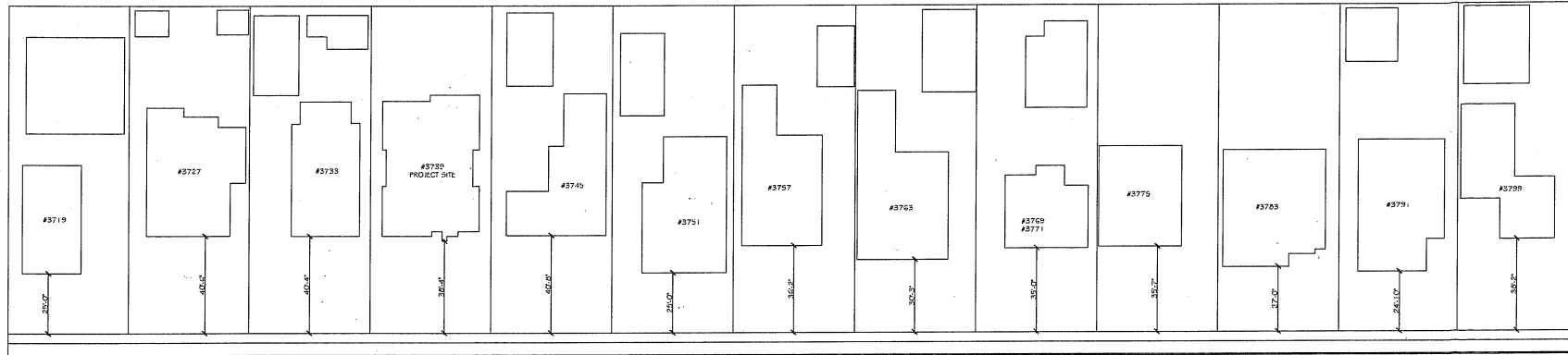


3739 ELMA RD
PASADENA CA, 91107

FRONT YARD AVERAGE CALCULATION:

1.	37.19	BRANDON ST.	29'-0"
2.	37.27	**	40'-6"
3.	37.33	**	40'-4"
4.	37.39	** (PROJECT SITE)	39'-4"
5.	37.45	**	40'-0"
6.	37.51	**	29'-0"
7.	37.57	**	36'-2"
8.	37.63	**	30'-3"
9.	37.69	**	35'-0"
10.	37.75	**	35'-7"
11.	37.81	**	27'-0"
12.	37.87	**	24'-10"
13.	37.93	**	30'-2"
TOTAL			436'-10"
AVERAGE			436'-10" / 13 = 33'-7"



ELMA RD

① PARCEL SITES
1" = 25'-0"

GENERAL NOTES

- THE GENERAL CONTRACTOR VERIFY ALL EXISTING DIMENSIONS ON SITE. PARAGON DESIGN & DRAFTING, INC. RECORDS ALL EXISTING STRUCTURES AND PARTS THEREOF TO ITS BEST ABILITY. HOWEVER, IT DOES NOT HOLD RESPONSIBILITY AND LIABILITY FOR ANY AND ALL EXISTING CONDITIONS, EXPOSED OR CONCEALED.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK AND REPORT ANY ERROR, INCONSISTENCY OR OMISSION DISCOVERED TO THE DESIGNER AND ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTORS.
- THE GENERAL CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE LIABILITY FOR THAT AREA OF CONSTRUCTION IN WHICH HE KNOWINGLY DISCOVERS ANY ERROR, OMISSION, OR INCONSISTENCY IN THE PLANS YET HE PROCEEDS WITH CONSTRUCTION OF THE AREA WITHOUT IMMEDIATELY NOTIFYING THE DESIGNER, ENGINEER AND OWNER ABOUT SAID ERROR, OMISSION, OR INCONSISTENCY. THE DESIGNER WILL REVIEW THE MEANS OF CORRECTING ERRORS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ALL DAMAGED STRUCTURAL MEMBERS DISCOVERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASBESTOS ABATEMENT IF ENCOUNTERED DURING THE COURSE OF DEMOLITION OR CONSTRUCTION OF THE PROJECT.
- CONTRACTOR SHALL INSTALL WALL BACKINGS, BLOCKING, OR MISCELLANEOUS STEEL AS REQUIRED FOR ALL PARTITIONS, LIGHT FIXTURES, FIXED SHELVES, AND ACCESSORIES.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM DUST NUISANCE. THE WORK SHALL BE IN CONFORMANCE WITH THE AIR POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
- THE SCOPE OF SERVICES UNDER THIS CONTRACT IS LIMITED ONLY TO THE AREA OF NEW ADDITION OR REMODEL. ALL OTHER INFORMATION SHOWN IN THIS PLAN SET IS FOR ILLUSTRATION ONLY. THE CONTRACTOR SHALL VERIFY THEIR ACCURACY.
- ALL DIMENSIONS ARE TO THE FACE OF STUD, UNLESS NOTED OTHERWISE.
- SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.

- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE LOCAL GOVERNING BUILDING CODES AS ADOPTED AND AMENDED C.A.G. TITLE 24 HANDICAPPED REQUIREMENT THE CURRENT CODE IS THE 2014 CALIFORNIA RESIDENTIAL CODE.
- AT TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS' COMPENSATION INSURANCE CERTIFICATE.
- ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24 REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD) SHALL BE NOTIFIED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO START OF ANY DEMOLITION, ADDITION, AND/OR REMODEL WORK. THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT OFFICE IS LOCATED AT 21865 COPLEY DRIVE IN DIAMOND BAR. PHONE NUMBER (909) 596-2000. BE ADVISED, SCAQMD MAY REQUIRE A 10 DAY WAIT PERIOD PRIOR TO START OF WORK.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
 - STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
 - RASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPACULE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
 - FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.

- THE CONTRACT STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DOES NOT INDICATE THE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING AND SHORING TO PROTECT THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
- PEDESTRIANS SHALL BE PROTECTED DURING CONSTRUCTION, REMODELING, AND DEMOLITION ACTIVITIES AS REQUIRED BY COUNTY OF LOS ANGELES BUILDING CODE CHAPTER 33.
- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS.
- AN EXCAVATION/ENCROACHMENT PERMIT IS REQUIRED FOR CONSTRUCTION AND/OR DISCHARGE OF DRAINAGE WITHIN PUBLIC ROAD R/W. (COUNTY OF LOS ANGELES CONSTRUCTION DIVISION, CALTRANS, CITY OF PASADENA).
- NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF OAK TREE WITHOUT AN OAK TREE REPORT AND PERMIT.
- FINISHED FLOOR SHALL BE 8 INCHES MINIMUM ABOVE FINISHED GRADE.
- TOTAL PROPOSED LANDSCAPE AREA #2347 SQUARE FEET
- TOTAL TURF AREA 25% (PERCENT OF TOTAL PROPOSED LANDSCAPING)
- TOTAL DROUGHT TOLERANT LANDSCAPING AREA 75% (PERCENT OF TOTAL PROPOSED LANDSCAPING)
- HYDROZONING IRRIGATION TECHNIQUES SHALL BE INCORPORATED INTO THE LANDSCAPE DESIGN.
- THIS PROJECT REQUIRES A LANDSCAPE PERMIT. PRIOR TO FINAL CERTIFICATION FROM A LICENSED LANDSCAPE ARCHITECT SHALL BE PROVIDED TO THE BUILDING OFFICIAL.
- MAINTAINING A RELATIVE HUMIDITY BETWEEN 30%-60% WITHIN STRUCTURE WITH POSITIVE IMPACTS:
 - RESISTANCE TO THE GROWTH OF DUST MITES, MILDEW, AND MOLD.
 - RESISTANCE TO POSSIBLE ALLERGIC REACTIONS.
 - MAINTAINS INTERIOR WOOD AND PAINT SURFACES.

SHEET INDEX

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- A-0 COVER SHEET, PROJECT SUMMARY, VICINITY MAP, GENERAL NOTES
 - A-1 SITE PLAN AND LID
 - A-1.1 CFIR-ENERGY ANALYSIS REPORT 1 OF 2
 - A-1.2 CFIR-ENERGY ANALYSIS REPORT 2 OF 2
 - A-2 DEMOLITION PLAN
 - A-3 PROPOSE FLOOR PLAN
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 - SD-4 FRAMING DETAILS
- TITLE 24
- T-24.1 ENERGY CALCULATIONS
 - T-24.2 ENERGY CALCULATIONS
 - T-24.3 ENERGY CALCULATIONS

PROJECT SUMMARY

JOB ADDRESS: 3739 ELMA RD
PASADENA, CA 91107

APN: 5755-024-022

OWNER: Shan Li
626-586-5171

SCOPE OF WORK
NEW TWO STORIES SINGLE FAMILY RESIDENCE (2700 SQ. FT.)

FIRST FLOOR (1770 SQ. FT.)
1 GUEST BEDROOM, 1 BATHROOM, LIVING ROOM, POWDER ROOM, LAUNDRY ROOM, DINING ROOM, KITCHEN, WOK ROOM, AND GARAGE.

