



Inspection Report

Sherry Guitare

Property Address:
813 & 813-1/2 Bayview Dr
Manhattan Beach CA 90266



Ferguson Home Inspections

Table of Contents

Cover Page.....	1
Table of Contents.....	2
Intro Page.....	4
1 Exterior - Common area.....	5
2 Lot Grade/Drainage - Common area.....	15
3 Foundation - Common area.....	16
4 Crawl Space - Common area.....	17
5 Roofing - Common area.....	18
6 Attic - Common area.....	27
7 Garage/Parking Area - Common area.....	28
8 Plumbing System - Common System.....	40
9 Sewer/Waste System - Common System.....	43
10 Fire & Safety Systems - Common System.....	46
11 Unit #1 (A).....	47
12 Plumbing System.....	48
13 Sewer/Waste System.....	49
14 Heating A/C System.....	50
15 Water Heater.....	54
16 Electrical System.....	58
17 Unit #2 (B).....	63
18 Plumbing System.....	48
19 Sewer/Waste System.....	49
20 Heating A/C System.....	50
21 Water Heater.....	54
22 Electrical System.....	58
Invoice.....	77
Common Area Summary.....	78

[Unit #1 \(A \) Summary.....106](#)
[Unit #2 \(B \) Summary.....113](#)



Date: 4/6/2026	Time: 09:00 AM	Report ID: 20260406-813-Bayview-Dr
Property: 813 & 813-1/2 Bayview Dr Manhattan Beach CA 90266	Customer: Sherry Guitare	Real Estate Professional: Sue Freeman

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this building. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this building or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

The property was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed, venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Venting and ducting that is visible is inspected. The inspection does not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report. Suggest reviewing with the local city council/offices to determine/confirm any local city ordinances that are required during and/or prior to the close of escrow.

Standards of Practice:

ASHI American Society of Home Inspectors

In Attendance:

Customer(s)

Type of building:

Duplex Residential

Year Built:

1930

Structure(s) Square footage:

1464

Beds/Baths:

3/2

Weather:

Overcast and cool

Rain in last 3 days:

No

1. Exterior - Common area



The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Driveway/Parking area(s):

Concrete

Walkways:

Concrete

Brick

Fences:

Wood

Gates:

Wood

Siding Material(s):

Cement Stucco

Trim/Facia/Eaves Material(s):

Wood

Windows & Doors:

Wood

Vinyl

Aluminum

Gutters/Downspouts:

Metal

See Lot Grade/Drainage comments

Retaining Walls:

Concrete

Gas meter(s) location:

Left side

Common supply rail

Gas Seismic shut-off valve:

No

		IN	NI	NP	RR
1.0	Driveway/Parking area(s)	•			
1.1	Walkways				•
1.2	Fences				•
1.3	Gates				•
1.4	Siding				•
1.5	Trim/Eaves/Fascia				•
1.6	Windows				•
1.7	Doors				•
1.8	Electrical				•
1.9	Gutters/Downspouts				•
1.10	Retaining Walls	•			
1.11	Gas Meter(s)				•
1.12	Comments		•		
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

1.1 (1) Surface cracking, patched and deteriorated areas noted at the stairs to the upper unit. Suggest review by a licensed decking contractor for any repair/sealing/replacement costs as needed to prevent future deterioration and possible leakage at this area.



1.1 Item 1(Picture)



1.1 (2) A potential safety/trip hazard was noted due to no graspable hand railing is currently installed at the stairs to the upper unit (this is common for the original age of the dwelling). Suggest review with a licensed contractor for costs to install a graspable hand railing if desired or concerned.



1.1 Item 2(Picture)



1.1 (3) Settling, expansion cracks and heaving noted at various areas, this is a potential trip hazard. Suggest review with a licensed contractor for any repair/replacement costs as needed.



1.1 Item 3(Picture)



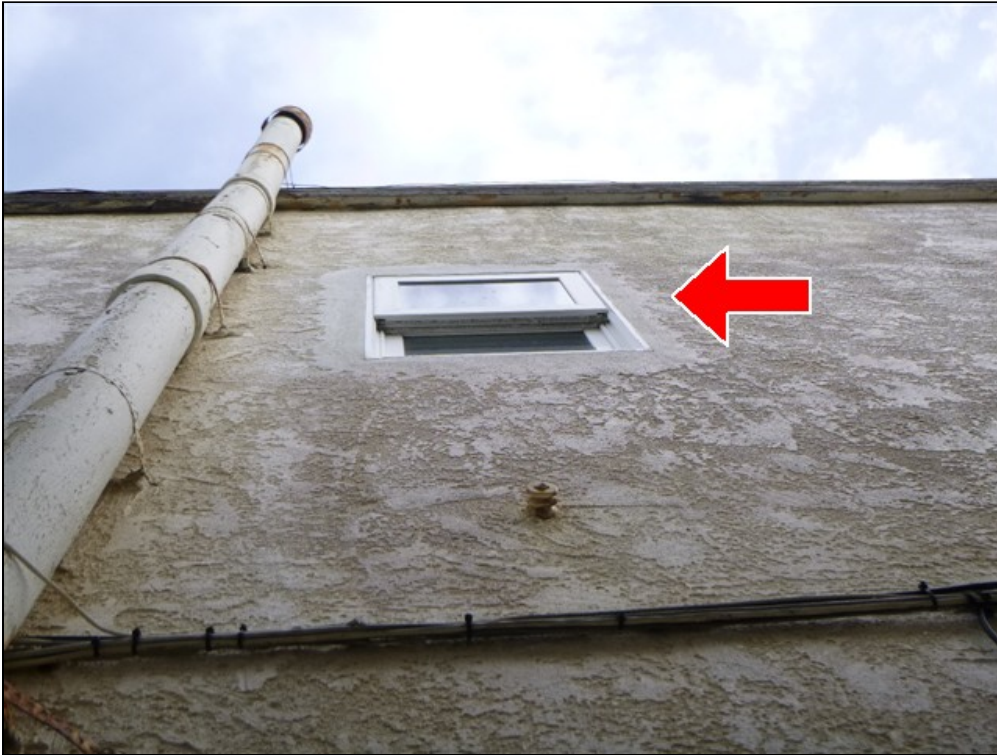
1.2 Wood deterioration noted at various areas of the fencing, the fencing is currently stable and intact. Suggest repair/replace as needed.

1.3 The gates are deteriorated, suggest maintenance as needed.

1.4 (1) Various areas of the siding have been patched, suggest review with the seller on the cause and any repairs needed.



1.4 Item 1(Picture)



1.4 Item 2(Picture)



1.4 Item 3(Picture)

1.4 (2) Suggest sealing around the siding holes/penetration's to prevent future water/insect/rodent intrusion at these areas.



1.4 Item 4(Picture)



1.4 Item 5(Picture)

1.5 Paint blistering, peeling and wood deterioration noted at various trim areas. Suggest review with termite company and/or a licensed contractor and repair/replace as needed.

1.6 Broken/cracked glass noted at various window(s), this is a potential safety hazard. Suggest review with a licensed contractor/glazing company for any replacement costs as required for safety.

1.7 Various wood doors are weathered and deteriorated. See termite report and suggest repair/replace as needed.

1.8 Minimal lighting installed at various areas of the common exterior walkways/stairs (this is common for the age of the dwelling). Suggest review with a licensed electrician for costs to install additional lighting at the exterior to enhance safety.

1.9 Suggest review by a licensed contractor for possible installation of an area drainage system to divert drainage away from the foundation.



1.9 Item 1(Picture)

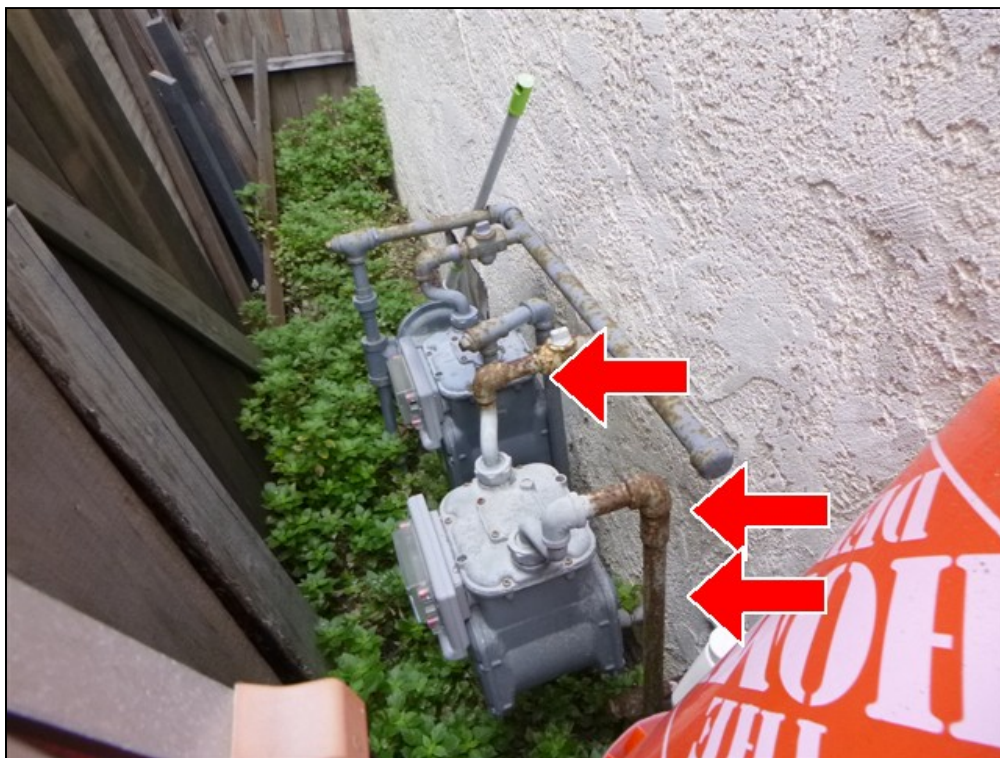
1.11 (1) The gas meters are not currently individually labelled/markd as per each unit. Suggest review with the owner/plumber and/or the gas company to label/mark each gas meter per unit as required for safety.



1.11 Item 1(Picture)



1.11 (2) Excessive rust noted at the gas line at the gas meter area (this is a potential safety hazard). Suggest review with the gas company and/or a licensed plumber for any repair/replacement costs as needed.



1.11 Item 2(Picture)

1.12 Suggest review of trees and root structures to prevent future damage to the property, drainage systems and structures.

2. Lot Grade/Drainage - Common area

The Home Inspector shall observe the lot grade and drainage. The home inspector will report on any signs of incorrect drainage, abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Structure(s) are built on:
Sloped lot

Grading at the foundation(s):
Inadequate

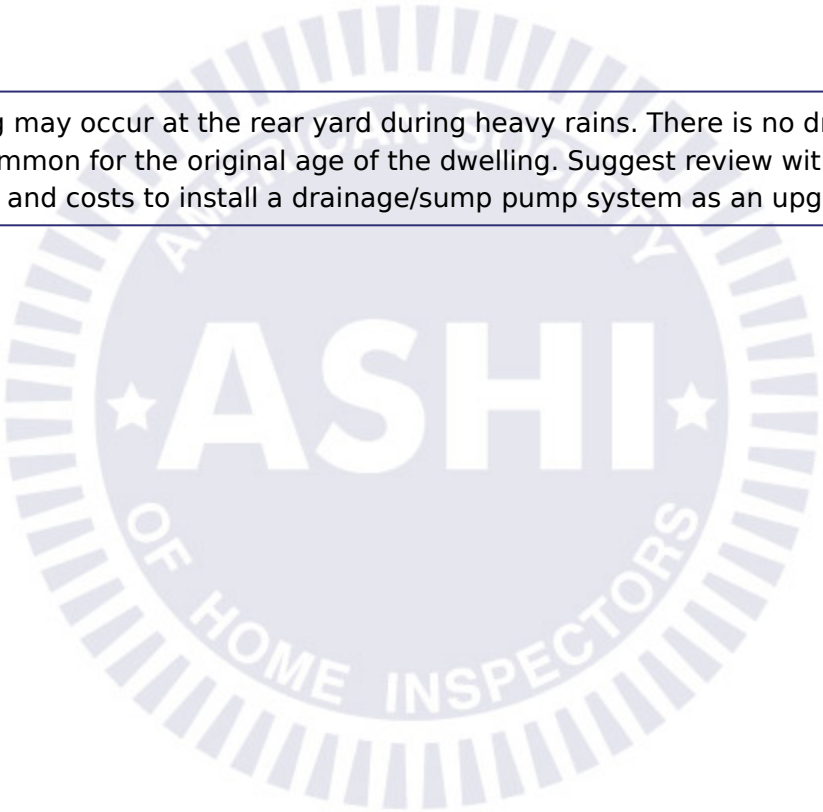
Lot drains towards:
Rear
of the lot

		IN	NI	NP	RR
2.0	Lot Grade/Drainage				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

2.0 Possible ponding may occur at the rear yard during heavy rains. There is no drainage system installed, which is common for the original age of the dwelling. Suggest review with a licensed contractor for review and costs to install a drainage/sump pump system as an upgrade as needed.



