



Covenant Home Inspection

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Inspected By: Covenant Home Inspection



Home Inspection Report

Prepared For:

Nino Pascolati

Property Address:

2113 Bristol Park Cir

Turlock, CA 95382

Inspected on Thu, Apr 27 2023 at 12:00 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

General

Property Type:	Single Family
Stories:	Two
Approximate Age:	32 years
Age Based On:	Listing
Bedrooms/Baths:	4/3
Furnished:	No
Occupied:	Vacant
Weather:	Sunny
Temperature:	Warm
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Not Present

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level Condition: Satisfactory
Vegetation:	Not Growing Against Structure Condition: Satisfactory
Retaining Walls:	Concrete Condition: Satisfactory
Driveway:	Concrete Condition: Satisfactory
Walkways:	Concrete Condition: Satisfactory

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Stucco Condition: Satisfactory
Exterior Trim Material:	Wood Condition: Satisfactory
Windows:	Vinyl Condition: Satisfactory
Entry Doors:	Wood Condition: Satisfactory



Comment 1:

Wood trim has damage at areas. Recommend replace damaged wood member to prevent further deterioration.



Figure 1-1

(Exterior continued)



Comment 2:

AC unit condensate line drippage has caused damage to the stucco. Recommend extending condensate line away from structure to prevent deterioration.



Figure 2-1

Garage

Garage Type:	Attached
	Condition: Satisfactory
Garage Size:	3 Car
Door Opener:	Belt Drive
	Condition: Satisfactory
Opener Safety Feature:	Force Sensitive
	Condition: Satisfactory



Comment 3:

Patching noted at the garage ceiling. Recommend determine from homeowner if previous repairs have been done.

(Garage continued)



Figure 3-1

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Roof Design:	Gable
Roof Covering:	Concrete Tile
	Condition: Satisfactory
Ventilation Present:	Roof
	Condition: Satisfactory
Vent Stacks:	Metal
	Condition: Satisfactory
Flashings:	Metal
	Condition: Satisfactory
Soffit and Fascia:	Wood
	Condition: Satisfactory
Gutters & Downspouts:	Metal
	Condition: Satisfactory

(Roofing continued)



Comment 4:

Roof sheathing at areas was damaged and needs correcting. Recommend repairs with proper installation.



Figure 4-1



Figure 4-2

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Slab on Grade, Crawl Space
Foundation Material:	Poured Concrete
	Condition: Satisfactory
Signs of Water Penetration:	Moisture
	Condition: Satisfactory
Floor Structure:	Wood Frame
	Condition: Satisfactory
Subflooring:	Oriented Strand Board
	Not Present
	Condition: Satisfactory
Wall Structure:	Wood Frame
	Condition: Satisfactory

(Structure continued)

Attic

Roof Framing Type:	Wood Trusses Condition: Satisfactory
Roof Deck Material:	Oriented Strand Board Condition: Satisfactory
Vent Risers:	Metal, PVC Condition: Satisfactory
Insulation:	Fiberglass Condition: Satisfactory

Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.



Comment 5:
Substructure area.



Figure 5-1



Figure 5-2

(Crawlspace continued)



Figure 5-3

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Service Panel
Service Panel Location:	Exterior
Service Panel Manufacturer:	General Electric
	Condition: Satisfactory
Service Line Material:	Copper
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	200 amps
Service Panel Ground:	Unknown Not Visable
Branch Circuit Wiring:	Stranded Aluminum
	Condition: Satisfactory
Overcurrent Protection:	Breakers
	Condition: Satisfactory
GFCI/AFCI Breakers:	Not Present
Smoke Detectors:	9 volt Battery Type, Lithium Battery Type, Hard Wired
	Condition: Satisfactory

(Electrical continued)



Comment 6:
Main Service Panel.



Figure 6-1



Comment 7:
Carbon monoxide detectors are recommend to be placed no higher than 3 feet from the ground for quickest detection.



Figure 7-1

HVAC

HVAC System Type:	Central Split System
Thermostat:	Digital
	Condition: Satisfactory
Thermostat Location:	Hallway



Comment 8:

HVAC thermostat was in lock mode at the time of inspection. Unable to test the heating or cooling units.

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Garage
Type of Equipment:	Forced Air
	Condition: Satisfactory
Manufacturer:	Trane
Heating Fuel:	Gas
	Condition: Satisfactory
Filter Type:	Disposable
	Condition: Satisfactory
Type of Distribution:	Flexible Ducting
	Condition: Satisfactory

(Heating continued)



Comment 9:
Heating unit.



Figure 9-1



Figure 9-2

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:

Electric

Type of Equipment:

Split System

Condition: Satisfactory

Condenser Make:

Trane

Condensate Drainage:

To Exterior

Condition: Satisfactory

(Cooling continued)



Comment 10:
Cooling unit.



