

Cornerstone Inspection, Inc

Property Inspection Report



1274 Bond Street, San Luis Obispo, CA 93405
Inspection prepared for: Chris Nielsen.
Real Estate Agent: -

Date of Inspection: 4/10/2018 Time: 9:00 AM
Age of Home: 1939 Size: 900
Order ID: 3355

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CORNERSTONE
INSPECTION

Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. All repairs must be done by a licensed & bonded trade or professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Site and Other Comments

Page 5 Item: 1	Site and General Information	1.8. The property is due for repairs and renovations and numerous defects have been found. This report identifies many, but not all of the items that will need repair or replacement. We recommend you obtain estimates from a general contractor, because the cost of renovation could affect your evaluation of the property.
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Exterior

Page 7 Item: 3	Exterior Wall Cladding	3.3. Portions of the wood siding are dry rot or moisture damaged, and should be evaluated by a termite inspector.
Page 8 Item: 5	Wood Trim, Facia and Eave	5.2. There is damage to the wood trim that should be evaluated by a termite inspector.
Page 8 Item: 6	Electrical Components	6.2. The exterior outlets are functional, but should be upgraded to have ground fault protection. 6.3. There's exposed romex electrical cable that should be protected inside conduit. A licensed electrician should evaluate and service this issue. 6.4. There is one or more open junction boxes that should be sealed. 6.5. An exterior light is broken or improperly wired and should be serviced.
Page 9 Item: 7	Windows	7.4. Putty is missing from some of the original single-glazed windows, which should be replaced and painted. 7.5. There is a broken window pane which should be repaired.

Foundation Comments

Page 13 Item: 1	Crawlspace Observations	<p>1.7. The soils within the crawlspace are moist/wet which appear to have resulted from a leak within the drain & waste system. This can contribute to differential settling, and facilitate the growth of a variety of molds and fungi that can produce unhealthy conditions.</p> <p>1.8. There are atypical cracks in the foundation walls that should be evaluated by a specialist.</p> <p>1.9. There is a leak beneath the hallway bathroom which should be repaired</p>
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Plumbing Components

Page 15 Item: 1	Water Supply Comments	1.4. The pressure inside the residence exceeds 80psi, which is too strong and will stress components of the system, and a regulator should be installed. Most regulators come factory pre-set at 60psi.
Page 18 Item: 4	Tankless Water Heater	4.8. The pressure relief valve on the water heater does not have a discharge pipe. One should be installed that terminates to the exterior approximately 6 inches above grade.
Page 19 Item: 5	Waste and Drain Systems	5.6. The soils are moist around the main drainpipe that implies a leak, which should be explored further by removing the soil in this area and more fully exposing the drain pipe.

Interior Space

Page 23 Item: 3	Dining Room	3.5. A window pane is cracked or broken and should be replaced.
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Bedrooms

Page 24 Item: 1	Bedroom 1	1.8. There is no smoke alarm, which is mandated in this jurisdiction and should be installed.
Page 25 Item: 2	Bedroom 2	2.5. There is no smoke alarm, which is mandated in this jurisdiction and should be installed.

Kitchen

Page 25 Item: 2	Cabinets	2.2. There is a mold-like substance in the sink cabinet that should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.
Page 26 Item: 4	Electrical Components	<p>4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.</p> <p>4.3. The ungrounded outlets should be serviced to include ground-fault protection.</p>

Page 27 Item: 8	Gas Range & Cook Top	8.2. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.
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Bathrooms

Page 29 Item: 1	Hallway Bathroom	<p>1.14. There is mold or mildew within the sink cabinet that should be evaluated and treated by the appropriate specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.</p> <p>1.15. The outlets are functional, but should be upgraded to have ground-fault protection.</p> <p>1.16. There is no exhaust fan or openable window, which is required and should be installed.</p> <p>1.17. A window is stuck or painted shut, and should be serviced.</p>
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Site and Other Comments

We appreciate the opportunity to conduct this inspection for you! Please carefully read your entire Inspection Report. Call us after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

The observations and opinions expressed within this report are those of Cornerstone Inspection, Inc. and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of the California Real Estate Inspection Association (CREIA), and those that we do not inspect are clearly disclaimed in the report, contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Photos displayed within the report may only illustrate an example of the issue being reported. More issues or defects may exist that will be discovered by a specialist retained to evaluate the specific issue.

