

# HEATING

1067 Palos Verdes Boulevard, Redondo Beach, CA April 3, 2020

Report No. 1101

[inspections@qualifiedinspectors.com](mailto:inspections@qualifiedinspectors.com)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

INSULATION

PLUMBING

INTERIOR

ELECTRICAL

REFERENCE

**Typical life expectancy:** • Furnace (conventional or mid-efficiency) 18 to 25 years

**Fireplace/stove:**

- [Wood-burning fireplace](#)



51. Wood-burning fireplace

**Chimney liner:** • [Clay](#)

**Location of the thermostat for the heating system:** • Hallway

## Limitations

**Fireplace/wood stove:** • Observation is limited to the visible portions of the fireplace flue. Drop light, mirrors, and smoke testing are not a part of the inspection. Visibility in the flue is limited to as little as 20 percent. It is always recommended that a qualified professional chimney specialist conduct a more invasive inspection.

**Heat exchanger:** • Only a small portion visible

## Recommendations

### FURNACE \ Life expectancy

**58. Condition:** • Past life expectancy

Both heating elements are beyond their serviceable lives and should be replaced to ensure safe heating for the dwelling.

**Implication(s):** Equipment failure | No heat for building

### FURNACE \ Ducts, registers and grilles

**59. Condition:** • Soot noted. Possibly indicates poor combustion

**Location:** Most registers

**Task:** Further evaluation

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52.

## 60. Condition: • [Collapsed](#)

Sections of visible duct are kinked or pinched. Only a small percentage of the duct work is visible. Due to the age of this structure there is always a possibility that duct work within the walls is insulated with asbestos fiber insulation.

**Implication(s):** Increased heating and cooling costs | Reduced comfort

**Location:** Various areas of crawl space

**Task:** Repair



53. Collapsed



54. Collapsed

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55. Collapsed



56. Collapsed

## GAS FURNACE \ Gas burners

61. Condition: • [Rust](#)

Implication(s): Shortened life expectancy of material | Material deterioration



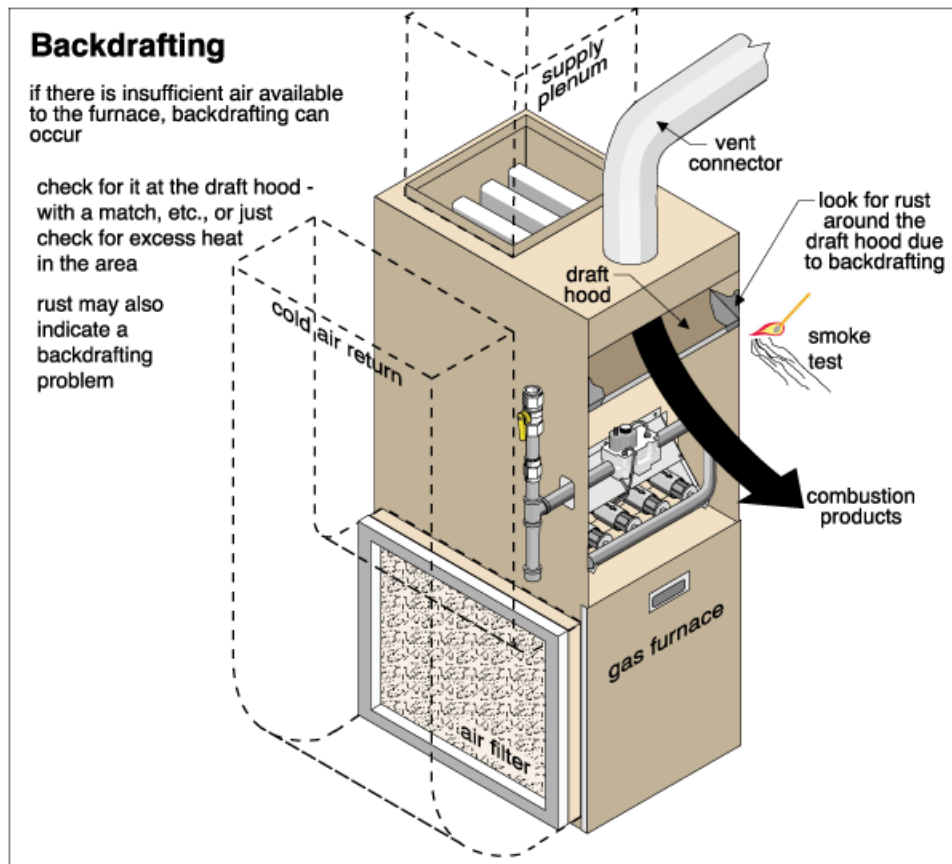
57. Rust

## GAS FURNACE \ Venting system

62. Condition: • [Draft hood spillage or backdraft](#)

Implication(s): Equipment not operating properly | Hazardous combustion products entering home





58. Draft hood spillage or backdraft

63. Condition: • [Draft hood spillage or backdraft](#)

Implication(s): Equipment not operating properly | Hazardous combustion products entering home

Location: Garage furnace

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59. Draft hood spillage or backdraft