SECOND FLOOR (930 SQ. FT.)
1 MASTER BEDROOM, 1 MASTER BATH, 2 BEDROOM, 1 BATHROOM

PROJECT INFORMATION
ZONE: R-1 SINGLE FAMILY RESIDENTIAL,
NUMBER OF STORIES: 2
OCCUPANCY GROUP: R3U
TYPE OF CONSTRUCTION: VB

FIRE SPRINKLER SYSTEM: PROPOSED NEW FIRE SPRINKLERS, DEFERRED SUBMITTAL. SEE FIRE SPRINKLER PLAN

LOT SIZE: 6,842 SQFT

FLOOR AREA CALCULATIONS:

NEW 1ST FL:	1770 SQFT
NEW 2ND FL:	930 SQFT
TOTAL NEW LIVING AREA:	2,700 SQFT
NEW GARAGE:	427 SQFT

FLOOR AREA RATIO:
6,842 X 25% + 1000 = 2,710.5 SQ FT (MAX)
2,700 SQFT < 2,710.5 SQFT

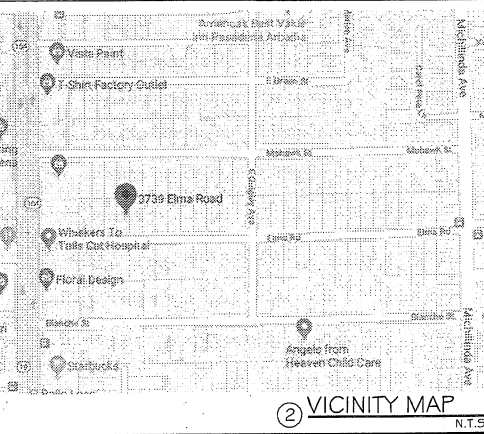
LOT COVERAGE: 6,842 X 25% + 1000 = 2,710.5 SQ FT (MAX)
(1770+427) = 2197 < 2,710.5 SQFT

SETBACK:
REQ FRONT YARD:
(25'-0" + 40'-6" + 40'-4" + 38'-4" + 40'-8" + 25'-0" + 36'-2" + 30'-3" + 35'-0" + 35'-7" + 27'-0" + 24'-10" + 38'-2") / 13 UNITS = 33'-7"
PROPOSED FRONT YARD: 41'-3" > 33'-7" MIN.
PROPOSED EAST SIDE: 5'-0" > 5'-0" MIN.
PROPOSED WEST SIDE: 5'-0" > 5'-0" MIN.
MAXIMUM BUILDING HEIGHT: 22'-9" < 30'-0"

FRONT YARD LANDSCAPE REQUIREMENT:
1044 / 41'-3" X 50'-0" = 51% > 50% MIN.

TOTAL LANDSCAPE AREA PROPOSED: 1044+850=1894 SQ.FT.

APPLICABLE CODE:
2019 CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA MECHANICAL CODE (CMC), CALIFORNIA ELECTRICAL CODE (CEC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA ENERGY CODE (CEC), CALIFORNIA FIRE CODE (CFC) AND CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), 2019 CBC AND LA COUNTY CODE AMENDMENT



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Submittal
DATE: 08-24-2020
DRAWING: PRELIMINARY

REVISIONS

No.	DATE	DESCRIPTION
1	04/29/2021	REV-PC-1

L'I'S RESIDENCE
3739 ELMA RD
PASADENA, CA 91107
APN: 5755-024-022

JOB No.
DRAWN BY OL
DATE 07-21-2021
SCALE REF. DWGS.
SHEET No.

A-00

- a. A permanent 120V receptacle outlet and a lighting fixture shall be installed near the appliance. Light switch shall be located at the entrance to the passageway. (MC 504.4.4)
- f. A type B or L gas vent shall terminate not less than 5 feet above the highest connected appliance flue collar or draft hood. (MC 504.2.2)
- g. Appliance installation shall meet all listed clearances. (MC 303.1)
13. Clothes dryer exhaust duct shall terminate on the outside of the building in accordance with Section 502.2.1 and shall be equipped with a back-draft damper. Screens shall not be installed at the duct termination. (MC 504.4)
14. Clothes dryer moisture exhaust duct shall be 4 inches in diameter and is listed to a total combined horizontal and vertical length of 14 feet, including two 90 degree elbows from the clothes dryer to point of termination. Duct length shall be reduced by 2 feet for each 90 degree elbow in excess of two. (MC 504.4.2)
15. Appliances (water heater, furnace, etc.) located in the garage shall be installed so that burners and burner-ignition devices are located not less than 18 inches above the floor, unless listed as flammable vapor ignition resistant. (MC 305.1)
16. Ducts shall be sized per Chapter 6 of the Mechanical Code.
17. Flush volumes of plumbing fixtures and flow rates of plumbing fittings shall comply with Section 4.303 of the Green Code.
18. ABS and PVC DWV piping installations are limited to not more than two stories of areas. (PC 711.212)
19. All showers and tub-showers shall have a pressure-balancing, thermostatic, or combination pressure-balancing/thermostatic mixing-type valve. (PC 405.3)
20. All new, replacement and existing water heaters shall be strapped to the wall in two places. One on the upper 1/3 of the tank, and one on the lower 1/3 of the tank. The lower point shall be a minimum of 4 inches above the controls. (PC 507.2)

21. Plumbing plan check and approval is required for 2-inch and larger water lines, 2 inch and larger gas lines, or any gas line with a pressure of 2psi and higher.
22. Ground-fault circuit-interruption (GFCI) for personnel shall be provided in bathrooms, garages, non-habitable accessory structures of or below grade level, outdoor locations, crawl spaces at or below grade level, non-habitable basements, kitchens where the receptacles serve countertop surfaces, locations within 6ft of the outside edge of single-habitat/bathrooms, bedrooms, and laundry areas. The GFCI shall be installed in a readily accessible location. (EC 210.8(A))
23. Arc-fault circuit-interruption (AFCI) protection shall be provided in all 120-volt, single phase, 15- and 20-ampere branch circuits supplying outlets or devices installed in bedrooms, habitable rooms, sunrooms, recreation rooms, closets, hallways, laundry areas, or similar rooms or areas, by any means identified in 210.12(A).
24. In any of the areas specified in item 23, where existing branch-circuit wiring is modified, replaced, or extended by more than 9ft and/or adds any outlet or device, the branch circuit shall be protected by one of the following:
 - a. A listed combination-type AFCI located at the origin of the branch circuit.
 - b. A listed outlet branch-circuit type AFCI located at the first receptacle outlet of the existing branch circuit. (EC 210.12(B))
25. Tamper-resistant receptacles shall be installed in all areas specified in 210.12, all nonlocking type 12-volt, 15- and 20-ampere receptacles shall be listed tamper-resistant receptacles. (EC 406.12)
26. Where NM cable (Romex) is run across the top of joists and/or where the attic is not accessible by permanent stairs or ladders, protection within 6 feet of the nearest edge of the soffit or attic entrance shall be provided. (EC 334.23, 330.23(A))



**COUNTY OF LOS ANGELES
DEPARTMENT OF PUBLIC WORKS
BUILDING AND SAFETY DIVISION**

GENERAL PROJECT INFORMATION

PLAN CHECK NO. BL22-23024091591 DISTRICT NO. _____
 JOB ADDRESS 3739 ELMA RD. CITY PASADENA ZIP 91107

NOTE: Numbers in the parenthesis () refer to sections of the 2022 edition of the County of Los Angeles Building Code (BC), Residential Code (RC), Plumbing Code (PC), Mechanical Code (MC), Electrical Code (EC), and Green Building Standards Code (GC).

INSTRUCTIONS

The following notes must be included on the plans.

SECURITY REQUIREMENTS

1. Exterior doors, doors between a house and a garage, windows and their hardware shall conform to the Security Provisions of Chapter 67 of the County of Los Angeles Building Code.
 - a. Single swinging doors, active leaf of a pair of doors, and the bottom leaf of Dutch doors shall be equipped with a latch and a deadbolt. If the latch has a key-locking feature, a dead latch shall be used. The deadbolt lock shall be key operated from the exterior side of the door, and operating from the interior side of the door by a device not requiring a key, tool, or excessive force. Deadbolts shall have a hardened insert with a minimum throw and 5/8" minimum embedment into the jamb. (BC 6709.2)
 - b. Inactive leaf of a pair of doors and the upper leaf of Dutch doors shall have a deadbolt on per paragraph "a", unless it is not key operated from the exterior, or has a hardened deadbolt at top and bottom with 3/4" embedment. (BC 6749.3)
 - c. Swinging wood door(s) shall be solid core not less than 1-3/8" thick. (BC 6709.1.1)
 - d. Panels of wood doors shall be 8/16" thick and not more than 300 sq. inches. Glues and nails to be 1-1/2" thick and 3" minimum width. (BC 6709.1.2)
 - e. Door hinge pins accessible from the outside shall be non-removable. (BC 6709.5)
 - f. Door slogs of wood jamba of in-swinging doors shall be one piece construction or joined by a rabbet. (BC 6709.4)
 - g. Windows and door lights within 40" of the locking device of the door shall be fully hardened/tempered/burglary resistant/protected by bars, screens or grills. (BC 6714)
 - h. Overhead and sliding garage doors shall be secured with a cylinder lock, a padlock with a hardened steel shackle, or equivalent when not otherwise locked by electric power operation. Jamba locks shall be on both jambas for doors exceeding 9 feet in width. (BC 6711)
7. Roof dischargin nailing to be inspected before covering. Wood structural panel sheathing shall comply with Section R503.2. (R 503)
8. End joints in lumber used as subflooring shall occur over supports, unless end-matched lumber is used, in which case each piece shall bear on not less than two joists. Wood structural panel sheathing used for structural purposes shall comply with Section R503.2. (R 503)