Locations of various components identified within the report such as "left" or "right" side, "front" or "rear" of the property are described from the perspective of facing the front door. Please use the photo, if one, on the cover page of this report to define the "front" of the home.

This report is the exclusive property of Cornerstone Inspection, Inc. and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

Site and Other Comments Continued

1. Site and General Information

Observations:

1.1. The buyers/clients were not present during the inspection.

1.2. Our inspection was limited due to the excessive amount of personal contents located within the home.

1.3. Access to some items such as: electrical outlets/receptacles, windows, wall/floor surfaces, and cabinet interiors may be restricted by furniture or personal belongings. Any such items are excluded from this inspection report.

1.4. If you have received this report from the seller(s) of the property, or a real estate agent in order to help satisfy part of their transfer discloser obligation, you should not rely on this report for your evaluation of the property as this report is proprietary to our client and Cornerstone Inspection, Inc. Our inspection has a signed, written agreement and a Standards of Practice that is not in place for any third party or subsequent buyer of this property. Our report is valid for the day of our inspection only, as conditions both inside and outside the home will have certainly changed and will not be reflected in this report. Our inspections are followed up with an addendum or supplemental information that is issued to our clients after the original reports have released to the other parties involved in the transaction. If you like the quality and thoroughness of this report, and wish to retain Cornerstone Inspection, Inc., we would be happy to perform an on-site review of the report and inspection for a fee of \$175, or 1/2 the original inspection fee, whichever is more. A review usually takes on the average home about 1 hour. The review includes a consultation at the property, and includes the issuance of a new report and contract in your name.

1.5. We do not evaluate auxiliary structures, such as storage buildings as part of our service. However, you should obtain the necessary permits because we do not tacitly endorse any structure that was installed or built without permits, and latent defects could exist.

1.6. We prefer to have our clients present during, or immediately following, the inspection so that we can elaborate on what may well be complicated or technical issues that could be somewhat difficult for the average person to understand. Inasmuch as you were not present, we encourage you to read the whole report and not just the summary report, and to consult with us directly. Also, please do not rely on anything that we may have been purported to have said; issues can become distorted when said by others

1.7. The home includes a security system that we do not have the expertise to evaluate and typically requires a third-party to activate.

1.8. The property is due for repairs and renovations and numerous defects have been found. This report identifies many, but not all of the items that will need repair or replacement. We recommend you obtain estimates from a general contractor, because the cost of renovation could affect your evaluation of the property.

Site and Other Comments Continued

2. Environmental Comments

Observations:

2.1. Given the age of the residence, asbestos and lead-based paint could be present. In fact, any residence built before 1978 should not be assumed to be free from these and other well-known contaminants. Regardless, we do not have the expertise or the authority to detect the presence of environmental contaminants, but if this is a concern, you should consult with an environmental hygienist, and particularly if you intend to remodel any area of the residence.

Exterior

1. General Comments and Disclaimers

1.1. It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces. It is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of many surfaces. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We may discover leaking windows while it is raining that may not have be apparent otherwise.

Exterior Continued

2. Grading and Drainage

Observations:

2.1. Water can be destructive and foster conditions that may be hazardous to health. For this reason the ideal property will have soils that slope away from the residence. The interior floors will be several inches higher than the exterior grade, and the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system. If a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. Our site visit is limited, and the sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have. We may have confirmed moisture intrusion in residences when it is raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that may be hazardous to health.

2.2. Drainage is facilitated by soil percolation hard surfaces and full or partial gutters, which is not ideal. We did not see any evidence of moisture threatening the living space.

2.3. There are areas at the right side where water will be directed toward the house instead of away from it, as recommended. This not only allows for the possibility of moisture intrusion but also differential settling.

2.4. The property does not have hard surfaces in some of the side yards to facilitate drainage. Water will percolate and pond adjacent to the residence which is not ideal. You may wish to consider upgrading the site by adding hard surfaces, swales or area drains that direct water away from the residence.

2.5. There appears to be adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space.

3. Exterior Wall Cladding

Observations:

3.1. The exterior house walls are clad with wooden siding.

3.2. The siding needs typical maintenance such as sealing and painting. This should include caulking and filling gaps or openings such as small cracks or openings at hose bibs, and sealing with a proper primer sealer, then one or two finish coats.