## CHIMNEY AND VENT \ Masonry chimney cap

64. Condition: • [Screen missing or damaged](#)

Implication(s): Chance of pests entering building | Fire hazard



60. Screen missing or damaged

## FIREPLACE \ Firebox

65. Condition: • [Cracked masonry or refractory](#)

Implication(s): Hazardous combustion products entering home | Fire hazard

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61. Cracked masonry or refractory

## FIREPLACE \ Damper

66. Condition: • [Damper or frame rusted](#)

Implication(s): Hazardous combustion products entering home | Increased heating costs | Reduced comfort



62. Damper or frame rusted

# INSULATION AND VENTILATION

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## Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • Not determined

Attic/roof ventilation: • [Roof and soffit vents](#)

Wall insulation amount/value: • Not determined • Not visible

Floor above basement/crawlspace insulation amount/value: • [None found](#)

Crawlspace ventilation: • [Wall Vents](#)

## Limitations

Attic inspection performed: • From access hatch

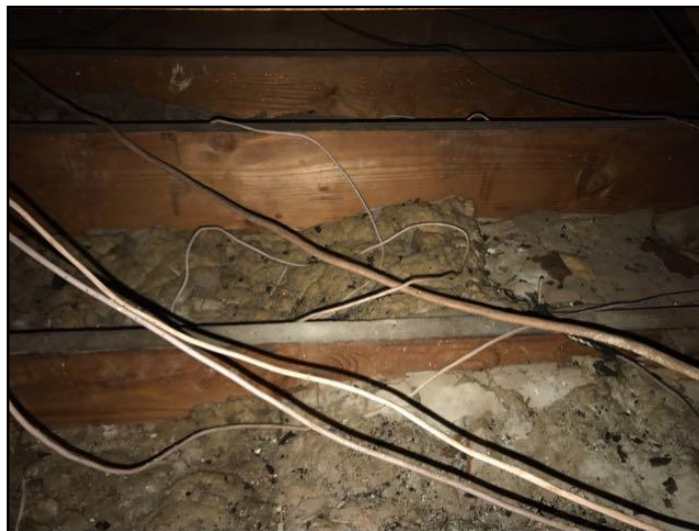
## Recommendations

### ATTIC/ROOF \ Insulation

67. **Condition:** • Aged worn and deteriorated

**Location:** Throughout attic

**Task:** Replace



63.

68. **Condition:** • Upper attic space



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64.

## FOUNDATION \ Crawlspace ventilation

**69. Condition:** • Rusty from prior moisture.

**Location:** Left side



65.

## CRAWLSPACE \ Hatch/Door

**70. Condition:** • Damaged

Potential for animal entry as result.

**Location:** Left

**Task:** Repair



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66. *Damaged*

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## Description

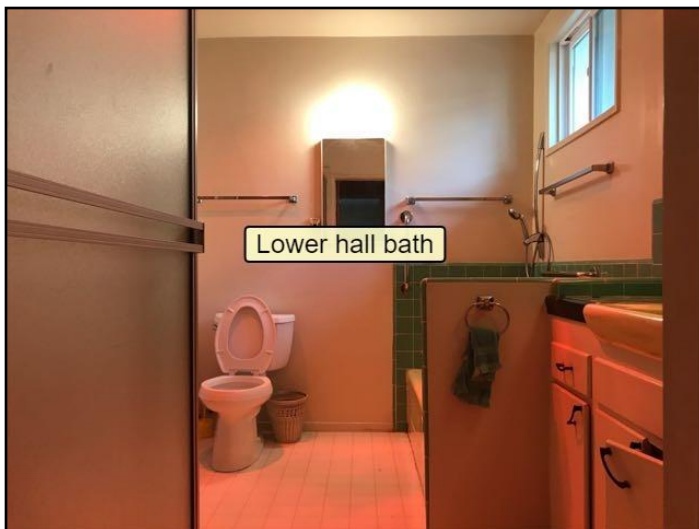
**General:** • 4 bathroom dwelling



67.



68.



69.



70.

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:**

• Garage

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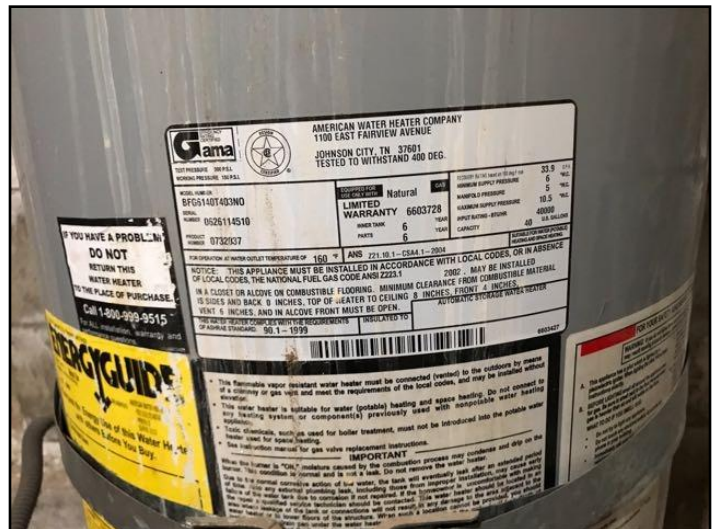
71. Garage

Water heater type:

- [Conventional](#)



72. Conventional



73. Conventional

Water heater fuel/energy source: • [Gas](#)

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 14 years

Water heater typical life expectancy: • 8 to 12 years

Waste disposal system: • Conventional

Waste and vent piping in building: • Cast iron, galvanize and galvanized.