CONSTRUCTION REQUIREMENTS

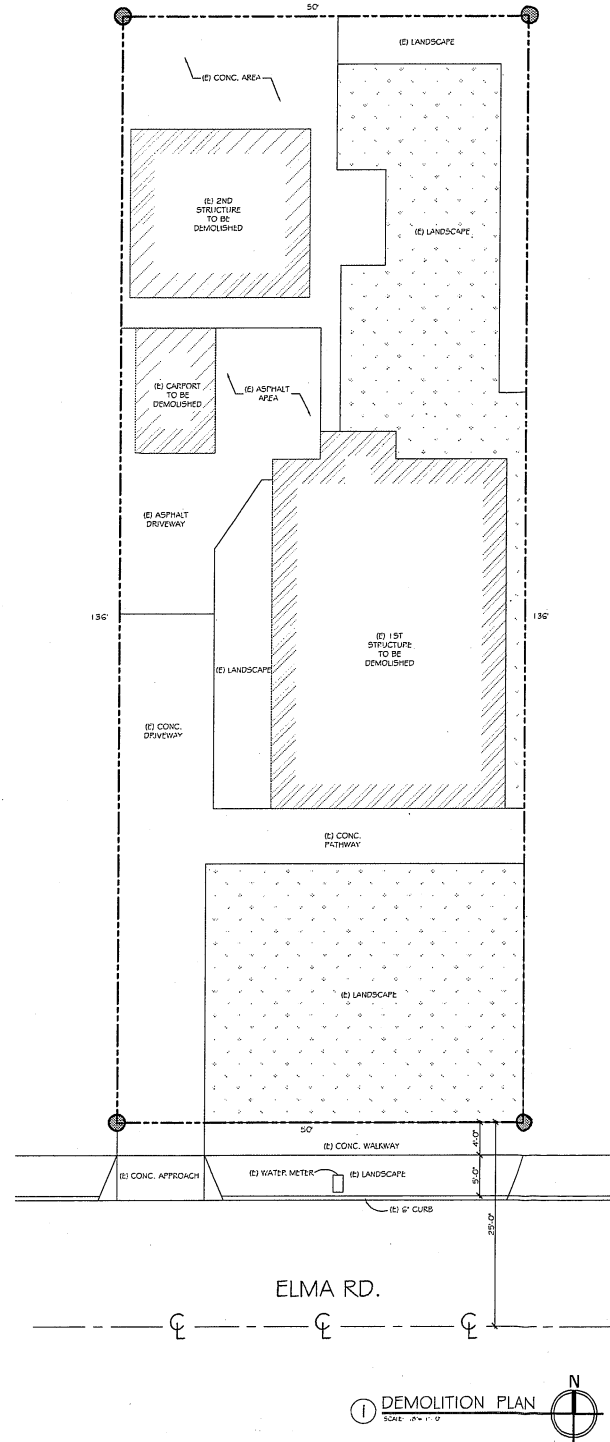
1. Sliding glass doors and sliding glass windows shall be capable of withstanding the least set forth in Section 6706 and 6707 of the Los Angeles County Building Code and shall bear a label indicating compliance with those tests. Locking devices on sliding glass doors complying with Section 1010 and 1030, and emergency egress windows complying with Section 1030, shall be releasable from the inside without the use of a key, tool, or excessive force. (BC 6710, 6715)
2. Notches of studs in exterior or bearing walls shall not exceed 25% of its width. Notching of studs in non-bearing walls shall not exceed 40% of its width. Bored holes in studs shall not exceed 40% of its width, shall not be closer than 6" to the edge of the stud, and shall not be located in the same section as a cut or notch. Studs located in exterior or bearing walls shall be doubled if bored over 40% and up to 80% of its width. (R 502.6)
3. Wall and Ceiling finishes shall have a flame spread index of not greater than 200, and a smoke-developed index not greater than 450. Insulation materials shall have a flame spread index not to exceed 25, and a smoke-developed index not to exceed 450. (R 302.9, 302.10)
4. Provide fire blocking in concealed spaces of combustible stud walls, partitions, including formed spaces, at the ceiling and floor level, at 10-foot intervals both vertical and horizontal, and between stair intervals at the top and bottom. (R 311.311)
5. Ducts installed under a floor in a crawl space shall not prevent access to an area of the crawl space. Where it is required to move under ducts for access to area of the crawl space, a vertical clearance of 18" minimum shall be provided. (MC 603.1)
6. Where flashing is of metal, the metal shall be corrosion resistant with a thickness of not less than .019 inch (No. 26 galvanized sheet). (R 513.2.1)

- f. Glazing adjacent to stairs and ramps where the bottom exposed edge is less than 36 inches above the plane of the adjacent walking surface of stairways, landings between flights of stairs, and ramps, unless the glazing is 36 inches or more measured horizontally from the walking surface, or a rail is installed per Section R208.4.6.
- g. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within a 60-inch horizontal arc less than 180 degrees from the bottom tread nosing, unless the glazing is more than 18 inches from a protrusive guard per Section R302.2.

MECHANICAL PLUMBING/ELECTRICAL CODE REQUIREMENTS

10. Dwelling shall be provided with comfort heating facilities capable of maintaining a room temperature of 68 degrees F at a point 3 feet above the floor and 2 feet from exterior walls. (R303.5)
11. The following are required for central heating furnaces and low-pressure boilers in a compartment.
 - a. Listed appliances shall be installed with clearances in accordance with the terms of their listings and the manufacturer's installation instructions. (MC 504.2(1))
 - b. Unlisted appliances shall meet both the clearances in Table 904.2, and the clearances allowed by the manufacturer's installation instructions. (MC 504.2(2))
 - c. When combustion air is taken from inside, the free area of combustion air openings shall be 1 sq. inch per 1,000 BTU (100 sq. inch minimum) per opening. One opening shall be within 12 inches of the top of the enclosure and the second shall be within 12 inches of the bottom of the enclosure. The dimension shall not be less than 3 inches. (MC 701.51(1))
 - d. Not less than 1/4 of an inch screen mesh is required at openings where combustion air is taken from the outside. (MC 701.10(1))
 - e. Separate ducts shall be used for upper and lower combustion air openings, and maintained to the source of combustion air. (MC 701.11(3))
12. The following are required for appliances installed in an attic:
 - a. An opening and passageway shall not be less than 22 inches by 30 inches, and not less than the size of the largest component of the appliance. (MC 304.4)
 - b. Where the passageway height is less than 6 feet, the distance from access to the appliance shall not exceed 20 feet, as measured along the confine. (MC 304.4.1)
 - c. Passageway shall be unobstructed and shall have solid flooring not less than 24 inches wide from entrance to appliance. (MC 304.4.2)
 - d. A level working platform not less than 30 inches by 30 inches is required in front of the service side of the appliance. (MC 304.4.3)

GENERAL PLAN



**Storm Water Pollution Control Requirements for Construction Activities
Minimum Water Quality Protection Requirements for All Development Construction
Projects/Certification Statement**

The following is intended as minimum notes or as an attachment for building and grading plans and represent the minimum standards of good housekeeping that must be implemented on all construction sites regardless of size. (Applies to all permits)

- Every effort should be made to eliminate the discharge of non-stormwater from the project site at all times.
- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid waste.
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or other means.
- Any slopes with disturbed soils or removed of vegetation must be stabilized so as to inhibit erosion by wind and water.

I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system or those persons directly responsible for gathering the information, to the best of my knowledge and belief, the information submitted is true, accurate, and complete. I am aware that submitting false and/or inaccurate information, failing to update the ESCP to reflect current conditions, or failing to properly and/or adequately implement the ESCP may result in revocation of grading and/or other permits or other sanctions provided by law.

Print Name _____
 (Owner or authorized agent of the owner)

Signature _____ Date _____
 (Owner or authorized agent of the owner)

*The Best Management Practices are detailed in the most edition of the California BMP Handbook or California Stormwater Quality Manual.



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Submitted: _____
 PLANNING: 05-24-2021
 DISTRIB: _____

