE BUILDING DEPARTMENT.
11. A SEPARATE BUILDING PERMIT IS REQUIRED FOR ALL RETAINING WALLS, GARDEN WALLS, POOLS, SPAS, FENCES, ENCROACHMENTS INTO THE PUBLIC RIGHT OF WAY (I.E. DRIVEWAY).
12. ALL UTILITY TRENCH BACKFILL SHOULD BE PLACED TO THE FOLLOWING STANDARDS: 90% OF THE LABORATORY STANDARD IF NATIVE OR SAND MATERIALS ARE USED AS BACKFILL.
13. EXTERIOR TRENCHES PARALLELING A FOOTING AND EXTENDING BELOW A 1:1 PLACE PROJECTED FROM THE OUTSIDE BOTTOM EDGE OF THE FOOTING SHALL BE COMPACTED TO 90% OF THE LABORATORY STANDARD. SAND BACKFILL SHOULD NOT BE ALLOWED IN THESE TRENCH BACKFILL AREAS. DENSITY TESTING ALONG WITH PROVING SHALL BE ACCOMPLISHED TO VERIFY THE DESIRED RESULTS.
14. ALL TRENCH EXCAVATIONS SHOULD CONFORM TO CAL-OSHA AND LOCAL SAFETY CODES.
15. PROVISIONS FOR CONTRIBUTORY DRAINAGE SHALL BE MADE AT ALL TIMES.

SITE PLAN NOTES

1	A-1	TITLE PAGE & SITE PLAN	11	S-2	FRAMING PLAN
2	A-2	DEMOLITION & (E) PLAN	12	SD-1	STRUCTURAL DETAILS
3	A-3	1st & 2nd FLOOR PLAN	13	SD-2	STRUCTURAL DETAILS
4	A-4	ROOF PLAN	14	SDG	STRUCTURAL NOTES
5	A-5	SECTIONS			
6	A-6	ELECTRICAL PLAN			
7	A-7	TITLE 24 ENERGY CALCULATIONS			
8	A-8	RES. MANDATORY MEASURES			
9	SNG	GENERAL NOTES			
10	S-1	FOUNDATION & FRAMING PLAN			

SHEET INDEX



VICINITY MAP 6 LOS ABITOS, RANCHO SANTA MARGARITA, CA 92688

CATEGORY	EXISTING	PROPOSED	TOTAL
BEDROOMS			
BATHS			
1st & 2nd FLOOR LIVING			
2 CAR GARAGE			
TOTAL BUILDING			

PROJECT INFORMATION

CATEGORY	PROPOSED	ZONING REGULATION
BUILDING HEIGHT		
FRONT SETBACK		
REAR SETBACK		
SIDE SETBACKS		
PATIO COVER REAR SETBACK		
LOT SIZE	0.1656 / 7.215 SQ. FT. ??	
LOT COVERAGE INCLUDES COVERED PATIO COVERED ENTRY 1ST FLOOR LIVING & GARAGE		

PROJECT MATRIX

JURISDICTION: CITY OF LAGUNA BEACH
ZONING: GREG & LIZ HOWELL
OCCUPANCY: 1 HOUR
SEPARATIONS: V-B
CONSTRUCTION TYPE: NO
FLOOD ZONE: NO
FIRE SPRINKLERS: NO

BUILDING CODES:
CITY OF RSM MUNICIPAL CODE
2016 ADMINISTRATIVE CODE
2016 RESIDENTIAL BUILDING CODE
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA MECHANICAL CODE
2016 PLUMBING CODE
2016 ENERGY CODE
2016 CA. ELEVATOR SAFETY CODE
2016 CALIFORNIA FIRE CODE
2016 CA REF. STANDARDS CODE (PART 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 & TITLE 24)

NOTE:
1 HOUR FIRE SEPARATION BETWEEN ALL AREAS SEPARATING GARAGES AND LIVING

PROJECT COORDINATOR:
GREG & LIZ HOWELL
20561 SUBURBIA LANE
HUNTINGTON BEACH, CA 92646
714.963.4600

OWNER:
Owens Family Trust
12 S La Senda Dr
Laguna Beach, CA 92651

ENGINEER OF RECORD:

CODE REVIEW

DEFERRED SUBMITTALS SHALL BE REVIEWED BY THE DESIGNER AND ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN REVIEW.

SEPARATE PERMITS ARE REQUIRED FOR ACCESSORY BUILDINGS, PATIO COVERS, WALLS, FENCES, RETAINING WALLS, FIRE SPRINKLER SYSTEM, METHANE BARRIER, DEMOLITION ETC.

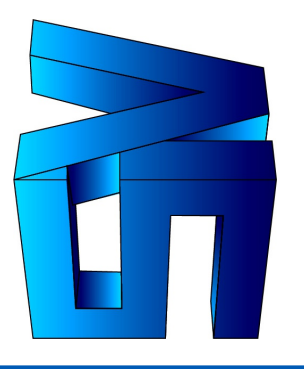
CONTACT INFORMATION

PARCEL NUMBER: 056-180-11
LOT /TRACT/BLOCK: N-TRACT-R-Book: 3 Page: 3 Par: 51 LOT 3
SITE ADDRESS: 12 S La Senda Dr,
Laguna Beach, CA 92651
COUNTY: ORANGE
CENSUS TRACT: 042305

SEPERATE PERMITS

LEGAL DESCRIPTION

Sky View Designs
20561 Suburbia Lane,
Huntington Beach, CA 92646
Address: Designs@SkyViewHomes.com
E-Mail: (714)963-4600
Phone:



PROPOSED REMODEL FOR:
THE OWENS FAMILY
12 South La Senda Drive
Laguna Beach, CA 92651

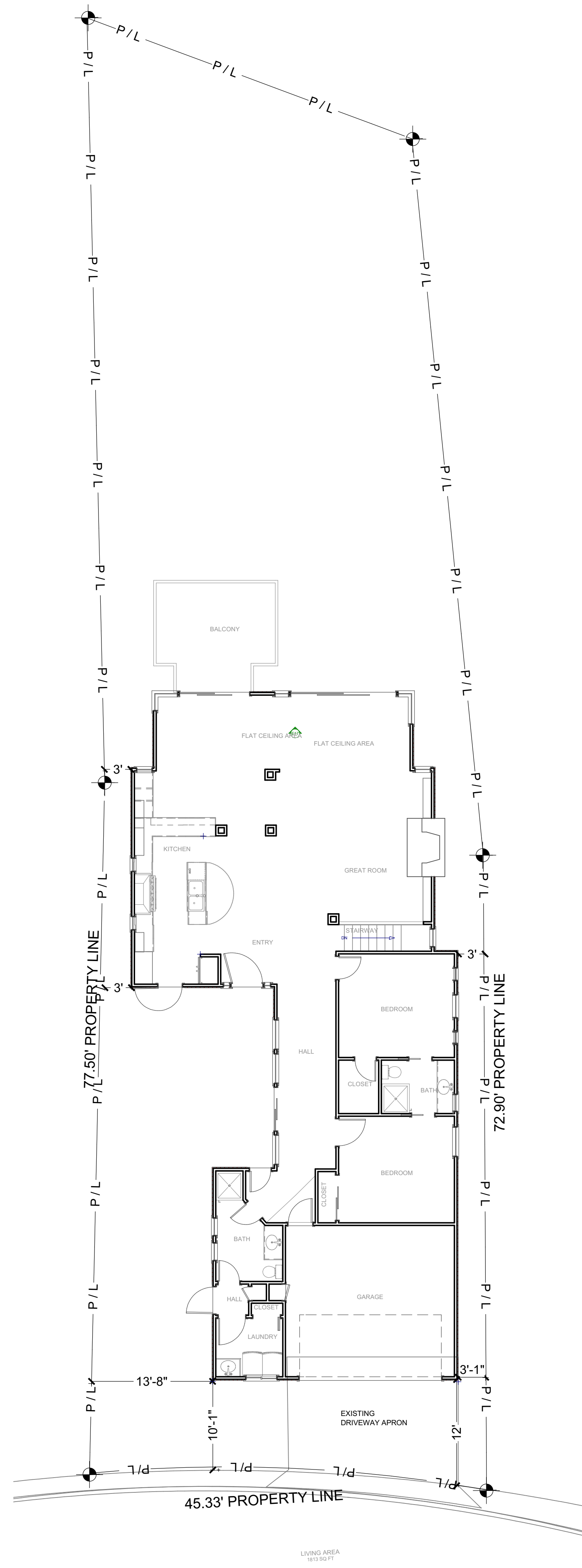
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5/18/2017