Waste and vent piping in building: • [ABS plastic](#)



## Main fuel shut off valve at the:

- South



74. South

## Limitations

**Inspection limited/prevented by:** • Client should understand that the sewer line from the building to the street sewer is not visible in this type of general visual inspection. Inspector can not determine condition or adequacy of this waste pipe. We always recommend contracting with a qualified sewer line inspector who uses a scope and camera to view the system and render a report as to its condition

**Items excluded from a building inspection:** • Did not perform any evaluation or testing of the existing fire sprinkler system. The only information noted is the presence of the system. The type of system installed is referred to as a Wet Pipe System.

*Note:* However it should be mentioned that older galvanized pipe is used. Anticipate upgrades



75. Did not perform any evaluation or testing o...



## Recommendations

### SUPPLY PLUMBING \ Water supply piping in building

#### **71. Condition:** • Corrosion

Galvanized straps or plumbing tape is used to support copper pipe. Suggest that a buffer be placed between the two metals or that straps be changed to plastic or copper. Using galvanized straps is not to industry standards as it promotes corrosion.

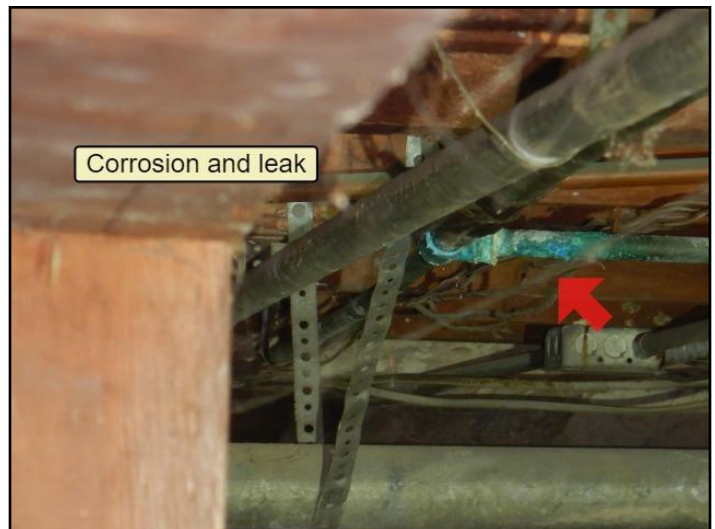
**Implication(s):** Chance of water damage to contents, finishes and/or structure | Leakage | Reduced system life expectancy | Equipment failure

**Location:** Crawl Space

**Task:** Repair



76. Corrosion



77. Corrosion

### SUPPLY PLUMBING \ Water pressure regulator

#### **72. Condition:** • [Missing](#)

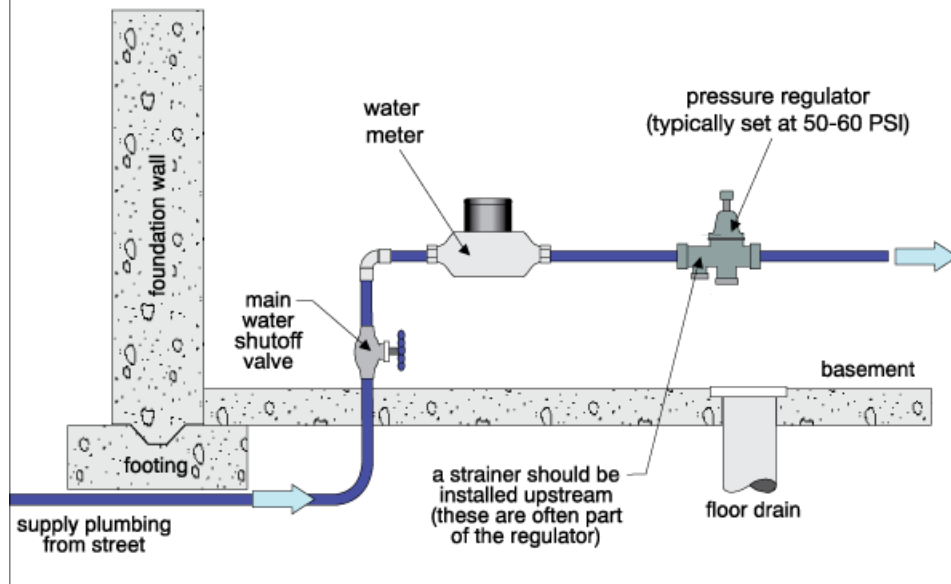
Water pressure exceeds 80 lbs which is too high

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Leakage | Damage to equipment

**Task:** Install.

## Pressure regulator required

residential systems with static pressure in excess of 80 PSI usually have a pressure regulator



## GAS SUPPLY \ Gas piping

**73. Condition:** • A section of gas line noted that passes through concrete without an appropriate sleeve. Gas lines should not be embedded into concrete as this could pose damage and future leaks. Contact a licensed plumber for further evaluation

**Implication(s):** Potential for gas leak

**Location:** Front steps

**Task:** Further evaluation needed by licensed plumber



78.