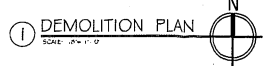
REVISIONS

No.	DATE	DESCRIPTION

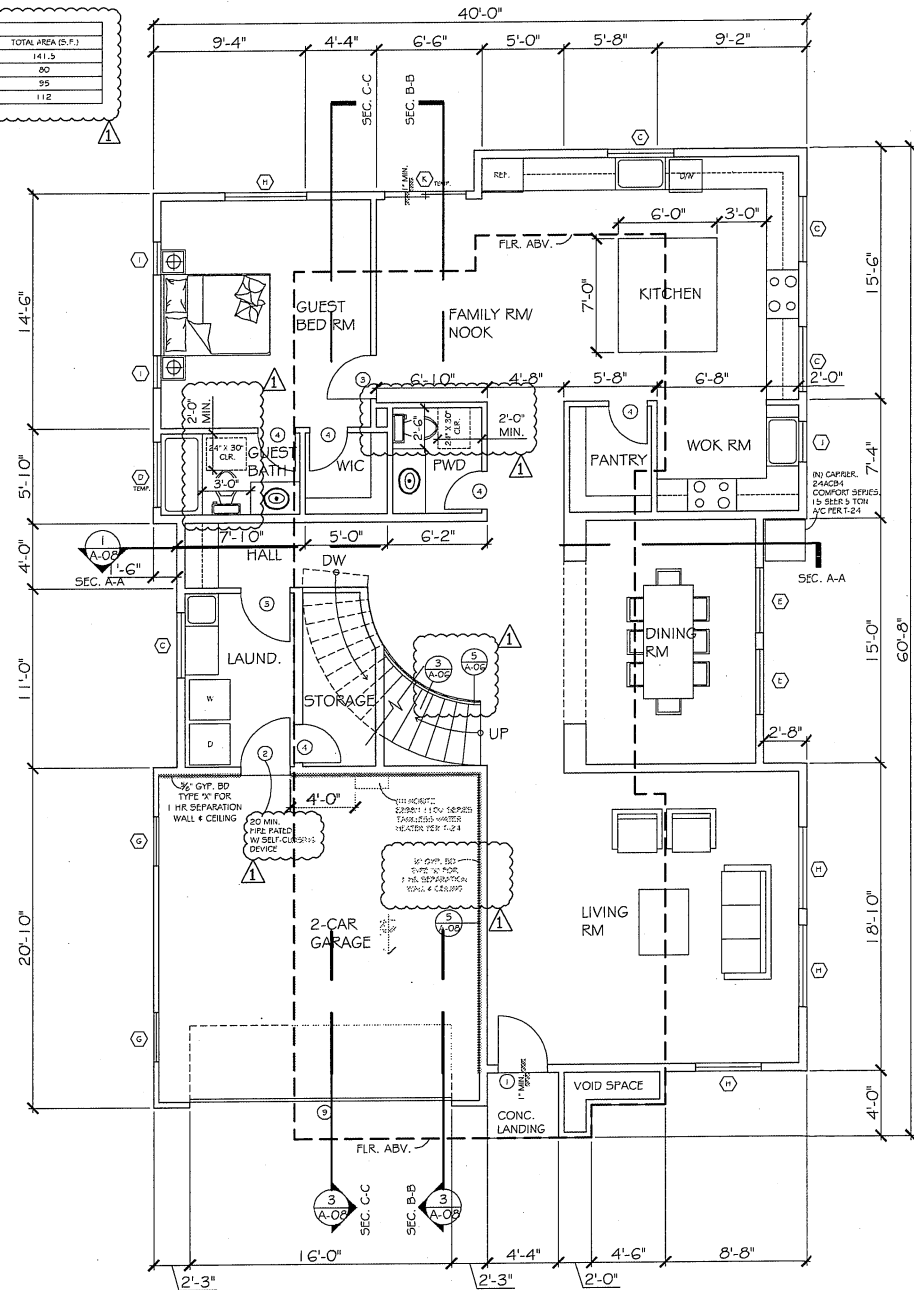
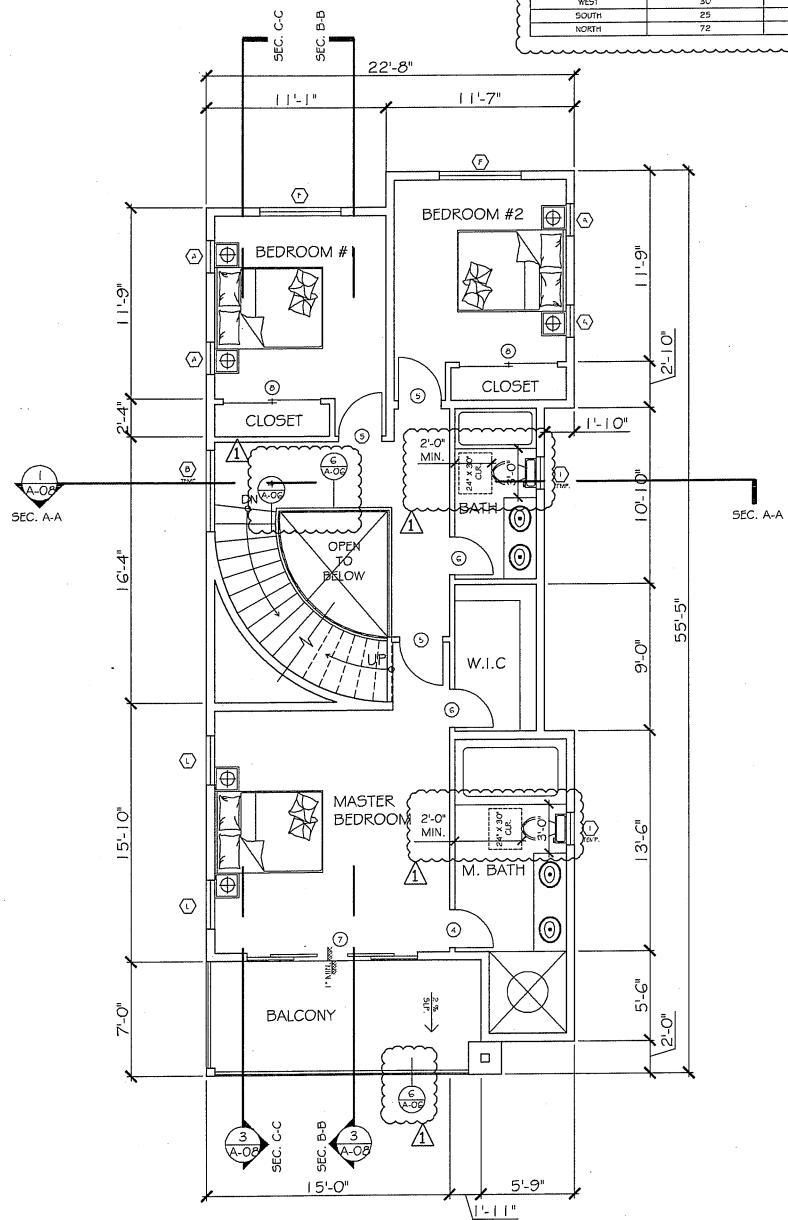
L I ' S RESIDENCE
 3739 ELMA RD.
 PASADENA, CA 91107
 APN: 5755-024-022

JOB No. _____
 DRAWN BY OL
 DATE 07-21-2021
 SCALE REF. DWGS.
 SHEET No. _____

A-02



PENETRATION / GLAZING CALCULATION			
SURFACE	1ST FLOOR	2ND FLOOR	TOTAL AREA (S.F.)
EAST	127.5	30	141.3
WEST	30	50	80
SOUTH	25	70	95
NORTH	72	40	112



IZMO DESIGN

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Submitted: 08-24-2020
PLANNING: ESSENTIAL

REVISIONS		
No.	DATE	DESCRIPTION
1	04/20/2021	BLD-PC-1

LJ'S RESIDENCE
3739 ELMVA RD,
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APN: 5755-024-022

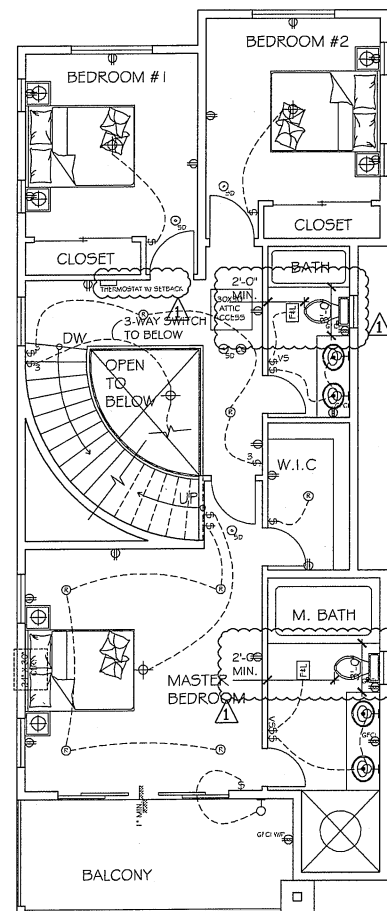
JOB No.
DRAWN BY OL
DATE 07-21-2021
SCALE REF. DWGS.
SHEET No.

A-03

PLAN NOTES:

