

INSPECTION REPORT



For the Property at:
1067 PALOS VERDES BOULEVARD
REDONDO BEACH, CA 90277

Prepared for: RUTH RODGERS
Inspection Date: Friday, April 3, 2020
Prepared by: Robert Gaudreault



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SUMMARY

1067 Palos Verdes Boulevard, Redondo Beach, CA April 3, 2020

Report No. 1101

inspections@qualifiedinspectors.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Roofing

SLOPED ROOF FLASHINGS \ Hip and ridge flashings

Condition: • Drip edge flashing had been cut in sections to allow for the nailing of gutters to the wood fascia. This does compromise the original intention of the flashing, which is to shed water away from wood fascia trim to prevent possible water damage in the future.

Location: Throughout

Task: Further evaluation

Exterior

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

Condition: • [Rot](#)

Implication(s): Weakened structure | Material deterioration

Location: At back second story exit stairs.

Task: Further evaluation

LANDSCAPING \ General notes

Condition: • [Planters and gardens against walls](#)

Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: To the left of garage

GARAGE \ Ceilings and walls

Condition: • Evidence of water and soil entry

Location: Throughout

Task: Correct adjacent grade

Electrical

DISTRIBUTION SYSTEM \ Outdoor wiring

Condition: • Unsafe conditions. Damaged boxes and exposed electrical wires.

Implication(s): Shock hazard.

Location: Exterior left side

Task: Remove or replace

COMMENTS \ Additional

Condition: • This is an older electrical system which appears original to the dwelling. Some unsafe conditions were noted. Electrical system utilizes older two prong outlet receptacle devices, obsolete dimer switches and breakers or safety gear that have either been defective or at the end of its life. Suggest consulting at least one or two electricians for further

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

evaluation and to provide estimates to upgrade existing electrical system.

Heating

FURNACE \ Life expectancy

Condition: • Past life expectancy

Both heating elements are beyond their serviceable lives and should be replaced to ensure safe heating for the dwelling.

Implication(s): Equipment failure | No heat for building

FURNACE \ Ducts, registers and grilles

Condition: • [Collapsed](#)

Sections of visible duct are kinked or pinched. Only a small percentage of the duct work is visible. Due to the age of this structure there is always a possibility that duct work within the walls is insulated with asbestos fiber insulation.

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Various areas of crawl space

Task: Repair

Plumbing

GAS SUPPLY \ Gas piping

Condition: • A section of gas line noted that passes through concrete without an appropriate sleeve. Gas lines should not be embedded into concrete as this could pose damage and future leaks. Contact a licensed plumber for further evaluation

Implication(s): Potential for gas leak

Location: Front steps

Task: Further evaluation needed by licensed plumber

WATER HEATER \ General notes

Condition: • Water heater is corroded to the extent that replacement and relocation should be achieved.

Location: Adjacent to garage

Task: Consult licensed plumber.

COMMENTS \ Additional

Condition: • There are enough plumbing issues to warrant further evaluation by a licensed plumber.

Refer to some of the visible defects in plumber section of report.

Interior

CRAWLSPACE \ Wet crawlspace - evidence

Condition: • [Dampness on floor or walls](#)

Evidence of water entry from right side.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

SUMMARY

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

POTENTIALLY HAZARDOUS MATERIALS \ General notes

Condition: • Possible asbestos containing materials

Acoustic ceiling materials and older linoleum floor tile. These materials would have to be tested by and environmental agency to be certain

Implication(s): Health hazard

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

Description

The home is considered to face: • South

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles

Sloped roof flashing material: • Metal

Flat roofing material:

- [Roll roofing](#)



2. Roll roofing

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

Limitations

Inspection performed: • By walking on roof

Recommendations

RECOMMENDATIONS \ General

1. **Condition:** • Roofing is in good repair and performing as intended

SLOPED ROOF FLASHINGS \ Chimney flashings

2. **Condition:** • Satisfactory

SLOPED ROOF FLASHINGS \ Roof/wall flashings

3. **Condition:** • [Damage, loose, open seams, patched](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Lower front side

Task: Maintenance



3. *Damage, loose, open seams, patched*

SLOPED ROOF FLASHINGS \ Pipe/stack flashings

4. **Condition:** • Satisfactory

SLOPED ROOF FLASHINGS \ Hip and ridge flashings

5. **Condition:** • Drip edge flashing had been cut in sections to allow for the nailing of gutters to the wood fascia. This does compromise the original intention of the flashing, which is to shed water away from wood fascia trim to prevent possible water damage in the future.

Location: Throughout

Task: Further evaluation

ROOFING

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Report No. 1101

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



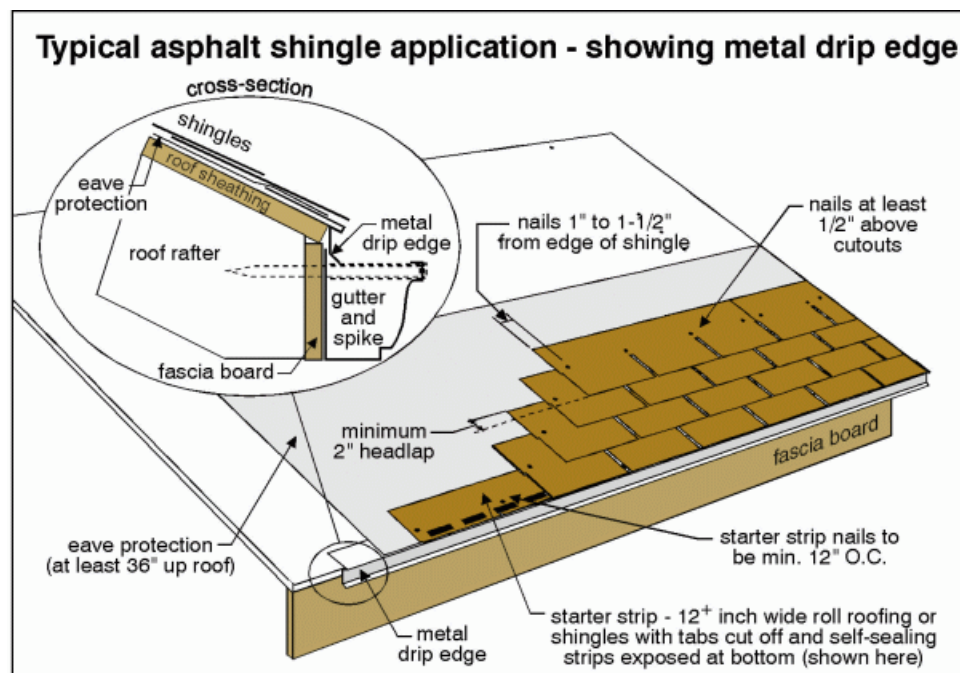
4.