**WATER HEATER \ General notes**

**74. Condition:** • Water heater is corroded to the extent that replacement and relocation should be achieved.

**Location:** Adjacent to garage

**Task:** Consult licensed plumber.

**WATER HEATER \ Life expectancy**

**75. Condition:** • Past life expectancy

**Implication(s):** Chance of water damage to contents, finishes and/or structure | No hot water

**WATER HEATER \ Tank**

**76. Condition:** • [Rust](#)

**Implication(s):** System inoperative | No hot water

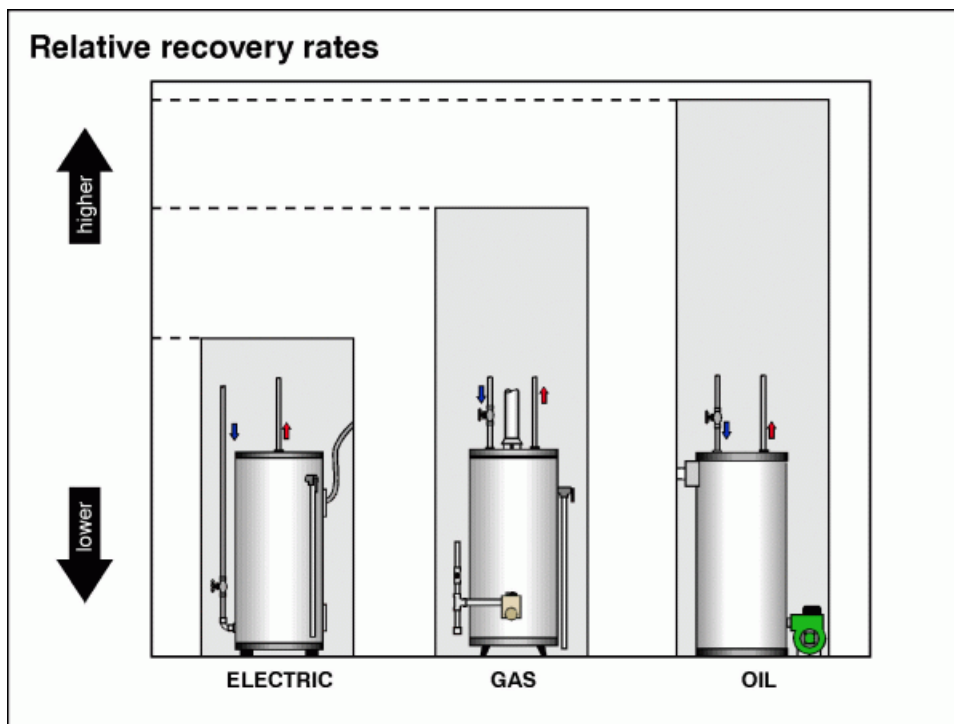


79. Rust

**WATER HEATER \ Capacity**

**77. Condition:** • [Inadequate](#)

**Implication(s):** Inadequate hot water



## WATER HEATER \ Hot/cold piping

**78. Condition:** • Corrosion seen.

**Implication(s):** Leak Potential

**Task:** Replace



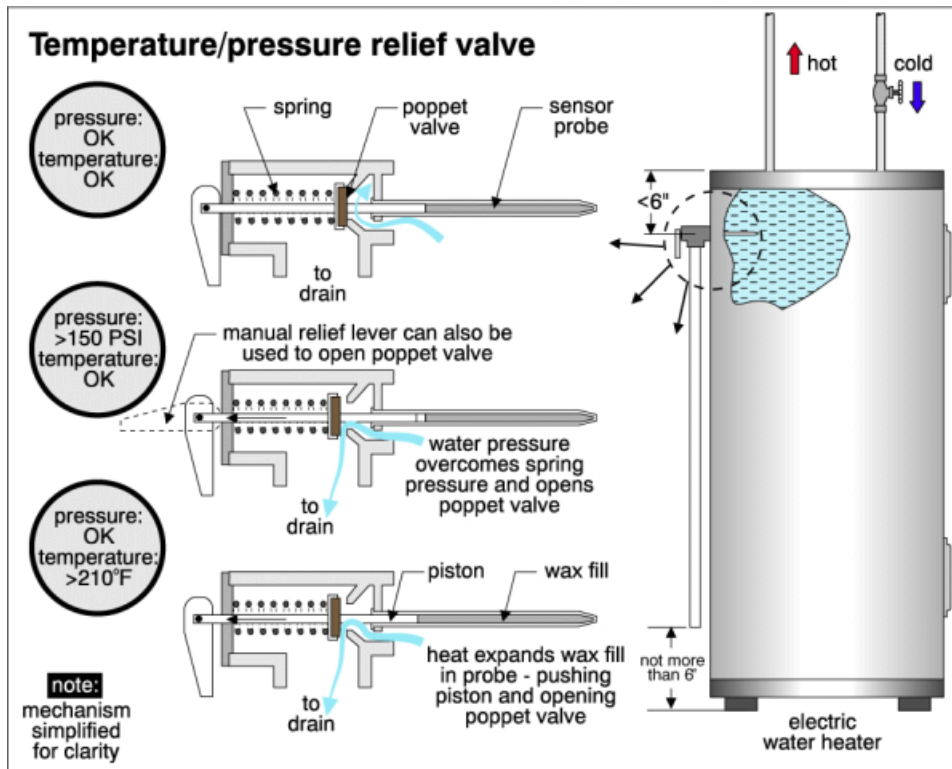
80.