3. Foundation - Common area

The Home Inspector shall observe structural components including foundations, floors, columns or piers. The home inspector shall describe the type of Foundation, floor structure, columns or piers. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

- Foundation:

Combination

Poured concrete slab(s)

Raised concrete foundation
- Interior footing/support:

UTD, no crawl access ATI

		IN	NI	NP	RR
3.0	Foundations, Basement and CrawlSpace				•
3.1	Floors (Structural)		•		
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

3.0 (1) The crawl area was not accessed due to no access port was located/installed. Suggest review with a licensed contractor for costs to install a crawl access port to the crawl area as required and to determine any foundation/structural issues at this area.

3.0 (2) Unable to verify (visually observe) the foundation bolting at the mud-sill and/or foundation due to the structure's construction on a concrete slab foundation and/or covered mud sills (wall construction). Generally a home built in the State of California was required to be structurally bolted after the 1930's. See the City or County Building Department for verification of foundation bolting, permits, final or Certificate of Occupancy. As stated in the inspection agreement, building permits are not investigated or reviewed by the inspector.

4. Crawl Space - Common area

The Home Inspector shall observe; structural components including foundations, floors, columns or piers, Insulation and vapor retarders in unfinished spaces; Ventilation of foundation areas. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Enter under floor crawl spaces and basements except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Report on concealed insulation and vapor retarders; Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

		IN	NI	NP	RR
4.0	Crawl Space				•
4.1	Insulation		•		
4.2	Ventilation				•
4.3	Electrical				•
4.4	Plumbing Supply & Drainage		•		
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

4.0 The crawl area was not accessed due to no access port was located/installed. Suggest review with a licensed contractor for costs to install a crawl access port to the crawl area as required and to determine any foundation/structural issues at this area.

4.2 Loose, missing or deteriorated vent screens noted. Suggest re-screening missing and/or deteriorated vent screens as needed to prevent rodent and insect intrusion .

4.3 Open splices were noted. This is a safety concern. Whenever an electrical wire is cut and re-connected, the 'splice' should be encased in a covered junction box to prevent shocks and separation of the splice. Suggest review by licensed electrician and repair as needed.

5. Roofing - Common area

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Type & Material(s):
Sloped
Rolled Asphalt Composition

Roof viewed from:
Roof

Chimney (exterior):
Stucco over brick

Rain cap:
Yes

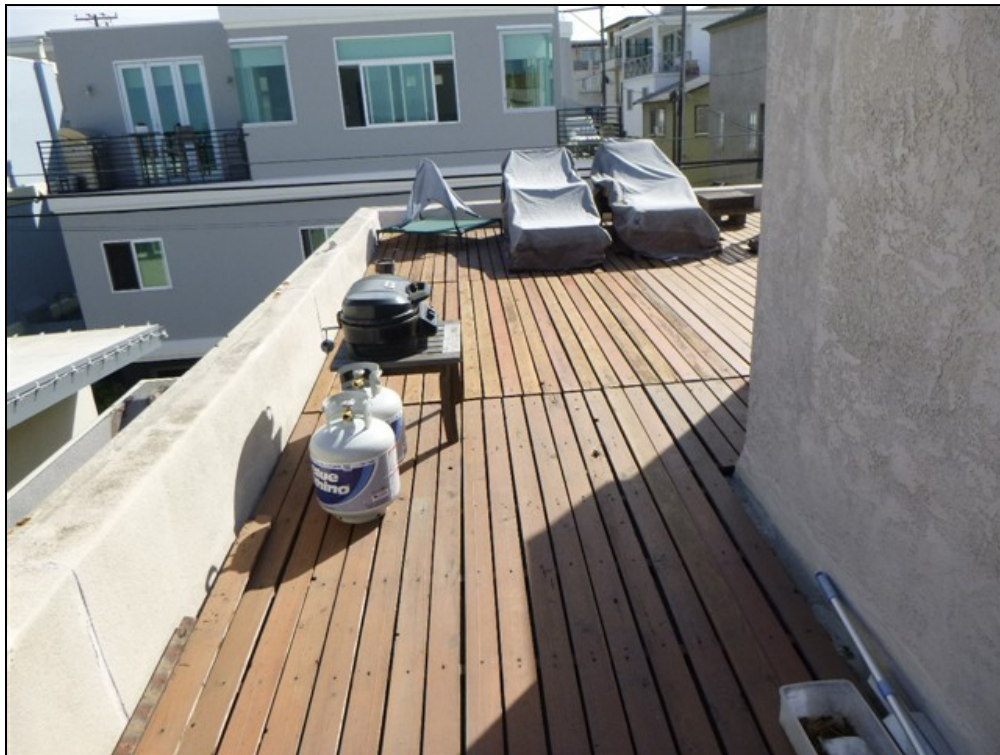
Spark arrestor:
Yes

		IN	NI	NP	RR
5.0	Roof				•
5.1	Flashings				•
5.2	Skylights, Chimneys and Roof Penetrations				•
5.3	Comments				•
		IN	NI	NP	RR

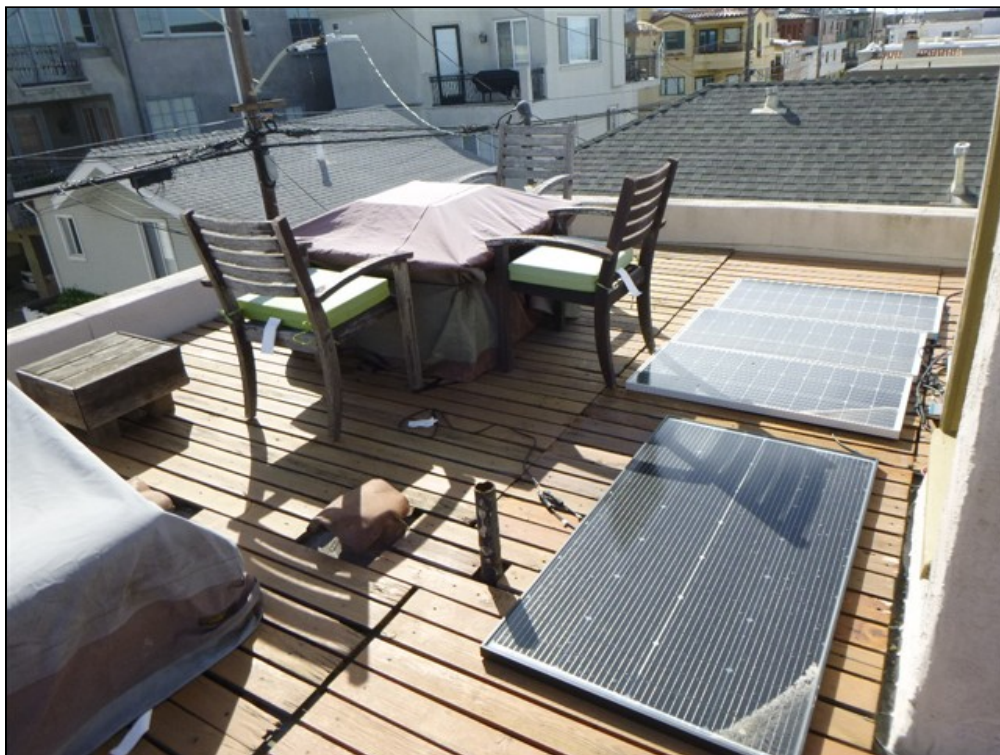
IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

5.0 (1) The roof covering is old and deteriorated. It is nearing the end of its useful life and the covering will need to be replaced. While it could last a year or so, some areas may need patching/repairs as leaks develop (evidence of leakage to the interior was noted). Please review with a licensed roofer to determine the remaining life expectancy and for costs to repair/remove and replace the existing roofing material as needed.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)



5.0 Item 4(Picture)



5.0 Item 5(Picture)



5.0 Item 6(Picture)

5.0 (2) Various sloped areas of the roof have been coated with reflective/sealant/membrane. Suggest review with the seller to determine when the membrane was installed and the life expectancy as needed.



5.0 Item 7(Picture)

5.0 (3) Suggest review with a licensed roofer for installation costs for a scupper/over flow drain to the roof as an upgrade. Any blockages to the roof drain will result in excessive water ponding/flooding at the roof area.



5.0 Item 8(Picture)



5.1 Deteriorated and rusted stem wall flashings were noted at various areas. Suggest review with a licensed roofer for any repair/replacement costs as needed.



5.1 Item 1(Picture)



5.1 Item 2(Picture)

5.2 Patched and repaired/replaced areas of the chimney bricks and mortar was noted. Suggest review with the sellers on the repairs as needed.

5.3 (1) A potential fall/safety hazard was noted due to the additional wood decking over the roof but no handrailings are currently installed at the perimeter of the roof area (excessive wood deterioration was noted at the wood decking). Suggest review with a licensed contractor for any repair/removal/ replacement costs as needed for safety.



5.3 Item 1(Picture)



5.3 Item 2(Picture)

5.3 (2) A potential safety hazard was noted due to multiple gas appliance vents noted at this additional roof decking.

6. Attic - Common area

Styles & Materials

Hatch Location(s):

N/A Boxed and closed ceilings

		IN	NI	NP	RR
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



7. Garage/Parking Area - Common area

The home inspector shall observe: Walls, ceiling, closets and floors where visible without moving the appliances or personal effects; Counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; ceiling fans, lighting fixtures, switches and receptacles, the polarity and grounding of all receptacles within six feet of interior plumbing fixtures, the operation of ground fault circuit interrupters; report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments, Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

Styles & Materials

Location:

Attached

Below Structure

Garage Door & Type:

One, automatic

Tilt-up

Garage Door Material:

Wood

Auto-opener Manufacturer:

CHAMBERLAIN

Optical sensors:

Yes

Safety reverse operating:

No, see comments

GFCI Outlets:

No, common for age

		IN	NI	NP	RR
7.0	Slab				•
7.1	Garage Door (s)				•
7.2	Garage Door Hardware				•
7.3	Door Opener				•
7.4	Garage Walls & Ceilings (including Firewall & Ceiling Separation)				•
7.5	Electrical				•
7.6	Comments				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

7.0 Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



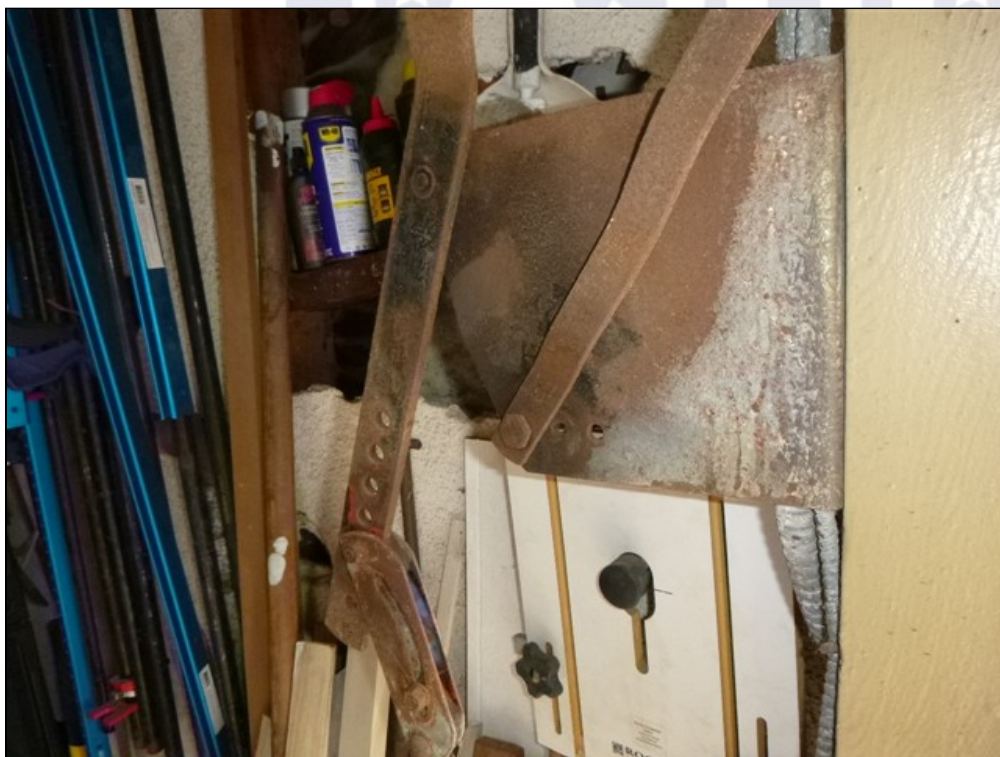
7.0 Item 1(Picture)

7.1 The wood garage door is weathered and deteriorated, suggest repair/replace as needed.



7.1 Item 1(Picture)

7.2 Bent and damaged hinge hardware was noted, this is a potential safety hazard. Suggest review with a licensed contractor for repair/replacement costs as needed.