3.3. Portions of the wood siding are dry rot or moisture damaged, and should be evaluated by a termite inspector.

Exterior Continued

4. Hard Surfaces

Observations:

- 4.1. There are predictable cracks in the driveway that would not necessarily need to be serviced.
- 4.2. There are cracks in the patio, walkways, decks, or other hard surfaces that appear to be typical. The cracks could be caused by the lack of expansion joint, or a tree that is too close to the concrete decking.
- 4.3. There is one or more offsets in the walkways that could prove to be trip-hazards.

5. Wood Trim, Fascia and Eave

Observations:

- 5.1. Sections of the fascia board or wood trim are weathered and have separated slightly, and should be serviced to prevent further deterioration.
- 5.2. There is damage to the wood trim that should be evaluated by a termite inspector.

6. Electrical Components

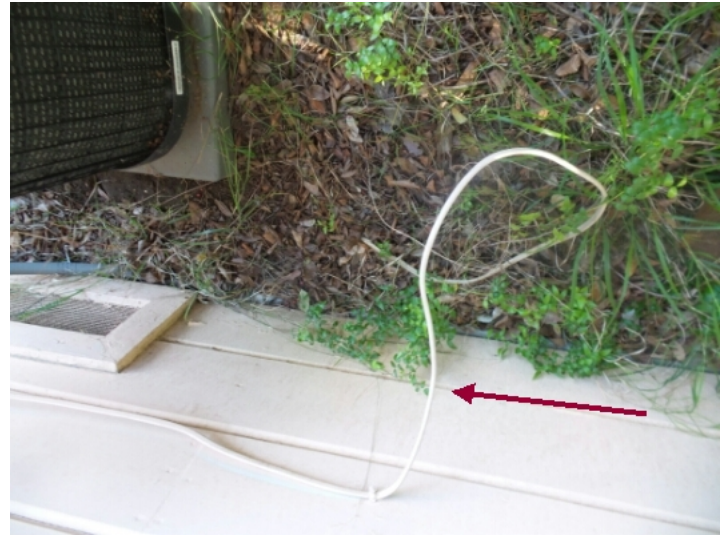
Observations:

- 6.1. We were not able to activate some of the exterior lights which may be operated on a timer, sensors, or a light bulb that is burned out. Nonetheless, they should be demonstrated as functional by the seller.
- 6.2. The exterior outlets are functional, but should be upgraded to have ground fault protection.
- 6.3. There's exposed romex electrical cable that should be protected inside conduit. A licensed electrician should evaluate and service this issue.
- 6.4. There is one or more open junction boxes that should be sealed.
- 6.5. An exterior light is broken or improperly wired and should be serviced.

Exterior Continued



There is one or more open junction boxes that should be sealed.



Exterior Electrical Components

7. Windows

Observations:

7.1. In accordance with industry standards, we only test a representative sample of windows.

7.2. This home has older and probably original Double-hung, single pane wood windows. Double-hung windows are typically designed so that both the upper and lower panels open. Since older windows rarely function as intended, one or more of these windows in this area will need to be serviced to fully function, such as sanding and hardware service to the sash and or weights., which should be performed by specialists familiar with this type of window.

7.3. Many of the window screens are missing. Screens are often removed for aesthetic reasons, but you may wish to have them installed.

7.4. Putty is missing from some of the original single-glazed windows, which should be replaced and painted.

7.5. There is a broken window pane which should be repaired.

8. Stairs and Handrails

Observations:

8.1. The steps are in acceptable condition.

8.2. The balusters in the stair rails are more than 4" apart and are not child safe. Therefore, you may wish to add a protective barrier.

Exterior Continued

9. Fences and Gates

Observations:

9.1. Fences are typically constructed for privacy and to depict property lines. Most are built without permits or the benefit of a survey. For this reason, the fence should not be relied on as a property marker. It should be disclosed who is responsible for the fences that are located at this property. Many fences are shared property.

9.2. Most of the fences are obscured by foliage or other material, which prevents a thorough inspection.

10. Landscaping

Observations:

10.1. There are trees on this property that we do not have the expertise to evaluate, but which you may wish to have them examined by an arborist.