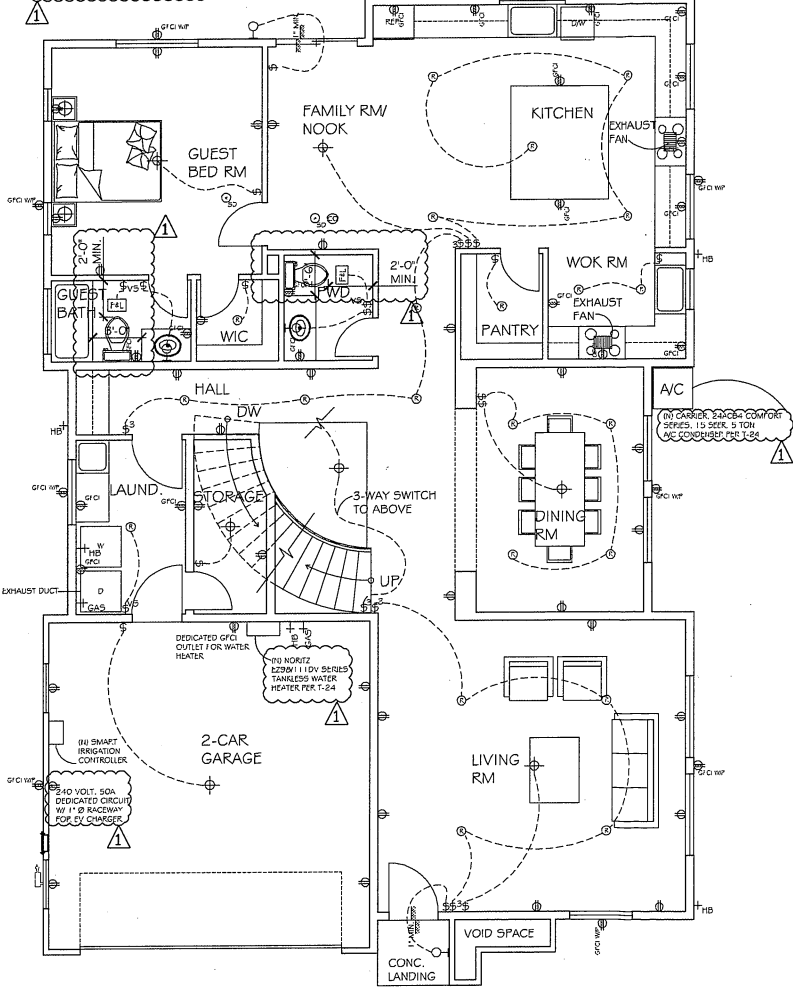
- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
- EXTERIOR / OUTDOOR LIGHT SHALL HAVE A SWITCH THAT IS EQUIPPED WITH MOTION SENSOR (MS) AND PHOTO CONTROL, ETC.
- GFCI PROTECTION SHALL BE PROVIDED FOR OUTLETS THAT SUPPLY DISHWASHERS INSTALLED IN DWELLING UNITS. (2 (D.6 (D) ELC)
- BATHROOM RECEPTACLES SHALL BE SERVED BY A 20-AMP CIRCUIT. THE CIRCUIT SHALL HAVE NO OTHER OUTLETS. THE CIRCUIT MAY SERVE OTHER BATHROOM RECEPTACLES. (CEC 2 (D.1 (I) (C) (3))
- A DOMESTIC CLOTHES DRYER DUCT SHALL BE OF METAL AND A MINIMUM OF 4 INCHES IN DIAMETER. THE EXHAUST DUCT SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90-DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90-DEGREE ELBOW IN EXCESS OF TWO. (504.4.2 (C)(4))
- HOUSEHOLD COOKING APPLIANCES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30 INCHES TO COMBUSTIBLE MATERIAL OR METAL CABINETS. (921.3.2, 921.4 (C)(4))
- NEW ONE- AND TWO-FAMILY DWELLINGS AND TOWNHOUSES WITH AN ATTACHED PRIVATE GARAGE:
 - INSTALL A LISTED, TRADE SIZE 1 (NOMINAL 1 INCH INSIDE DIAMETER) RACEWAY AND A DEDICATED 20A/240-VOLT BRANCH CIRCUIT FROM THE MAIN SERVICE OR SUBPANEL TO A LISTED CABINET, BOX OR ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF ALL EV CHARGER.
 - THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED ATTACHMENT PLUG IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES.
 - THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE A 40A MINIMUM DEDICATED CIRCUIT. THE OVER-CURRENT PROTECTIVE DEVICE SPACE ON THE PANEL AND THE RACEWAY TERMINATION SHALL BE VISIBLY MARKED "EV CHARGER" (4.106.4.1)
- ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLID/BOTTOM FLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS. (4.406.1)
- AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC SHEET METAL OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM. (4.504.1)
- SETBACK THERMOSTATS ARE REQUIRED FOR ALL CENTRAL HEATING AND COOLING SYSTEMS. A NON-SETBACK THERMOSTAT MAY BE USED WHEN A HEATING SYSTEM IS NON-CENTRAL.
- INSULATION OF ALL HOT WATER PIPING 3/4" OR LARGER
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 406.3)

WATER EFFICIENCY & CONSERVATION		
UNIT NO.	DESCRIPTION	EQUIPMENT
4	SHOWER HEAD	1.6 GPM @ 80 PSI
6	LAVATORY FAUCET	MAX. 1.2 GPM @ 80 PSI MIN. 0.6 GPM @ 80 PSI
2	KITCHEN FAUCET	1.6 GPM @ 80 PSI
4	WATER CLOSET	1.28 GALLONISH

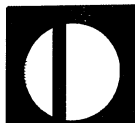


② PROPOSED ELECTRICAL 2ND FLOOR PLAN
SC. 1/4" = 1'-0"

- SYMBOL:**
- ⊕ CEILING MOUNT HIGH EFFICACY LED LIGHT FIXTURE
 - ⊙ RECESSED HIGH EFFICACY LED LIGHT FIXTURE
 - ⊖ WALL MOUNT HIGH EFFICACY LED LIGHT FIXTURE
 - ⊞ 50 CFM MIN. SWITCHED EXHAUST FAN VENTED TO OUTSIDE W/ HUMIDITY CONTROL
 - ⊞ 100 CFM MIN. COOK TOP EXHAUST FAN VENTED TO OUTSIDE
 - ⊙ HARD-WIRED INTERCONNECTED SMOKE DETECTOR W/ BATTERY BACKUP
 - ⊙ HARD-WIRED INTERCONNECTED CARBON MONOXIDE ALARM W/ BATTERY BACKUP
 - ⊙ 20 AMP, 120 V GROUNDING TYPE, AFCI RECEPTACLES TAMPERPROOF
 - ⊙ GFCI RECEPTACLES
 - ⊙ OUTDOOR GFCI RECEPTACLES WITH WEATHERPROOF
 - ⊙ SWITCH
 - ⊕ HOSE BIBB W/ NON-REMOVABLE BACK FLOW DEVICE
 - ⊙ DUAL LOAD SWITCH FOR LIGHT AND FAN W/ VACANCY SENSOR
 - ⊕ GAS VALVE
 - ⊕ "SERBACK" TYPE THERMOSTAT



① PROPOSED ELECTRICAL 1ST FLOOR PLAN
SC. 1/4" = 1'-0"



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Submitted
PLANNING PERMIT
08-28-2020

REVISIONS

No.	DATE	DESCRIPTION
1	04/20/2021	BLD-PC-1

L'S RESIDENCE
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PASADENA, CA 91107
APN: 5755-024-022

JOB No.
DRAWN BY OL
DATE 07-21-2021
SCALE REF. DWGS.
SHEET No.

A-04

LOWER ROOF ATTIC AREA: 887 S.F.
 REQUIRED: $887 / 150 = 5.91$ S.F. X 144 = 851.52 SQ. IN.
 PROVIDE 12 X (14" X 5" EAVE VENTS) = 12 X 42 = 504 SQ. IN.
 PROVIDE 4 X (12" X 24" HALF ROUND DORMER VENTS) = 4 X 100 = 400 SQ. IN.
 TOTAL = 504 + 400 = 904 SQ. IN. > 851.52 SQ. IN.

UPPER ROOF ATTIC AREA: 1066 S.F.
 REQUIRED: $1066 / 150 = 7.11$ S.F. X 144 = 1024 SQ. IN.
 PROVIDE 15 X (14" X 5" EAVE VENTS) = 15 X 42 = 630 SQ. IN.
 PROVIDE 4 X (12" X 24" HALF ROUND DORMER VENTS) = 4 X 100 = 400 SQ. IN.
 TOTAL = 630 + 400 = 1030 SQ. IN. > 1024 SQ. IN.

ROOF PLAN NOTES:

1. PITCHED ROOF AT 4:12 CLASS "M" 24G1+ T&B BEL AIR TILE ROOF-4503 ARCADIA CANYON BROWN, CC-ES-ESP #1900, CCRK02 (8-0043, REF #0.13 EMI=0.24 SRI=12
2. ROOF VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH NO. 26 GALVANIZED SHEET GAGE CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH WIDE UNDERLAMENT CONSISTING OF ONE LAYER OF NO. 72 359M GAF SHEET FLASHING THE FULL LENGTH OF THE VALLEY. FIRE CODE 47.10.1.3
3. OPENINGS SHALL HAVE CORROSION-RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16-IN. MINIMUM AND 1/4-IN. MAXIMUM OPENING.

DOOR SCHEDULE							
NO.	SIZE	DOOR MAT.	FRAME MAT.	SOLID CORE	GLASS CORE	U-FACTOR	REMARK
1	3'-0" X 7'-0" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	2 PANEL EXTERIOR DOOR
2	3'-0" X 7'-0" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	2 PANEL INTERIOR DOOR
3	2'-4" X 7'-0" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	2 PANEL INTERIOR DOOR
4	2'-4" X 7'-0" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	2 PANEL INTERIOR DOOR
5	2'-4" X 6'-8" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	2 PANEL INTERIOR DOOR
6	2'-4" X 6'-8" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	2 PANEL INTERIOR DOOR
7	10'-0" X 6'-8" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	4 PANEL FRENCH SLIDING DOOR
8	1'-0" X 6'-8" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	PAIR BUILDING INTERIOR DOOR
9	16'-0" X 6'-8" X 1'-0"	FIBERGLASS COMPOSITE	X	X	X	X	GARAGE DOOR