## WATER HEATER \ Temperature/pressure relief valve

**79. Condition:** • [Discharge tube missing](#)

**Implication(s):** Scalding





## WATER HEATER - GAS BURNER AND VENTING \ Gas burners

**80. Condition:** • [Less than 18 inches above garage floor](#)

**Implication(s):** Fire or explosion

## WATER HEATER - GAS BURNER AND VENTING \ Venting system

**81. Condition:** • [Spillage or backdraft at the draft hood](#)

**Implication(s):** Equipment not operating properly | Hazardous combustion products entering home

## WASTE PLUMBING \ Drain piping - performance

**82. Condition:** • Predominant waste line material is cast iron. Also some galvanized piping installed. Client should be aware that the normal life span of cast iron or galvanized waste pipe is generally 55 to 65 years. This older pipe tends to corrode from the inside restricting waste flow and back ups become more and more frequent. Upgrades should be anticipated.



81. Predominant waste line material is cast...

## WASTE PLUMBING \ Traps - installation

83. Condition: • Fixture traps installed in a satisfactory manner.

## WASTE PLUMBING \ Venting system

84. Condition: • [Missing](#)

Implication(s): Sewer gases entering the building

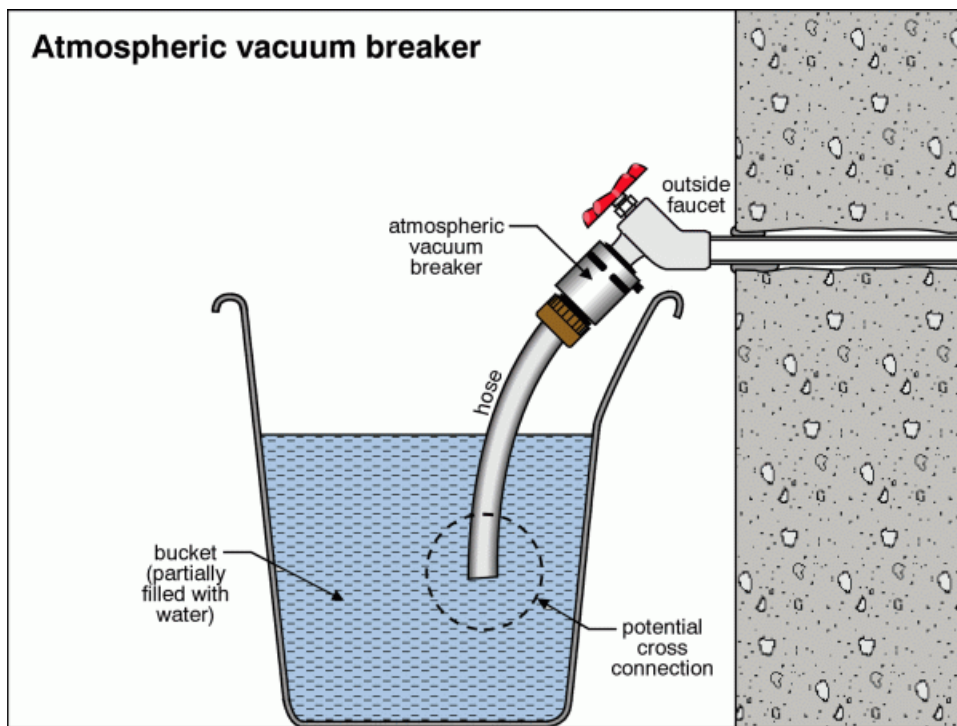
Location: Lower bath drain

Task: Further evaluation by licensed plumber

## FIXTURES AND FAUCETS \ Hose bib or bibb (outdoor faucet)

85. Condition: • [Backflow prevention missing](#)

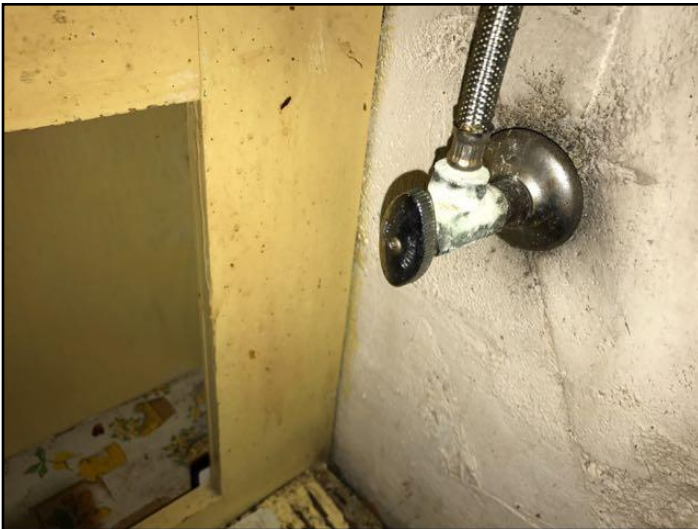
Implication(s): Contaminated drinking water



## FIXTURES AND FAUCETS \ Faucet

86. Condition: • Angle stops show corrosion

Location: all sink fixtures



82.