10.2. There are tree limbs overgrowing the residence that should be trimmed or monitored, to insure that they do not impact of damage the roof or its components.



There are tree limbs overgrowing the residence that should be trimmed or monitored, to insure that they do not impact of damage the roof or its components.

11. Guardrails

Observations:

11.1. Sections of the guardrail need maintenance type service such as sealing, staining and or painting.

Exterior Continued



Sections of the guardrail need maintenance type service such as sealing, staining and or painting.

Foundation Comments

Foundation Comments Continued

1. Crawlspace Observations

Observations:

1.1. This residence has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. Although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the house onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than ¼" and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

1.2. The foundation is raised and unbolted. We can elaborate on structural safety issues but you may want to consult a licensed specialist about retrofitting the foundation, which could affect your evaluation of the property.

1.3. The intermediate floor framing is in acceptable condition. There may be some deviations from plumb, level, etc, but none that would have any serious structural significance.

1.4. The electrical components that are visible within the crawlspace appear to be in acceptable condition.

1.5. Ventilation of the foundation crawlspace is conventional and should be adequate.

1.6. There is no floor insulation which would not have been required when this residence was constructed.

1.7. The soils within the crawlspace are moist/wet which appear to have resulted from a leak within the drain & waste system. This can contribute to differential settling, and facilitate the growth of a variety of molds and fungi that can produce unhealthy conditions.

1.8. There are atypical cracks in the foundation walls that should be evaluated by a specialist.

1.9. There is a leak beneath the hallway bathroom which should be repaired

Foundation Comments Continued



There are atypical cracks in the foundation walls that should be evaluated by a specialist.



There is a leak beneath the hallway bathroom which should be repaired

Roofing

1. Roof Gutters

Observations:

1.1. The roof gutters appear to be in acceptable condition. However, without water in them it is difficult to judge whether they are correctly pitched to direct water into the downspouts, but they should function as they were intended.

Roofing Continued

2. Composition Shingle Observations

Observations:

2.1. There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage. Our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.2. We evaluated the roof and its components by walking its surface.

2.3. The composition shingle roof is in acceptable condition, but it will need to be kept clean and should be inspected annually. However, our service does not include any guarantee against leaks. For a guarantee, a roofing company would have to perform a water-test and issue a roof certification.

2.4. The roof flashings need to be sealed or serviced. They are comprised of metal that seals valleys and vents and other roof penetrations, and are the most common point of leaks. This is particularly true of the flashings on a layered roof, which are covered by the roofing material and which are even more susceptible to leaks.

2.5. There is a satellite dish that has been installed on the roof without flashing and will need to be sealed regularly to prevent moisture from entering during rains.

2.6. The valley flashings need to be cleaned and kept clean to promote proper run-off.

Roofing Continued



There is a satellite dish that has been installed on the roof without flashing and will need to be sealed regularly to prevent moisture from entering during rains.

Plumbing Components

1. Water Supply Comments

Observations:

- 1.1. The main water shut-off valve is located inside the crawlspace opening.
- 1.2. The potable water pipes within this residence are galvanized, and assumed to be original. While they may be in acceptable condition, their service life is generally considered 40 to 50 years. They may produce rusty looking water from time to time and, because the water volume in such pipes will gradually be reduced by a build-up of minerals within them, we do not endorse them.
- 1.3. There is already a noticeable but moderate reduction in volume when two or more fixtures are in use at the same time. Therefore, you may wish to have a plumber evaluate or budget for a re-pipe.
- 1.4. The pressure inside the residence exceeds 80psi, which is too strong and will stress components of the system, and a regulator should be installed. Most regulators come factory pre-set at 60psi.

Plumbing Components Continued



The pressure inside the residence exceeds 80psi, which is too strong and will stress components of the system, and a regulator should be installed. Most regulators come factory pre-set at 60psi.



The main water shut-off valve is located inside the crawlspace opening.

2. Gas Service Information

Observations:

2.1. Natural gas is odorized in the manufacturing process. Should you smell distinctive odor of natural gas or hear a hissing sound near a natural gas line or appliance, you should shutoff the gas at the main and clear the area. Then call the Gas Utility Company from a safe location. Gas leaks can be difficult to detect without the use of sophisticated instruments, particularly if underground. We recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak by a spike in usage.