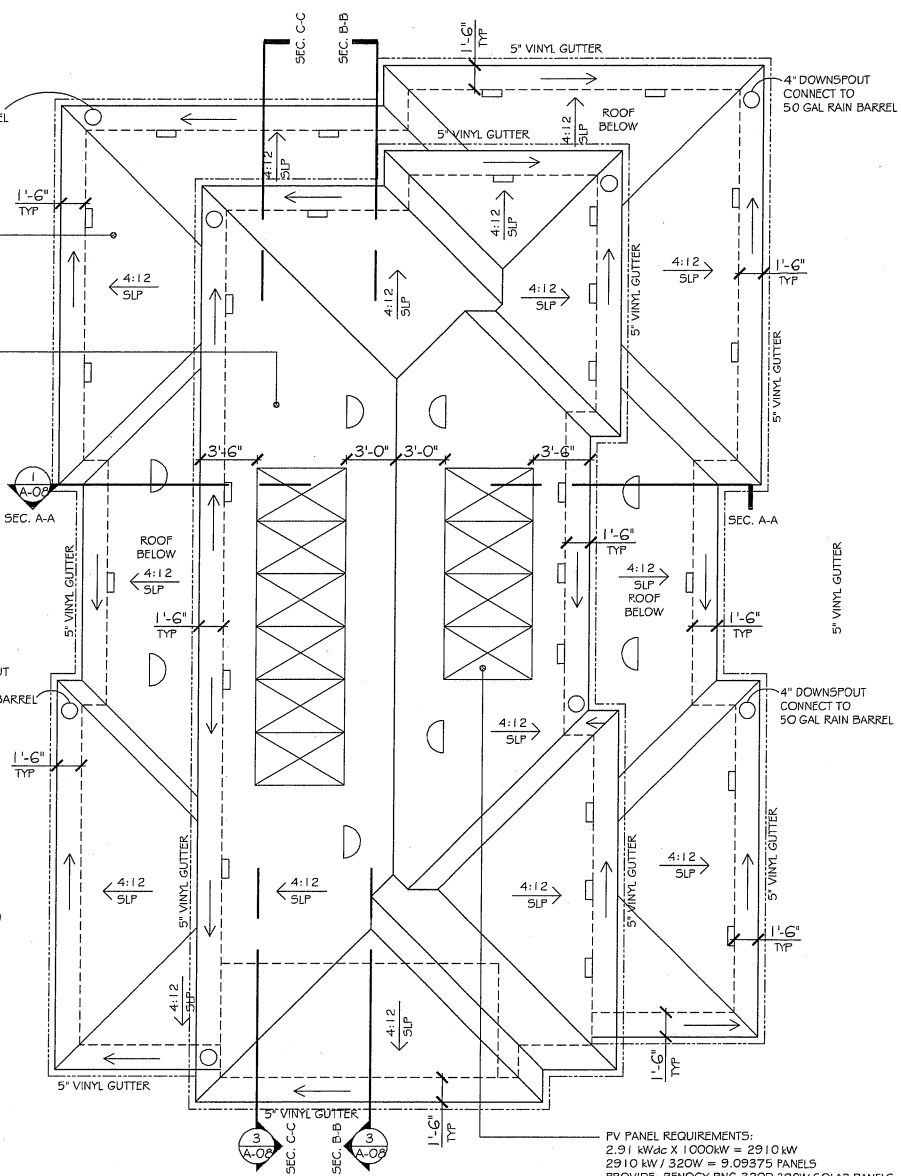
DOOR NOTES:

1. EXTERIOR DOOR ASSEMBLIES SHALL BE SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1-3/8" INCH THICK WITH INTERIOR PANEL THICKNESS NOT LESS THAN 1-1/8" INCH
2. GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE A MINIMUM OF ONE TEMPERED PANE.

WINDOW SCHEDULE							
NO.	SIZE	FRAME MAT.	TK	SLIDING	SINGLE HUNG	CASEMENT	SCREEN (YES)
A	2'-0" X 2'-0"	VINYL	X	X	X	X	TEMP.
B	6'-0" X 4'-0"	VINYL	X	X	X	X	TEMP.
C	4'-0" X 3'-0"	VINYL	X	X	X	X	TEMP.
D	4'-0" X 1'-0"	VINYL	X	X	X	X	TEMP.
E	4'-0" X 3'-0"	VINYL	X	X	X	X	TEMP.
F	5'-0" X 4'-0"	VINYL	X	X	X	X	EGRESS
G	3'-0" X 4'-0"	VINYL	X	X	X	X	EGRESS
H	5'-0" X 5'-0"	VINYL	X	X	X	X	EGRESS
I	2'-0" X 3'-0"	VINYL	X	X	X	X	TEMP.
J	2'-0" X 3'-0"	VINYL	X	X	X	X	TEMP.
K	5'-0" X 7'-0"	VINYL	X	X	X	X	FATIO SLIDING DOOR
L	3'-0" X 3'-0"	VINYL	X	X	X	X	TEMP.

WINDOW NOTES:

1. THE LOAD RESISTANCE OF GLASS UNDER WIND ORIA LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300
2. ALL WINDOWS EXTERIOR GLAZING U-FACTOR = 0.30 AND SHGC = 0.22



FV PANEL REQUIREMENTS:
 2.91 kWdc X 1000kW = 2910 kW
 2910 kW / 320W = 9,09375 PANELS
 PROVIDE: RENOGY RRG-320D 320W SOLAR PANELS
 TOTAL 10 - 39" X 65" SOLAR PANELS

1 PROPOSED ROOF PLAN
 SC. 1/4" = 1'-0"



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Submittal
 PLANNING SUBMITTAL 08-24-2020

REVISIONS

NO.	DATE	DESCRIPTION
1	10/29/2021	REV-10-1

LIS RESIDENCE
 3739 ELMA RD,
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 APN: 5755-024-022

JOB No.

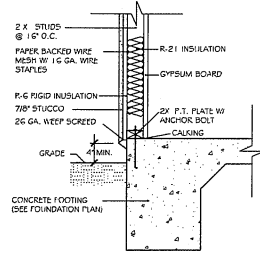
DRAWN BY OL

DATE 07-21-2021

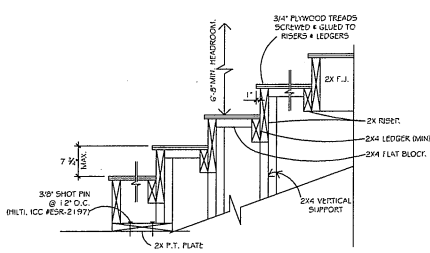
SCALE REF. DWGS.

SHEET No.

A-05



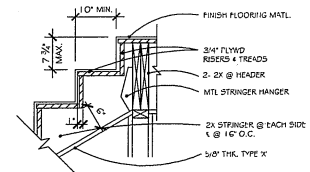
7 EXT. WALL @ FTG
SC. 3/4" = 1'-0"



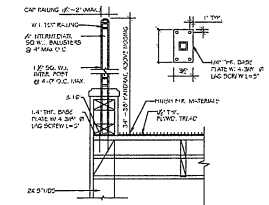
3 INTERIOR CURVE OF STAIR
SC. 3/4" = 1'-0"

STAIR DETAIL NOTES

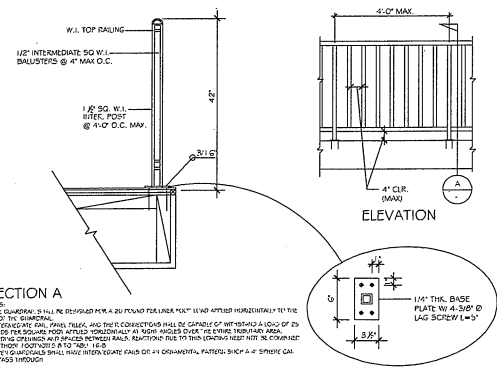
- WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 10-IN. @ A POINT 12-IN. FROM THE HARBOW SIDES, AND A MINIMUM TREAD DEPTH OF 6-INCHES. (RS 11.7.5.2.1)
- HANDRAILS SHALL SATISFY THE FOLLOWING:
 - PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES. (RS 11.7.8)
 - HANDRAIL HEIGHT SHALL BE 34 TO 38 INCHES ABOVE THE NOSING OF TREADS. (RS 11.7.8.1)
 - OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL NOT ALLOW THE PASSAGE OF A 4-3/8-IN. DIAMETER SPHERE, THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW THE PASSAGE OF A 6" DIAMETER SPHERE. (RS 12.1.3 EX 1 & 2)
 - HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II SPECIFIED IN SECTION RS 11.7.8.3.
 - RETURN HANDRAIL(S) TO NEVEL POST OR WALL (RS 11.7.8.2)
- PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30-IN. ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36-IN. HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. (RS 12.1.1)
 - GUARD HEIGHT SHALL BE A MINIMUM OF 42-IN. (RS 12.1.1.2)



4 HEAD @ STAIR
SC. 3/4" = 1'-0"



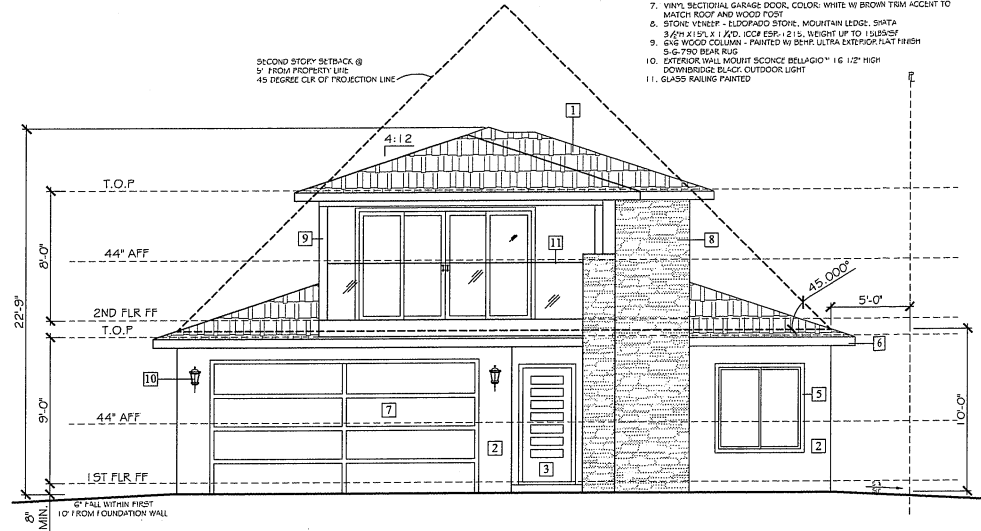
5 HANDRAIL DETAIL
SC. 1" = 1'-0"