SLOPED ROOF FLASHINGS \ Drip edge flashings

6. Condition: • [Above underlayment](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Throughout



FLAT ROOFING \ Roll roofing

7. Condition: • Satisfactory

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

Description

Gutter & downspout material: • [Aluminum](#)

Downspout discharge: • [Above grade](#)

Wall surfaces and trim: • [Stucco](#) • [Wood](#)

Retaining wall: • [Masonry](#)

Driveway: • Concrete

Garage: • Attached

Limitations

Inspection limited/prevented by: • Inspection did occur during a dry period. Efficiency of drainage can not really be observed as a result.

Recommendations

ROOF DRAINAGE \ Gutters

8. Condition: • Dirty/debris



5. Dirty/debris

ROOF DRAINAGE \ Downspouts

9. Condition: • [Discharge too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Front left

EXTERIOR

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

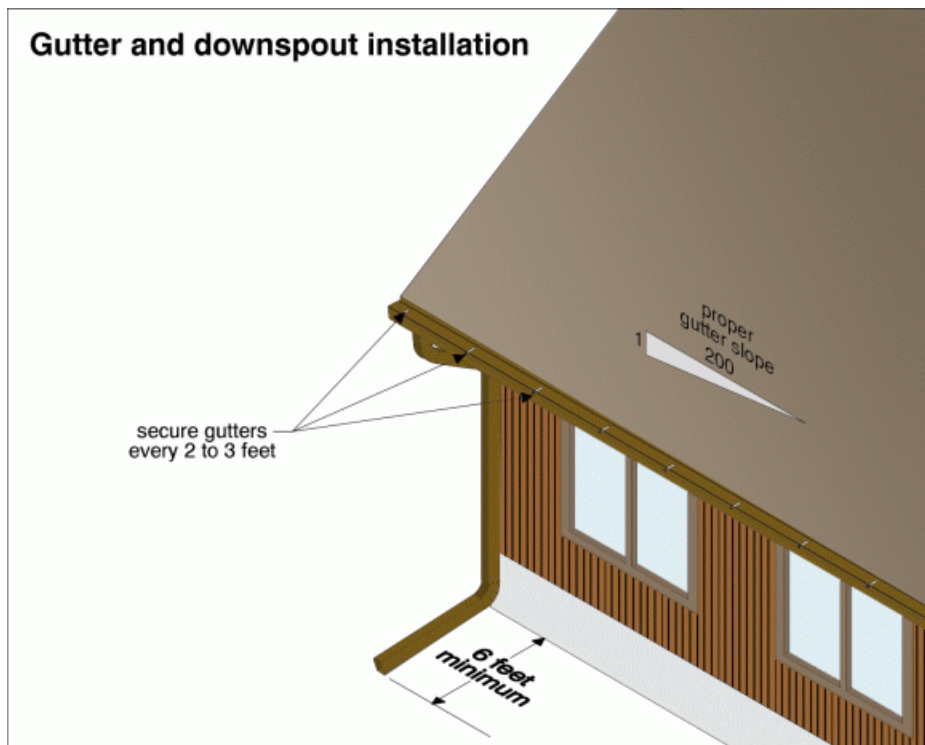
PLUMBING

INTERIOR

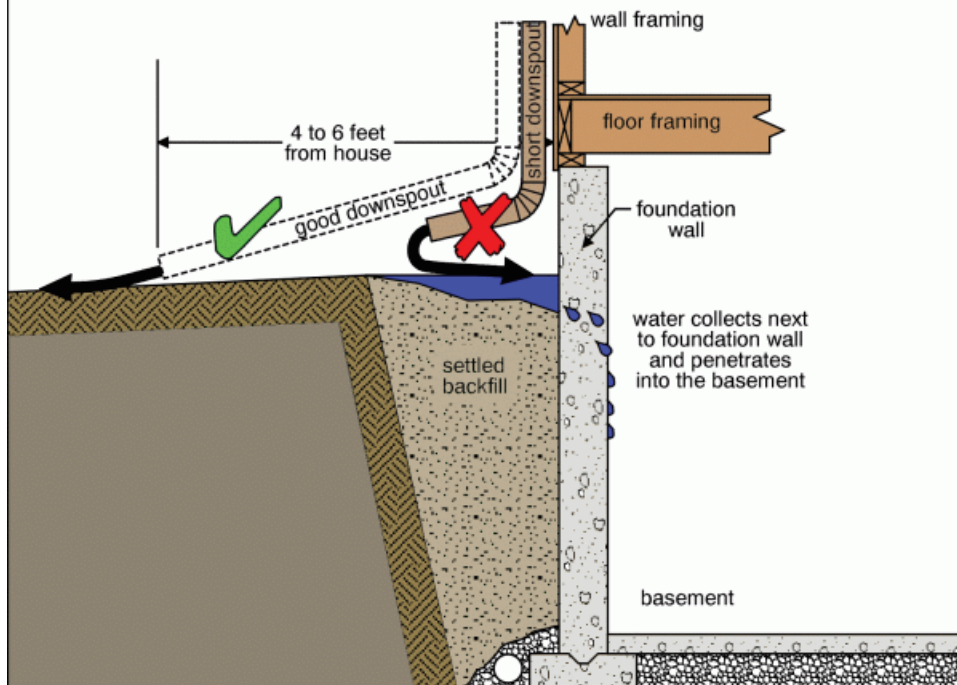
ELECTRICAL

REFERENCE

Gutter and downspout installation



Downspout extension too short



EXTERIOR

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Report No. 1101

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