7.2 Item 1(Picture)



7.2 Item 2(Picture)



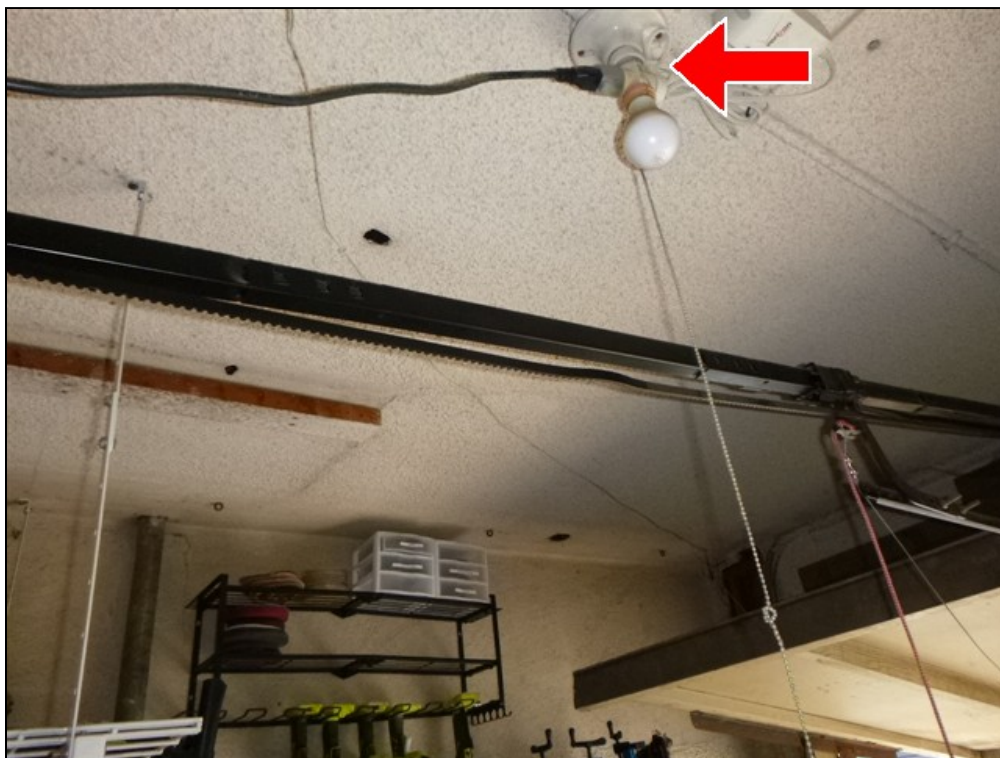
7.3 (1) Unreasonable resistance was required to stop the main garage door(s) in motion, this is a safety concern. Suggest adjusting door opener(s) so the safety reverse operates as required. The US Product Safety Commission recommends these devices be checked monthly.

7.3 (2) Suggest obtaining the garage door opener keypad door code from the seller and confirm correct operation as needed.



7.3 Item 1(Picture)

7.3 (3) The garage door opener is currently improperly wired into the light fixture. Suggest review with a licensed electrician for costs to install a dedicated hard wired outlet adjacent to the garage door opener as required.



7.3 Item 2(Picture)



7.3 (4) The garage door opener(s) pull chain/rubber is excessively loose and periodically catches on the railing mount(s). Suggest review with a licensed contractor for costs to correctly tighten/tension the system as required and confirm correct operation as needed.



7.3 Item 3(Picture)



7.4 (1) The inspector was unable to make a complete inspection of firewall/ceiling due to a large concentration of personal effects/vehicles etc. Suggest review of firewall/ceiling once the garage area has been cleared. If any breaches or damage to firewall/ceiling is found, suggest review with a licensed contractor for costs to patch/repair/replace the affected areas with 5/8 fire-rated drywall to complete the firewall/ceiling as required.

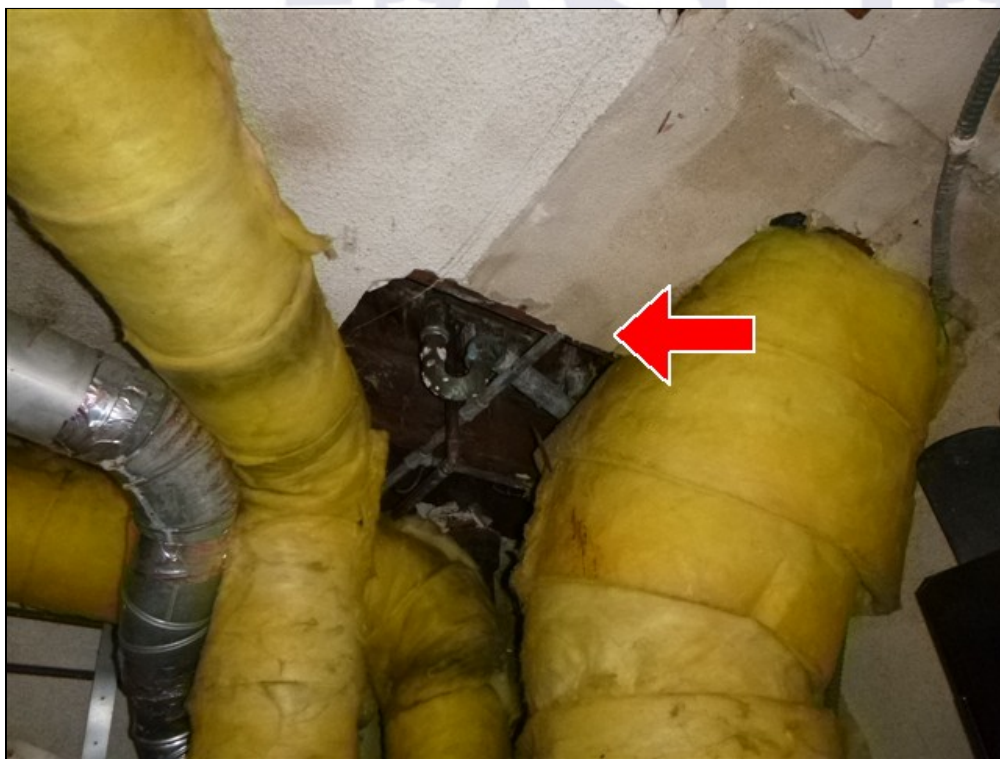


7.4 Item 1(Picture)

7.4 (2) Holes and unfinished sections of the firewall/ceiling were noted, this is a potential fire spread hazard. 5/8 inch sheetrock may be installed as a minimum standard material and as a requirement for a one hour burn through rating for the firewall/ceiling. Suggest review by licensed contractor for repair/ installation costs as needed.



7.4 Item 2(Picture)



7.4 Item 3(Picture)



7.4 Item 4(Picture)



7.4 Item 5(Picture)

7.5 (1) A minimum number of outlets were installed at this area at the time of the inspection, this is common for the original age of dwelling. Suggest review by a licensed electrician for installation costs for additional outlets if desired as an upgrade.

7.5 (2) Open junction boxes/conduit was noted, this is a potential safety hazard. Whenever an electrical wire is cut and re-connected, the 'splice' should be encased in a covered junction box to prevent shocks and separation of the splice. Suggest review by a licensed electrician for repair/replacement costs as needed.

7.5 (3) Two wire and two prong electrical receptacles noted. At the time of the original construction this type of system was the acceptable standard and appears to be intact. If three prong and GFCI receptacles are desired a ground source is required. Suggest review with a licensed electrician for costs to ground the outlets as needed as an upgrade and/or protected the outlet(s) on a GFCI circuit where recommended.

7.6 (1) Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



7.6 Item 1(Picture)

7.6 (2) No impact barrier installed as required due to the location of the laundry and heating appliance(s) in the garage (this is common for the original age of the dwelling). Suggest review with a licensed contractor for installation costs as needed as an upgrade.



7.6 Item 2(Picture)



7.6 Item 3(Picture)

8. Plumbing System - Common System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; piping supports and pipe insulation; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. The inspector will comment on any areas where the plumbing may be corroded and/or deteriorated where visible. Please be aware that the inspector cannot see inside the walls/ceiling/foundation where there may be areas of corrosion/deterioration to the plumbing. Please be aware that multiple cities/areas of Los Angeles are now obtaining there water supply from different sources and are also adding various chemicals which can cause corrosion, pin hole leaks and accelerate leaking in various plumbing supply lines. At the time of the inspection no active leaking was visible or present (unless otherwise stated in the inspection report), but leaks may develop in the future as the plumbing supply lines continue to corrode/deteriorate over time. Suggest review with a licensed plumber for repair/replacement costs as needed.

Styles & Materials

Common Main shut off location:
Unable to determine

Water Distribution (inside dwellings/structures where visible):
Copper , L type where visible

Water pressure - PSI:
100

Water Pressure Regulator Installed:
No, see comments

		IN	NI	NP	RR
8.0	Plumbing Water Supply and Distribution System				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

8.0 (1) The main water shut off for the structure was not visible and/or accessible at the time of the inspection. Suggest review with the current owner/occupant and/or a licensed plumber to verify the main shut off location and/or costs to install a main shut off valve as required.

8.0 (2) Suggest review with a licensed plumber for costs to install a water pressure regulator (at the main water line) to reduce the water pressure below 80 PSI to relieve the pressure/stress on all the plumbing joints/fittings/fixtures as needed.

8.0 (3) Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407

8.0 (4) Replaced sections of the plumbing supply lines were noted throughout the dwelling/ structure(s). Suggest review with the seller to determine/confirm when the plumbing was replaced, the extent of replacement plumbing, the cause and any other repairs needed.



8.0 (5) Corroded plumbing and fittings noted at various areas within the dwelling/structure(s). Suggest further review by a licensed plumber for repair/replacement costs as needed to prevent future leakage, pin hole leaks and possible stains/damage to the interior of the dwelling.