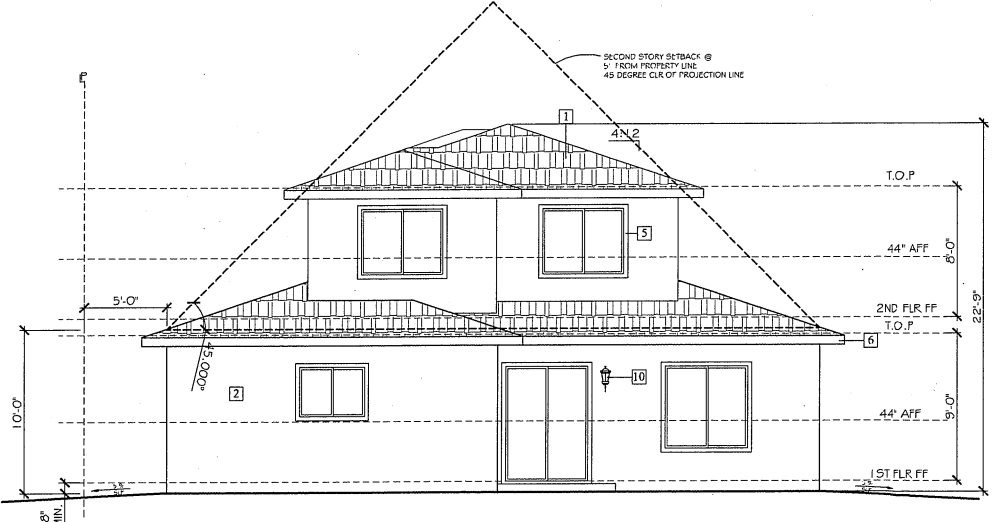
6 GUARDRAIL DETAIL
N.T.S.

ELEVATION NOTES

- NEW TILE ROOFING MATERIAL
- ZAGGE TILE (SEE THE ROOF) #502 ARCADIA CANYON (DOWN CLASS 5" W/ ICC-ES ESR # 1900, CCR/COR91 & D043, REF=0.13 EM=0.94 SFD=1.2)
- STUCCO OVER PAPER BACKED WIRE MESH FINISH
- DIPO STUCCO #227 NAVARO WHITE, SANTA BARBARA FINISH
- PROVIDE A MIN. 26-GA. WEEP SCREED FOR STUCCO AT FOUNDATION PLATE LINE A MINIMUM OF 6-IN. ABOVE THE SMITH OR 3H ABOVE PAVED SURFACE (ICC #258-2.1077)
- FRONT ENTRY DOOR TO BE DECORATED BY OWNER
- WINDOW & DOOR - VALUE WINDOW & DOOR, VINYL, COLOR WHITE
- 2X WINDOW WOOD TRIM PAINTED WHITE
- FASCIA BOARD PAINTED WHITE
- WHITE SECTIONAL GARAGE DOOR, COLOR WHITE W/ BROWN TRIM ACCENT TO MATCH ROOF AND WOOD POOR
- STONE VENEER - ELOPADO STONE, MOUNTAIN LEDGE, SHITA
- 3/4" X 1 1/2" X 1/2" (LX) ICC ESR - 2134, WEIGHT UP TO 1/2 LB/SQ FT
- 6X6 WOOD COLUMN - PAINTED W/ SEMI ULTRA EXTERIOR FLAT FINISH
- 9-6" 7/8" B&B RUG
- EXTERIOR WALL MOUNT SCIENCE BELLIGIO™ 16 1/2" HIGH DOWNRODGE BLACK OUTDOOR LIGHT
- GLASS RAINING PAINTED



1 FRONT ELEVATION (SOUTH)
SC. 1/4" = 1'-0"



2 REAR ELEVATION (NORTH)
SC. 1/4" = 1'-0"



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REVISIONS

No.	DATE	DESCRIPTION
1	04/25/2021	RD-PC-1

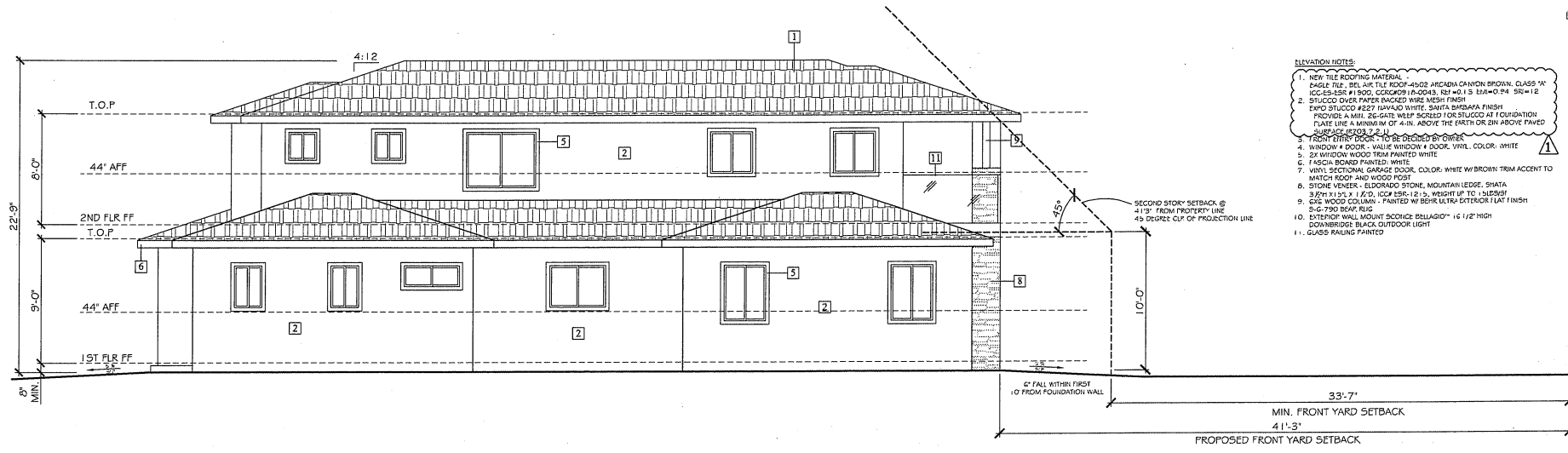
SUBMITTALS

PLANNING	08-24-2020
SUBMITTAL	

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APN: 5755-024-022

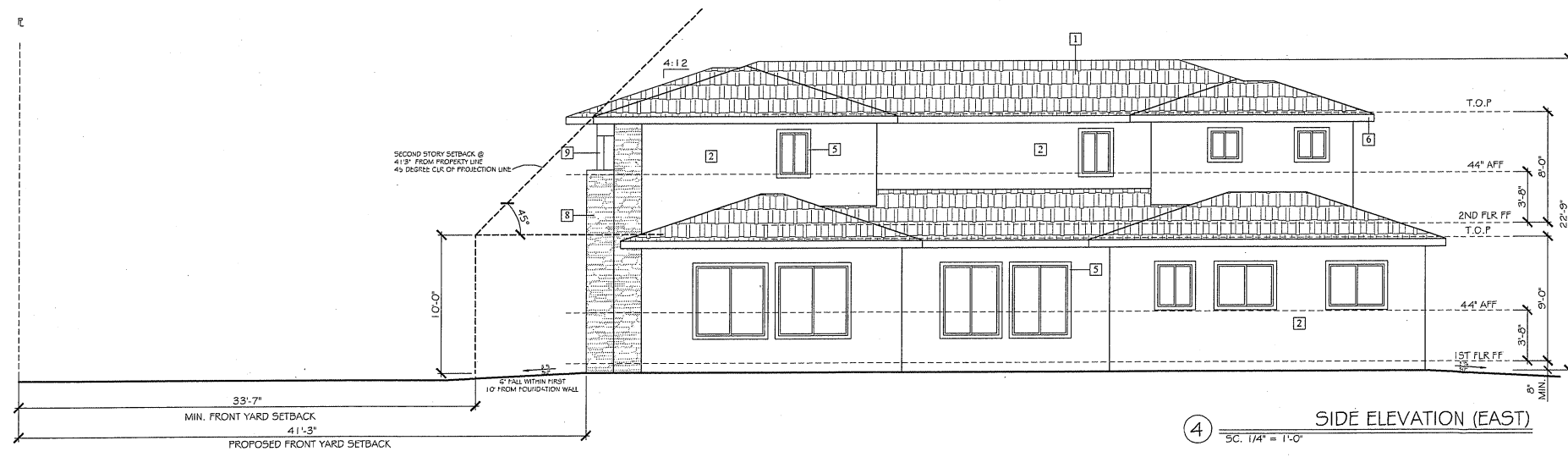
JOB No.
DRAWN BY OL
DATE 07-21-2021
SCALE REF. DWGS.
SHEET No.