6. Discharge too close to building

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

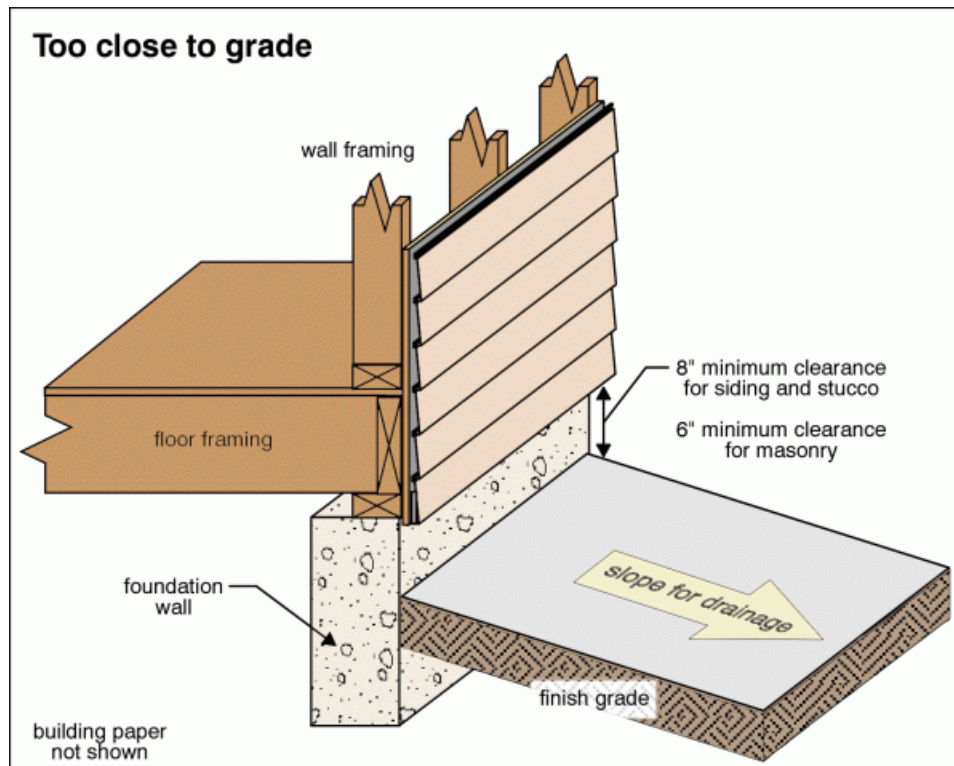
10. Condition: • Fascia, rake boards in good appearance.

WALLS \ Wood siding

11. Condition: • [Too close to grade](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration | Rot | Insect damage

Location: Along back side



EXTERIOR

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Report No. 1101

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

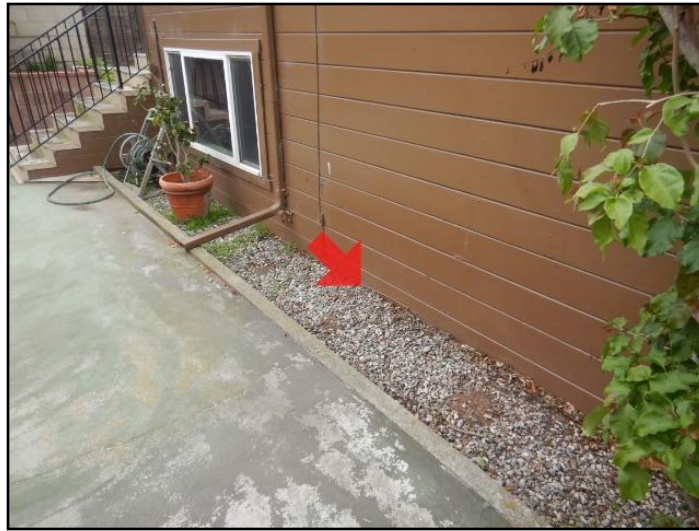
INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



7. Too close to grade

WALLS \ Stucco

12. Condition: • Satisfactory. No visible defects.

WINDOWS \ General notes

13. Condition: • Windows at exterior view maintained and in good repair

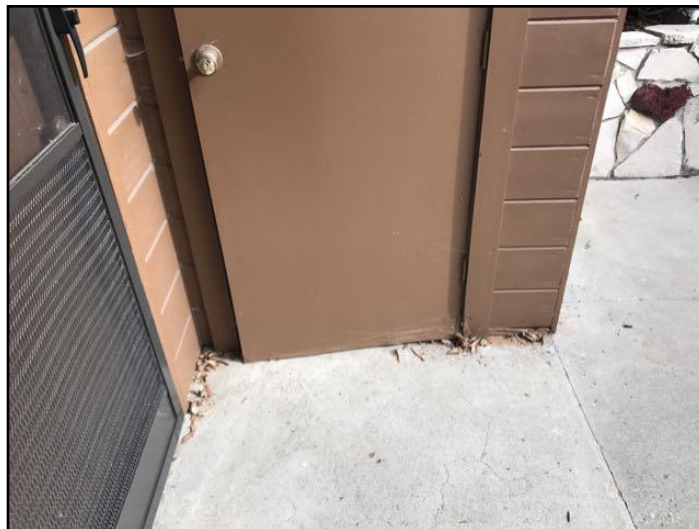
DOORS \ Doors and frames

14. Condition: • [Damage](#)

Water related damage

Implication(s): Chance of damage to finishes and structure | Poor security

Location: Back under stairs access door



8. Damage

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings

15. Condition: • Remove items that can pose a potential trip hazard

Location: front

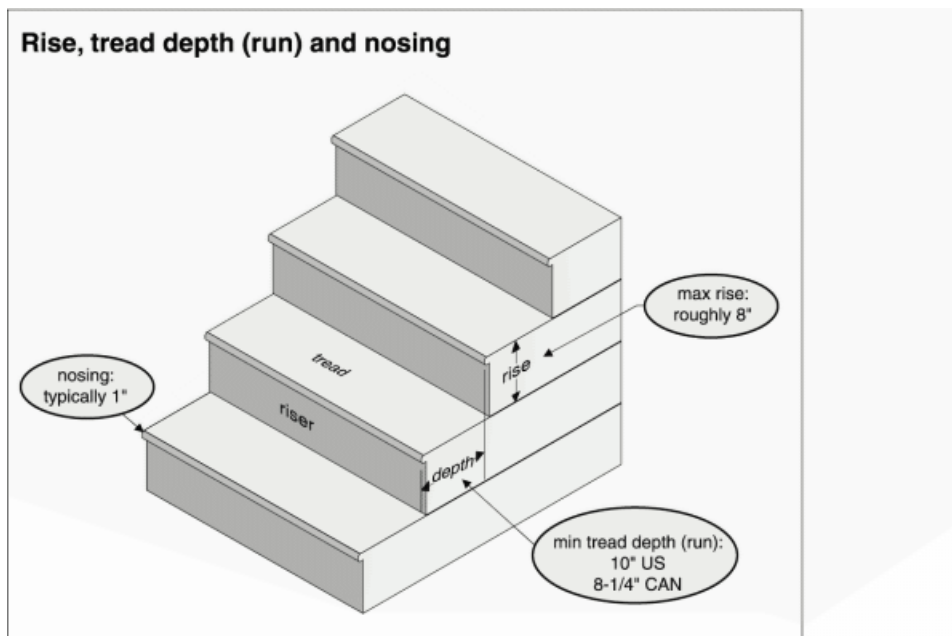


9.