Figure 10-1



Figure 10-2



Figure 10-3



Figure 10-4

(Cooling continued)



Comment 11:

The foam sleeve is deteriorating on the suction line at outside unit. Missing foam sleeve can cause condensation and energy loss. I recommended replace as needed.

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper
	Condition: Satisfactory
Location of Main Water Shutoff:	At Meter
Sewer System:	Public
Waste Pipe Material:	ABS Plastic
	Condition: Satisfactory
Location of Fuel Shutoff:	At Meter

Water Heater

Manufacturer:	American Standard
Fuel:	Natural Gas
Capacity:	50 gal
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Satisfactory
Fuel Disconnect:	In Same Room
Seismic Straps Installed:	Not Present

(Water Heater continued)



Comment 12:

Water heater seismic straps should be located on the top one third and bottom one third of the unit. This is a safety issue. I recommended repair or replace as necessary.



Figure 12-1



Comment 13:

Drain pan is missing at the water heater. It's recommended to have a safety pan with a drain pipe terminating outside if possible to prevent water damage to the stand/surroundings.

Bathrooms

Bathroom #1

Location:	Hall Bath Down Stairs
Shower:	Stall
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory

(Bathroom #1 continued)

Toilet:	Standard Tank Condition: Satisfactory
Shower Walls:	Tile Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory



Comment 14:

Active leak was noted at the shower head. Recommend repair as needed to prevent water damage/water waste.




Figure 14-1

Bathroom #2

Location:	Hall Bath Up Stairs
Bath Tub:	Recessed Condition: Satisfactory

(Bathroom #2 continued)

Shower:	In Tub Condition: Satisfactory
Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Shower Walls:	Fiberglass Condition: Satisfactory
Tub Surround:	Fiberglass Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory

 **Comment 15:**
Caulking was missing on plumbing fixtures at shower/tub wall. Recommend sealing to prevent water intrusion.

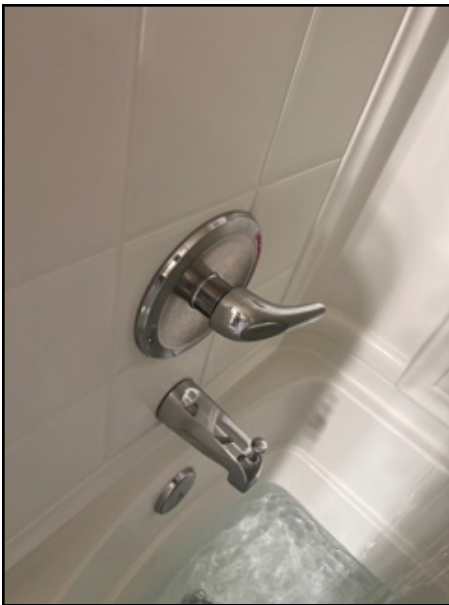


Figure 15-1

(Bathrooms continued)

Bathroom #3

Location:	Master Bath
Bath Tub:	Free Standing Condition: Satisfactory
Sink(s):	Double Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Tub Surround:	Tile Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator, Window Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory



Comment 16:

Active leak was noted at the right side sink faucet. Recommend repairing for proper drainage and prevent water waste.



Figure 16-1

(Bathroom #3 continued)



Comment 17:

Active leak was noted at under sink plumbing. Recommend repairing to prevent further water damage .



Figure 17-1

Kitchen

Cabinets:	Wood Condition: Satisfactory
Countertops:	Granite Condition: Satisfactory
Sink:	Double Condition: Satisfactory

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

(Appliances continued)

Oven:

Whirlpool
Condition: Satisfactory



Cooktop:

Whirlpool
Condition: Satisfactory



(Appliances continued)

Dishwasher:

Samsung
Condition: Satisfactory



Microwave:

Samsung
Condition: Satisfactory

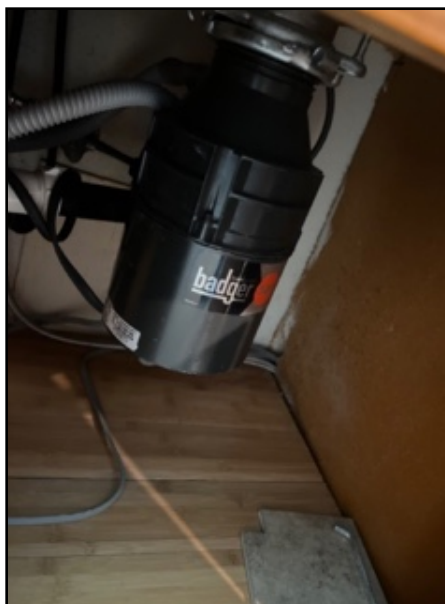


(Appliances continued)

Disposal:

Badger

Condition: Satisfactory



Laundry

Built In Cabinets:

Yes

Condition: Satisfactory

Laundry Sink:

Not Present

Dryer Venting:

To Crawl

Condition: Satisfactory

Laundry Hook Ups:

Yes

Condition: Satisfactory

(Laundry continued)

i Comment 18:
Laundry hooks ups sufficient at time of inspection. 220v electric connection present.