A-06



- ELEVATION NOTES:**
1. NEW TILE ROOFING MATERIAL: EAGLE TILE, BEL AIR TILE ROOF-4502 ARCADIA CANYON BROWN, CLASS 'A' (C)-E-LSR #1500, COCKSCOMB (A-D)45, 181 40" X 15" DIA-O-24 5/8"-1/2"
 2. STUCCO OVER PAPER BACKED WIRE MESH FINISH: EXPO STUCCO #227 HAWAII WHITE, SANTA BARBARA FINISH PROVIDES A MIN. 25-GRAV W/IF SCHEDULE FOR STUCCO #1 FOUNDATION PLATE LINE A MINIMUM OF 4-IN. ABOVE THE PART OR 2IN ABOVE PAVED SURFACE (EXC. 2-4-1)
 3. FRONT DOOR: TO BE DECIDED BY OWNER
 4. WINDOW & DOOR, VALVE WINDOW & DOOR, WHIL, COLOR: WHITE
 5. WINDOW WOOD TRIM PAINTED WHITE
 6. FASCIA BOARD PAINTED: WHITE
 7. W/RY SECTIONAL GARAGE DOOR, COLOR: WHITE W/ BROWN TRIM ACCENT TO MATCH ROOF AND WOOD POST
 8. STONE VENER: ELDERWOOD STONE, MOUNTAIN LEDGE, SHATA 3/8" X 1 1/4" X 1 1/2", (CCP E56-12 1/2), WEIGHT UP TO 15 LB/SQ FT
 9. 6x6 WOOD COLUMN - PAINTED W/ BEHR ULTRA-EXTERIOR FLAT FINISH 504-790 DEAF RIG
 10. EXTERIOR WALL MOUNT SCONCE BELLASIO™ 16 1/2" HIGH DOWNBRIDGE BLACK OUTDOOR LIGHT
 11. GLASS RAILING PAINTED

3 SIDE ELEVATION (WEST)
SC. 1/4" = 1'-0"



4 SIDE ELEVATION (EAST)
SC. 1/4" = 1'-0"

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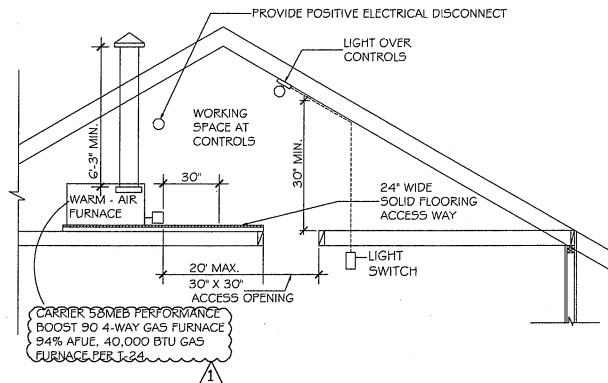
Submitted: 08-24-2020
PLANNING: 08-24-2020
SUBMITTAL:

REVISIONS

No.	DATE	DESCRIPTION

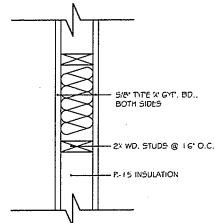
L'I'S RESIDENCE
3739 ELMA RD,
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APN: 5755-024-022

JOB No.
DRAWN BY OL
DATE 07-21-2021
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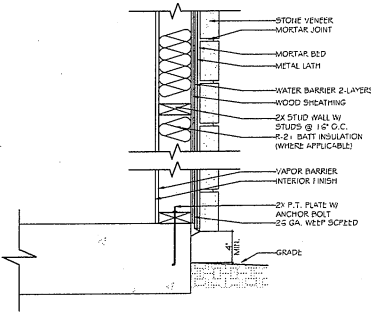


- NOTE:
1. AIR SUPPLY OPENING OF 2 SQ. IN. PER 1,000 BTU MIN. FOR FORCED AIR FURNACE.
 2. COMBUSTION AIR INTAKE OUTLET W/ 1/4" MESH SCREEN 100 SQ. IN. NET. TYPICAL FOR EACH UNIT.
 3. PROVIDE LIGHTING DEVICE IN ATTIC SWITCH AND PLUG IS TO BE LOCATED CLOSE TO ACCESS PANEL.
 4. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE FURNACE SHALL NOT EXCEED 20 FEET MEASURED (FOR HEAD HEIGHT LESS THAN 6 FEET) ALONG THE CENTERLINE OF THE PASSAGEWAY.
 5. THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24 INCHES WIDE FROM THE ENTRANCE OPENING TO THE APPLIANCE.
 6. A LEVEL WORKING PLATFORM NOT LESS THAN 30 INCHES BY 30 INCHES SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE.
 7. A PERMANENT 120-VOLT RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE APPLIANCE. THE SWITCH CONTROLLING THE LIGHT SHALL BE LOCATED NEAR THE ENTRANCE TO THE PASSAGEWAY.

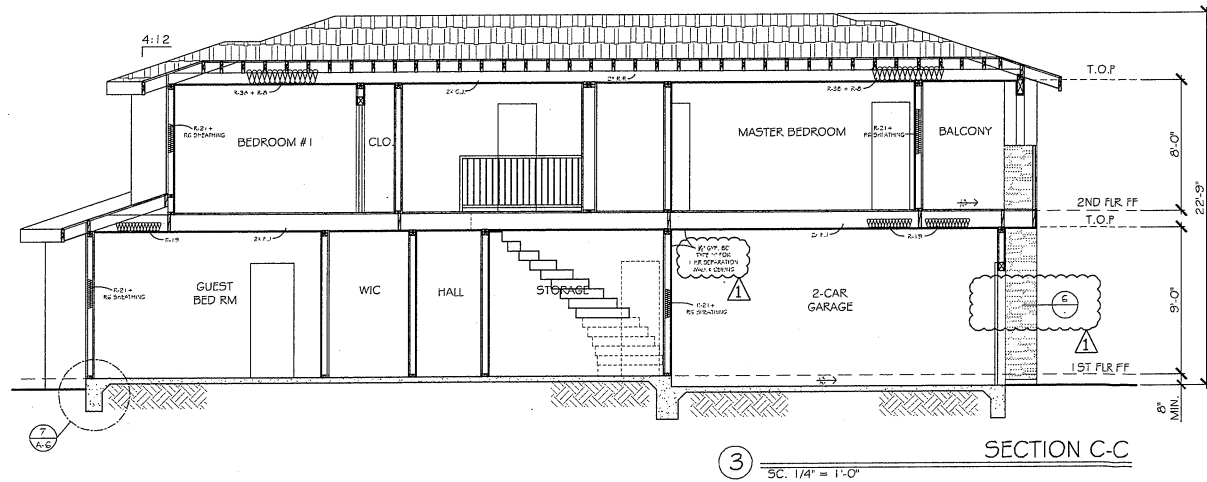
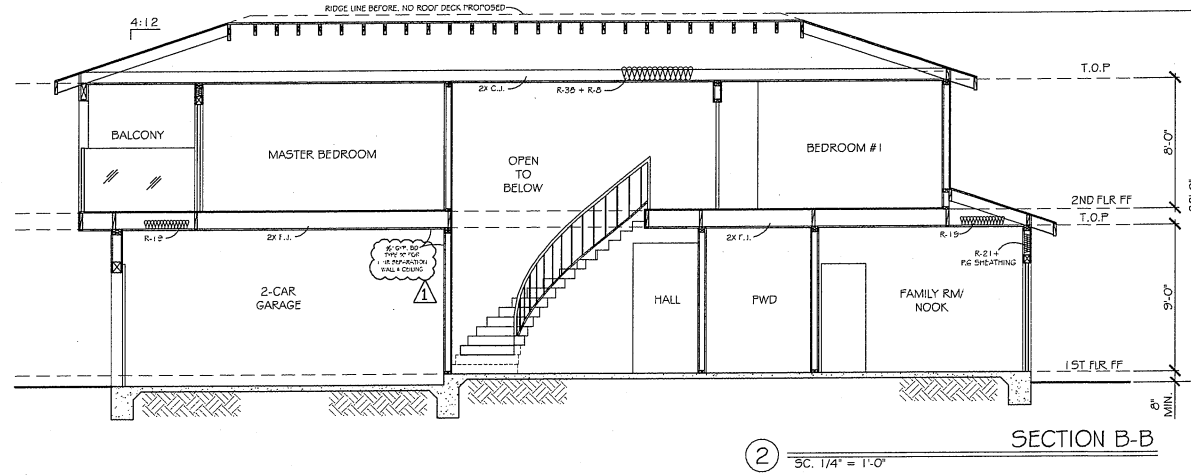
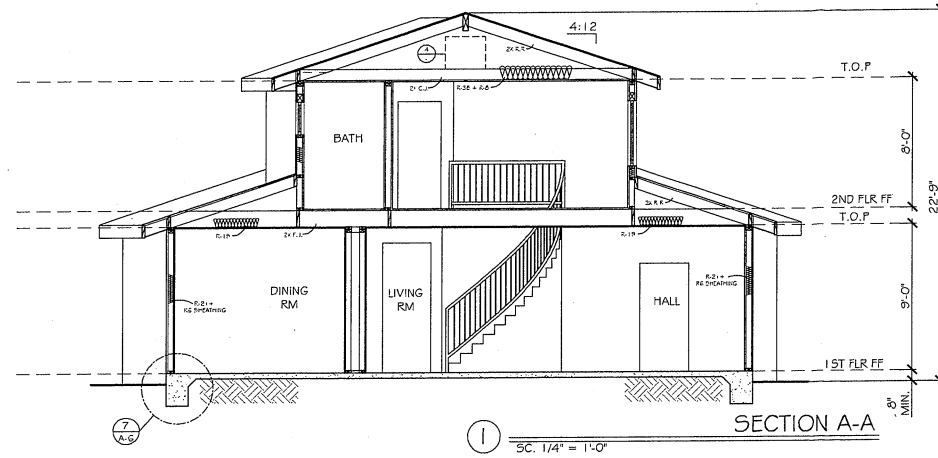
④ ATTIC FURNACE INSTALLATION REQUIREMENT
N.T.S.



⑤ INTERIOR WALL (1 HR FIRE RATED)
SC. 1/4" = 1'-0"



⑥ STONE VENEER DETAIL
SC. 1/4" = 1'-0"



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