83.

## FIXTURES AND FAUCETS \ Basin, sink and laundry tub

87. Condition: • [Slow drains](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Upper bath sink

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84. Slow drains

## FIXTURES AND FAUCETS \ Bathtub

88. Condition: • Spout not sealed

Location: Lower hall bath



85.

## FIXTURES AND FAUCETS \ Shower stall

89. Condition: • Loose fixture

Location: Lower hall bath



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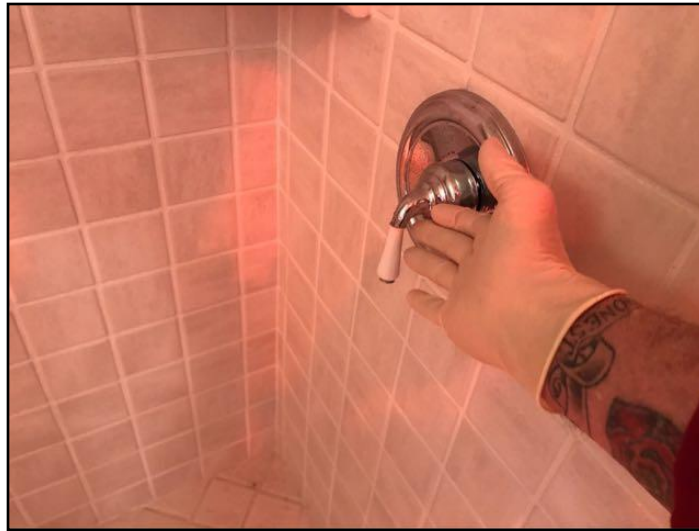
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86.

## **FIXTURES AND FAUCETS \ Shower stall enclosure**

**90. Condition:** • Older nine tempered enclosure cracked

**Location:** Master bath



87.

## **FIXTURES AND FAUCETS \ Toilet**

**91. Condition:** • Toilets are in satisfactory condition and operated as intended.

## **LOW-FLOW \ Fixtures**

**92. Condition:** • Showerhead - more than 2.5 GPM (gallons per minute)

## **COMMENTS \ Additional**

**93. Condition:** • There are enough plumbing issues to warrant further evaluation by a licensed plumber. Refer to some of the visible defects in plumber section of report.

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## Description

**Major floor finishes:** • [Carpet](#)

**Major wall and ceiling finishes:** • [Plaster/drywall](#)

**Windows:** • Double pane sash. Vinyl

*Note:* Also double pane sliders

**Exterior doors - type/material:** • Hinged • [Sliding glass](#)

**Oven fuel:** • Electric

**Cooktop fuel:** • Electric

**Kitchen ventilation:** • Range hood

**Bathroom ventilation:** • Exhaust fan • Window

## Limitations

**General:** • Refrigerator is not part of this inspection

**Inspection limited/prevented by:** • Carpet

## Recommendations

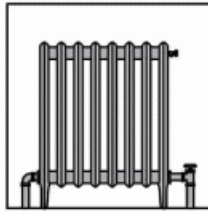
### CEILINGS \ General notes

**94. Condition:** • [Water damage](#)

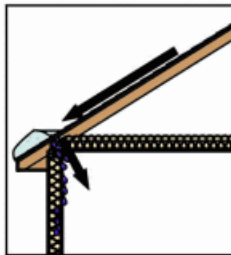
**Implication(s):** Chance of movement | Rot | Leakage