JOB NAME:
LA SENDA

TITLE:
TITLE PAGE

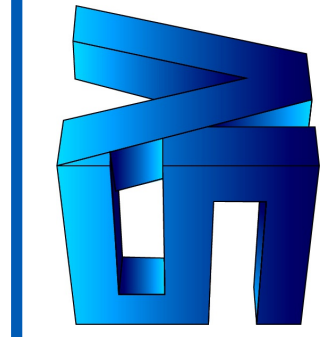
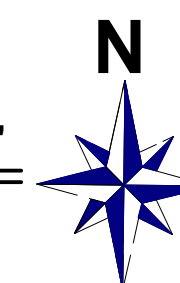
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SITE PLAN

CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS
PRIOR CONSTRUCTION and NOTIFY ENGINEER OF RECORD
WITH ANY DISCREPANCIES

SCALE: 1/8"=1'-0"



PROPOSED REMODEL FOR:
THE OWENS FAMILY
 12 South La Senda Drive
 Laguna Beach, CA 92651

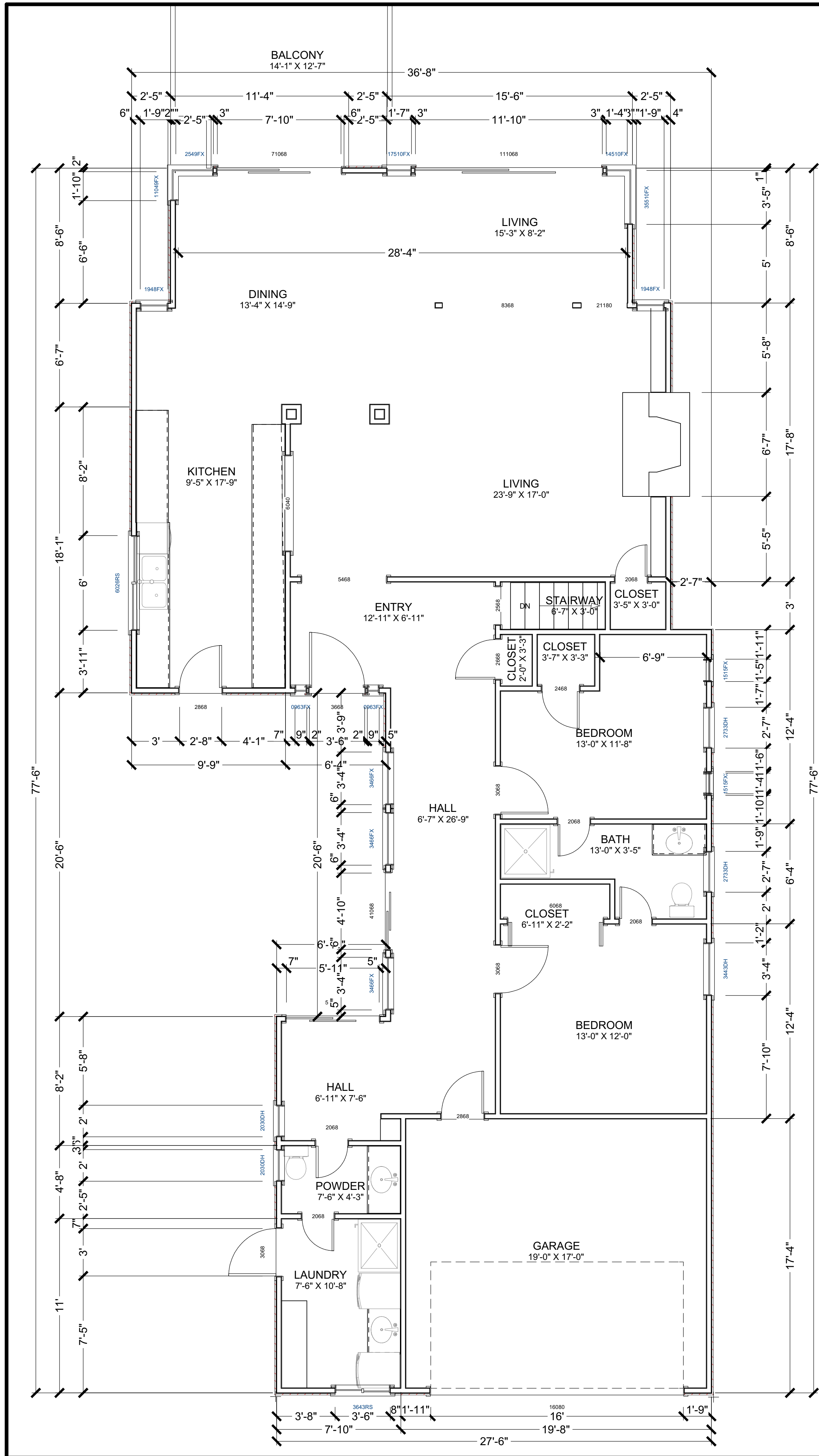
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5/18/2017