16. Condition: • [Stair run too small or not uniform](#)

Implication(s): Trip or fall hazard

Location: All back stairs



EXTERIOR

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

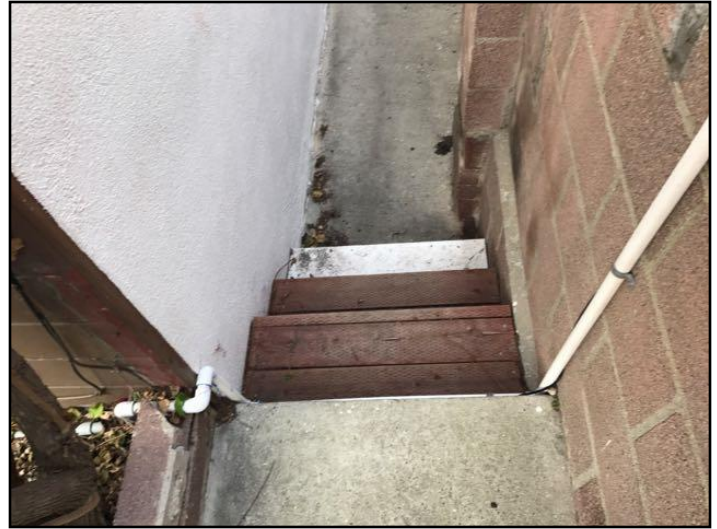
INTERIOR

ELECTRICAL

REFERENCE



10. Stair run too small or not uniform



11. Stair run too small or not uniform

17. Condition: • [Rot](#)

Implication(s): Weakened structure | Material deterioration

Location: At back second story exit stairs.

Task: Further evaluation



12. Rot



13. Rot

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Report No. 1101

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



14. Rot



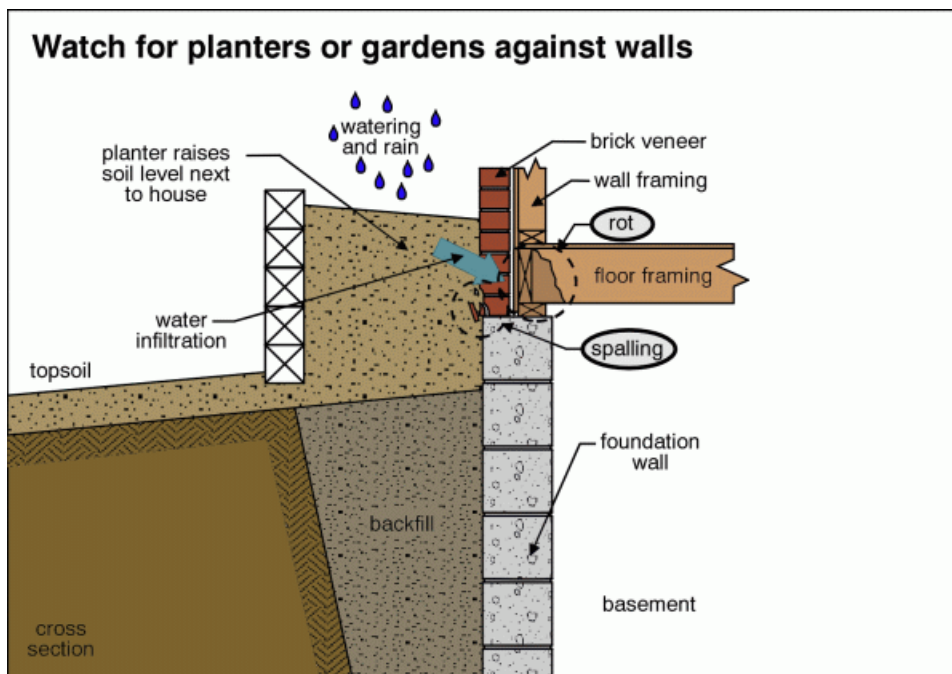
15. Rot

LANDSCAPING \ General notes

18. Condition: • [Planters and gardens against walls](#)

Implication(s): Chance of water entering building | Chance of damage to structure | Chance of structural movement