8.0 Item 1(Picture)



9. Sewer/Waste System - Common System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; piping supports and pipe insulation; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Waste/Drains (where visible):

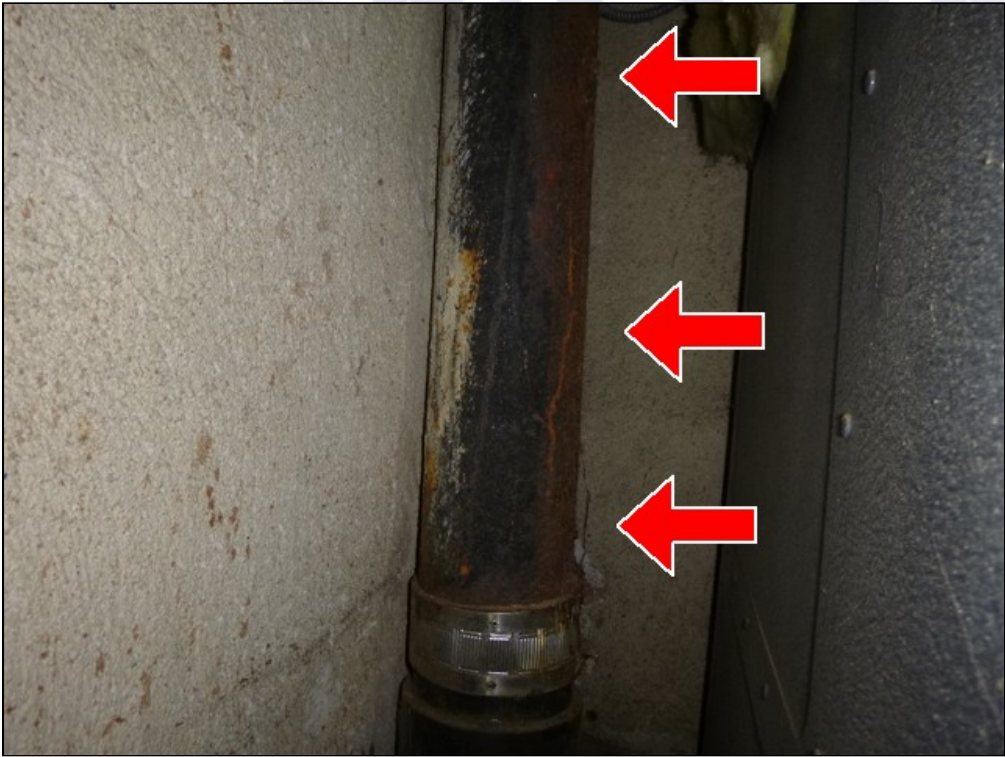
Cast iron
ABS

		IN	NI	NP	RR
9.0	Waste/Drains				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

9.0 (1) Excessive rust/corrosion and evidence of previous/on-going leakage at the noted at the drains within the units/dwellings and the common garage area(s). Suggest review with a licensed plumbing contractor for any repair/removal/replacement costs as needed.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)



9.0 Item 4(Picture)

9.0 (2) Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

9.0 (3) Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

10. Fire & Safety Systems - Common System

Styles & Materials

Smoke alarms:
No, see comments

Carbon Monoxide alarms:
No, see comments

		IN	NI	NP	RR
10.0	Smoke & Carbon Monoxide alarms				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

10.0 (1) Smoke alarms have a general 'life span' of approximately 10 years. Many of the units throughout this complex/structure appear to be original and/or older than 10 years. Suggest replacing all of the older units as needed/suggested by the California State Fire Department.

10.0 (2) Suggest installation of smoke alarms at any room or hallway leading to a bedroom/sleeping area and within every bedroom with the complex/structure as required by the State of California.

10.0 (3) Suggest installing Carbon Monoxide alarms outside each sleeping area and on every level of the home, including the basement, as required by the State of California.

10.0 (4) The expected life span of a smoke detector/alarm is generally 10 years and a carbon monoxide detector/alarm is around 6/10 years. As per the manufacturer, the smoke/carbon monoxide detectors/alarms should be tested every month and the batteries should be replaced every year in a smoke detector/alarm and every six months in a carbon monoxide detector/alarm. Please be aware that testing/replacing both of the smoke/carbon monoxide detectors/alarms regularly is strongly recommended as the test button does not confirm that the device/sensor is working correctly, only the alarm.

11. Unit #1 (A)

Styles & Materials

Location & Unit #:

Upper unit

		IN	NI	NP	RR
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



12. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; piping supports and pipe insulation; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. The inspector will comment on any areas where the plumbing may be corroded and/or deteriorated where visible. Please be aware that the inspector cannot see inside the walls/ceiling/foundation where there may be areas of corrosion/deterioration to the plumbing. Please be aware that multiple cities/areas of Los Angeles are now obtaining there water supply from different sources and are also adding various chemicals which can cause corrosion, pin hole leaks and accelerate leaking in various plumbing supply lines. At the time of the inspection no active leaking was visible or present (unless otherwise stated in the inspection report), but leaks may develop in the future as the plumbing supply lines continue to corrode/deteriorate over time. Suggest review with a licensed plumber for repair/replacement costs as needed.

Styles & Materials

Water Distribution (inside home where visible):

Copper, where visible

		IN	NI	NP	RR
12.0	Plumbing Water Supply and Distribution System				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

12.0 Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407

13. Sewer/Waste System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; piping supports and pipe insulation; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Waste/Drains (where visible):

Cast iron
ABS

		IN	NI	NP	RR
13.0	Waste/Drains				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

13.0 (1) Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

13.0 (2) Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

14. Heating A/C System

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Location:	Heat Type:	Energy Source:
Garage	Forced Air	Natural gas
Heat System Brand:	Ductwork (where visible):	Filter Type:
GOODMAN	Sheet metal wrapped/insulated with fibreglass insulation	Disposable
Filter Size:	A/C Equipment Type:	Thermostat location & Type:
UTD	None	Living room Digital Programable

		IN	NI	NP	RR
14.0	Heating Equipment				•
14.1	Venting	•			
14.2	Thermostat	•			
14.3	Ducting	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

14.0 (1) The heating unit was tested and was operational at the time of the inspection.



14.0 Item 1(Picture)



14.0 Item 2(Picture)

14.0 (2) Suggest replacing/cleaning the filter(s) as needed.



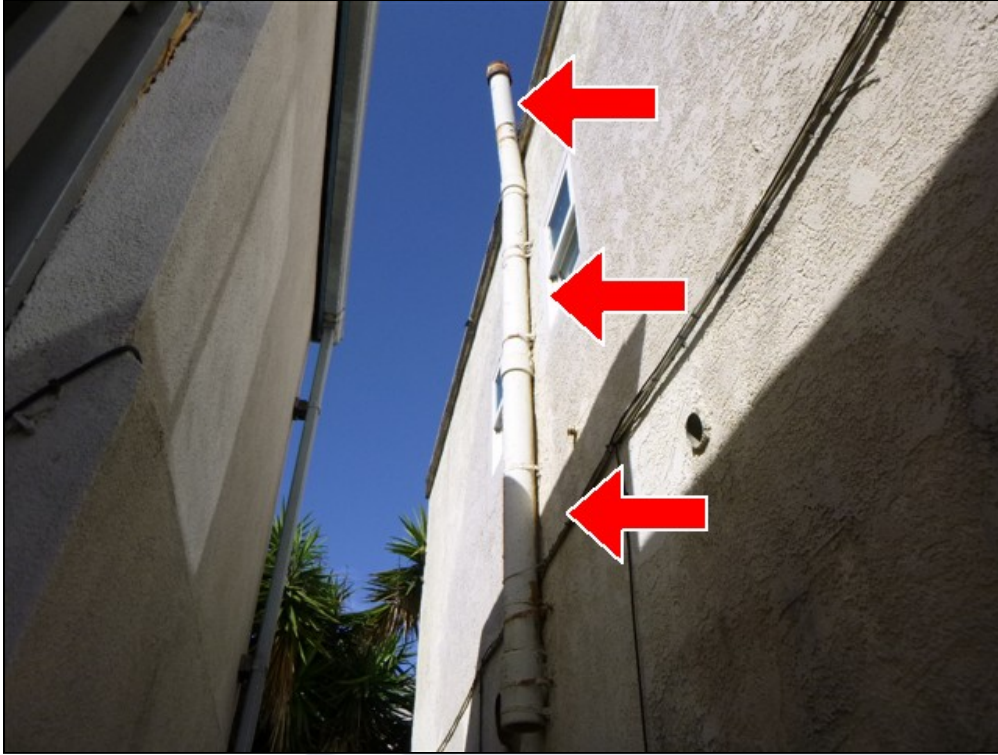
14.0 Item 3(Picture)

14.0 (3) The heating unit has been installed on wooden stands, suggest review by a licensed heating contractor for installation on non-combustible stands as required.



14.0 Item 4(Picture)

14.1 An original asbestos-like material transit pipe/vent was noted (this is common for the age of the dwelling). No damage visible at the transit pipe at the time of the inspection.



14.1 Item 1(Picture)



15. Water Heater

Styles & Materials

Water Heater Location:	Water Heater Power Source:	Water Heater Capacity:
Living room closet	Tank (Gas)	29 Gallon
Manufacturer:	Manufactured Date:	Cold water shut off:
RHEEM	Y-2022	Yes
Gas Shut off:	TP Valve & discharge installed:	Seismic Strapping:
Yes	Yes No Discharge drain See comments	Yes Two straps
Smitty pan:	Gas supply line drip leg/sediment trap installed:	Expansion tank installed:
Yes See comments	No, see comments	No, see comments

		IN	NI	NP	RR
15.0	Water Heater				•
15.1	Venting	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

15.0 (1) The water heater was operational at the time of the inspection.



15.0 Item 1(Picture)

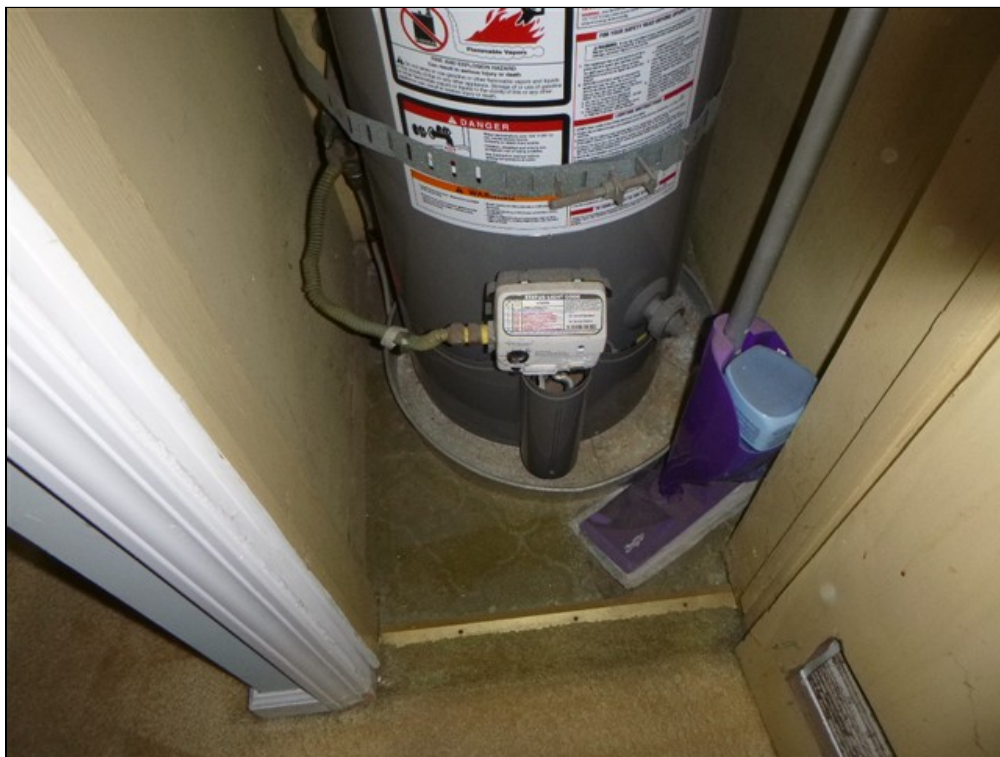
15.0 (2) The capacity of the existing water heater is below plumbing standards for adequate hot water heating for this size dwelling (based on the number of beds/bathrooms). Suggest review by a licensed plumbing contractor for evaluation of this dwellings water heating system for replacement costs as needed.



15.0 Item 2(Picture)

15.0 (3) Currently no gas supply line drip leg/sediment trap is installed, please be aware that various cities do not enforce/require this installation. Suggest review with the local City Building Department and/or with a licensed plumbing contractor for installation costs as needed.

15.0 (4) A spill pan is installed under the water heater but no drain line is currently installed. Suggest installing the drain line to the exterior of the closet/dwelling as required when the water heater was installed.



15.0 Item 3(Picture)

15.0 (5) No discharge pipe connected to the TP&R valve, this is a potential safety hazard. Suggest review by a licensed plumber for costs to install the TP discharge drain down to within 4-6 inches of the exterior grade/deck as required for safety.



15.0 Item 4(Picture)

15.0 (6) The current water heater does not have a "Thermal Expansion tank" which is generally installed to prevent a possible leak at the T&P or "pop-off" valve and/or excessive pressure build-up at the internal plumbing, fixtures and joints. Recent changes (2012) require one when a new water heater is installed, but various cities do not enforce this installation for multiple reasons (the home is not on a closed system and various tankless units do not require it) . There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. Suggest review with the city and/or a licensed plumber to determine if this installation is required and install as needed.

15.1 Asbestos-like material transit pipe/vent noted. Common for the age of the dwelling. No damage visible at the transit pipe at the time of the inspection.

16. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system.

Styles & Materials

Electrical Service:
Overhead service

Main Panel Location:
Left side exterior

Main Panel capacity:
100 AMP
240 Volts

Main disconnect:
Yes

Electric Panel Manufacturer(s):
BULLDOG

Panel Type:
Circuit breakers

Branch wire (where visible):
Copper

Wiring Methods:
Romex

Grounding system:
Yes

Future space at Panel(s):
Yes
at main only

		IN	NI	NP	RR
16.0	Service Entrance Conductors				•
16.1	Service, Grounding Equipment, Main/Sub Panels				•
16.2	Branch Circuits, Overcurrent Devices				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

16.0 The electrical service wiring mount is broken and detached from the roof, this is a potential safety hazard. Suggest review with a licensed electrician and/or the local utility company for repair/ replacement costs as required for safety.



16.0 Item 1(Picture)

16.1 (1) The main panel/breakers are not labelled as per each unit, suggest review with the utility company and label as needed for identification purposes.



16.1 Item 1(Picture)



16.1 (2) The electrical panel(s) are a Bulldog breaker system. Problems with this style panel include circuit breakers (depending on the vintage) with a dismal performance record and the possibility of unbalanced multi-wire circuits. Also, please be aware that various insurance companies will not insure homes with this style of electrical panel. Suggest review by a licensed electrician for replacement costs as needed.



16.1 Item 2(Picture)

16.1 (3) Suggest adding correct/complete indexing/labelling to all breakers for identification of each circuit for safety.



16.1 Item 3(Picture)

16.2 (1) Minimal/Inadequate/ungrounded circuits noted servicing the interior of the dwelling, this is common for the age of the dwelling. Suggest review with a licensed electrician for costs to ground/ install additional circuits to the interior of the dwelling as needed.

16.2 (2) Excessive use of electrical plugs strips/extensions cords used throughout this unit, this is a potential fire safety hazard. Suggest review with a licensed electrician for additional electrical circuits/ outlets costs as needed for safety.

17. Unit #2 (B)

Styles & Materials

Location & Unit #:

Lower unit

		IN	NI	NP	RR
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



18. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; piping supports and pipe insulation; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials. The inspector will comment on any areas where the plumbing may be corroded and/or deteriorated where visible. Please be aware that the inspector cannot see inside the walls/ceiling/foundation where there may be areas of corrosion/deterioration to the plumbing. Please be aware that multiple cities/areas of Los Angeles are now obtaining there water supply from different sources and are also adding various chemicals which can cause corrosion, pin hole leaks and accelerate leaking in various plumbing supply lines. At the time of the inspection no active leaking was visible or present (unless otherwise stated in the inspection report), but leaks may develop in the future as the plumbing supply lines continue to corrode/deteriorate over time. Suggest review with a licensed plumber for repair/replacement costs as needed.

Styles & Materials

Water Distribution (inside home where visible):

Copper, where visible

		IN	NI	NP	RR
18.0	Plumbing Water Supply and Distribution System				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

18.0 Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407

19. Sewer/Waste System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; piping supports and pipe insulation; leaks; and functional drainage. The home inspector shall describe: Water supply and distribution piping materials; Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

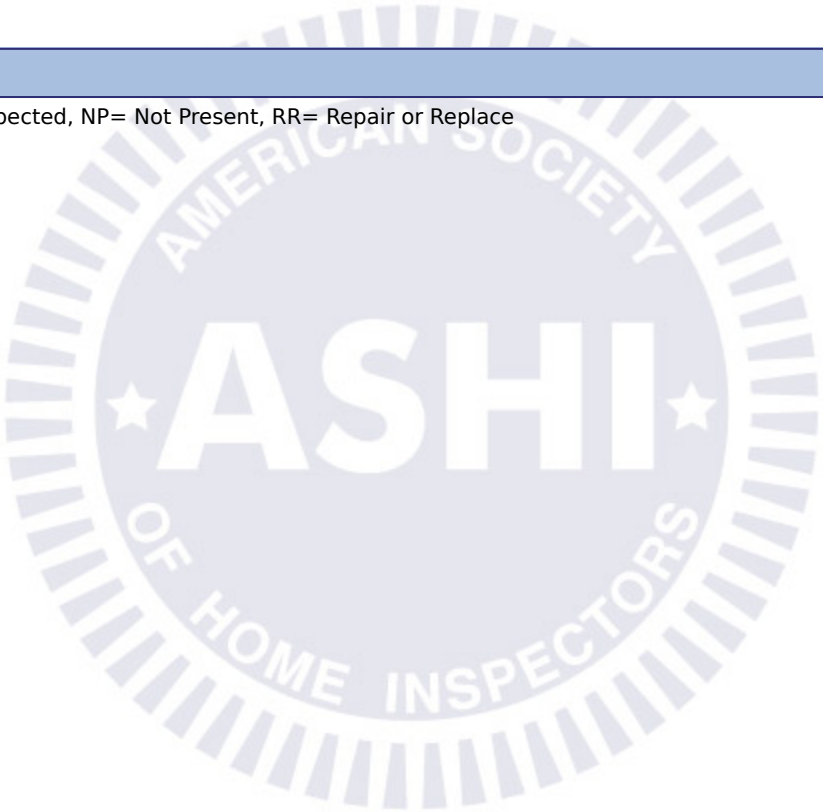
Styles & Materials

Waste/Drains (where visible):

Cast iron
ABS

		IN	NI	NP	RR
19.0	Waste/Drains				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



Comments:

19.0 (1) Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

19.0 (2) Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

19.0 (3) Rust and corrosion noted at the drains within the garage and crawl space (evidence of previous-ongoing leakage was noted at the interior of the units). Suggest review with a licensed plumbing contractor for any repair/removal/replacement costs as needed.



19.0 Item 1(Picture)



19.0 Item 2(Picture)



20. Heating A/C System

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Location:
Living room

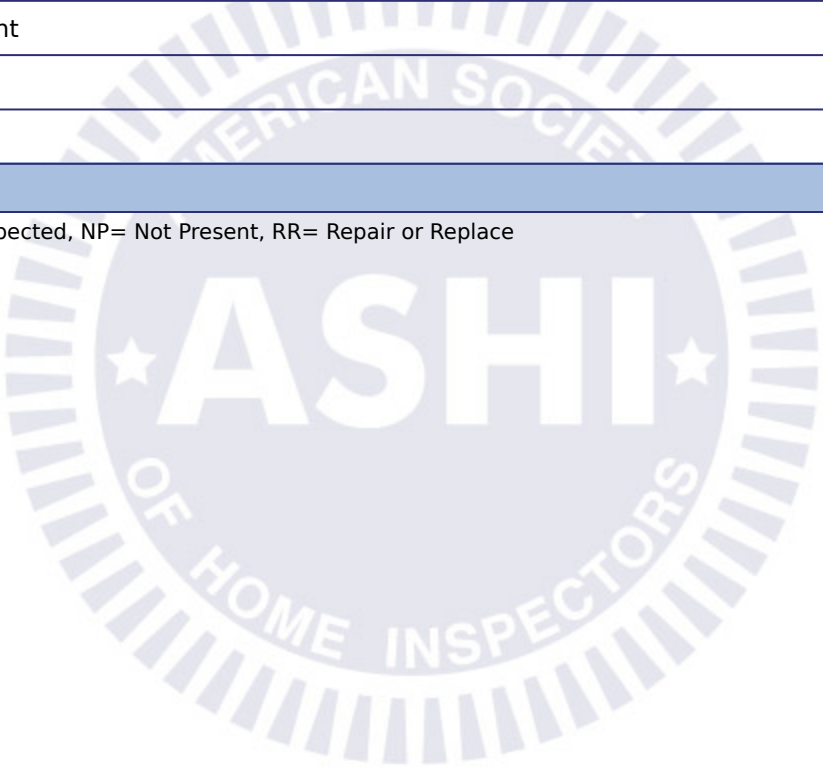
Heat Type:
Wall unit

Energy Source:
Natural gas

A/C Equipment Type:
None

		IN	NI	NP	RR
20.0	Heating Equipment				•
20.1	Venting		•		
20.2	Thermostat		•		
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace



Comments:

20.0 Unable to test the heating system as the gas was turned off to the unit at the time of the inspection. Suggest review by the Gas Company or a licensed heating company for further review to determine if the unit is operational/usable, the remaining life of the unit and/or any repair/replacement costs as needed.



20.0 Item 1(Picture)

21. Water Heater

Styles & Materials

Water Heater Location:	Water Heater Power Source:	Water Heater Capacity:
Kitchen closet	Tank (Gas)	28 Gallon
Manufacturer:	Manufactured Date:	Cold water shut off:
GENERAL ELECTRIC	K-2013	Yes
Gas Shut off:	TP Valve & discharge installed:	Seismic Strapping:
Yes	Yes	Yes
		Two straps
Smitty pan:	Gas supply line drip leg/sediment trap installed:	Expansion tank installed:
No	No, see comments	No, see comments
See comments		

		IN	NI	NP	RR
21.0	Water Heater				•
21.1	Venting				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

21.0 (1) Due to the age of this unit , suggest review with a licensed plumber for replacement costs as it is nearing the end of it's intended life span (12-15 years).



21.0 Item 1(Picture)

21.0 (2) No spill pan or drain line installed at the time of inspection. Suggest installation of a spill pan with a drain line to the exterior of the dwelling as required as leakage would cause damage to the stand and surrounding area.



21.0 Item 2(Picture)



21.0 (3) Currently no gas supply line drip leg/sediment trap is installed, please be aware that various cities do not enforce/require this installation. Suggest review with the local City Building Department and/or with a licensed plumbing contractor for installation costs as needed.

21.0 (4) The current water heater does not have a "Thermal Expansion tank" which is generally installed to prevent a possible leak at the T&P or "pop-off" valve and/or excessive pressure build-up at the internal plumbing, fixtures and joints. Recent changes (2012) require one when a new water heater is installed, but various cities do not enforce this installation for multiple reasons (the home is not on a closed system and various tankless units do not require it) . There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. Suggest review with the city and/or a licensed plumber to determine if this installation is required and install as needed.

21.1 Negative slope and a poor fitting vent pipe was noted. Loose, disconnected or improperly sloped vent pipes will not allow for products of combustion to escape. This is a potential safety hazard requiring immediate attention. Suggest review by a licensed plumbing/heating contractor for repairs/ replacement costs as required for safety.



21.1 Item 1(Picture)

22. Electrical System

Styles & Materials

Electrical Service:

Overhead service

Main Panel Location:

Left side exterior

Main Panel capacity:

100 AMP
240 Volts

Main disconnect:

Yes

Electric Panel Manufacturer(s):

BULLDOG

Panel Type:

Circuit breakers

Branch wire (where visible):

Copper

Wiring Methods (where visible):

Romex
Conduit

Grounding system:

Yes

Future space at Panel(s):
Yes

		IN	NI	NP	RR
22.0	Service Entrance Conductors				•
22.1	Service, Grounding Equipment, Main/Sub Panels				•
22.2	Branch Circuits, Overcurrent Devices				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

22.0 The electrical service wiring mount is broken and detached from the roof, this is a potential safety hazard. Suggest review with a licensed electrician and/or the local utility company for repair/replacement costs as required for safety.



22.0 Item 1(Picture)

22.1 (1) The main panel/breakers are not labelled as per each unit, suggest review with the utility company and label as needed for identification purposes.



22.1 Item 1(Picture)

22.1 (2) Suggest adding correct/complete indexing/labelling to all breakers for indentification of each circuit for safety.



22.1 Item 2(Picture)

22.1 (3) The electrical panel(s) are a Bulldog breaker system. Problems with this style panel include circuit breakers (depending on the vintage) with a dismal performance record and the possibility of unbalanced multi-wire circuits. Also, please be aware that various insurance companies will not insure homes with this style of electrical panel. Suggest review by a licensed electrician for replacement costs as needed.



22.1 Item 3(Picture)

22.2 (1) Minimal/Inadequate/ungrounded circuits noted servicing the interior of the dwelling, this is common for the age of the dwelling. Suggest review with a licensed electrician for costs to ground/ install additional circuits to the interior of the dwelling as needed.