JOB NAME:
LA SENDA

TITLE:
SITE PLAN

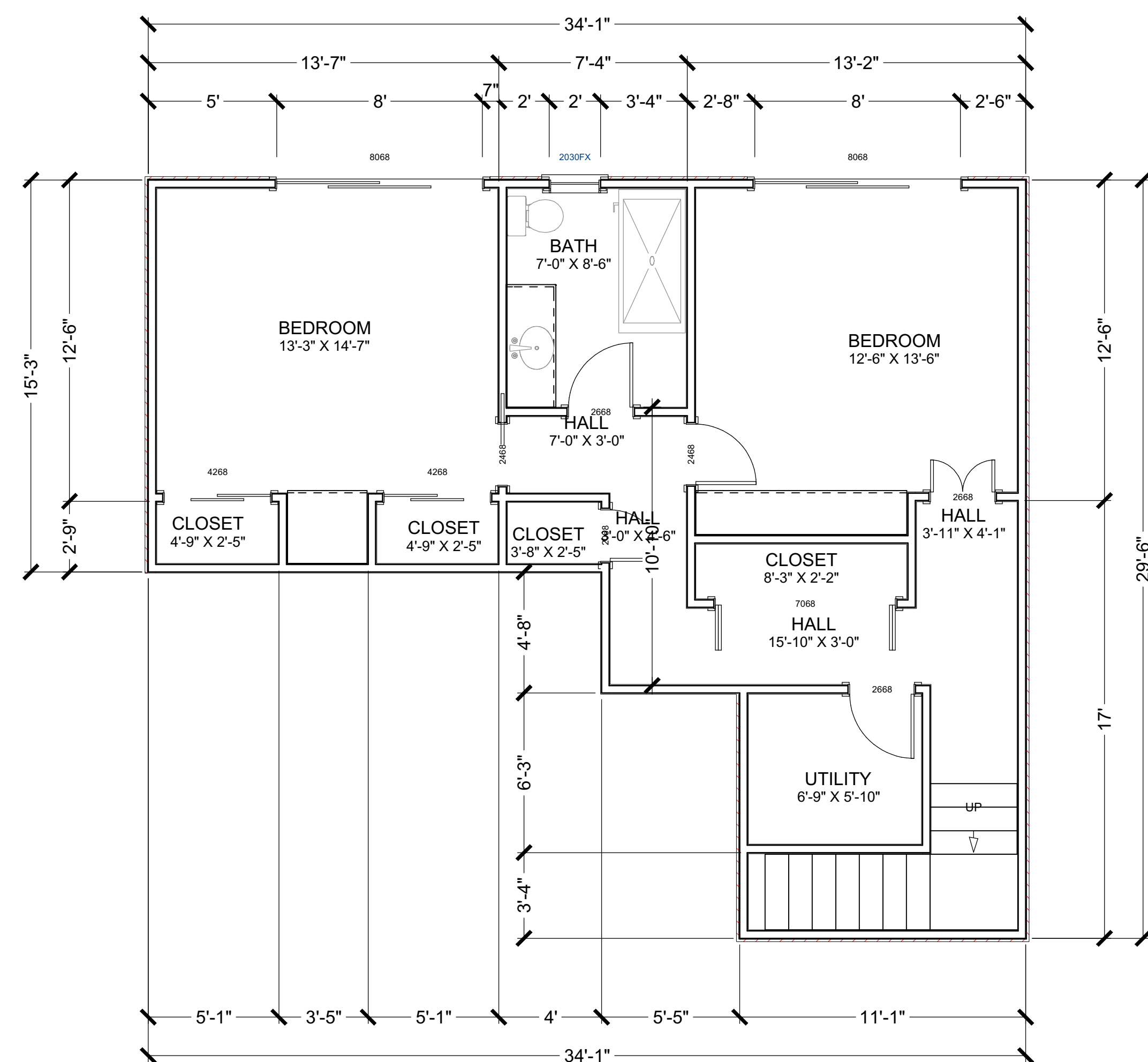
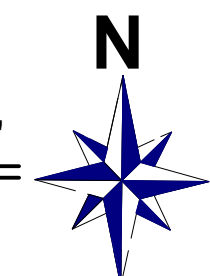
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UPPER FLOOR PLAN

CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR CONSTRUCTION and NOTIFY ENGINEER OF RECORD WITH ANY DISCREPANCIES

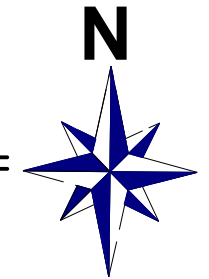
SCALE: 1/4"=1'-0"



LOWER FLOOR PLAN

CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS PRIOR CONSTRUCTION and NOTIFY ENGINEER OF RECORD WITH ANY DISCREPANCIES

SCALE: 1/4"=1'-0"

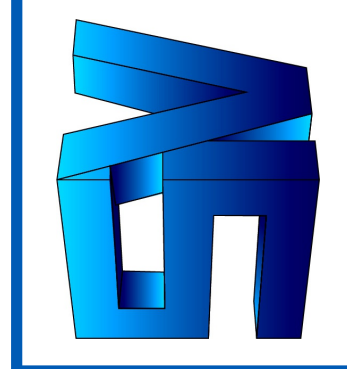


1. CAREFULLY EXAMINE ALL EXISTING CONDITIONS. RE-MOVE ALL ITEMS INDICATED ON PLANS OR AS MAY BE REQUIRED TO SATISFY INTENT OF DOCUMENTS.
2. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE AND PLACE BRACING OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT STRUCTURE. ASSUME LIABILITY FOR SUCH MOVEMENT SETTLEMENT, COLLAPSE, DAMAGE OR INJURY.
3. CEASE OPERATIONS AND NOTIFY THE ENGINEER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED AND ASSURED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING STRUCTURAL INTEGRITY OF ALL WORK.
4. DURING REMOVAL OF ANY OVERHEAD ELEMENTS PROVIDE PROPER PROTECTION FROM FALLING OBJECTS.
5. COMPLETE DEMOLITION IN AN ORDERLY AND CAREFUL MANNER. REMOVE AND UNDERTAKE DEMOLITION IN A DELIBERATE AND SYSTEMATIC MANNER. TAKING NOTE OF ALL MATERIALS AND SYSTEMS ENCOUNTERED. ENSURE THAT NO EXISTING CONSTRUCTION IS DISMANTLED, DEMOLISHED OR REMOVED WITHOUT KNOWING SPECIFICALLY WHAT IT IS, HOW IT SHOULD BE HANDLED, AND WHAT IMPACT ON EXISTING CONSTRUCTION STRUCTURE AND BUILDING SERVICES ITS REMOVAL OR DEMOLITION WILL HAVE.
6. CONTRACTOR ASSUMES ALL RESPONSIBILITY AND LIABILITY, INCLUDING CONSEQUENTIAL DAMAGES, AS A RESULT OF HIS FAILURE TO PROCEED WITHOUT REASONABLE CAUTION.
7. REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, AT NO COST TO OWNER REPAIRS SHALL MATCH EXISTING TO REMAIN OR NEW WORK.
8. BURNING OF DEMOLISHED MATERIALS ON SITE IS NOT PERMITTED.
9. REMOVE FROM SITE CONTAMINATED, VERMIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED AND DISPOSE OF BY SAFE MEANS.
10. THE DESIGNER SCOPE OF WORK SHALL NOT INCLUDE THE IDENTIFICATION OF OR NOTIFICATION OF ASBESTOS OR SIMILAR HAZARDOUS SUBSTANCES AS PART OF THE PLANS OR ANY OTHER DOCUMENTATION FURNISHED TO THE GENERAL CONTRACTOR, BUILDING DEPARTMENT, OR ANY OTHER PARTIES OR AGENCIES.
11. ALL EXISTING FOUNDATION, WALL FRAMING, AND ROOF FRAMING SHALL REMAIN UNLESS NOTED OTHERWISE (U.N.O.) ON PLANS.
12. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY STRUCTURAL SUPPORT TO ALL EXISTING STRUCTURAL MEMBERS PRIOR TO DEMOLITION.
13. ANY DISCREPANCIES DISCOVERED IN EXISTING STRUCTURAL OR FOUNDING ELEMENTS AND THOSE LISTED ON PLANS SHALL IMMEDIATELY BE RELATED TO THE DESIGNER AND STRUCTURAL ENGINEER.
14. NO CHANGES SHALL BE MADE WITHOUT FIRST CONSULTING THE DESIGNER AND THE STRUCTURAL ENGINEER.
15. EXISTING BUILDING ENVELOPE SHALL REMAIN CLOSED TO THE WEATHER UNTIL THE NEW CONSTRUCTION HAS BEEN COMPLETED TO SUCH EXTENT THAT IT IS MADE WEATHER TIGHT.