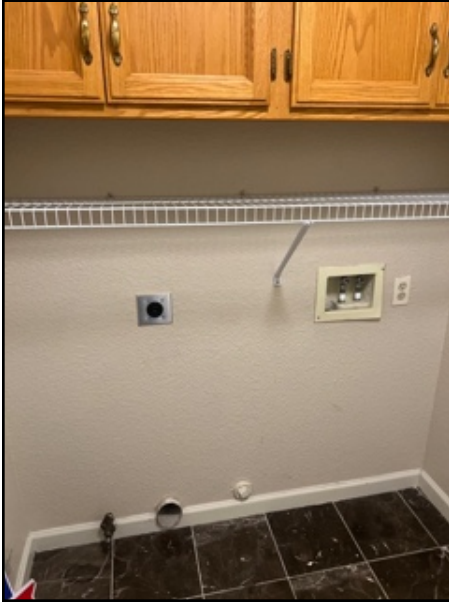


Figure 18-1

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Wood Laminate Condition: Satisfactory
Walls:	Painted Drywall, Textured Over Drywall Condition: Satisfactory
Window Types:	Double Hung, Single Hung Condition: Satisfactory
Window Materials:	Vinyl
Entry Door Types:	Hinged Condition: Satisfactory
Entry Door Materials:	Wood
Interior Door Materials:	Wood
Fireplace:	Gas Burning Condition: Further Evaluation Required

(Interior continued)



Comment 19:

Closet door tracks were missing. Recommend installing to ensure proper function.



Figure 19-1



Figure 19-2

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Exterior

1) Wood trim has damage at areas. Recommend replace damaged wood member to prevent further deterioration.



Figure 1-1

2) AC unit condensate line drippage has caused damage to the stucco. Recommend extending condensate line away from structure to prevent deterioration.

(Report Summary continued)



Figure 2-1

Garage

3) Patching noted at the garage ceiling. Recommend determine from homeowner if previous repairs have been done.



Figure 3-1

(Report Summary continued)

Roofing

4) Roof sheathing at areas was damaged and needs correcting. Recommend repairs with proper installation.



Figure 4-1



Figure 4-2

Electrical

5) Carbon monoxide detectors are recommend to be placed no higher than 3 feet from the ground for quickest detection.



Figure 7-1

(Report Summary continued)

HVAC

6) HVAC thermostat was in lock mode at the time of inspection. Unable to test the heating or cooling units.

HVAC: Cooling

7) The foam sleeve is deteriorating on the suction line at outside unit. Missing foam sleeve can cause condensation and energy loss. I recommended replace as needed.

Plumbing: Water Heater

8) Water heater seismic straps should be located on the top one third and bottom one third of the unit. This is a safety issue. I recommended repair or replace as necessary.



Figure 12-1

9) Drain pan is missing at the water heater. It's recommended to have a safety pan with a drain pipe terminating outside if possible to prevent water damage to the stand/surroundings.

(Report Summary continued)

Bathrooms: Bathroom #1

10) Active leak was noted at the shower head. Recommend repair as needed to prevent water damage/water waste.



Figure 14-1

Bathrooms: Bathroom #2

11) Caulking was missing on plumbing fixtures at shower/tub wall. Recommend sealing to prevent water intrusion.

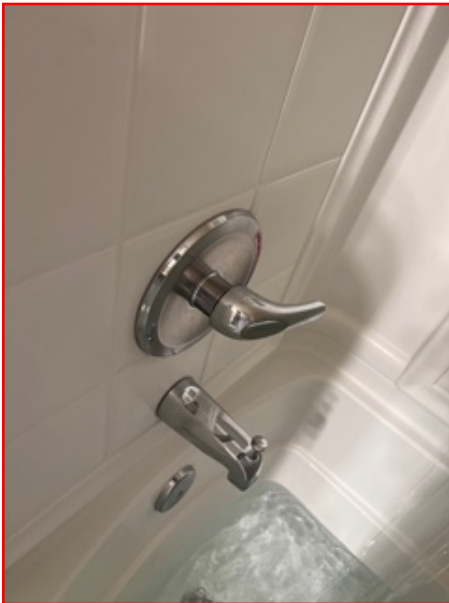


Figure 15-1

(Report Summary continued)

Bathrooms: Bathroom #3

12) Active leak was noted at the right side sink faucet. Recommend repairing for proper drainage and prevent water waste.



Figure 16-1

13) Active leak was noted at under sink plumbing. Recommend repairing to prevent further water damage .



Figure 17-1

(Report Summary continued)

Interior

14) Closet door tracks were missing. Recommend installing to ensure proper function.



Figure 19-1



Figure 19-2