Location: To the left of garage



EXTERIOR

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Report No. 1101

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



16. Trees or shrubs too close to building



17. Trees or shrubs too close to building



18. Trees or shrubs too close to building

LANDSCAPING \ Lot grading

19. Condition: • [Improper slope or drainage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

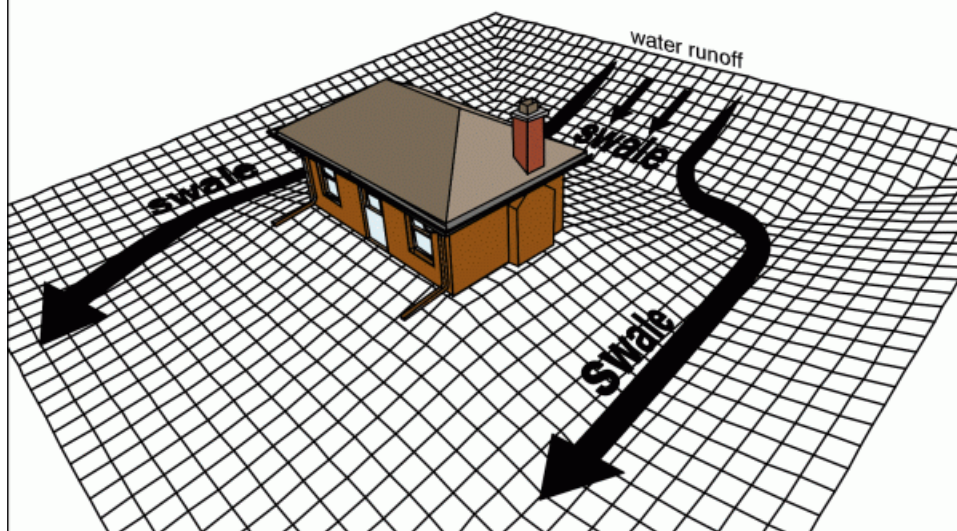
REFERENCE

Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



19. Improper slope or drainage



20. Improper slope or drainage

LANDSCAPING \ Walkway

20. Condition: • Satisfactory.

LANDSCAPING \ Driveway

21. Condition: • Driveway functional. No visible defects.

LANDSCAPING \ Retaining wall

22. Condition: • [Mortar - deteriorated, missing](#)

Implication(s): Weakened structure | Chance of movement

Location: Various

Task: Repair Further evaluation



21. Mortar - deteriorated, missing

EXTERIOR

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Report No. 1101

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

23. Condition: • [Drainage system missing](#)

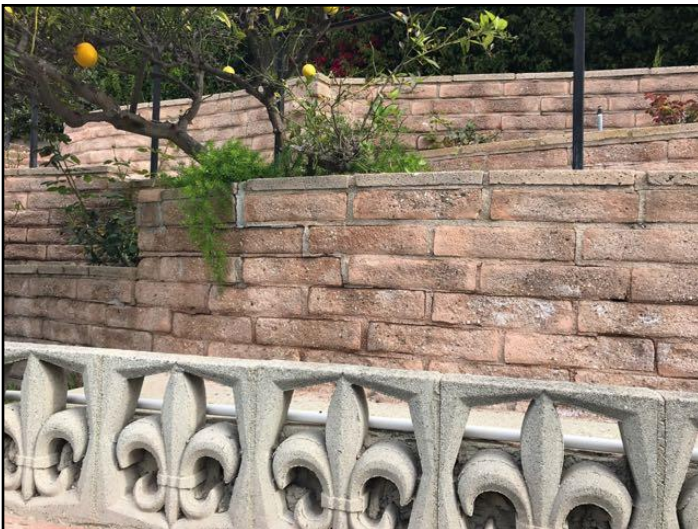
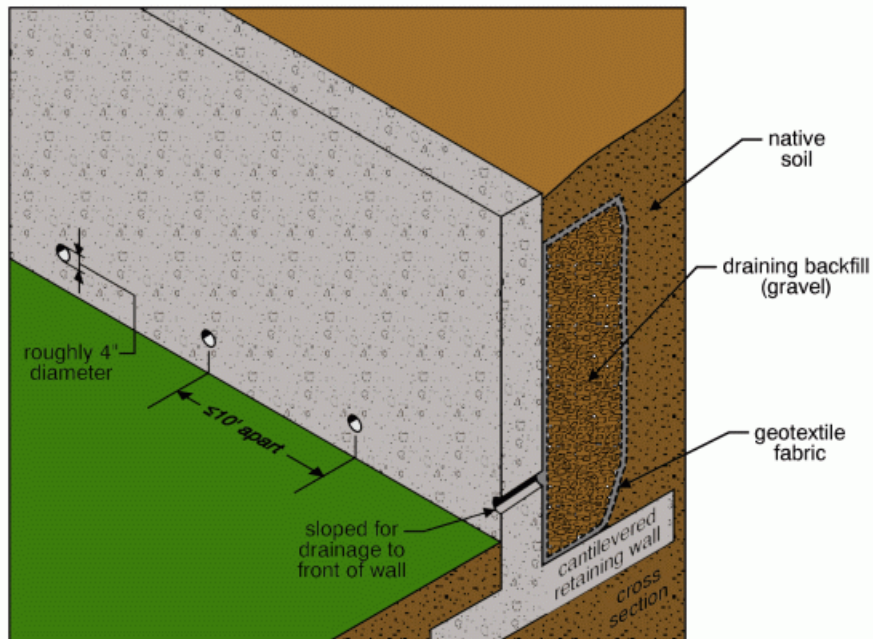
Some fractures also noted

Implication(s): Weakened structure | Chance of movement

Location: Various areas

Task: Further evaluation be licensed mason

Weep holes in retaining wall



22. Drainage system missing



23. Drainage system missing

LANDSCAPING \ Fence

24. Condition: • Portions of cement cap missing

EXTERIOR

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

Implication(s): None

Location: General locations

Task: Maintenance. Install cap



24.

GARAGE \ Ceilings and walls

25. Condition: • Evidence of water and soil entry

Location: Throughout

Task: Correct adjacent grade



25.



26.

26. Condition: • Evidence of leak. Pan is rusted and corroded

Task: Repair. Consult contractor

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



27.

27. Condition: • Water stains at ceiling under kitchen from prior leak



28.

GARAGE \ Floor

28. Condition: • Satisfactory

GARAGE \ Vehicle doors

29. Condition: • Water damage

Location: At base of jambs

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



29. Water damage



30. Water damage

30. Condition: • Overhead door springs or hardware needs some repair or replacement parts. Garage door comes down too freely. This could be of safety concern and should be addressed at this time.

Left door spring damaged

Task: Replace



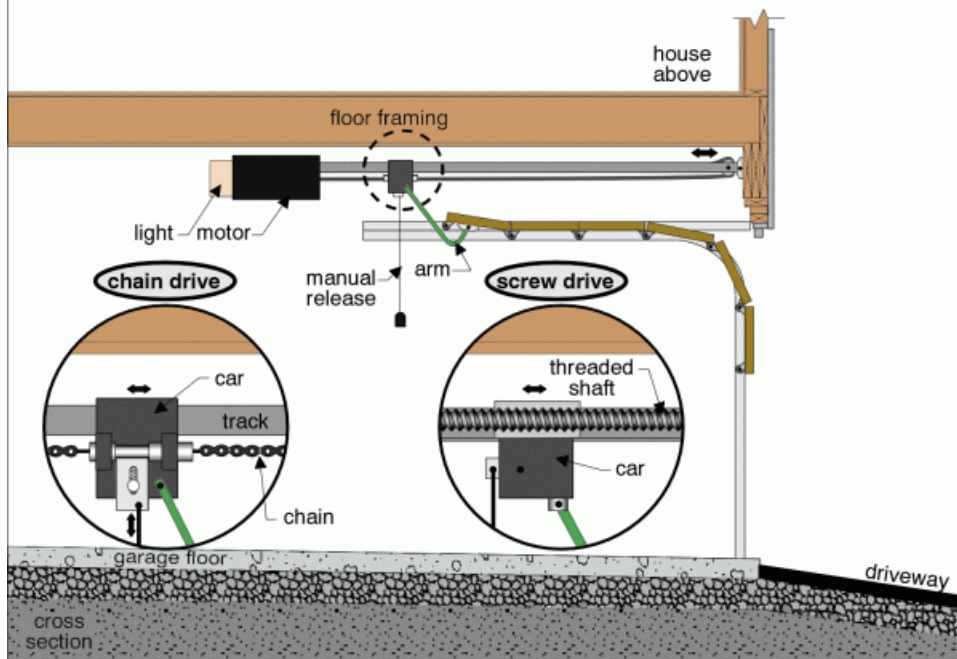
31. Overhead door springs or hardware needs som...

GARAGE \ Vehicle door operators

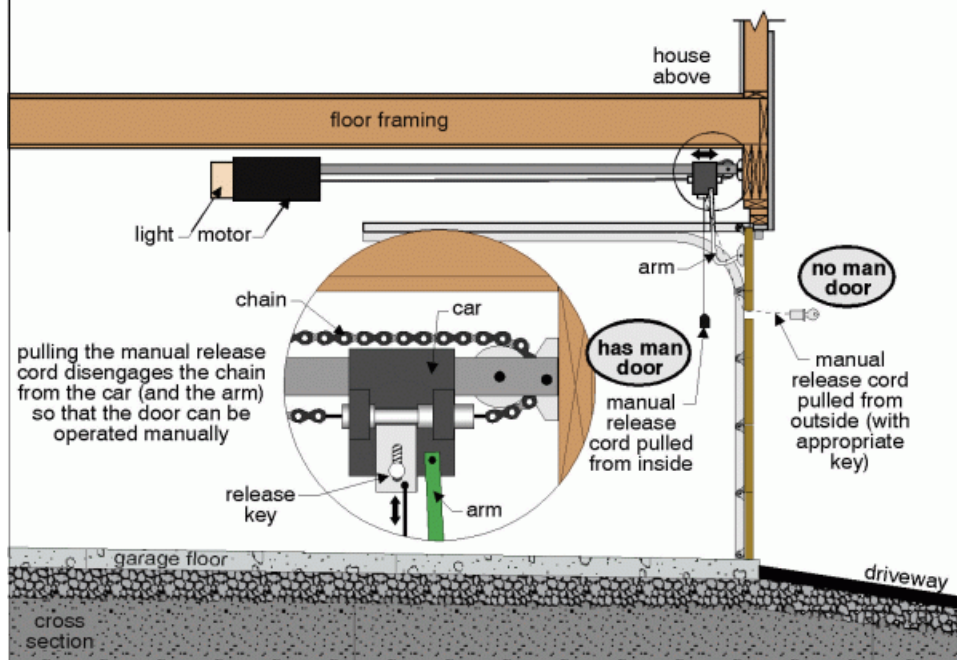
31. Condition: • [Inoperative](#)

Implication(s): System inoperative

Automatic garage door openers



Manual operation of automatic garage door openers



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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

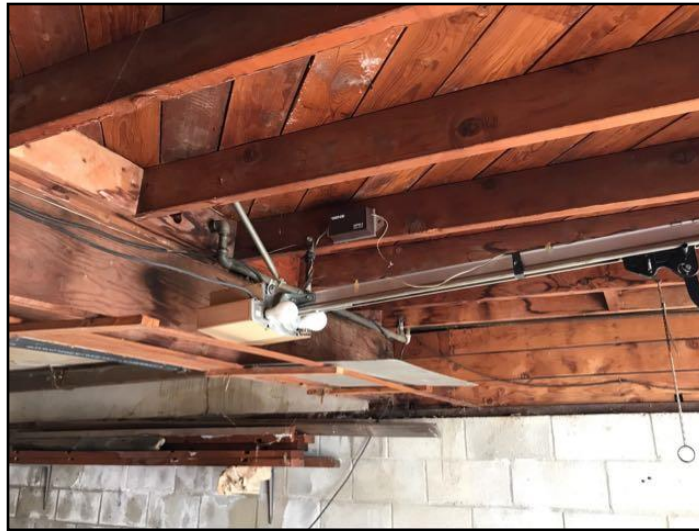
INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



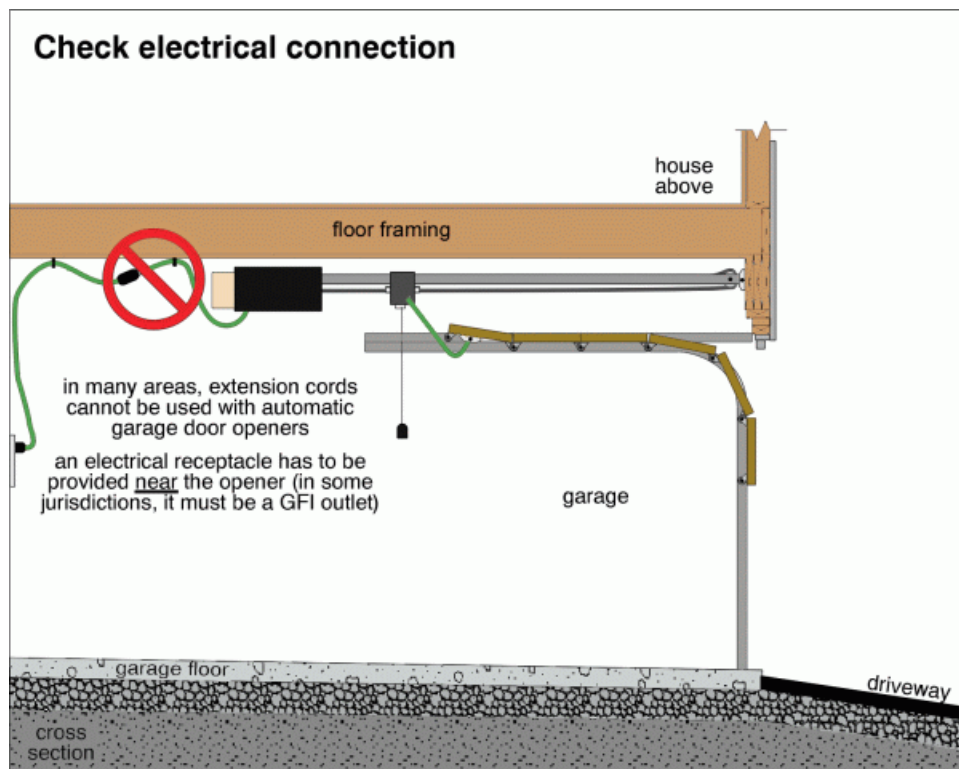
32. Inoperative

32. Condition: • [Extension cord for opener](#)

Implication(s): Electric shock

Task: Correct

Time: Immediate



Description

Configuration: • [Crawlspace](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • Rafters/ceiling joists

Location of access to under-floor area: • Left Side

Limitations

Inspection limited/prevented by: • Exposed percentages of wall framing members is minimal. Therefore, no assumption should be made as to the condition of the unexposed framing members. This is only a comment on the visible portions of the wall framing.

Attic/roof space: • Inspection only refers to the exposed ceiling/floor framing members. This is only a visual inspection and does not comment on unexposed framing members.

Attic/roof space: • Inspected from access hatch

Crawlspace: • Entered but access was limited

Recommendations

FOUNDATIONS \ General notes

33. Condition: • Slab foundation overall good repair. No signs of deficiencies noted. Foundation is performing the job as intended in supporting structure.

FOUNDATIONS \ Performance opinion

34. Condition: • Foundation is anchored to the structure per the standards of when the building was constructed.

FLOORS \ Joists

35. Condition: • Satisfactory

FLOORS \ Sheathing/Subflooring

36. Condition: • Water stains

Implication(s): Material deterioration

Location: Under bathrooms

Task: Consult a termite inspection agency licensed in the state of California

STRUCTURE

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE



33. Water stains



34. Water stains

ROOF FRAMING \ Collar ties/rafter ties

37. Condition: • Satisfactory. No visible defects

ROOF FRAMING \ Ceiling joists

38. Condition: • Satisfactory

ROOF FRAMING \ Sheathing

39. Condition: • [Water stains](#)

Stains noted from previous roof leaks

Implication(s): Material deterioration

Location: Various locations

Description

Service size:

- [200 Amps \(240 Volts\)](#)



35. 200 Amps (240 Volts)

Main disconnect/service box type and location:

- [Fuses - exterior wall](#)



36. Breakers - exterior wall

Auxiliary panel (subpanel) type and location:

- [Breakers - first floor](#)



37. Breakers - first floor

Auxiliary panel (subpanel) rating: • [200 Amps](#)

Distribution wire (conductor) material and type: • Not determined.

Smoke alarms (detectors): • Some missing. Smoke detectors are usually required, depending on the municipality, in each sleeping area, hallways outside sleeping areas and kitchen or basements. Consult a retrofitting specialist as to your area. Carbon monoxide detectors are required in hall areas upper and lower floors.

Carbon monoxide (CO) alarms (detectors): • None noted

Limitations

General: • Type of wiring conductor can not be viewed. Access panel not removed. Possible copper or aluminum wiring.

Inspection limited/prevented by: • Restricted access

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service drop

40. **Condition:** • Satisfactory

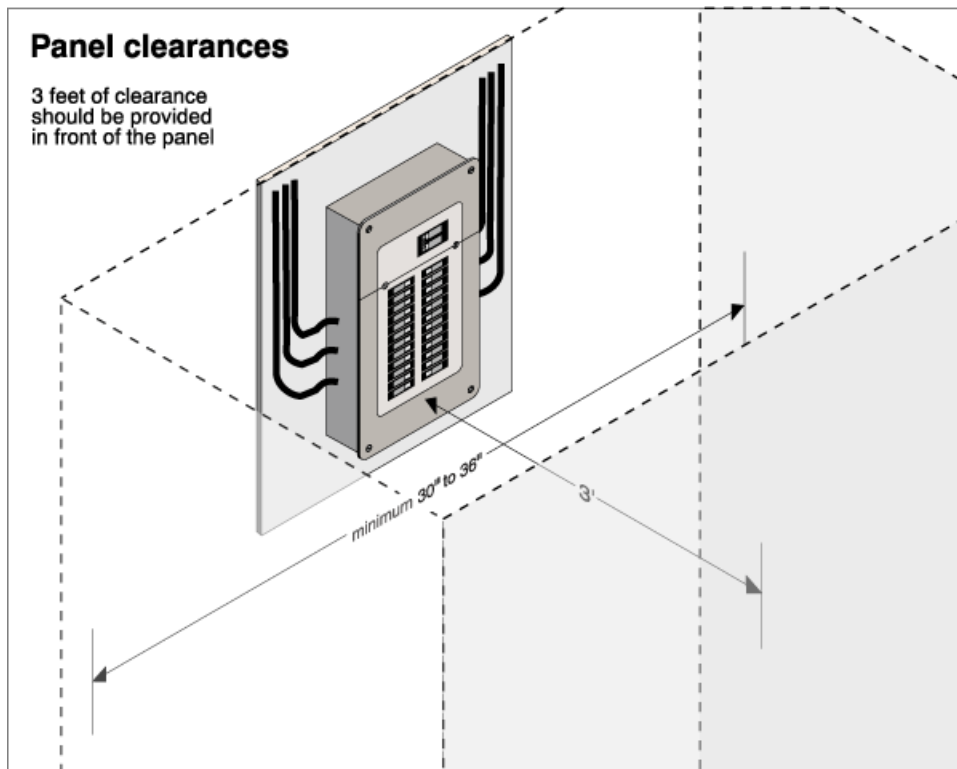
SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

41. **Condition:** • Satisfactory

SERVICE BOX, GROUNDING AND PANEL \ Service box

42. **Condition:** • [Box location poor](#)

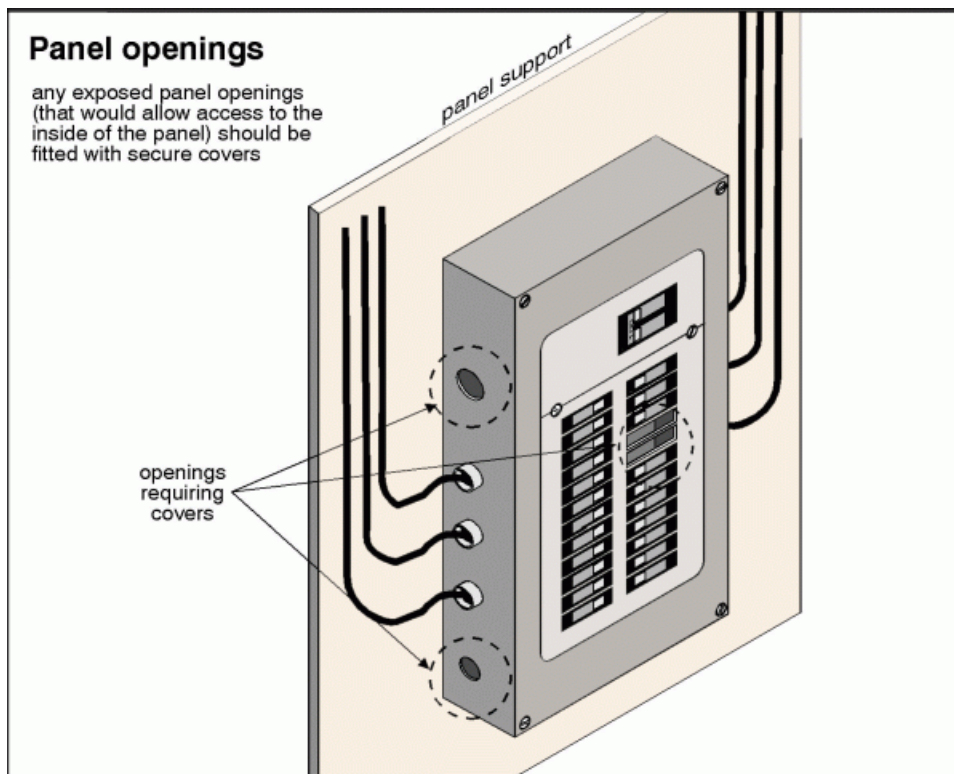
Implication(s): Difficult access | Difficult to service



43. Condition: • [Unprotected openings](#)

Implication(s): Electric shock

Location: Sub panel



38. Unprotected openings

SERVICE BOX, GROUNDING AND PANEL \ System grounding

44. Condition: • Ground wire attached to the water pipe is on the house side of the meter. There is no jumper installed to allow the removal of the meter and yet allow the electrical ground to be intact. A jumper is needed.

SERVICE BOX, GROUNDING AND PANEL \ Panel wires

45. Condition: • Not visible. Panel cover could not be removed due to inadequate safe access.

SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)

46. Condition: • NOTE: Many electricians and home inspectors have discovered that certain "Zinsco" panels often can fail to operate properly and prone to some adverse conditions. These panels can work fine for years, but as homes have increased energy demands, these panels may overheat and portions of it melt.

<http://ismypanelsafe.com/zinsco.php>

Location: Cabinet off of kitchen



39.

DISTRIBUTION SYSTEM \ Outdoor wiring

47. Condition: • Unsafe conditions. Damaged boxes and exposed electrical wires.

Implication(s): Shock hazard.

Location: Exterior left side

Task: Remove or replace



40.



41.

DISTRIBUTION SYSTEM \ Junction boxes

48. Condition: • Not sealed. Knock out cover missing.

Location: Crawl space

Task: Repair.



42.

DISTRIBUTION SYSTEM \ Outlets (receptacles)

49. Condition: • False or bootlegged ground

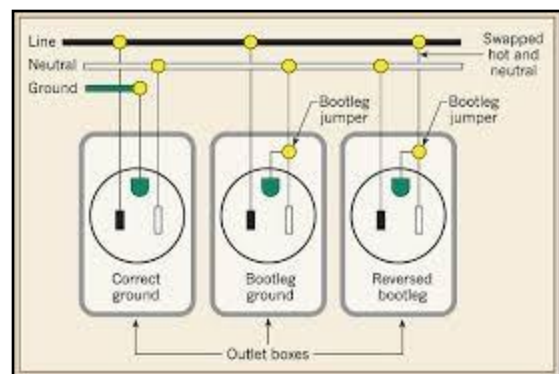
Implication(s): Shock hazard potential

Location: Garage

Task: Further evaluation by licensed electrician



43.



44.

50. Condition: • [Damage](#)

Loose or displaced receptacle

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

Implication(s): Electric shock | Fire hazard

Location: Upper floor

Task: Repair



45. Damage

51. Condition: • [Ungrounded](#)

Implication(s): Electric shock

Location: Throughout

Task: Improve

Time: When remodelling

52. Condition: • [No GFCI/GFI \(Ground Fault Circuit Interrupter\)](#)

Implication(s): Electric shock

Location: At kitchen, some bathrooms, garages and exteriors

Task: Improve

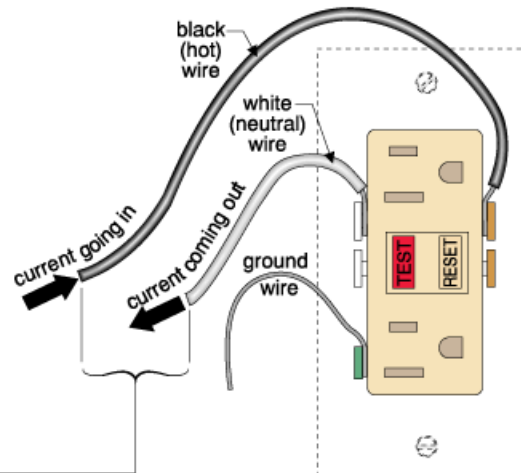
Ground fault circuit interrupter

also known as ground fault interrupter (GFI)

the GFCI circuitry within the outlet checks constantly for a difference between the current in the black and white wires
if there is a difference of at least 5 milliamps, there is a current leak and the GFCI shuts off the outlet and all outlets downstream

note:

if the GFCI is in the panel, the entire circuit will be shut down



DISTRIBUTION SYSTEM \ Switches

53. Condition: • Older switches antiquated and do not operate well

Location: Throughout

Task: Consider upgrades to more current devices.

54. Condition: • [Obsolete](#)

Implication(s): Equipment failure | Electric shock | Fire hazard

DISTRIBUTION SYSTEM \ Lights

55. Condition: • Low voltage operating wires exposed

Location: Garage



46.

56. Condition: • Displaced or askew. Missing fixtures at some locations



47.

COMMENTS \ Additional

57. Condition: • This is an older electrical system which appears original to the dwelling. Some unsafe conditions were noted. Electrical system utilizes older two prong outlet receptacle devices, obsolete dimer switches and breakers or safety gear that have either been defective or at the end of its life. Suggest consulting at least one or two electricians for further evaluation and to provide estimates to upgrade existing electrical system.

HEATING

Report No. 1101

1067 Palos Verdes Boulevard, Redondo Beach, CA April 3, 2020

inspections@qualifiedinspectors.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

Description

System type:

- [Furnace](#)



48. Furnace



49. Furnace

- System 2:
Gas furnace



50. System 2:

Fuel/energy source: • [Gas](#)

Heat distribution: • [Ducts and registers](#)

Combustion air source: • Outside

Approximate age:

- Past lifespan
50+