16. IN CASES WHERE AN ENTIRE SECTION IS OPEN TO THE WEATHER, THE CONTRACTOR WILL MAKE THE REMAINING SECTIONS WEATHER TIGHT.
17. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS WILL MAKE THEMSELVES FAMILIAR WITH THE PLANS AND EXISTING CONDITION PRIOR TO COMMENCING ANY WORK ON THIS PROJECT.
18. WHERE LIGHT FIXTURES AND OTHER ELECTRICAL DEVICES ARE TO BE REMOVED, ALL ASSOCIATED WIRE AND CONDUIT, WHERE ACCESSIBLE SHALL BE REMOVED.
19. CONTRACTOR SHALL VERIFY ALL CIRCUITS FEEDING EXISTING OUTLETS AND LIGHT FIXTURES AND THOSE TO BE REMOVED IN THE SCOPE OF THIS PROJECT.
20. ALL EXISTING PLUMBING LINES AND FIXTURES NOT TO BE USED IN THE NEW STRUCTURE SHALL BE REMOVED OR CAPPED OFF AS CLOSE AS POSSIBLE TO THE SOURCE.
21. ANY EXISTING GAS LINE THAT IS NOT TO BE USED IN THE NEW STRUCTURE SHALL BE CAPPED OFF AND SEALED.
22. ALL DEMOLITION OF STRUCTURES SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE AND ALL REQUIREMENTS MANDATED BY RULE 1403 OF THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) AND SECTION 19827.5 OF THE STATE OF CALIFORNIA HEALTH AND SAFETY CODE.
23. THE WORK OF DEMOLISHING ANY BUILDING OR STRUCTURE SHALL NOT BEGIN UNTIL THE ENTIRE SITE IS SECURED BY A FENCE, WHICH SHALL REMAIN IN PLACE UNTIL THE STRUCTURE IS COMPLETED. THIS FENCE IS IN ADDITION TO ANY PEDESTRIAN PROTECTION REQUIREMENTS.
24. IF A CESSPOOL OR SEPTIC TANK HAS BEEN ABANDONED ON THE SITE, ALL APPROPRIATE COMPACTION OR FILL SHALL BE COMPLETED.
25. ALL GLASS MUST BE REMOVED FROM THE STRUCTURE BEFORE BEGINNING DEMOLITION.
26. STREET DRAINAGE, DRAINAGE STRUCTURES, NATURAL DRAINAGE OR DIVERSION MUST NOT BE OBSTRUCTED.
27. PROVIDE PROTECTIVE MEASURES TO ELIMINATE THE SOLIDS AND DEBRIS FROM ENTERING THE DRAINAGE STRUCTURES OR STORM DRAINS.
28. DRY OR DUSTY MATERIAL OR DEBRIS MUST BE WET DOWN TO KEEP DOWN THE DUST.
29. COMBUSTIBLE MATERIAL MUST BE REMOVED FROM THE SITE AS DEMOLITION PROCEEDS. COMBUSTIBLE MATERIALS SHALL NOT BE BURNED ON THE SITE.
30. ALL DEBRIS NOT TO BE REUSED MUST BE TAKEN TO A LEGAL DUMP SITE.
31. JUNK DEBRIS AND SIMILAR MATERIALS STORED ON THE SITE MUST BE PILED IN AN EVEN AN ORDERLY MANNER UPON RACKS ELEVATED NOT LESS THAN 18" ABOVE THE GROUND AND AWAY FROM WALLS OF BUILDINGS OR OTHER STRUCTURES SO THAT THOSE MATERIALS WILL NOT AFFORD A SHELTER OR HARBORAGE FOR VERMIN.
32. IF ASBESTOS IS DISCOVERED IN THE BUILDING DURING THE PROCESS OF DEMOLITION, IMMEDIATELY STOP ALL WORK AND NOTIFY FIRE DEPARTMENT SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT CAL-OSHA.
33. DISCONNECTING SERVICES AND INSPECTIONS: NOTIFY SOUTHERN CALIFORNIA GAS COMPANY AT (800) 427-2200 IN ADVANCE TO DISCONNECT GAS SERVICE. NOTIFY SOUTHERN CALIFORNIA EDISON COMPANY AT (800) 684-8123 IN ADVANCE TO DISCONNECT ELECTRICAL SERVICE. NOTIFY PUBLIC WORKS DEPARTMENT, UTILITIES DIVISION IN ADVANCE TO DISCONNECT THE WATER AND REMOVE THE WATER METER.
34. DURING DEMOLITION, GRADING, SITE DEVELOPMENT, AND/OR CONSTRUCTION THE FOLLOWING SHALL BE ADHERED TO: DISCOVERY OF ANY CONTAMINATING PIPELINES, ETC., MUST BE REPORTED TO THE FIRE DEPARTMENT IMMEDIATELY AND THE APPROVED WORK PLAN MODIFIED ACCORDINGLY.