2.2. The gas main shut-off is located on left side of the home, unit or building.

2.3. Some of the gas lines at the meter are rusted and should be painted to prevent further corrosion.

Plumbing Components Continued



Some of the gas lines at the meter are rusted and should be painted to prevent further corrosion.



Rusted gas lines

3. Irrigation and Hose Bibb Information

Observations:

3.1. We do not evaluate sprinkler systems beyond the sprinkler valves, which should be demonstrated as functional by the sellers.

3.2. The hose bibs that we tested are functional, but do not include anti-siphon valves. These valves are relatively inexpensive, are required by current standards. However, we may not have located and tested every hose bib on the property

Plumbing Components Continued

4. Tankless Water Heater

Observations:

4.1. Tankless or "On Demand" water heaters are a relatively new invention. They provide virtually endless hot water, if properly sized and provided proper fuel. They require little maintenance beyond periodic flushing to descale mineral deposits. Some manufactures recommend they be flushed yearly in hard water areas and as little as every 5 years with soft water. They should be monitored for leaks, which is to be anticipated with any water heater.

4.2. The residence is served by a tankless water heater located in the the rear exterior of the home.

4.3. The water heater is functional and there were no leaks at the time of our inspection.

4.4. The shut-off valve and water connectors are in place, and presumed to be functional. We do not activate or turn the valves, as they are commonly not used and susceptible to damage due to the lack of use.

4.5. The gas control valve and its connector at the water heater is presumed to be functional.

4.6. The water heater is equipped with a mandated pressure & temperature relief valve.

4.7. The drain valve of the gas water heater is in place and presumed to be functional.

4.8. The pressure relief valve on the water heater does not have a discharge pipe. One should be installed that terminates to the exterior approximately 6 inches above grade.



The pressure relief valve on the water heater does not have a discharge pipe. One should be installed that terminates to the exterior approximately 6 inches above grade.

Plumbing Components Continued

5. Waste and Drain Systems

Observations:

5.1. The visible portions of the drainpipes are an older cast-iron type, which are not as dependable as modern ABS drainpipes.

5.2. A clean-out is located at the front.

5.3. A cleanout has been added to the waste system, which could confirm chronic blockages. Ask the sellers about this, or you may wish to arrange to have the waste pipes video-scanned to confirm their condition.

5.4. We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roter service, most of which are relatively inexpensive.

5.5. Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

5.6. The soils are moist around the main drainpipe that implies a leak, which should be explored further by removing the soil in this area and more fully exposing the drain pipe.

Plumbing Components Continued



A cleanout has been added to the waste system, which could confirm chronic blockages. Ask the sellers about this, or you may wish to arrange to have the waste pipes video-scanned to confirm their condition.

Electrical Service Panels

Electrical Service Panels Continued

1. Main Electrical Panel

Observations:

1.1. Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

1.2. The residence is served by a 125 amp main electrical panel, located at the right side of the home or unit.

1.3. The exterior cover for the main electrical panel is in acceptable condition.

1.4. The interior cover for the main electrical panel is in acceptable condition.

1.5. The main panel and its components have no visible deficiencies.

1.6. The service entrance mast weather head and cleat are in acceptable condition.

1.7. The house is wired with some original metal conduit known as BX armored cable through which the wires are drawn.

1.8. The wiring in the main electrical panel has no visible deficiencies.

1.9. The residence is predominately wired with a three-wire non-metallic cable commonly known as Romex.

1.10. There are no visible deficiencies with the circuit breakers in the main electrical panel.

1.11. The panel is correctly grounded to a driven rod.

1.12. Current standards require the panel to be double-grounded, and you may wish to consider having this done as a safety upgrade. However, such an upgrade is not currently mandated.

Electrical Service Panels Continued



The residence is served by a 125 amp main electrical panel, located at the right side of the home or unit.

Interior Space

1. Main Entry

Observations:

- 1.1. The front door is functional but not fully weather sealed and could be subject to moisture intrusion especially during wind driven rain.
- 1.2. The doorbell does not work and should be serviced.
- 1.3. The exterior screen door is damaged, and should be repaired or replaced.

2. Living Room

Observations:

- 2.1. The living room is located adjacent to the main entry.
- 2.2. The ungrounded and obsolete outlets in the living room should be upgraded to include more modern and safer ones, which provide a pathway for the current to travel harmlessly to ground.
- 2.3. A window is stuck or painted shut, and should be serviced.

Interior Space Continued

3. Dining Room

Observations:

- 3.1. The dining room is located adjacent to the kitchen.
- 3.2. A window is stuck or painted shut, and should be serviced.
- 3.3. A window lock is missing or damaged and needs to be serviced to be functional.
- 3.4. The floor is worn or cosmetically damaged, which you should view for yourself.
- 3.5. A window pane is cracked or broken and should be replaced.



A window pane is cracked or broken and should be replaced.



The floor is worn or cosmetically damaged, which you should view for yourself.

4. Main Hallway

Observations:

- 4.1. The smoke detector responded to the test button, but should be checked periodically.
- 4.2. The carbon monoxide detector is functional, but should be checked periodically.

Bedrooms

Bedrooms Continued

1. Bedroom 1

Observations:

- 1.1. This bedroom is located at the front of the home.
- 1.2. The door rubs and needs to be serviced to open and close smoothly.
- 1.3. The closet employs an light bulb that should have a cover.
- 1.4. The obsolete and ungrounded outlets should be replaced modern and safer ones, which provide a pathway for the electrical current to travel harmlessly to ground.
- 1.5. There are not as many outlets as would be required by current standards, and you may wish to consult an electrician with a view to adding more.
- 1.6. We were unable to activate the ceiling fan, which could be controlled by a remote. Please consult with the seller regarding this issue.
- 1.7. The bedroom walls have cosmetic damage, such as typical cracks above the doors or windows, or seam separations that you should view for yourself.
- 1.8. There is no smoke alarm, which is mandated in this jurisdiction and should be installed.



The bedroom walls have cosmetic damage, such as typical cracks above the doors or windows, or seam separations that you should view for yourself.

Bedrooms Continued

2. Bedroom 2

Observations:

- 2.1. This bedroom is located adjacent to the hallway bathroom.
- 2.2. The door striker plate needs to be adjusted for the striker pin to engage.
- 2.3. The closet employs an light bulb that should have a cover.
- 2.4. A window is stuck or painted shut, and should be serviced.
- 2.5. There is no smoke alarm, which is mandated in this jurisdiction and should be installed.

Kitchen

1. General Comments

Observations:

1.1. We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Regardless, we do not inspect the following items: refrigerators, built-in toasters, coffee makers, can-openers, blenders, instant hot-water dispensers, reverse osmoses systems, barbecues, grills, or rotisseries, timers, clocks, thermostats, the self-cleaning capacity of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and powered by extension cords or ungrounded conduits.

2. Cabinets

Observations:

- 2.1. The cabinets will need service to work well, such as replacing or adjusting drawer glides, pull latches, hinges, catches, etc.
- 2.2. There is a mold-like substance in the sink cabinet that should be evaluated by a specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.

Kitchen Continued



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3. Countertop

Observations:

3.1. The counter top is functional.

4. Electrical Components

Observations:

4.1. The lights are functional.

4.2. The countertop outlets are functional, but should be upgraded to have ground fault protection, which is mandated by current standards and is an important safety feature.

4.3. The ungrounded outlets should be serviced to include ground-fault protection.

5. Sink and Faucet

Observations:

5.1. The sink is functional.

5.2. The sink has typical cosmetic damage that you may wish to view for yourself.

5.3. The sink faucet is functional.

5.4. The valves and connector below the sink are functional.

5.5. The trap and drain are functional.

Kitchen Continued

6. Dishwasher Comments

Observations:

6.1. The dishwasher is a portable type, which we do not evaluate. Therefore, you may wish to have the sellers demonstrate it so that you can evaluate its performance.

7. Exhaust Fan

Observations:

7.1. The exhaust fan or downdraft is functional.

8. Gas Range & Cook Top

Observations:

8.1. The gas range is functional, but was neither calibrated nor tested for its performance.

8.2. The range does not have an anti-tip bracket installed which is a safety device installed so the range will not tip over if something heavy is on the oven door when opened, such as a child.

Bathrooms

Bathrooms Continued

1. Hallway Bathroom

Observations:

- 1.1. The hallway bathroom is a full, and is located adjacent to the hallway.
- 1.2. The cabinets are in acceptable condition.
- 1.3. The cabinets have typical, cosmetic damage.
- 1.4. The sink countertop is functional.
- 1.5. The sink is functional.
- 1.6. The sink faucet and its components are functional.
- 1.7. The trap and drain are functional.
- 1.8. The lights are functional.
- 1.9. The toilet is functional.
- 1.10. The toilet is identified as being a low-flush type.
- 1.11. The tub-shower is functional.
- 1.12. The shower diverter valve in the tub-shower does not fully engage and should be serviced
- 1.13. The floor is moisture damaged and should be evaluated by a termite inspector.
- 1.14. There is mold or mildew within the sink cabinet that should be evaluated and treated by the appropriate specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.
- 1.15. The outlets are functional, but should be upgraded to have ground-fault protection.
- 1.16. There is no exhaust fan or openable window, which is required and should be installed.
- 1.17. A window is stuck or painted shut, and should be serviced.

Bathrooms Continued



There is mold or mildew within the sink cabinet that should be evaluated and treated by the appropriate specialist. All molds flourish in a damp environment and many are commonplace, but some are toxic and pose a health risk.

Laundry

1. Laundry Room

Observations:

- 1.1. The laundry room is located adjacent to the kitchen.
- 1.2. Most if not all of the components behind the washer/ dryer were obstructed from view and were not inspected.

Heating & Air conditioning

Heating & Air conditioning Continued

1. Forced Air Furnace

Observations:

- 1.1. Central heat is provided by a forced-air furnace that is located in the attic.
- 1.2. The furnace is functional. We recommend that the furnace be serviced before each heating season and you may want to ask the sellers when the furnace was last serviced.
- 1.3. The furnace is not original and you should obtain documentation of its replacement for your records, which would reveal its exact age and confirm that the installation was made by licensed specialists, and could include a transferable warranty.
- 1.4. The vent pipe is functional.
- 1.5. The gas valve and connector are in acceptable condition.
- 1.6. The return-air compartment is in acceptable condition.
- 1.7. The thermostat is functional.
- 1.8. The ducts are a modern flexible type that have no visible deficiencies. They are comprised of a clear inner liner and an outer plastic shell that encapsulates fiberglass insulation.
- 1.9. The registers are reasonably clean and functional.

Heating & Air conditioning Continued

2. Air Conditioning

Observations:

2.1. Central heat and air-conditioning are provided by a single split-system, consisting of a furnace with an evaporator coil that is located in the attic and a condensing coil that is located on the exterior.

2.2. The electrical disconnect at the condensing coil is present and presumed to be functional.

2.3. The condensing coil responded to the thermostat and is functional.

2.4. The evaporator coil is functional.

2.5. A drip pan is present and presumed to be functional.

2.6. The air conditioning responded and achieved an acceptable differential temperature split between the air entering the system and that coming out of 15-18 degrees or more.

2.7. The refrigerant lines that are visible are in acceptable condition.

2.8. The condensate drainpipe discharges correctly outside the residence.

Attic's

Attic's Continued

1. Attic

Observations:

1.1. In accordance with industry standards, we will not attempt to enter an attic that has less than thirty-six inches of headroom, is restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we will inspect the attic as best we can from the access point. In evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test its composition for a specific identification. Also, we do not move or disturb any portion of the insulation, which may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

1.2. The attic can be accessed through a hatch in the the hallway ceiling.

1.3. We evaluated the attic by direct access.

1.4. We were unable to access the entire attic due conditions of clearance and obstructions. We were able to access approximately 50% of the attic.

1.5. The lights are functional.

1.6. The electrical components that are fully visible appear to be in acceptable condition.

1.7. The visible portions of the conventionally stacked roof framing are in acceptable condition, and would conform to the standards of the year in which they were installed.

1.8. Ventilation is provided by a combination of eave, dormer, turbine, or gable vents, and should be adequate.

1.9. Some of the ventilation port screens are damaged or missing, which will allow rodents or other pests to enter and contaminate the area.

1.10. The heat vents appear to be functional.

1.11. The attic floor is insulated with approximately three-inches or more of fiberglass, batt insulation. Current standards call for nine and even twelve-inches, and you may wish to consider adding more.

Attic's Continued



Some of the ventilation port screens are damaged or missing, which will allow rodents or other pests to enter and contaminate the area.