**Location:** Upper bath

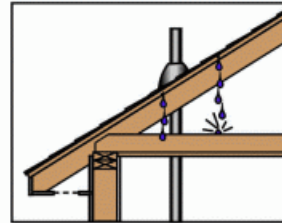
## Sources of interior water damage



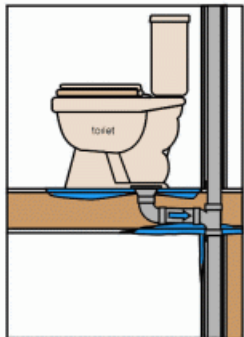
heating leaks



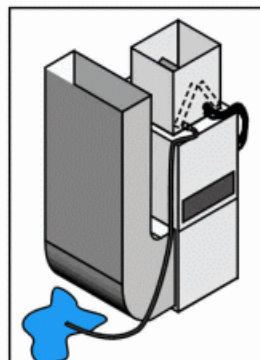
ice damming  
and condensation



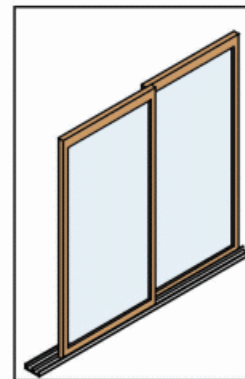
roof or  
flashing leaks



plumbing leaks



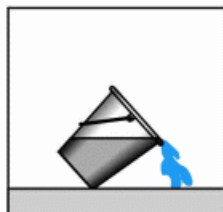
air conditioning leaks



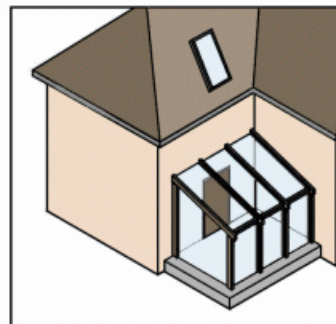
door leaks



melting snow



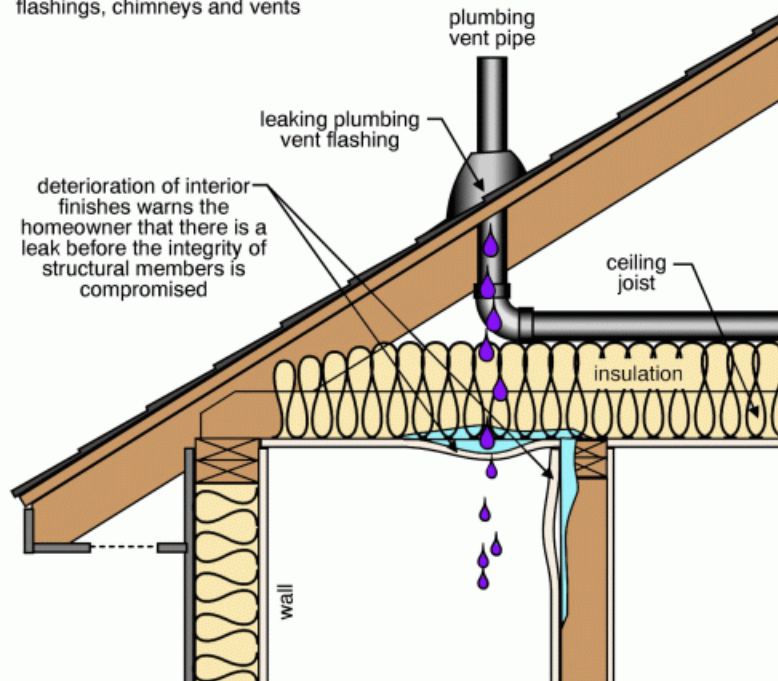
accidental spills



wall, window, solarium and skylight leaks

## Common locations for water damage

water damage to walls is common below windows, bathrooms, roof flashings, chimneys and vents



88. Water damage

95. Condition: • Water stains

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various locations



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89. Water stains



90. Water stains



91. Water stains

## WALLS \ General notes

**96. Condition:** • Cracks

**Implication(s):** Chance of structural movement | Damage or physical injury due to falling materials

**Location:** Upper south room

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92. Cracks

## FLOORS \ General notes

**97. Condition:** • Possible asbestos tile

**Location:** Throughout. possibly under carpets



93.

## FLOORS \ Carpet on floors

**98. Condition:** • Carpet is generally worn and stained. Anticipate upgrades

**Location:** Throughout

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94.



95.

## WINDOWS \ Glass (glazing)

99. Condition: • [Lost seal on double or triple glazing](#)

Implication(s): Shortened life expectancy of material

Location: At least two windows. Such as front facing living room window and at back bath window



96. Lost seal on double or triple glazing



97. Lost seal on double or triple glazing

## DOORS \ Glass (glazing)

100. Condition: • Safety glass not installed

Implication(s): Physical injury

Location: Lower left slider from bedroom



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98. Safety glass not installed