DEMOLITION NOTES

- DENOTES NEW EXTERIOR WALLS.
- DENOTES EXISTING EXTERIOR WALL TO BE REMOVED.
- DENOTES EXISTING EXTERIOR WALL TO REMAIN.
- DENOTES NEW INTERIOR WALLS.
- DENOTES EXISTING INTERIOR WALL TO BE REMOVED.
- DENOTES EXISTING INTERIOR WALL TO REMAIN.

LEGEND



PROPOSED REMODEL FOR:
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 12 South La Senda Drive
 Laguna Beach, CA 92651

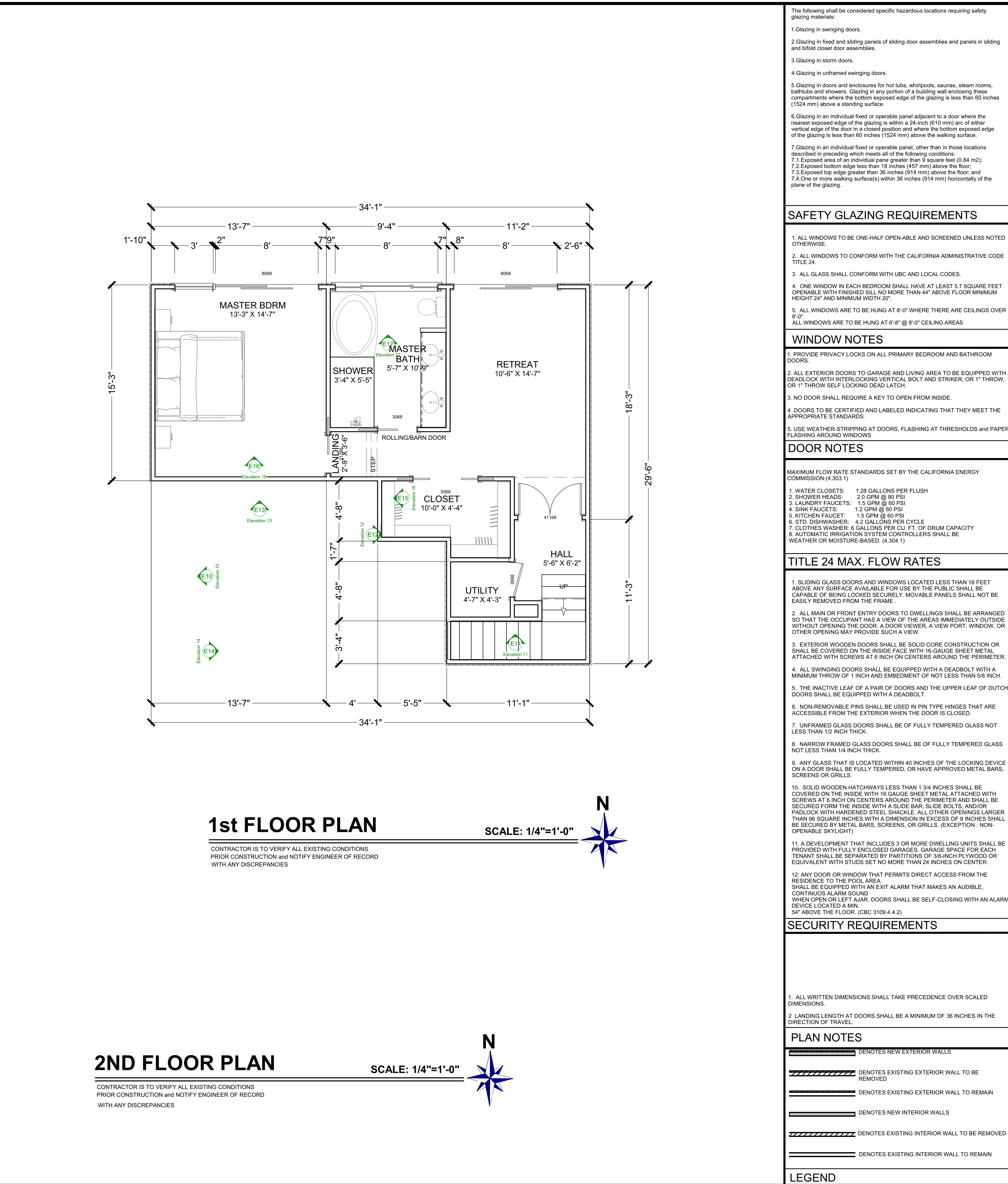
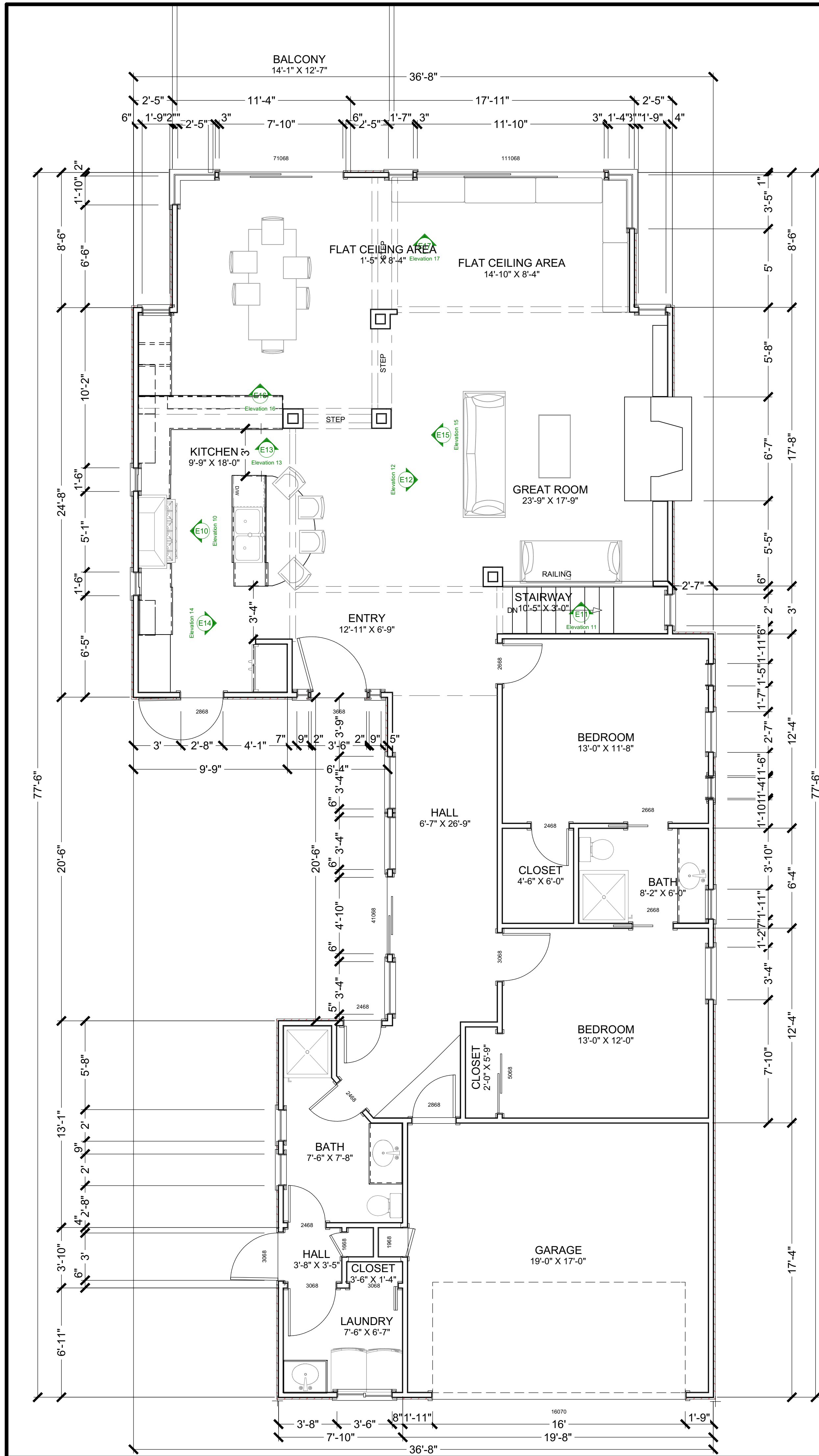
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EXISTING FLOOR PLANS

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The following shall be considered specific hazardous locations requiring safety glazing materials:

1. Glazing in swinging doors.
2. Glazing in fixed and sliding panels of sliding door assemblies and panels in sliding and bifold closet door assemblies.
3. Glazing in storm doors.
4. Glazing in unframed swinging doors.
5. Glazing in doors and enclosures for hot tubs, whirlpools, saunas, steam rooms, bathtubs and showers. Glazing in any portion of a building wall enclosing these compartments where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above a standing surface.
6. Glazing in an individual fixed or operable panel adjacent to a door where the nearest exposed edge of the glazing is within a 24-inch (610 mm) arc of either vertical edge of the door in a closed position and where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above the walking surface.
7. Glazing in an individual fixed or operable panel, other than in those locations described in preceding which meets all of the following conditions:
 - 7.1 Exposed area of an individual pane greater than 9 square feet (0.84 m²);
 - 7.2 Exposed bottom edge less than 18 inches (457 mm) above the floor;
 - 7.3 Exposed top edge greater than 36 inches (914 mm) above the floor; and
 - 7.4 One or more walking surface(s) within 36 inches (914 mm) horizontally of the plane of the glazing.

SAFETY GLAZING REQUIREMENTS

1. ALL WINDOWS TO BE ONE-HALF OPEN-ABLE AND SCREENED UNLESS NOTED OTHERWISE.
2. ALL WINDOWS TO CONFORM WITH THE CALIFORNIA ADMINISTRATIVE CODE TITLE 24.
3. ALL GLASS SHALL CONFORM WITH UBC AND LOCAL CODES.
4. ONE WINDOW IN EACH BEDROOM SHALL HAVE AT LEAST 5.7 SQUARE FEET OPENABLE WITH FINISHED SILL NO MORE THAN 44" ABOVE FLOOR MINIMUM HEIGHT 24" AND MINIMUM WIDTH 20".
5. ALL WINDOWS ARE TO BE HUNG AT 8'-0" WHERE THERE ARE CEILING OVER 8'-0". ALL WINDOWS ARE TO BE HUNG AT 6'-8" @ 8'-0" CEILING AREAS

WINDOW NOTES

1. PROVIDE PRIVACY LOCKS ON ALL PRIMARY BEDROOM AND BATHROOM DOORS.
2. ALL EXTERIOR DOORS TO GARAGE AND LIVING AREA TO BE EQUIPPED WITH A DEADLOCK WITH INTERLOCKING VERTICAL BOLT AND STRIKER, OR 1" THROW, OR 1" THROW SELF LOCKING DEAD LATCH.
3. NO DOOR SHALL REQUIRE A KEY TO OPEN FROM INSIDE.
4. DOORS TO BE CERTIFIED AND LABELED INDICATING THAT THEY MEET THE APPROPRIATE STANDARDS.
5. USE WEATHER-STRIPPING AT DOORS, FLASHING AT THRESHOLDS AND PAPER FLASHING AROUND WINDOWS

DOOR NOTES

- MAXIMUM FLOW RATE STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION (4.303.1)
1. WATER CLOSETS: 1.25 GALLONS PER FLUSH
 2. SHOWER HEADS: 2.0 GPM @ 80 PSI
 3. LAUNDRY FAUCETS: 1.5 GPM @ 60 PSI
 4. SINK FAUCETS: 1.2 GPM @ 60 PSI
 5. KITCHEN FAUCET: 1.5 GPM @ 80 PSI
 6. STD. DISHWASHER: 4.2 GALLONS PER CYCLE
 7. CLOTHES WASHER: 6 GALLONS PER CU. FT. OF DRUM CAPACITY
 8. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER OR MOISTURE-BASED. (4.304.1)

TITLE 24 MAX. FLOW RATES

1. SLIDING GLASS DOORS AND WINDOWS LOCATED LESS THAN 16 FEET ABOVE ANY SURFACE AVAILABLE FOR USE BY THE PUBLIC SHALL BE CAPABLE OF BEING LOCKED SECURELY. MOVABLE PANELS SHALL NOT BE EASILY REMOVED FROM THE FRAME.
2. ALL MAIN OR FRONT ENTRY DOORS TO DWELLINGS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREAS IMMEDIATELY OUTSIDE WITHOUT OPENING THE DOOR. A DOOR VIEWER, A VIEW PORT, WINDOW, OR OTHER OPENINGS MAY PROVIDE SUCH A VIEW.
3. EXTERIOR WOODEN DOORS SHALL BE SOLID CORE CONSTRUCTION OR SHALL BE COVERED ON THE INSIDE FACE WITH 16-GAUGE SHEET METAL ATTACHED WITH SCREWS AT 8 INCH ON CENTERS AROUND THE PERIMETER.
4. ALL SWINGING DOORS SHALL BE EQUIPPED WITH A DEADBOLT WITH A MINIMUM THROW OF 1 INCH AND EMBEDMENT OF NOT LESS THAN 5/8 INCH.
5. THE INACTIVE LEAF OF A PAIR OF DOORS AND THE UPPER LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEADBOLT.
6. NON-REMOVABLE PINS SHALL BE USED IN PIN TYPE HINGES THAT ARE ACCESSIBLE FROM THE EXTERIOR WHEN THE DOOR IS CLOSED.
7. UNFRAMED GLASS DOORS SHALL BE OF FULLY TEMPERED GLASS NOT LESS THAN 1/2 INCH THICK.
8. NARROW FRAMED GLASS DOORS SHALL BE OF FULLY TEMPERED GLASS NOT LESS THAN 1/4 INCH THICK.
9. ANY GLASS THAT IS LOCATED WITHIN 40 INCHES OF THE LOCKING DEVICE ON A DOOR SHALL BE FULLY TEMPERED, OR HAVE APPROVED METAL BARS, SCREENS OR GRILLS.
10. SOLID WOODEN HATCHWAYS LESS THAN 1 3/4 INCHES SHALL BE COVERED ON THE INSIDE WITH 16 GAUGE SHEET METAL ATTACHED WITH SCREWS AT 6 INCH ON CENTERS AROUND THE PERIMETER AND SHALL BE SECURED FROM THE INSIDE WITH A SLIDE BAR, SLIDE BOLTS, AND/OR PADLOCK WITH HARDENED STEEL SHACKLE. ALL OTHER OPENINGS LARGER THAN 96 SQUARE INCHES WITH A DIMENSION IN EXCESS OF 8 INCHES SHALL BE SECURED BY METAL BARS, SCREENS, OR GRILLS. (EXCEPTION - NON-OPENABLE SKYLIGHT)
11. A DEVELOPMENT THAT INCLUDES 3 OR MORE DWELLING UNITS SHALL BE PROVIDED WITH FULLY ENCLOSED GARAGES. GARAGE SPACE FOR EACH TENANT SHALL BE SEPARATED BY PARTITIONS OF 3/8-INCH PLYWOOD OR EQUIVALENT WITH STUDS SET NO MORE THAN 24 INCHES ON CENTER.
12. ANY DOOR OR WINDOW THAT PERMITS DIRECT ACCESS FROM THE RESIDENCE TO THE POOL AREA SHALL BE EQUIPPED WITH AN EXIT ALARM THAT MAKES AN AUDIBLE, CONTINUOUS ALARM SOUND WHEN OPEN OR LEFT AJAR. DOORS SHALL BE SELF-CLOSING WITH AN ALARM DEVICE LOCATED AT MIN. 54" ABOVE THE FLOOR. (CBC 3109.4.4.2)

SECURITY REQUIREMENTS

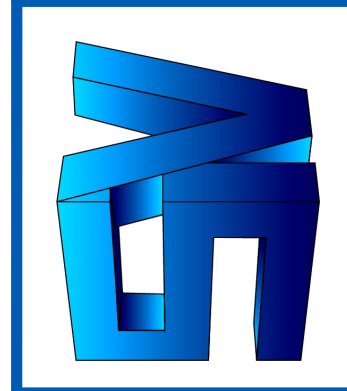
1. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
2. LANDING LENGTH AT DOORS SHALL BE A MINIMUM OF 36 INCHES IN THE DIRECTION OF TRAVEL.

PLAN NOTES

- DENOTES NEW EXTERIOR WALLS
- DENOTES EXISTING EXTERIOR WALL TO BE REMOVED
- DENOTES EXISTING EXTERIOR WALL TO REMAIN
- DENOTES NEW INTERIOR WALLS
- DENOTES EXISTING INTERIOR WALL TO BE REMOVED
- DENOTES EXISTING INTERIOR WALL TO REMAIN

LEGEND

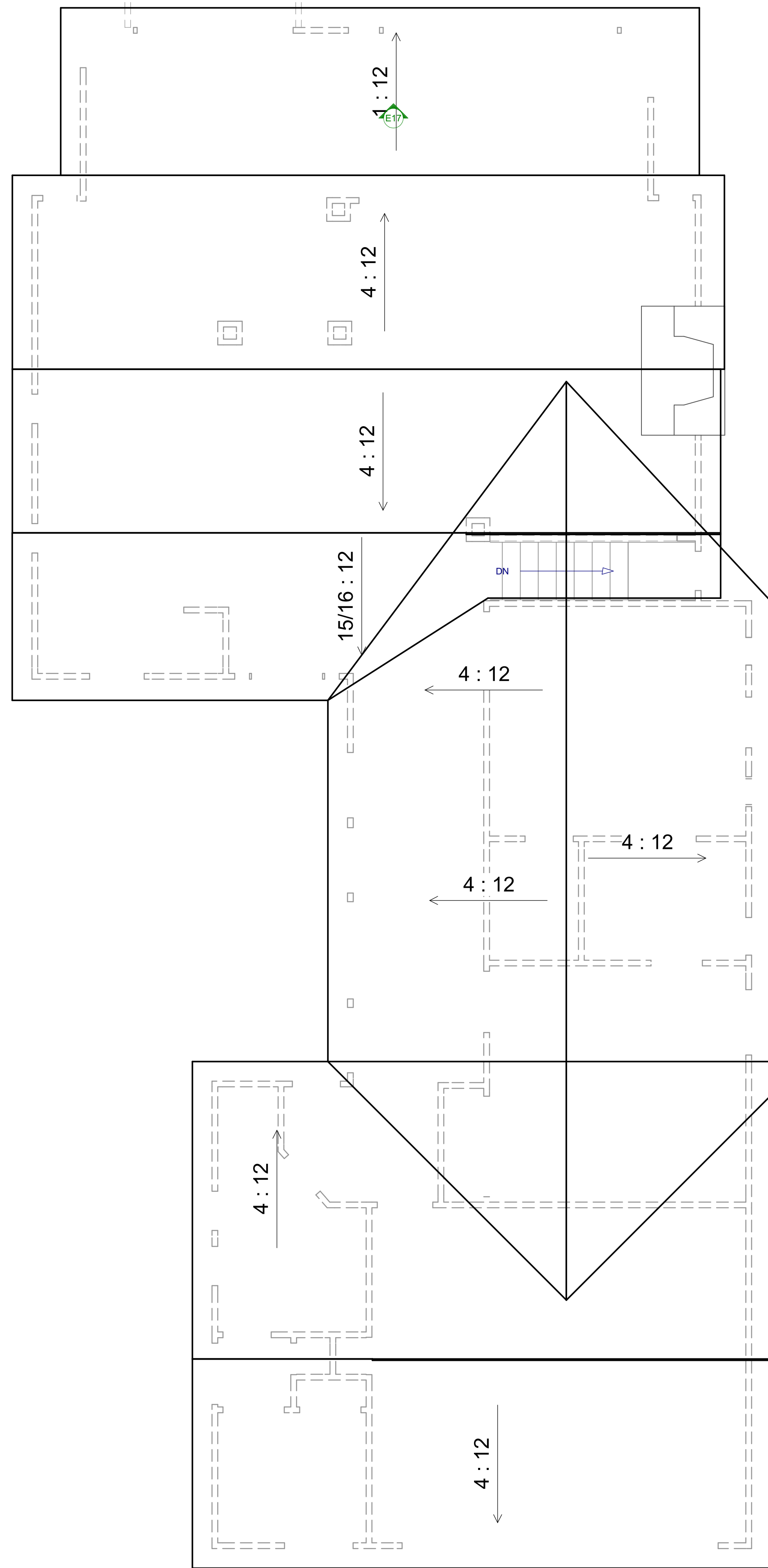
Sky View Designs
 Address: 20561 Suburbia Lane,
 Huntington Beach, CA 92646
 Designs@SkyViewHomes.com
 Phone: (714)963-4600



PROPOSED REMODEL FOR:
THE OWENS FAMILY
 12 South La Senda Drive
 Laguna Beach, CA 92651

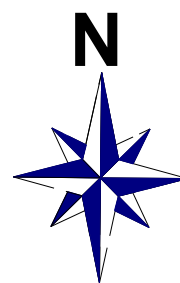
REVISIONS

DATE: 5/18/2017
 JOB NAME: LA SENDA
 TITLE: PROPOSED FLOOR PLANS
 PAGE NUMBER: A - 4

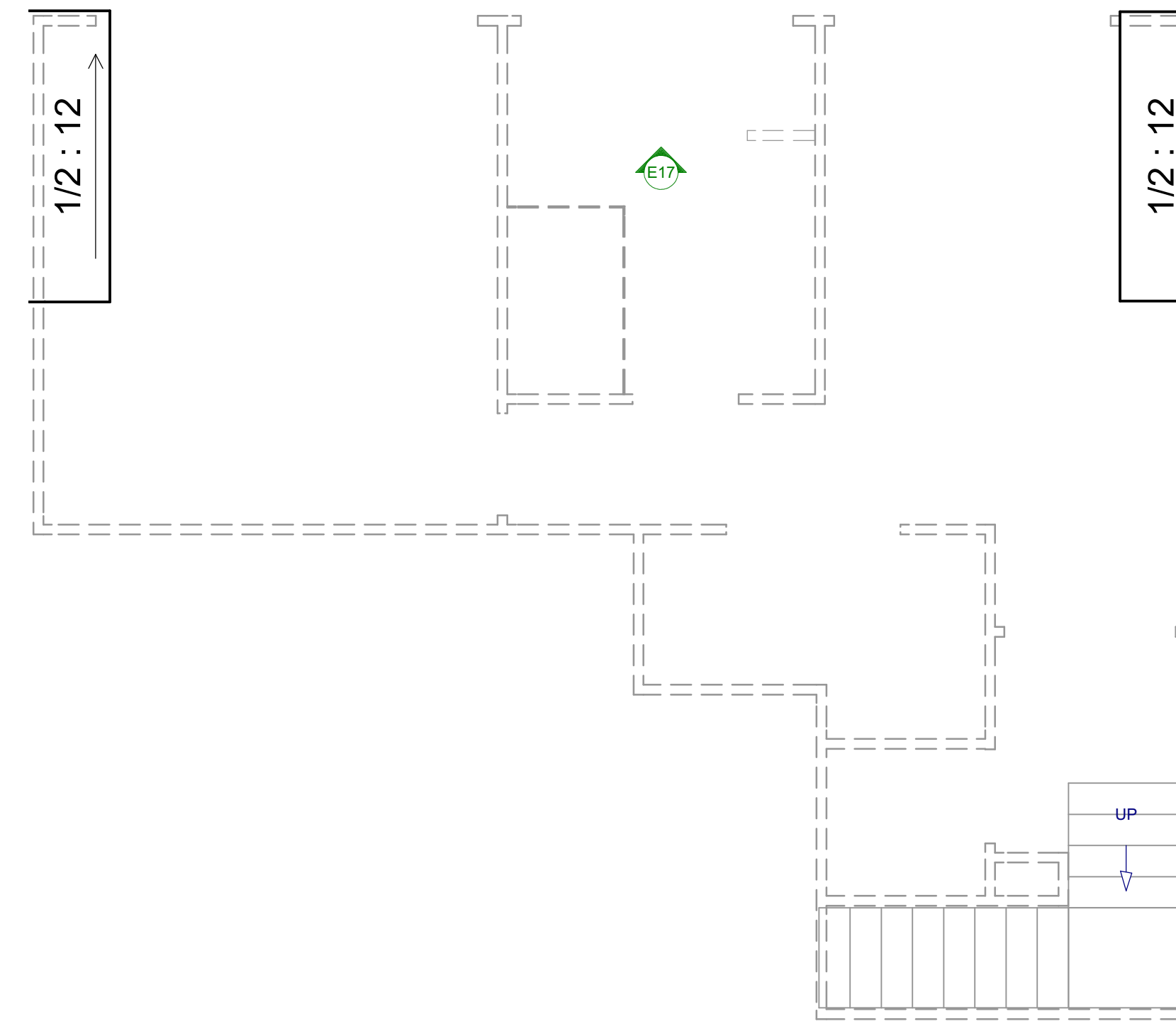


**NO CHANGE TO:
SECOND FLOOR
ROOF PLAN**

SCALE: 1/4"=1'-0"

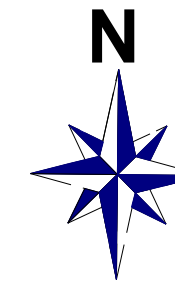


CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS
PRIOR CONSTRUCTION and NOTIFY ENGINEER OF RECORD
WITH ANY DISCREPANCIES

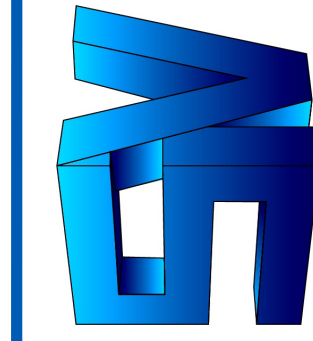


**FIRST FLOOR
ROOF PLAN**

SCALE: 1/4"=1'-0"



CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS
PRIOR CONSTRUCTION and NOTIFY ENGINEER OF RECORD
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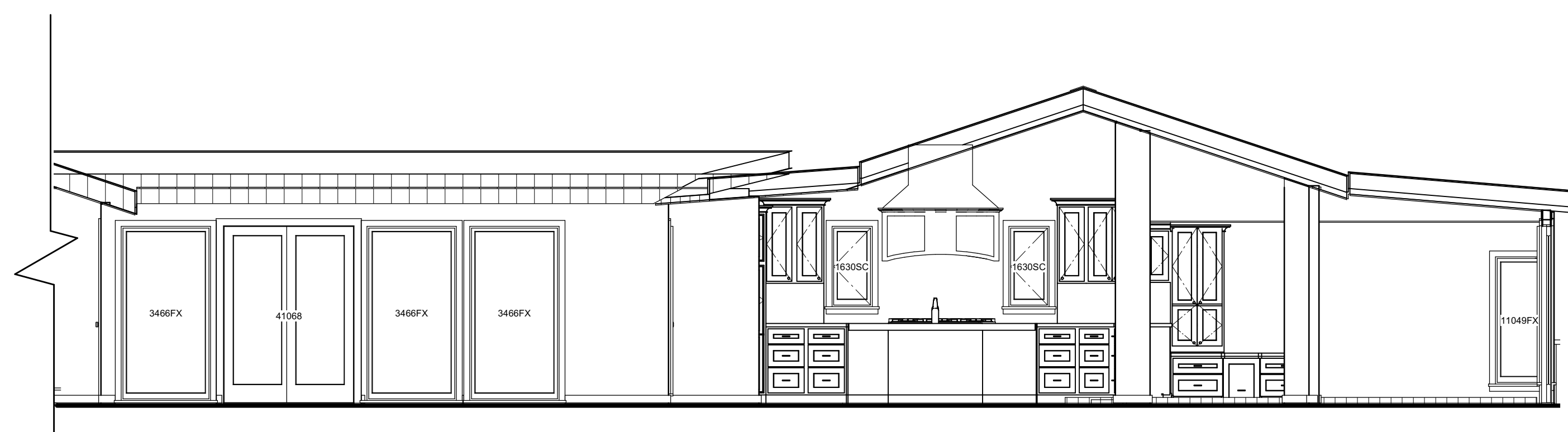
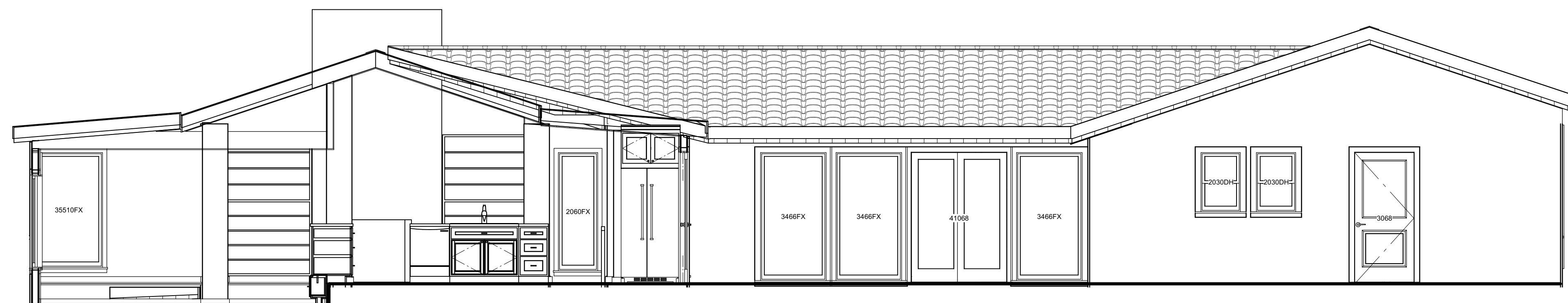
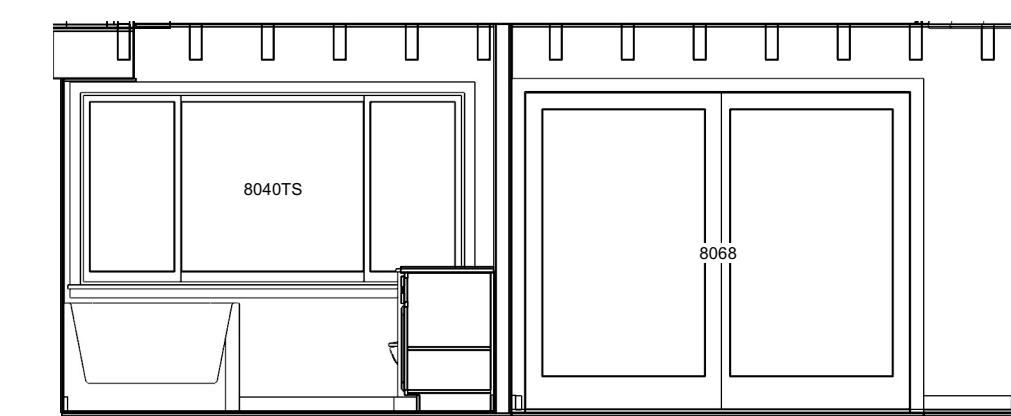
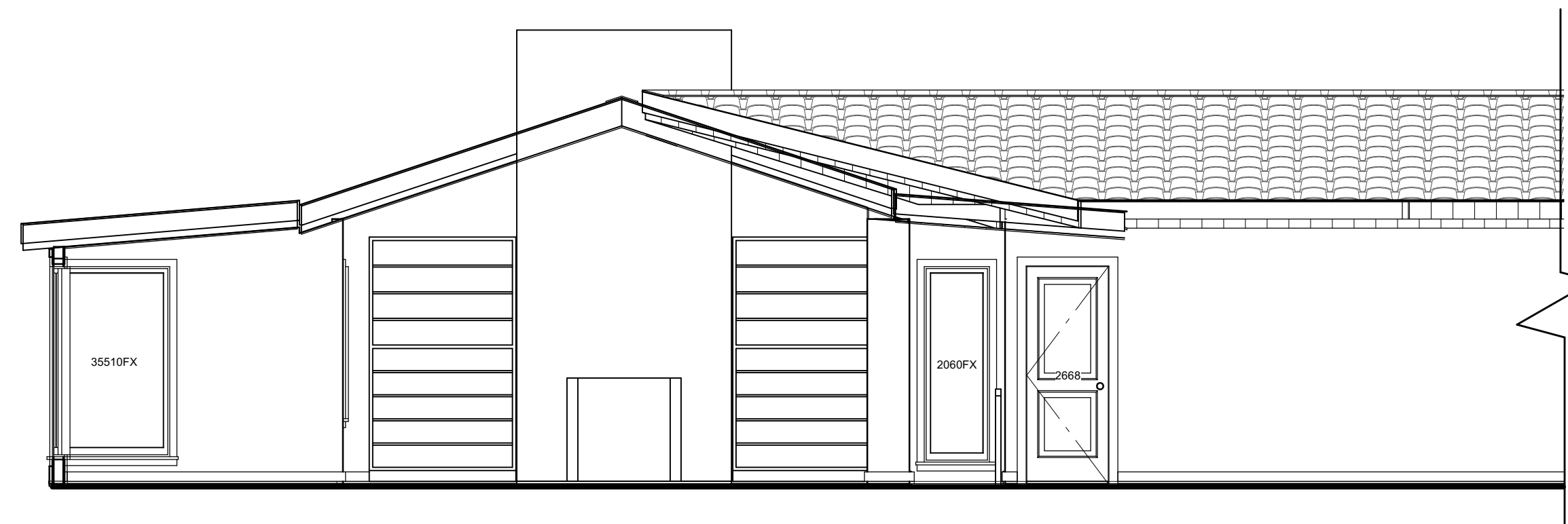
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5/18/2017

JOB NAME:
LA SENDA

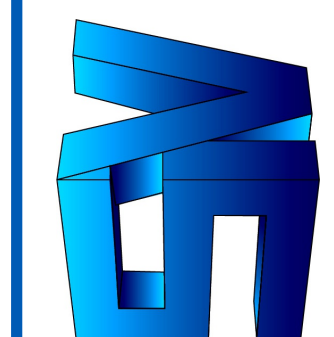
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EXISTING ROOF
PLANS

PAGE NUMBER:
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ELEVATIONS

SCALE: 1/4"=1'-0"



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DATE:
5/18/2017

JOB NAME:
LA SENDA

TITLE:
SECTIONS & ELEVATIONS

PAGE NUMBER:
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