22.2 (2) Excessive use of electrical plugs strips/extensions cords used throughout this unit, this is a potential fire safety hazard. Suggest review with a licensed electrician for additional electrical circuits/ outlets costs as needed for safety



INVOICE

Ferguson Home Inspections
318 Avenue I # 673
Redondo Beach, CA 90277
Inspected By: Paul

Inspection Date: 4/6/2026
Report ID: 20260406-813-Bayview-Dr

Customer Info:	Inspection Property:
Sherry Guitare	813 & 813-1/2 Bayview Dr Manhattan Beach CA 90266
Customer's Real Estate Professional: Sue Freeman	

Inspection Fee:

Service	Price	Amount	Sub-Total
Partial Inspection, Major systems only	500.00	1	500.00
			Tax \$0.00
			Total Price \$500.00

Chase-QuickPay and Zelle is a free payment system built into your banking App on your phone or computer.
To use this free service, you will enter Paul as a new contact and then input my email address Paul@FergusonHomeInspections.com
(please do not enter/input my phone number)

Payment Method: Chase-Quickpay/Zelle
Payment Status: Paid
Note:

Common Area Summary



Ferguson Home Inspections

The following items or discoveries indicate that these systems or components that are in the Common areas/ Common systems that **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This Common area/Common systems summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Exterior - Common area



1.1 Walkways

Repair or Replace

(1) Surface cracking, patched and deteriorated areas noted at the stairs to the upper unit. Suggest review by a licensed decking contractor for any repair/sealing/replacement costs as needed to prevent future deterioration and possible leakage at this area.



1.1 Item 1(Picture)

(2) A potential safety/trip hazard was noted due to no graspable hand railing is currently installed at the stairs to the upper unit (this is common for the original age of the dwelling). Suggest review with a licensed contractor for costs to install a graspable hand railing if desired or concerned.



1.1 Item 2(Picture)

(3) Settling, expansion cracks and heaving noted at various areas, this is a potential trip hazard. Suggest review with a licensed contractor for any repair/replacement costs as needed.



1.1 Item 3(Picture)

1.2 Fences

Repair or Replace

Wood deterioration noted at various areas of the fencing, the fencing is currently stable and intact. Suggest repair/replace as needed.

1.3 Gates

Repair or Replace

The gates are deteriorated, suggest maintenance as needed.

1.4 Siding

Repair or Replace

(1) Various areas of the siding have been patched, suggest review with the seller on the cause and any repairs needed.



1.4 Item 1(Picture)



1.4 Item 2(Picture)



1.4 Item 3(Picture)

(2) Suggest sealing around the siding holes/penetration's to prevent future water/insect/rodent intrusion at these areas.



1.4 Item 4(Picture)



1.4 Item 5(Picture)

1.5 Trim/Eaves/Fascia

Repair or Replace

Paint blistering, peeling and wood deterioration noted at various trim areas. Suggest review with termite company and/or a licensed contractor and repair/replace as needed.

1.6 Windows

Repair or Replace

Broken/cracked glass noted at various window(s), this is a potential safety hazard. Suggest review with a licensed contractor/glazing company for any replacement costs as required for safety.

1.7 Doors

Repair or Replace

Various wood doors are weathered and deteriorated. See termite report and suggest repair/replace as needed.

1.8 Electrical

Repair or Replace

Minimal lighting installed at various areas of the common exterior walkways/stairs (this is common for the age of the dwelling). Suggest review with a licensed electrician for costs to install additional lighting at the exterior to enhance safety.

1.9 Gutters/Downspouts

Repair or Replace

Suggest review by a licensed contractor for possible installation of an area drainage system to divert drainage away from the foundation.



1.9 Item 1(Picture)

1.11 Gas Meter(s)

Repair or Replace

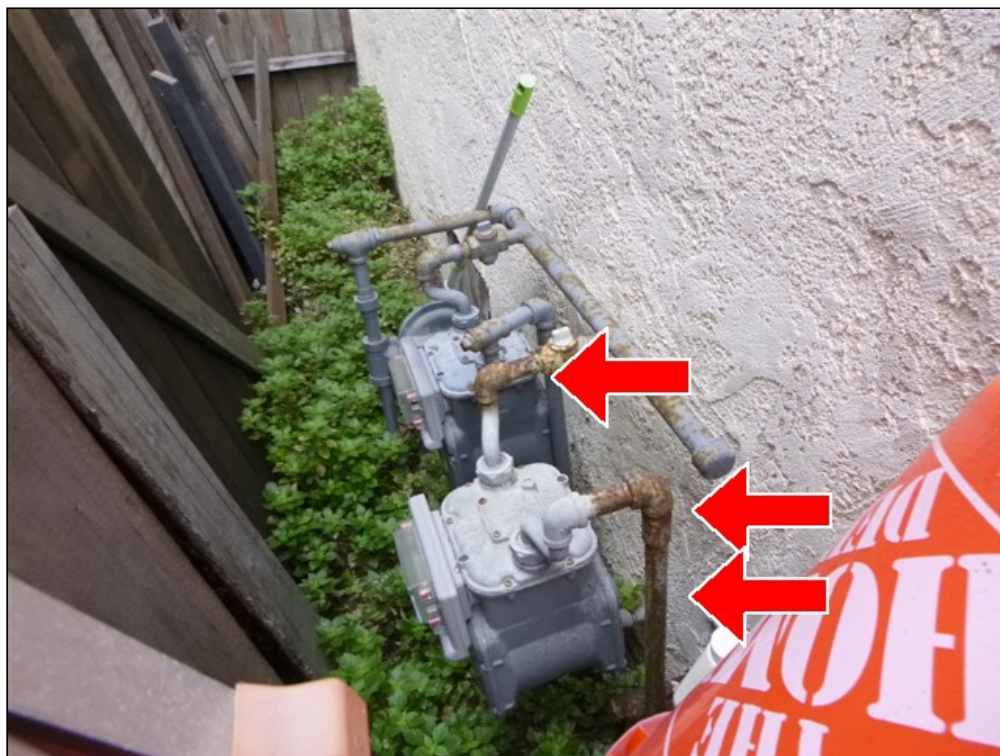
(1) The gas meters are not currently individually labelled/marked as per each unit. Suggest review with the owner/plumber and/or the gas company to label/mark each gas meter per unit as required for safety.



1.11 Item 1(Picture)

(2) Excessive rust noted at the gas line at the gas meter area (this is a potential safety hazard).

Suggest review with the gas company and/or a licensed plumber for any repair/replacement costs as needed.



1.11 Item 2(Picture)

2. Lot Grade/Drainage - Common area

2.0 Lot Grade/Drainage Repair or Replace

Possible ponding may occur at the rear yard during heavy rains. There is no drainage system installed, which is common for the original age of the dwelling. Suggest review with a licensed contractor for review and costs to install a drainage/sump pump system as an upgrade as needed.

3. Foundation - Common area

3.0 Foundations, Basement and Crawlspace Repair or Replace

(1) The crawl area was not accessed due to no access port was located/installed. Suggest review with a licensed contractor for costs to install a crawl access port to the crawl area as required and to determine any foundation/structural issues at this area.

4. Crawl Space - Common area

4.0 Crawl Space Repair or Replace

The crawl area was not accessed due to no access port was located/installed. Suggest review with a licensed contractor for costs to install a crawl access port to the crawl area as required and to determine any foundation/structural issues at this area.

4.2 Ventilation Repair or Replace

Loose, missing or deteriorated vent screens noted. Suggest re-screening missing and/or deteriorated

vent screens as needed to prevent rodent and insect intrusion .

4.3 Electrical

Repair or Replace

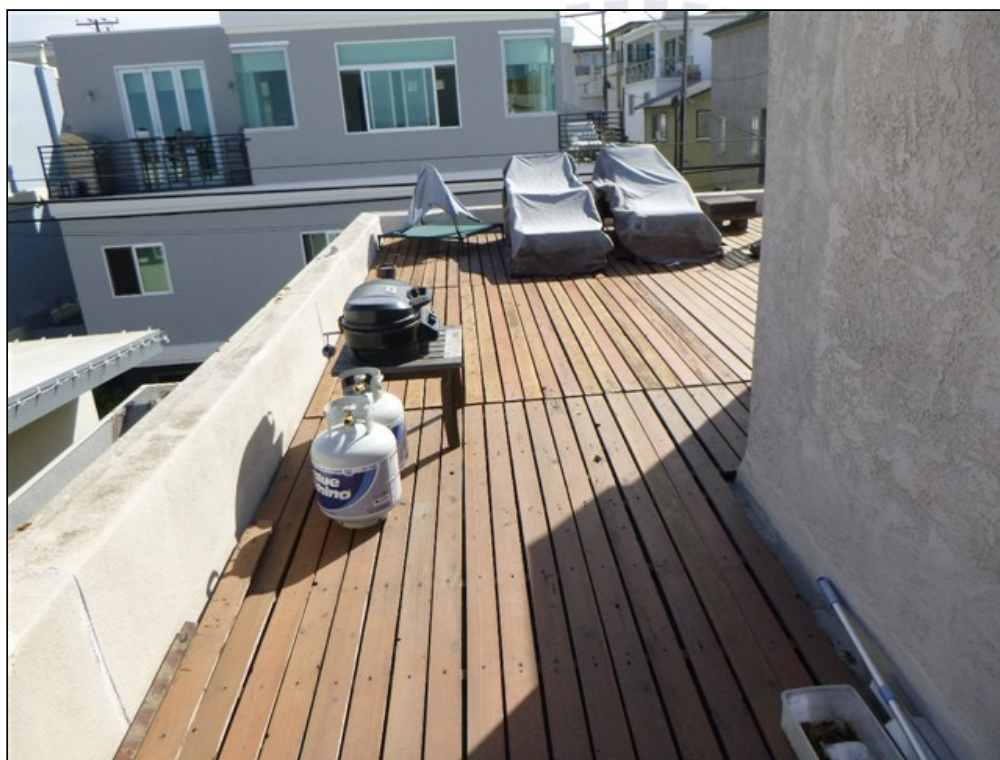
Open splices were noted. This is a safety concern. Whenever an electrical wire is cut and re-connected, the 'splice' should be encased in a covered junction box to prevent shocks and separation of the splice. Suggest review by licensed electrician and repair as needed.

5. Roofing - Common area

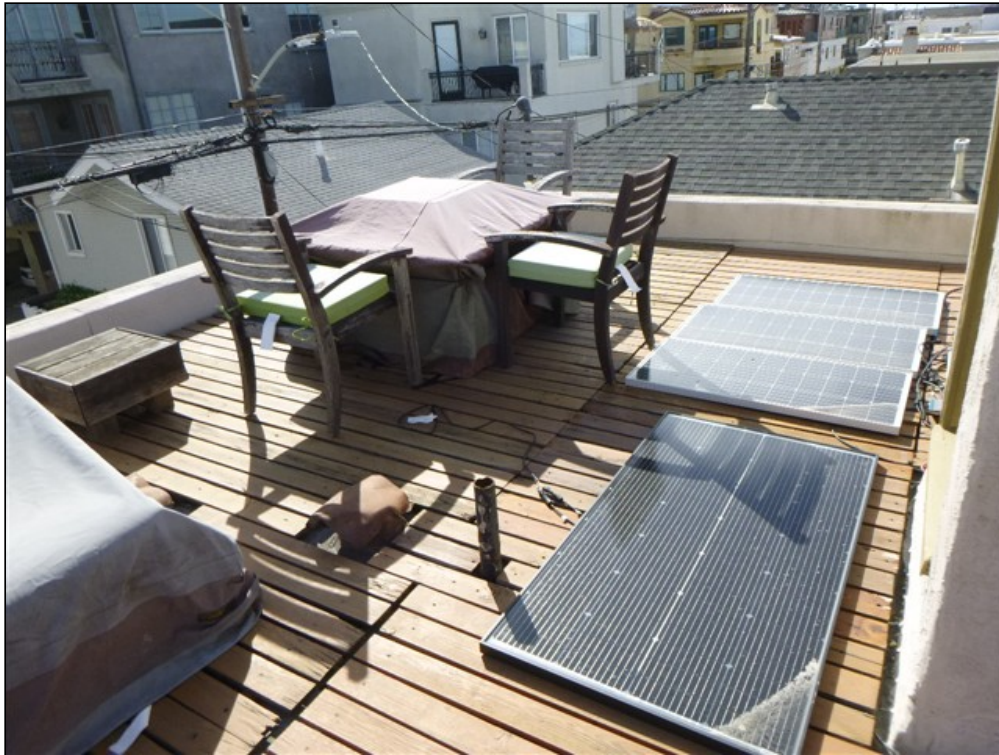
5.0 Roof

Repair or Replace

(1) The roof covering is old and deteriorated. It is nearing the end of its useful life and the covering will need to be replaced. While it could last a year or so, some areas may need patching/repairs as leaks develop (evidence of leakage to the interior was noted). Please review with a licensed roofer to determine the remaining life expectancy and for costs to repair/remove and replace the existing roofing material as needed.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)



5.0 Item 4(Picture)



5.0 Item 5(Picture)



5.0 Item 6(Picture)

(2) Various sloped areas of the roof have been coated with reflective/sealant/membrane. Suggest review with the seller to determine when the membrane was installed and the life expectancy as needed.



5.0 Item 7(Picture)

(3) Suggest review with a licensed roofer for installation costs for a scupper/over flow drain to the roof as an upgrade. Any blockages to the roof drain will result in excessive water ponding/flooding at the roof area.



5.0 Item 8(Picture)

5.1 Flashings

Repair or Replace

Deteriorated and rusted stem wall flashings were noted at various areas. Suggest review with a licensed roofer for any repair/replacement costs as needed.



5.1 Item 1(Picture)



5.1 Item 2(Picture)

5.2 Skylights, Chimneys and Roof Penetrations

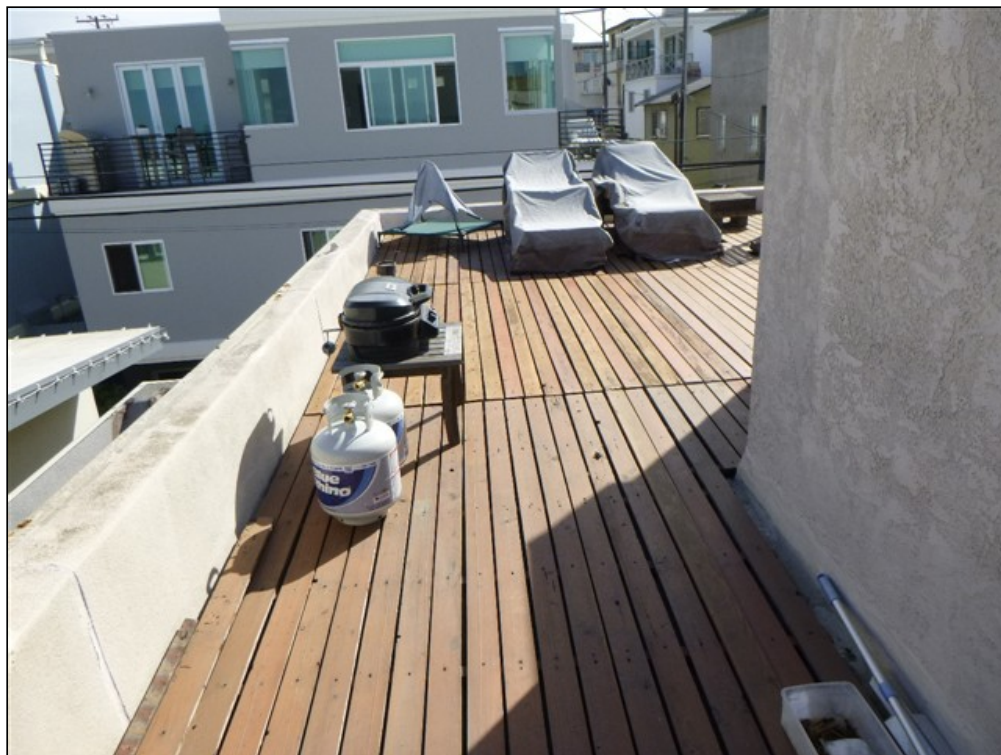
Repair or Replace

Patched and repaired/replaced areas of the chimney bricks and mortar was noted. Suggest review with the sellers on the repairs as needed.

5.3 Comments

Repair or Replace

(1) A potential fall/safety hazard was noted due to the additional wood decking over the roof but no handrailings are currently installed at the perimeter of the roof area (excessive wood deterioration was noted at the wood decking). Suggest review with a licensed contractor for any repair/removal/ replacement costs as needed for safety.



5.3 Item 1(Picture)



5.3 Item 2(Picture)

(2) A potential safety hazard was noted due to multiple gas appliance vents noted at this additional roof decking.

7. Garage/Parking Area - Common area

7.0 Slab

Repair or Replace

Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



7.0 Item 1(Picture)

7.1 Garage Door (s) Repair or Replace

The wood garage door is weathered and deteriorated, suggest repair/replace as needed.



7.1 Item 1(Picture)

7.2 Garage Door Hardware**Repair or Replace**

Bent and damaged hinge hardware was noted, this is a potential safety hazard. Suggest review with a licensed contractor for repair/replacement costs as needed.



7.2 Item 1(Picture)



7.2 Item 2(Picture)

7.3 Door Opener**Repair or Replace**

(1) Unreasonable resistance was required to stop the main garage door(s) in motion, this is a safety concern. Suggest adjusting door opener(s) so the safety reverse operates as required. The US Product Safety Commission recommends these devices be checked monthly.

(3) The garage door opener is currently improperly wired into the light fixture. Suggest review with a licensed electrician for costs to install a dedicated hard wired outlet adjacent to the garage door opener as required.



7.3 Item 2(Picture)

(4) The garage door opener(s) pull chain/rubber is excessively loose and periodically catches on the railing mount(s). Suggest review with a licensed contractor for costs to correctly tighten/tension the system as required and confirm correct operation as needed.



7.3 Item 3(Picture)

7.4 Garage Walls & Ceilings (including Firewall & Ceiling Separation)

Repair or Replace

(1) The inspector was unable to make a complete inspection of firewall/ceiling due to a large concentration of personal effects/vehicles etc. Suggest review of firewall/ceiling once the garage area has been cleared. If any breaches or damage to firewall/ceiling is found, suggest review with a licensed contractor for costs to patch/repair/replace the affected areas with 5/8 fire-rated drywall to complete the firewall/ceiling as required.

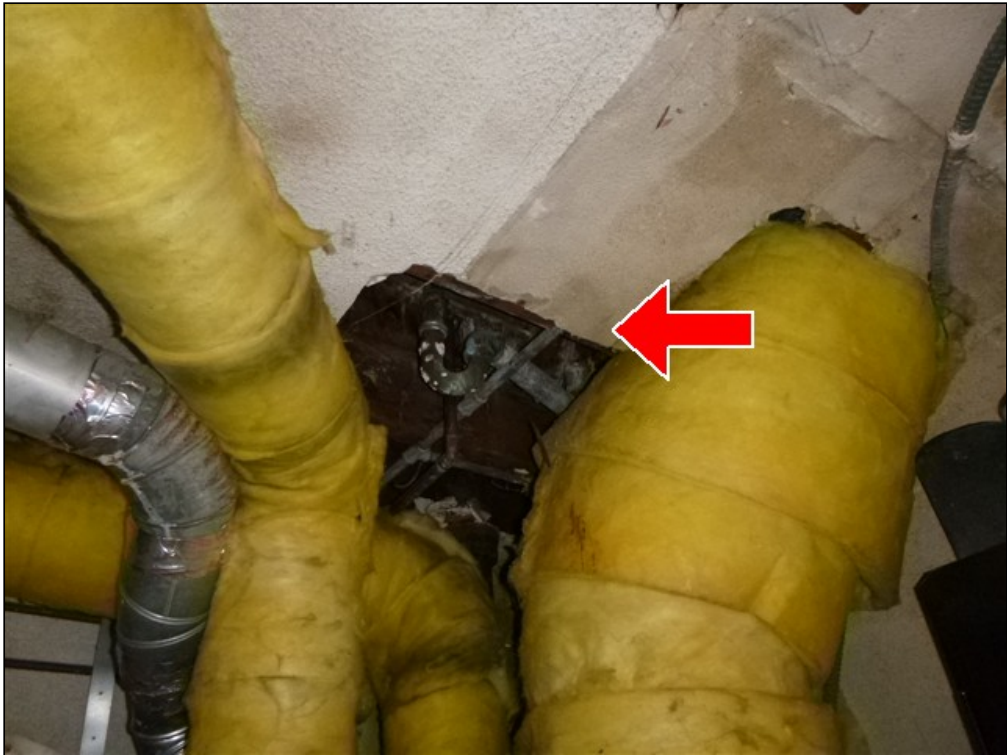


7.4 Item 1(Picture)

(2) Holes and unfinished sections of the firewall/ceiling were noted, this is a potential fire spread hazard. 5/8 inch sheetrock may be installed as a minimum standard material and as a requirement for a one hour burn through rating for the firewall/ceiling. Suggest review by licensed contractor for repair/installation costs as needed.



7.4 Item 2(Picture)



7.4 Item 3(Picture)



7.4 Item 4(Picture)



7.4 Item 5(Picture)

7.5 Electrical

Repair or Replace

(2) Open junction boxes/conduit was noted, this is a potential safety hazard. Whenever an electrical wire is cut and re-connected, the 'splice' should be encased in a covered junction box to prevent shocks and separation of the splice. Suggest review by a licensed electrician for repair/replacement costs as needed.

7.6 Comments

Repair or Replace

(1) Access within this area was blocked or severely limited at the time of the inspection. An inspection of this area can be performed by appointment and at an additional cost when the area is made accessible.



7.6 Item 1(Picture)

(2) No impact barrier installed as required due to the location of the laundry and heating appliance(s) in the garage (this is common for the original age of the dwelling). Suggest review with a licensed contractor for installation costs as needed as an upgrade.



7.6 Item 2(Picture)



7.6 Item 3(Picture)

8. Plumbing System - Common System

8.0 Plumbing Water Supply and Distribution System

Repair or Replace

- (1) The main water shut off for the structure was not visible and/or accessible at the time of the inspection. Suggest review with the current owner/occupant and/or a licensed plumber to verify the main shut off location and/or costs to install a main shut off valve as required.
- (2) Suggest review with a licensed plumber for costs to install a water pressure regulator (at the main water line) to reduce the water pressure below 80 PSI to relieve the pressure/stress on all the plumbing joints/fittings/fixtures as needed.
- (3) Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

https://leginfo.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407

- (4) Replaced sections of the plumbing supply lines were noted throughout the dwelling/structure(s). Suggest review with the seller to determine/confirm when the plumbing was replaced, the extent of replacement plumbing, the cause and any other repairs needed.
- (5) Corroded plumbing and fittings noted at various areas within the dwelling/structure(s). Suggest further review by a licensed plumber for repair/replacement costs as needed to prevent future leakage, pin hole leaks and possible stains/damage to the interior of the dwelling.



8.0 Item 1(Picture)

9. Sewer/Waste System - Common System

9.0 Waste/Drains

Repair or Replace

(1) Excessive rust/corrosion and evidence of previous/on-going leakage at the noted at the drains within the units/dwellings and the common garage area(s). Suggest review with a licensed plumbing contractor for any repair/removal/replacement costs as needed.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)



9.0 Item 4(Picture)

(2) Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

(3) Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive

inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

10. Fire & Safety Systems - Common System

10.0 Smoke & Carbon Monoxide alarms

Repair or Replace

(1) Smoke alarms have a general 'life span' of approximately 10 years. Many of the units throughout this complex/structure appear to be original and/or older than 10 years. Suggest replacing all of the older units as needed/suggested by the California State Fire Department.

(2) Suggest installation of smoke alarms at any room or hallway leading to a bedroom/sleeping area and within every bedroom with the complex/structure as required by the State of California.

(3) Suggest installing Carbon Monoxide alarms outside each sleeping area and on every level of the home, including the basement, as required by the State of California.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Paul

Unit #1 (A) Summary



Ferguson Home Inspections

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

12. Plumbing System

12.0 Plumbing Water Supply and Distribution System

Repair or Replace

Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407

13. Sewer/Waste System

13.0 Waste/Drains

Repair or Replace

(1) Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

(2) Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive

inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

14. Heating A/C System

14.0 Heating Equipment

Repair or Replace

(3) The heating unit has been installed on wooden stands, suggest review by a licensed heating contractor for installation on non-combustible stands as required.



14.0 Item 4(Picture)

15. Water Heater

15.0 Water Heater

Repair or Replace

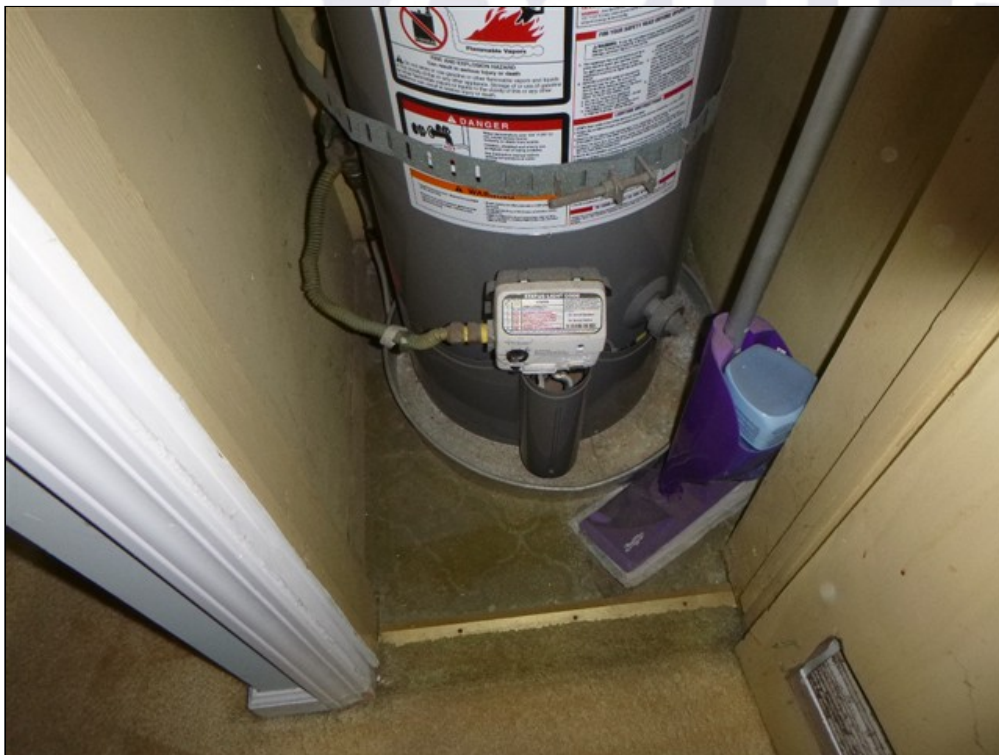
(2) The capacity of the existing water heater is below plumbing standards for adequate hot water heating for this size dwelling (based on the number of beds/bathrooms). Suggest review by a licensed plumbing contractor for evaluation of this dwellings water heating system for replacement costs as needed.



15.0 Item 2(Picture)

(3) Currently no gas supply line drip leg/sediment trap is installed, please be aware that various cities do not enforce/require this installation. Suggest review with the local City Building Department and/or with a licensed plumbing contractor for installation costs as needed.

(4) A spill pan is installed under the water heater but no drain line is currently installed. Suggest installing the drain line to the exterior of the closet/dwelling as required when the water heater was installed.



15.0 Item 3(Picture)

(5) No discharge pipe connected to the TP&R valve, this is a potential safety hazard. Suggest review

by a licensed plumber for costs to install the TP discharge drain down to within 4-6 inches of the exterior grade/deck as required for safety.



15.0 Item 4(Picture)

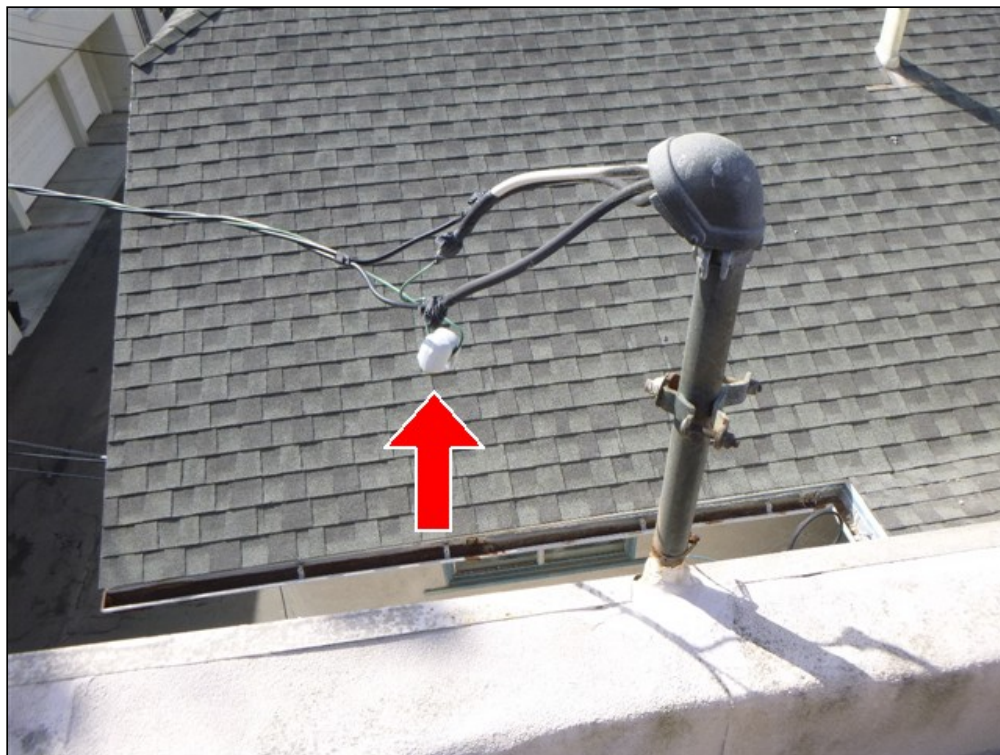
(6) The current water heater does not have a "Thermal Expansion tank" which is generally installed to prevent a possible leak at the T&P or "pop-off" valve and/or excessive pressure build-up at the internal plumbing, fixtures and joints. Recent changes (2012) require one when a new water heater is installed, but various cities do not enforce this installation for multiple reasons (the home is not on a closed system and various tankless units do not require it) . There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. Suggest review with the city and/or a licensed plumber to determine if this installation is required and install as needed.

16. Electrical System

16.0 Service Entrance Conductors

Repair or Replace

The electrical service wiring mount is broken and detached from the roof, this is a potential safety hazard. Suggest review with a licensed electrician and/or the local utility company for repair/ replacement costs as required for safety.



16.0 Item 1(Picture)

16.1 Service, Grounding Equipment, Main/Sub Panels

Repair or Replace

(1) The main panel/breakers are not labelled as per each unit, suggest review with the utility company and label as needed for identification purposes.



16.1 Item 1(Picture)

(2) The electrical panel(s) are a Bulldog breaker system. Problems with this style panel include circuit breakers (depending on the vintage) with a dismal performance record and the possibility of

unbalanced multi-wire circuits. Also, please be aware that various insurance companies will not insure homes with this style of electrical panel. Suggest review by a licensed electrician for replacement costs as needed.



16.1 Item 2(Picture)

(3) Suggest adding correct/complete indexing/labelling to all breakers for indentification of each circuit for safety.



16.1 Item 3(Picture)

16.2 Branch Circuits, Overcurrent Devices

Repair or Replace

(1) Minimal/Inadequate/ungrounded circuits noted servicing the interior of the dwelling, this is common for the age of the dwelling. Suggest review with a licensed electrician for costs to ground/install additional circuits to the interior of the dwelling as needed.

(2) Excessive use of electrical plugs strips/extensions cords used throughout this unit, this is a potential fire safety hazard. Suggest review with a licensed electrician for additional electrical circuits/outlets costs as needed for safety.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Paul



Unit #2 (B) Summary



Ferguson Home Inspections

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

18. Plumbing System

18.0 Plumbing Water Supply and Distribution System

Repair or Replace

Various plumbing fixtures within the dwelling do not conform to the new low flow specifications required by the State of California as of January 1st, 2017.

Suggest review with a licensed plumber for replacement costs as required to conform to this new ordinance.

Below is the link to the State of California Legislative Low Flow plumbing ordinance.

https://leginfo.legislature.ca.gov/faces/billNavClient.xhtml?bill_id=200920100SB407

19. Sewer/Waste System

19.0 Waste/Drains

Repair or Replace

(1) Dwellings may have restrictions in drain lines that are not visible without video or intrusive inspections. Therefore this inspection is limited to a visual inspection of the exterior of piping and accessible plumbing only. Buyer or seller may wish to contact a licensed plumber for further intrusive inspections, repairs, code compliant corrections and estimates to verify the interior conditions of water supply, drain or damaged drain/water supply lines that may have restrictions/damage or may be improperly installed prior to close of escrow.

(2) Ferguson Home Inspections is not responsible for verifying the condition & installation of the sewer/drainage system from the dwelling to the street. These lines are not visible without video or intrusive inspection. Buyer or seller may wish to contact a licensed plumber for further intrusive

inspections to verify the interior conditions of the water supply or drain lines that may have restrictions.

(3) Rust and corrosion noted at the drains within the garage and crawl space (evidence of previous-ongoing leakage was noted at the interior of the units). Suggest review with a licensed plumbing contractor for any repair/removal/replacement costs as needed.



19.0 Item 1(Picture)



19.0 Item 2(Picture)

20. Heating A/C System

20.0 Heating Equipment

Repair or Replace

Unable to test the heating system as the gas was turned off to the unit at the time of the inspection. Suggest review by the Gas Company or a licensed heating company for further review to determine if the unit is operational/usable, the remaining life of the unit and/or any repair/replacement costs as needed.



20.0 Item 1(Picture)

21. Water Heater

21.0 Water Heater

Repair or Replace

(1) Due to the age of this unit , suggest review with a licensed plumber for replacement costs as it is nearing the end of it's intended life span (12-15 years).



21.0 Item 1(Picture)

(2) No spill pan or drain line installed at the time of inspection. Suggest installation of a spill pan with a drain line to the exterior of the dwelling as required as leakage would cause damage to the stand and surrounding area.



21.0 Item 2(Picture)

(3) Currently no gas supply line drip leg/sediment trap is installed, please be aware that various cities do not enforce/require this installation. Suggest review with the local City Building Department and/or with a licensed plumbing contractor for installation costs as needed.

(4) The current water heater does not have a "Thermal Expansion tank" which is generally installed to

prevent a possible leak at the T&P or "pop-off" valve and/or excessive pressure build-up at the internal plumbing, fixtures and joints. Recent changes (2012) require one when a new water heater is installed, but various cities do not enforce this installation for multiple reasons (the home is not on a closed system and various tankless units do not require it) . There were no leaks or drips at the T&P valve during inspection. If your water heater does begin to drip or leak, then a thermal expansion tank may be needed. Suggest review with the city and/or a licensed plumber to determine if this installation is required and install as needed.

21.1 Venting

Repair or Replace

Negative slope and a poor fitting vent pipe was noted. Loose, disconnected or improperly sloped vent pipes will not allow for products of combustion to escape. This is a potential safety hazard requiring immediate attention. Suggest review by a licensed plumbing/heating contractor for repairs/ replacement costs as required for safety.



21.1 Item 1(Picture)

22. Electrical System

22.0 Service Entrance Conductors

Repair or Replace

The electrical service wiring mount is broken and detached from the roof, this is a potential safety hazard. Suggest review with a licensed electrician and/or the local utility company for repair/ replacement costs as required for safety.



22.0 Item 1(Picture)

22.1 Service, Grounding Equipment, Main/Sub Panels

Repair or Replace

(1) The main panel/breakers are not labelled as per each unit, suggest review with the utility company and label as needed for identification purposes.



22.1 Item 1(Picture)

(2) Suggest adding correct/complete indexing/labelling to all breakers for identification of each circuit for safety.



22.1 Item 2(Picture)

(3) The electrical panel(s) are a Bulldog breaker system. Problems with this style panel include circuit breakers (depending on the vintage) with a dismal performance record and the possibility of unbalanced multi-wire circuits. Also, please be aware that various insurance companies will not insure homes with this style of electrical panel. Suggest review by a licensed electrician for replacement costs as needed.



22.1 Item 3(Picture)

22.2 Branch Circuits, Overcurrent Devices

Repair or Replace

(1) Minimal/Inadequate/ungrounded circuits noted servicing the interior of the dwelling, this is common for the age of the dwelling. Suggest review with a licensed electrician for costs to ground/install additional circuits to the interior of the dwelling as needed.

(2) Excessive use of electrical plugs strips/extensions cords used throughout this unit, this is a potential fire safety hazard. Suggest review with a licensed electrician for additional electrical circuits/outlets costs as needed for safety

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Paul