## STAIRS \ General notes

101. Condition: • Satisfactory

## EXHAUST FANS \ Duct

102. Condition: • [Termination point not found](#)

Implication(s): Chance of condensation damage to finishes and/or structure

## EXHAUST FANS \ Kitchen range exhaust system

103. Condition: • Inoperative

Implication(s): Equipment inoperative

104. Condition: • Old

Implication(s): Reduced system life expectancy

Task: Repair

## EXHAUST FANS \ Power vent for roof space

105. Condition: • Noisy

Lower hall bath

Implication(s): Equipment failure

## CRAWLSPACE \ Wet crawlspace - evidence

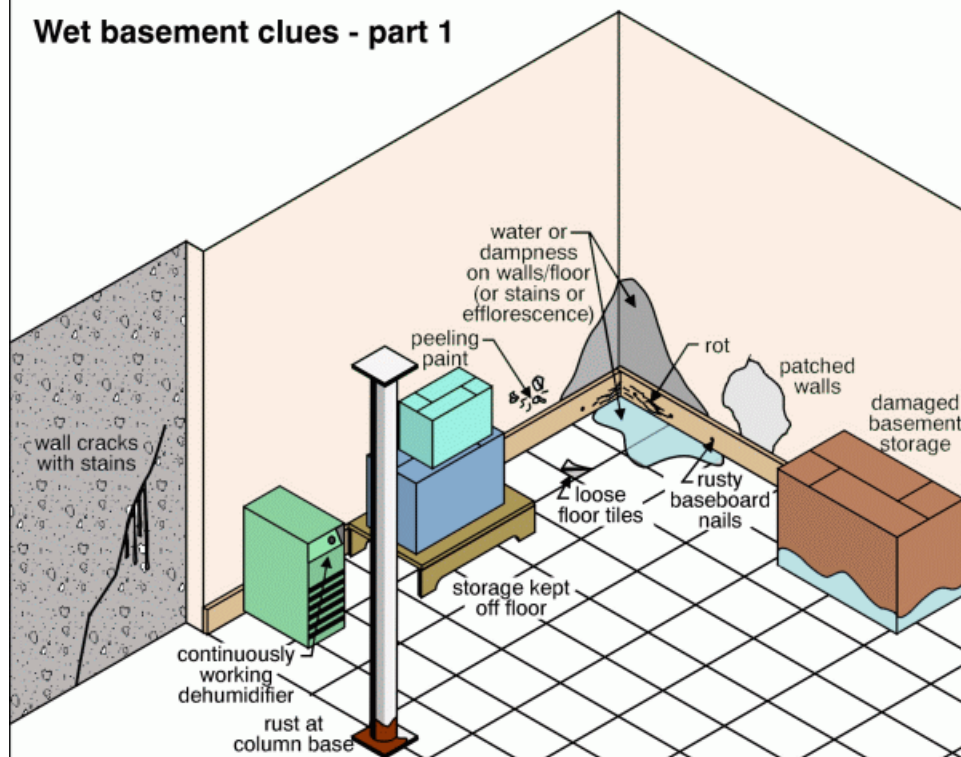
106. Condition: • [Dampness on floor or walls](#)

Evidence of water entry from right side.

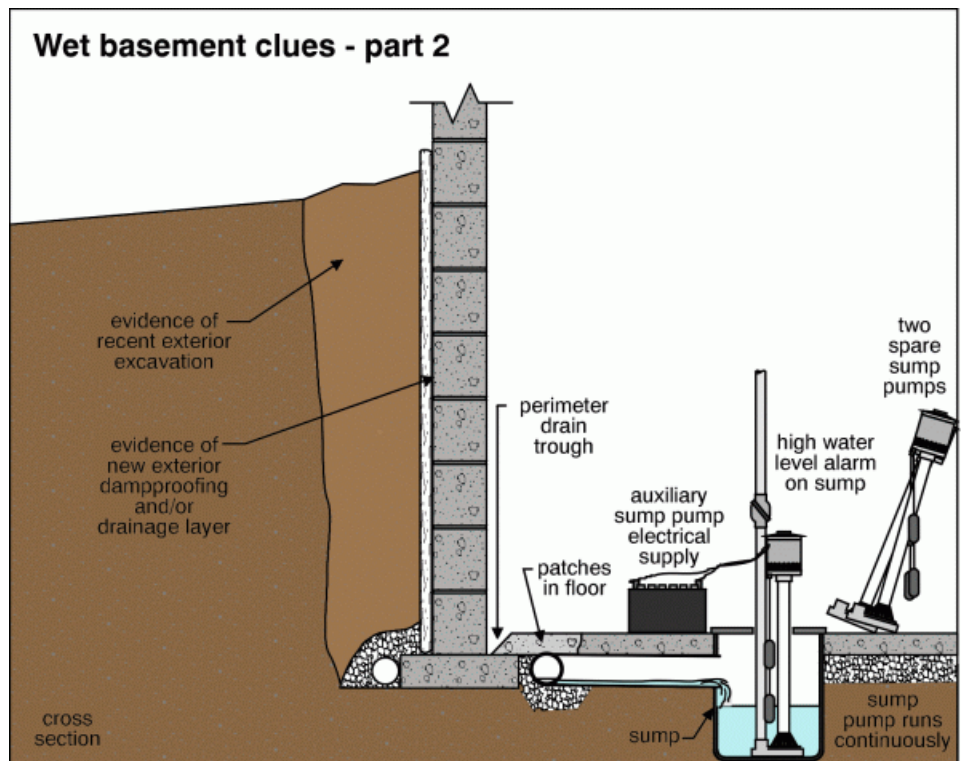
Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration



## Wet basement clues - part 1



## Wet basement clues - part 2



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99. Dampness on floor or walls

## APPLIANCES \ Oven

107. Condition: • Old

Implication(s): Reduced system life expectancy



100. Old

## APPLIANCES \ Range

108. Condition: • Old

Implication(s): Reduced system life expectancy

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101. Old

## APPLIANCES \ Dishwasher

109. Condition: • Signs of prior leak



102.

110. Condition: • Backflow prevention missing

Implication(s): Contaminated drinking water

## APPLIANCES \ Waste disposal

111. Condition: • Inoperative

Implication(s): Equipment inoperative

## POTENTIALLY HAZARDOUS MATERIALS \ General notes

112. Condition: • Possible asbestos containing materials

Acoustic ceiling materials and older linoleum floor tile. These materials would have to be tested by and environmental

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agency to be certain

**Implication(s):** Health hazard



## Recommendations

### **BRANCH CIRCUIT \ Outlet conditions**

**113. Condition:** • At least one loose or displaced

**Location:** Upper center room



**103.**

**114. Condition:** • Un-grounded two-prong receptacles

**115. Condition:** • Outlets close to water source should be protected by a ground-fault circuit interrupter (GFCI)

**END OF REPORT**

# REFERENCE LIBRARY

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The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS