

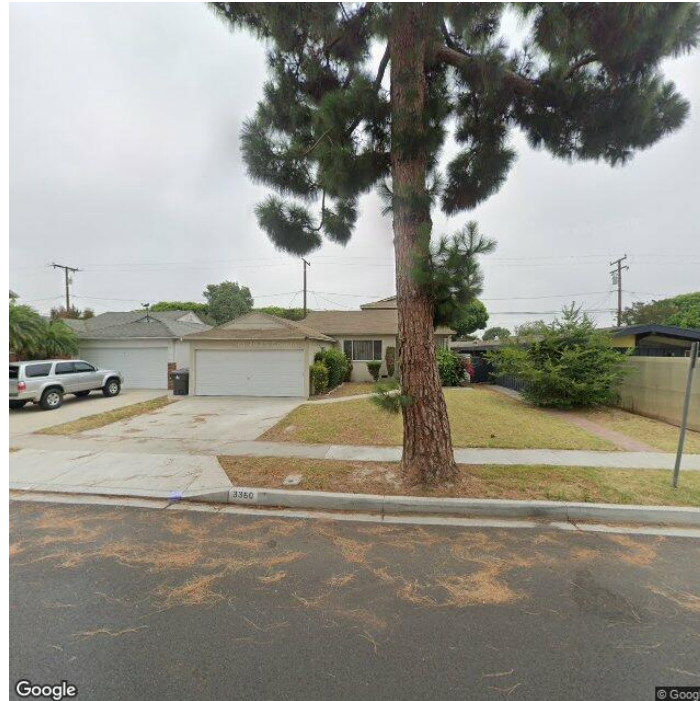


ANARUMO INSPECTIONS

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RESIDENTIAL INSPECTION

3360 Kallin Ave
Long Beach, CA 90808

Caitlyn Cahill

09/24/2025



Inspector

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TABLE OF CONTENTS

1: Inspection Details	8
2: InterNACHI Guarantee	9
3: General Information / Overview	10
4: Environmental Concerns	15
5: Exterior	18
6: Outdoor Living Spaces	29
7: Roof	31
8: Garage	40
9: Major Systems	46
10: Plumbing	51
11: Electrical	58
12: Kitchen	62
13: Bathroom - Downstairs	70
14: Bathroom - Master	75
15: Living Room	81
16: Dining Room	83
17: Family Room	84
18: Hall & Stairs - Upstairs	88
19: Hall - Downstairs	91
20: Bedroom - Downstairs Front	93
21: Bedroom - Downstairs Rear	95
22: Bedroom - Master	97
23: Attic	100
24: Additions	102
25: Home Maintenance	103
Standards of Practice	108

SUMMARY

61

MAINTENANCE ITEM

102

RECOMMENDATION /
EVALUATION

4

SAFETY HAZARD

- ⊖ 4.4.1 Environmental Concerns - Fungal Growth: A Fungal Growth Present on Surface(s)
- ⊖ 4.5.1 Environmental Concerns - Pest/Insect/Wildlife Concerns: Possible Flying Insect Nest Present
- ⊖ 4.5.2 Environmental Concerns - Pest/Insect/Wildlife Concerns: Wood Destroying Damage Present
- 🔧 5.2.1 Exterior - Walkways : Walkway Material - Deteriorated
- 🔧 5.2.2 Exterior - Walkways : Walkway Material - Expansive Cracks
- 🔧 5.2.3 Exterior - Walkways : Walkway Material - Minor Cracks
- ⊖ 5.2.4 Exterior - Walkways : Walkway - Trip Hazard
- 🔧 5.3.1 Exterior - Fence/Wall(s): Excessive Vegetation
- 🔧 5.3.2 Exterior - Fence/Wall(s): Fence and Wall Material - Deteriorated
- ⊖ 5.3.3 Exterior - Fence/Wall(s): Fence and Wall Material - Loose Material
- 🔧 5.3.4 Exterior - Fence/Wall(s): Soil to Wood Contact
- 🔧 5.4.1 Exterior - Gates: Gates Drag on Ground
- ⊖ 5.5.1 Exterior - Siding : Cracking
- 🔧 5.5.2 Exterior - Siding : Discoloration
- 🔧 5.5.3 Exterior - Siding : Patching Noted
- ⊖ 5.5.4 Exterior - Siding : Siding - Blistering
- ⊖ 5.6.1 Exterior - Trim: Deteriorated Wood
- 🔧 5.6.2 Exterior - Trim: Paint/Finish Failing
- 🔧 5.8.1 Exterior - Windows: Improperly Installed Glazing
- 🔧 5.9.1 Exterior - Window Screens: Torn Screen(s)
- ⊖ 5.13.1 Exterior - Steps/Railings: Railing Spacing
- ⊖ 5.14.1 Exterior - Hose Bib(s): No Anti-Siphon Valve(s)
- ⊖ 5.15.1 Exterior - Foundation - (RAISED): Corrosion On Plumbing
- ⊖ 5.15.2 Exterior - Foundation - (RAISED): Deteriorated Concrete Foundation
- ⊖ 5.15.3 Exterior - Foundation - (RAISED): Deteriorated Wood
- ⊖ 5.15.4 Exterior - Foundation - (RAISED): Temporary Repair On Plumbing System
- ⊖ 5.15.5 Exterior - Foundation - (RAISED): Vent Screens - Damaged

- ⊖ 5.17.1 Exterior - Grading and Drainage: Negative Grading
- 🔧 6.1.1 Outdoor Living Spaces - Outdoor Living Spaces and Stairs: Deck - Minor Cracks
- ⊖ 6.1.2 Outdoor Living Spaces - Outdoor Living Spaces and Stairs: Electrical - No GFI's
- ⊖ 7.2.1 Roof - Material / Type - House: Damaged (General)
- ⊖ 7.2.2 Roof - Material / Type - House: Damaged Rain Cap
- ⊖ 7.2.3 Roof - Material / Type - House: Debris
- 🔧 7.2.4 Roof - Material / Type - House: Discoloration
- ⊖ 7.2.5 Roof - Material / Type - House: Exposed Nail Heads
- 🔧 7.2.6 Roof - Material / Type - House: Old System
- ⊖ 7.2.7 Roof - Material / Type - House: Patching
- ⊖ 7.2.8 Roof - Material / Type - House: Recommend Sealing All Roof Projections
- ⊖ 7.2.9 Roof - Material / Type - House: Two (2) Layers Of Roofing Material
- ⊖ 7.2.10 Roof - Material / Type - House: Wires Laying on Roof
- ⊖ 7.3.1 Roof - Gutters / Downspouts: Recommend Gutters as Needed
- ⊖ 7.4.1 Roof - Flashings: Flashing - Damaged
- ⊖ 7.5.1 Roof - Chimneys / Skylights: Chimney Cap - Missing
- ⊖ 7.5.2 Roof - Chimneys / Skylights: Chimney Crown - Damage
- ⊖ 7.5.3 Roof - Chimneys / Skylights: Chimney - Missing Cricket
- ⊖ 7.5.4 Roof - Chimneys / Skylights: Chimney Should Have a 2" (Two Inch) Clearance
- ⊖ 7.5.5 Roof - Chimneys / Skylights: Sealant - Cracked/Missing
- ⊖ 8.2.1 Garage - Siding : Cracking
- 🔧 8.2.2 Garage - Siding : Discoloration
- 🔧 8.2.3 Garage - Siding : Paint/Finish Failing
- 🔧 8.3.1 Garage - Trim: Paint/Finish Failing
- ⊖ 8.4.1 Garage - Garage Door: Panel Damage
- 🔧 8.6.1 Garage - Walls: Damage Stud
- ⚠️ 8.12.1 Garage - Firewalls: Holes in Firewall
- ⊖ 8.13.1 Garage - Electrical: Exposed Wires
- ⊖ 8.13.2 Garage - Electrical: Inoperable Outlet
- ⊖ 8.13.3 Garage - Electrical: Loose Light Fixture
- ⊖ 8.13.4 Garage - Electrical: Loose Light Switch
- ⊖ 8.13.5 Garage - Electrical: Missing Light Bulb
- 🔧 8.13.6 Garage - Electrical: Unable to Determine Function of One Switch
- ⊖ 8.18.1 Garage - Comments: Crack in Stem Wall
- ⊖ 9.1.1 Major Systems - Heating Equipment: Gas To Unit Off
- ⚠️ 9.1.2 Major Systems - Heating Equipment: Inoperable
- ⊖ 9.5.1 Major Systems - Chimneys and Fireplaces: C-Clamp
- ⊖ 9.5.2 Major Systems - Chimneys and Fireplaces: Damaged Brick Noted
- ⊖ 9.5.3 Major Systems - Chimneys and Fireplaces: Evidence of Improper Draft or Venting
- ⚠️ 9.5.4 Major Systems - Chimneys and Fireplaces: Firebox - Cracks
- ⊖ 9.5.5 Major Systems - Chimneys and Fireplaces: Missing Screen Or Glass Doors

- ⊖ 9.5.6 Major Systems - Chimneys and Fireplaces: Suggest Cleaning Fireplace
- ⊖ 10.1.1 Plumbing - Drain, Waste, & Vent Systems: Drain Waste Vent Should Exceed Above Roof
- ⊖ 10.2.1 Plumbing - Main Water Shut-off Device & Water Supply Lines: Material - Galvanized
- 🔧 10.3.1 Plumbing - Water Heater, Controls, Flues & Vents: Annual Maintenance Flush Needed
- ⊖ 10.3.2 Plumbing - Water Heater, Controls, Flues & Vents: Corrosion on Supply Lines
- ⊖ 10.3.3 Plumbing - Water Heater, Controls, Flues & Vents: No Earthquake Straps
- ⊖ 10.3.4 Plumbing - Water Heater, Controls, Flues & Vents: No Electrical Disconnect For Electric Water Heater:
- ⊖ 10.3.5 Plumbing - Water Heater, Controls, Flues & Vents: TPR - Discharge Pipe Reduced In Size
- ⊖ 10.4.1 Plumbing - Gas (Natural) Meter Information: Gas Lines (40+ Year Old Homes or Underground Lines)
- ⊖ 10.4.2 Plumbing - Gas (Natural) Meter Information: Gas Pipes Not Bonded
- 🔧 10.4.3 Plumbing - Gas (Natural) Meter Information: Gas Pipes - Surface Rust
- ⊖ 10.4.4 Plumbing - Gas (Natural) Meter Information: NO Earthquake Shut Off Valve
- ⊖ 11.1.1 Electrical - Service Entrance Conductors: Electrical Drip Loop Is Improperly Installed
- ⊖ 11.1.2 Electrical - Service Entrance Conductors: Electrical Mast Height - Below 36"
- ⊖ 11.2.1 Electrical - Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: AFCI Breakers - None
- ⊖ 11.2.2 Electrical - Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: Breakers Appear To Be Over 30 Years Old
- ⊖ 11.2.3 Electrical - Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: Doubled Up Circuitry
- ⊖ 11.2.4 Electrical - Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: Zinsco / GTE / Challenger / Murray / Sylvania / Stab Lok / Federal Pacific Panels / Bulldog Pushamatics
- ⊖ 11.3.1 Electrical - Branch Wiring Circuits: Cloth Branch Wiring Found
- ⊖ 12.2.1 Kitchen - Walls: Cracks - Minor
- 🔧 12.2.2 Kitchen - Walls: Patching Noted
- ⊖ 12.3.1 Kitchen - Ceilings: Cracks - Minor
- 🔧 12.3.2 Kitchen - Ceilings: Patching Noted
- 🔧 12.5.1 Kitchen - Windows: Broken Window Lock
- 🔧 12.6.1 Kitchen - Cabinets: Cabinets Need Adjusting
- 🔧 12.7.1 Kitchen - Countertops: Countertop - Damaged Material
- ⊖ 12.8.1 Kitchen - Electrical: Extension Cord Wiring
- ⊖ 12.8.2 Kitchen - Electrical: No GFIs
- ⊖ 12.8.3 Kitchen - Electrical: Ungrounded Receptacles
- ⊖ 12.9.1 Kitchen - Sink, Faucets, & Drains: Below Sink - Corrosion
- ⊖ 12.9.2 Kitchen - Sink, Faucets, & Drains: Faucet - Leak at Base
- ⊖ 12.10.1 Kitchen - Garbage Disposal: Inoperable
- 🔧 12.11.1 Kitchen - Dishwasher: Door Needs Adjusting
- ⊖ 12.11.2 Kitchen - Dishwasher: Inoperable

- 🔻 12.11.3 Kitchen - Dishwasher: Rusted Trays
- ⚠️ 12.14.1 Kitchen - Oven: Range Does Not Appear To Fastened
- 🔻 12.14.2 Kitchen - Oven: Touch Screen is Unresponsive and Error Code
- 🔧 13.1.1 Bathroom - Downstairs - Floors: Flooring - Damaged
- 🔻 13.2.1 Bathroom - Downstairs - Walls: Microbial Growth
- 🔻 13.2.2 Bathroom - Downstairs - Walls: Moisture Damage
- 🔧 13.5.1 Bathroom - Downstairs - Window(s): Window - Does Not Open
- 🔻 13.6.1 Bathroom - Downstairs - Electrical: Ungrounded Receptacle
- 🔧 13.8.1 Bathroom - Downstairs - Tub: Enclosure Doors - Have Been Removed
- 🔧 13.8.2 Bathroom - Downstairs - Tub: Flange - Loose
- 🔻 13.8.3 Bathroom - Downstairs - Tub: Tub Drains Slowly
- 🔻 13.8.4 Bathroom - Downstairs - Tub: Water Temperature Below 100F
- 🔻 13.11.1 Bathroom - Downstairs - Toilet: Toilet Is To Close To The Wall and/or Sink
- 🔧 13.12.1 Bathroom - Downstairs - Counter/Cabinets: Cabinet - Damaged
- 🔧 14.1.1 Bathroom - Master - Floors: High Spots Noted
- 🔻 14.2.1 Bathroom - Master - Walls: Cracks - Minor
- 🔧 14.2.2 Bathroom - Master - Walls: Paint Flaking
- 🔧 14.4.1 Bathroom - Master - Doors: Broken Handle
- 🔻 14.9.1 Bathroom - Master - Shower: Tiles - Cracked
- 🔻 14.10.1 Bathroom - Master - Sink/Faucet/Drains/Supply: Below Sink - Corrosion
- 🔻 14.10.2 Bathroom - Master - Sink/Faucet/Drains/Supply: Sink - Drains Slowly
- 🔧 14.10.3 Bathroom - Master - Sink/Faucet/Drains/Supply: Sink - Missing Stopper
- 🔻 14.12.1 Bathroom - Master - Counter/Cabinets: Handles - Missing
- 🔧 15.1.1 Living Room - Floors: High Spots Noted
- 🔧 15.1.2 Living Room - Floors: Squeak Noted
- 🔻 15.2.1 Living Room - Walls: Cracks - Minor
- 🔧 15.5.1 Living Room - Windows: Window - Does Not Open
- 🔧 15.6.1 Living Room - Electrical: Cover Plate - Damaged
- 🔻 15.6.2 Living Room - Electrical: Ungrounded Receptacle
- 🔧 16.1.1 Dining Room - Floors: High Spots Noted
- 🔧 16.4.1 Dining Room - Doors: Door Rubs on Jamb
- 🔻 16.6.1 Dining Room - Electrical: Ungrounded Receptacle
- 🔧 17.1.1 Family Room - Floors: High Spots Noted
- 🔻 17.2.1 Family Room - Walls: Deteriorated Wood
- 🔻 17.2.2 Family Room - Walls: Microbial Growth
- 🔧 17.3.1 Family Room - Ceilings: Patching Noted
- 🔧 17.4.1 Family Room - Doors: Door Rubs on Jamb
- 🔻 17.6.1 Family Room - Electrical: Broken Outlet
- 🔧 17.6.2 Family Room - Electrical: Cover Plate - Loose
- 🔻 17.6.3 Family Room - Electrical: Inoperable Outlet
- 🔧 18.1.1 Hall & Stairs - Upstairs - Floors: Squeak Noted

- 🚫 18.2.1 Hall & Stairs - Upstairs - Walls: Cracks - Minor
- 🚫 18.2.2 Hall & Stairs - Upstairs - Walls: Microbial Growth
- 🚫 18.7.1 Hall & Stairs - Upstairs - Stairs and Railing: Railing Spacing Greater Than 4"
- 🔧 19.1.1 Hall - Downstairs - Floors: High Spots Noted
- 🔧 19.2.1 Hall - Downstairs - Walls: Paint Flaking
- 🚫 19.3.1 Hall - Downstairs - Ceilings: Cracks - Minor
- 🔧 20.1.1 Bedroom - Downstairs Front - Floors: High Spots Noted
- 🔧 20.1.2 Bedroom - Downstairs Front - Floors: Squeak Noted
- 🔧 20.5.1 Bedroom - Downstairs Front - Windows: Window - Does Not Open
- 🔧 20.6.1 Bedroom - Downstairs Front - Electrical: Cover Plate - Damaged
- 🔧 21.1.1 Bedroom - Downstairs Rear - Floors: High Spots Noted
- 🔧 21.1.2 Bedroom - Downstairs Rear - Floors: Squeak Noted
- 🚫 21.5.1 Bedroom - Downstairs Rear - Windows: Window - Inoperable Cranks
- 🔧 21.6.1 Bedroom - Downstairs Rear - Electrical: Cover Plate - Damaged
- 🔧 22.1.1 Bedroom - Master - Floors: High Spots Noted
- 🔧 22.1.2 Bedroom - Master - Floors: Squeak Noted
- 🚫 22.2.1 Bedroom - Master - Walls: Cracks - Minor
- 🔧 22.2.2 Bedroom - Master - Walls: Paint Flaking
- 🚫 22.3.1 Bedroom - Master - Ceilings: Water Stain(s) on Ceiling
- 🚫 22.6.1 Bedroom - Master - Electrical: Outlet - Loose
- 🔧 22.6.2 Bedroom - Master - Electrical: Unable to Determine Function of One Switch
- 🚫 22.7.1 Bedroom - Master - Closet: Closet Door - Off its Track
- 🚫 23.3.1 Attic - Evidence of leakage: Possible Active Water stains in the attic
- 🚫 23.5.1 Attic - Ventilation: Vent Damaged

1: INSPECTION DETAILS

		IN	NI	NP	O
1.1	General	X			
1.2	Utilities On/Off	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

General: How Many Levels

2

General: In Attendance

Client's Agent

General: Standards of Practice Followed

InterNACHI

[Click Here To View Our Standards Of Practice](#)

General: Type of Building

Single Family

General: Weather Conditions

Clear

Utilities On/Off: Utilities: All Utilities On

All utilities were on at the time of the inspection.

General: Clients Report

This report is for the person(s) named here in the report: Client(s) Caitlyn Cahill . Unauthorized use is prohibited with out said Client(s) Caitlyn Cahill and Anarumo Inspections Inc. permission. Liability under this report is limited to the party identified on the cover page of this report.

General: No Client Present

The client was not present at the time of inspection. As property conditions can change from the date of inspection to the date of closing, it is advised that the buyer reference this report during any final walk through.

General: Recommended Contractors & Professionals Information

It is HIGHLY recommended that licensed professionals are used for repairs, replacements, or further evaluations of defects referenced in this report, and copies of their receipts/invoices are provided to you for warranty purposes. The inspection company **does not** perform re-inspections of repairs as they can be invasive, limiting what I can visually see and report to you.

The term "**Qualified Professional**" or "**Qualified Person**" in this report relates to an individual, company, or contractor who is either **licensed or certified** in the field of concern. The term "**evaluation**" may be used in conjunction with repairs to be performed by contractors or other licensed professionals, as they may discover additional problems due to their repairs being invasive and they are specialists in their respective fields. This differs from the term "**Full Evaluation**", as a full evaluation is a recommendation for the referenced contractor/professional to fully look over all components, parts, and pieces of a component, system, or area. Any listed items in this report concerning areas reserved for such experts should not be construed as a detailed, comprehensive, and/or exhaustive list of problems or areas of concern.

General: Structure Orientation

For the sake of this inspection the front of the structure will be considered as the portion pictured in the above cover photo. References to the left or right of the structure should be construed as standing in the front yard, viewing the front of the structure.

2: INTERNACHI GUARANTEE

		IN	NI	NP	O
2.1	\$10,000 Honor Guarantee	X			

IN = InspectedNI = Not InspectedNP = Not PresentO = Observations

Information

\$10,000 Honor Guarantee: Honor Guarantee



InterNACHI is so certain of the integrity of our members that we back them up with our **\$10,000 Honor Guarantee**. InterNACHI will pay up to \$10,000 USD for the cost of replacement of personal property lost during an inspection and stolen by an InterNACHI-certified member who was convicted of or pleaded guilty to any criminal charge resulting from the member's taking of the client's personal property.

For details, please visit www.nachi.org/honor.

3: GENERAL INFORMATION / OVERVIEW

		IN	NI	NP	O
3.1	General Information / Overview	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

General Information / Overview: Disclaimers

DISCLAIMERS

Asbestos: The inspector, not holding an EPA license, cannot identify, report, or test for asbestos presence. Structures built before 1981 may contain asbestos materials. Responsibility for asbestos testing lies solely with the client, who must engage a licensed professional for assessment. Anarumo Inspection Services disclaims any claims related to asbestos.

Interior: Inspections of occupied/staged structures are limited. Personal belongings, furniture, and boxes are not moved, affecting the completeness of the inspection. We advise verifying permits for any modifications post-original construction. The inspector's responsibility for inspected items ends once inspected; no re-inspections are conducted. The inspector does not predict the interior conditions hidden by personal items, nor check for code violations. Central vacuum systems and interior window treatments are excluded from the inspection.

Bathrooms: Inspections do not include overflow drains or jet hoses of bathtubs and spa tubs; shower pan water-proofing and proper drainage pitch are not assessed. Accessibility limits inspection of exterior and interior access panels. Electrical outlets near water sources are recommended to be GFCI protected, which may not be required based on the home's age.

Kitchen: Appliance inspections are basic, focusing on functionality without disassembly or detailed efficiency evaluation. The inspector does not guarantee the performance of dishwashers, ovens, ranges, or microwaves. Water treatment systems are outside the inspection scope.

Laundry: Without a present washing machine, supply valves and vents remain untested. Washer and dryer units are excluded from inspections.

Attic: The inspector does not test or report on asbestos in attics. Limited access due to insulation or safety concerns restricts a full attic inspection. The efficiency of HVAC systems and ductwork is not determined.

Garage: Limited inspections are performed in garages due to storage, without moving personal items. Firewall ratings are not determined.

Heating & Air Conditioning: Recalls, efficiency, and internal components of HVAC systems are not evaluated. Refrigerant levels and system compatibility are not inspected.

Water Heater: Only a visual inspection is conducted; internal mechanisms and the condition of burners are not evaluated.

Roof: The inspector cannot predict leaks or assess the roof life expectancy. Inspections are limited for inaccessible roofs.

Electrical/Gas: Electrical panels are visually inspected without load calculation. GFCI functionality is tested where accessible; gas leaks and carbon monoxide detection are outside the inspection scope.

Exterior Areas: Inspections do not guarantee the exterior's water tightness; maintenance is recommended for stucco and siding. Boundary lines and encroachments are not evaluated.

Grounds: No guarantee on water tightness for patio roofs or balconies. Fences and gates are not evaluated for security purposes.

Foundation: Limited inspection scope for slab foundations; leaks and under-slab conditions are not assessed.

Pool: Basic inspection excludes detailed evaluation of equipment life expectancy and leaks. Safety compliance is the buyer's responsibility.

Plumbing: Visual inspections do not cover functionality or leaks; existing plumbing materials may require further evaluation.

This detailed approach maintains the specificity of each disclaimer while ensuring clarity on the inspection's scope and limitations.

General Information / Overview: How To Understand Your Inspection

Introduction:

A home inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the signed agreements and InterNACHI Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found should be evaluated by the appropriate trades contractors within the client's inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs. Specialized evaluations by the appropriate trades contractors may reveal additional issues that are not able to be identified from a purely visual inspection of the property.

This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. Cosmetic deficiencies in the home will not be noted unless they affect the functionality of the home, are indicative of a larger problem, or are so severe that they may affect the value of the home. This inspection is intended to assist in an evaluation of the overall condition of the dwelling only. A home inspection is not a code inspection. We recommend that you check with your local building department for any closed, voided, failed, or non-permitted work prior to closing on the home. This inspection report is not a prediction of future conditions and property conditions are subject to change at any time.

This inspection does not include the evaluation of additional structures unless you notified us and purchased inspections of additional structures, whether they include living spaces or not. This inspection also does not include specialized evaluations of private water supply equipment (well pumps, flow tests, etc), private septic equipment (drain fields, tanks, alarms, etc), sprinkler/irrigation systems, solar energy equipment, hot tubs, pools, generators, or other systems not covered under the Standards of Practice as established by the International Association of Certified Home Inspectors. Additionally, a home inspection does not include a pest inspection. You are encouraged to seek these evaluations by the relevant professionals prior to the conclusion of your inspection response period.

IMPORTANT: How To Read and Use Your Report

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Health and Safety / Major**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Findings = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Minor = The item, component, or system while perhaps functioning as intended is in need of minor repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a homeowner or handyman and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Moderate = The item, component, or system while perhaps functioning as intended is in need of moderate repair, service; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a handyman or a qualified contractor and are not considered routine maintenance or DIY items.

Health and Safety / Major = The item, component or system poses a safety concern to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk.

These items listed in **BLUE**, **ORANGE**, or **RED** in the report should have a qualified professional provide you a cost to repair, replace, fix, or be maintained prior to release of your contingency period so you (Caitlyn Cahill) know the true cost of action.

The item, component, or system is Not functioning as intended, or needs further evaluation by a specialized qualified licensed contractor or can cause damage to the structure. Items, components or units that can be repaired to satisfactory condition may not need replacement.

PHOTOS - Can represent one or more areas. As the comment may detail a specific area or areas. Photos are in the report to provide a visual aid not a definite . They are used to help see what the inspector sees. If report says one or more areas make sure that whom ever may be doing repairs or the work checks to make sure what needs to be corrected or done. They person or company making the corrections may also find underlying issues that were not present at the time of the inspection.

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

Note: Read the Standards of Practice set forth by the InterNational Association of Certified Home Inspectors for an insight into the scope of the inspection.

[Standards Of Practice](#)

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended. The purchase of a home warranty is recommended.

Notice to Third Parties: This report is copyright protected. This report is the exclusive property of Anarumo Inspections and the Client(s) Caitlyn Cahill and is not transferable to any third parties or subsequent buyers. Our Inspection Company will gladly answer any questions on the report for a 3rd party with written permission from Caitlyn Cahill. Our Inspection and this report have been performed with a written contract agreement that limits its scope and usefulness. Unauthorized recipients are therefore advised not to rely upon this report, but rather to retain the services of an appropriately qualified property inspector of their choice to provide them with their own inspection and report. Liability under this report is limited to the party identified as Caitlyn Cahill and no warranty or guarantee will be provide to anyone other than our client.

Note: For the purpose of this report, all directional references (left, right, rear, front) are based on when facing the front of the structure as depicted in the cover image above.

Note: The client is advised that a mold inspection / testing be performed by a qualified specialist if any evidence of past or current water leaks (plumbing, roof, intrusion or otherwise) are reported by the inspector.

ENVIRONMENTAL CONDITIONS: Client agrees what is being contracted for is a building inspection and not an environmental evaluation. The inspection is not intended to detect, identify, or disclose any health or environmental conditions regarding this building or property, including, but not limited to: the presence of asbestos, radon, lead, urea-formaldehyde, fungi, molds, mildew, feces, urine, vermin or pests, PCBs, "Chinese drywall" or other toxic, reactive, combustible, or corrosive contaminants, materials, or substances in the water, air, soil, or building materials. The Inspector is not liable for injury, health risks, or damage caused or contributed to by these conditions. If concerned with any of these conditions a professional in that field should be hired prior to the end of your contingency period for further examination.

TYPOGRAPHICAL ERRORS: This report is proofread before sending it out, but typographical errors may be present. If any errors are noticed, please feel free to contact me for clarification.

Please acknowledge to me once you have completed reading this report. At that time I will be happy to answer any questions you may have, or provide clarification. Non-acknowledgement implies that you understood all information contained in this report.

INACCESSIBLE AREAS: In the report, there may be specific references to areas and items that were inaccessible or only partly accessible. I can make no representations regarding conditions that may be present in these areas that were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions or hidden damage may be found in these areas.

QUALITATIVE vs QUANTITATIVE: A home inspection is not quantitative, when multiple or similar parts of a system, item, or component are found to have a deficiency, the deficiency will be noted in a qualitative manner such as "multiple present" etc. A quantitative number of deficient parts, pieces, or items will not be given as the repairing contractor will need to evaluate and ascertain the full amount or extent of the deficiency or damage. This is not a technically exhaustive inspection.

REPAIRS VERSUS UPGRADES: I inspect homes to today's safety and building standards. Therefore some recommendations made in this report may have not been required when the home was constructed. Building standards change and are improved for the safety and benefit of the occupants of the home and any repairs and/or upgrades mentioned should be considered for safety, performance, and the longevity of the homes items and components. Although, I will address some recommended upgrades in the report, this should not be construed as a full listing of items that could potentially be upgraded. To learn of ALL the ways the home could be brought up to today's building and safety standards, full and exhaustive evaluations should be conducted by qualified tradespeople.

CONTRACTORS / FURTHER EVALUATION: It is recommended that licensed professionals be used for repair issues as it relates to the comments in this report, and copies of receipts are kept for warranty purposes. The use of the term "Qualified Person" in this report relates to an individual, company, or contractor whom is either licensed or certified in the field of concern. If I recommend evaluation or repairs by contractors or other licensed professionals, it is possible that they will discover additional problems since they will be invasive with their evaluation and repairs. Any listed items in this report concerning areas reserved for such experts should not be construed as a detailed, comprehensive, and/or exhaustive list of problems, or areas of concern.

CAUSES of DAMAGE / METHODS OF REPAIR: Any suggested causes of damage or defects, and methods of repair mentioned in this report are considered a professional courtesy to assist you in better understanding the condition of the home, and in my opinion only from the standpoint of a visual inspection, and should not be wholly relied upon. Contractors or other licensed professionals will have the final determination on the causes of damage/deficiencies, and the best methods of repairs, due to being invasive with their evaluation. Their evaluation will supersede the information found in this report.

A home inspection is a non invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the InterNACHI Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

Note on Thermal Imaging: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold. An infrared camera may be used for specific areas or visual problems, and should not be viewed as a full thermal scan of the entire home. Additional services are available at additional costs and would be supplemented by an additional agreement/addendum. Temperature readings displayed on thermal images in this report are included as a courtesy and should not be wholly relied upon as a home inspection is qualitative, not quantitative. These values can vary +/- 4% or more of displayed readings, and these values will display surface temperatures when air temperature readings would actually need to be conducted on some items which is beyond the scope of a home inspection. If a full thermal scan of the home is desired, please reach out to me schedule this service.

General Information / Overview: Items Not Inspected and Other Limitations

EXCLUDED - ITEMS NOT INSPECTED: There are items that are not inspected in a home inspection such as, but not limited to; fences and gates, pools and spas, outbuildings or any other detached structure, refrigerators, generators, washers / dryers, storm doors and storm windows, screens, window AC units, Satellite TV or Cable TV, surface drains, solar systems, low voltage lighting systems (interior and/or exterior), interior fire sprinklers, audio system, CCTV, salt water pool / spa systems, security bars, electronic air cleaner at the furnace, fire pit, tool shed(s), telephone jacks, fountain(s), exterior barbecue, swing sets, boat docks or any type of dock / slip, kennel(s), children's play house, shutters/blinds, awnings, sump pump(s), condensation pump(s), Electronic Water Fill System(s), security system(s), electronic gate(s), Elevator(s), circulating pump on water heater(s), sauna / steamer(s), wall / floor safe(s), Instantaneous hot water, humidifier, above ground pool, chair lift on stairs, septic system, chicken coop, swamp cooler(s), heat sensors, koi pond(s), well system, basketball court, putting green, tree house, tennis court, kegerator, air purifier, trampoline, electric pool cover, playground equipment, gas furnace heat exchangers, central vacuum systems, water softeners and water purifiers, alarms, and intercom systems, Farm Buildings, Livestock Stables and areas, HVAC Systems for leakage, HVAC Zone Systems and any item that is not a permanent attached component of the home or part of our standard inspection. Also drop ceiling tiles are not removed, as they are easily damaged, and this is a non-invasive inspection. Subterranean systems are also excluded, such as but not limited to: sewer lines, septic tanks, water delivery systems, and underground fuel storage tanks.

Water and gas shut off valves are not operated under any circumstances. As well, any component or appliance that is unplugged or "shut off" is not turned on or connected for the sake of evaluation. I don't have knowledge of why a component may be shut down, and can't be liable for damages that may result from activating said components/appliances.

Also not reported on are the causes of the need for a repair; The methods, materials, and costs of corrections; Recalled appliances, items, and/or components; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; The insurability of the structure or any of its items or components; Any component or system that was not observed; Calculate the strength, adequacy, design, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility. Also excluded is the proper installation of Stucco and EIFS and the repercussions of improper installation including water damage to the structure.

Lastly a home inspection does not address environmental concerns such as, but not limited to: Asbestos, lead, lead based paint, radon, mold, wood destroying insects or organisms (termites, etc), cockroaches, rodents, pesticides, fungus, treated lumber, Chinese drywall, mercury, or carbon monoxide.

General Information / Overview: Systems Get Older And May Need Budgeting To Replace

During the inspection some systems could of appeared to be older and/or at the end of its service life. Reliability of one or more systems may possible. Ask the homeowner or occupant about any recent performance. Regular maintenance and monitoring of the homes systems and components condition is recommended. Budgeting for repairs and future replacement is always recommended. [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#)

4: ENVIRONMENTAL CONCERNS

		IN	NI	NP	O
4.1	Odors Present	X			
4.2	Asbestos	X			
4.3	Lead Based Paint	X			
4.4	Fungal Growth	X			X
4.5	Pest/Insect/Wildlife Concerns	X			X
4.6	Rodent/Vermin Concerns	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Odors Present: Odor(s) Present in Fungal Growth: Fungal Growth the Home Presence

No Discernible Odors

Yes

Odors Present: Odors Information

If any odors are noticed in the home I will include them in this section with recommendations made as needed. If no additional information is included in this report in respect to odors, then no discernible odors were present or noticed in the home at the time of inspection. However since odors are not part of the inspection this is a courtesy and because of recent events like COVID-19 and other health related issues that inspectors are subject to, there may be the possibility that no odor is detected at the time of the inspection. If you smell any odor during anytime at this property we would recommend you hire someone who specializes in seeking out odors and let you know a cost of remediation.

Asbestos: Asbestos Information

The possibility exists that homes built prior to 1981 may contain building components or items (textured ceiling material, adhesives, tile, tapes, insulation, etc) that contain asbestos and your home was built circa 1954 per online sources. In accordance with the Standards of practice these items are not reported on during a home inspection. **If we see obvious signs of a material that we may believe to contain asbestos, we will recommend further evaluation as a courtesy, but these individual references should not be construed as an all-inclusive list.** Furthermore, any remodeling or repairs that may take place in the future may reveal asbestos or other environmental hazards that were not visible at the time of inspection. **If asbestos is a concern, you are advised to have a full environmental inspection by an environmental contractor prior to the end of your inspection contingency period.**

More information can be found at this link: <https://www.epa.gov/asbestos/protect-your-family-exposures-asbestos>

Lead Based Paint: Lead Based Paint Information

The possibility exists that homes built prior to 1978 may contain paint that was lead based and your home was built circa 1954 per online sources. In accordance with the Standards of practice lead based paint is not reported on, or tested for during a home inspection. **If lead based paint is a concern, you are advised to consult an environmental company prior to the end of your inspection contingency period and have additional inspections specializing in environmental hazards.**

Fungal Growth: Client(s) Declined Mold Testing

FYI - The client(s) were notified as to the presence of fungal growth and/or a musty smell at the property and **declined** surface sampling and/or indoor air quality testing. The client(s) are solely responsible for any required remediation and/or resulting damages, including, but not limited to, any effects on health, due to mold at the property.

The client(s) release, indemnify, hold harmless and forever discharge Professional Home Inspections from any and all claims, liabilities, or causes of action of any kind that the client(s) may now have or at any time in the future may have resulting from the presence of mold at the Property.

Fungal Growth: Fungal Growth and Mold Information

EXCL - In accordance with the Standards of practice reporting on the presence of mold is excluded from a home inspection. **If I see obvious signs of fungal growth, I will recommend further evaluation and testing as a courtesy, but these individual references should not be construed as an all-inclusive listing of areas of fungal growth present.** Furthermore, the removal of personal belongings or any remodeling or repairs that may take place in the future may reveal fungal growth or mold that was not visible at the time of inspection. **If mold is a concern, you are advised to have a mold inspection and indoor air quality testing conducted by a certified mold inspector or industrial hygienist prior to the end of your inspection contingency period.**

Fungal Growth: Fungal Growth Present at Home

FYI - There were visible area(s) of fungal growth and/or related pathogenic organisms found at the home. Any referenced area(s) of fungal growth should not be viewed as an all-inclusive listing of areas containing fungal growth, as fungal growth could be present at areas that were not visible. Once spores from fungal growth are present in the home, they can collect at other "damp" locations and grow. **You are advised to have a mold inspection of the structure by a certified mold inspector or industrial hygienist prior to the end of your inspection contingency period.**

Pest/Insect/Wildlife Concerns: WDO-Termite Inspection Recommended

EXCLUDED - Inspecting for, and reporting on the presence of WDI activity (wood destroying organisms) including but not limited to; termites, powder post beetles, carpenter ants, carpenter bees, etc. is beyond the scope of a home inspection, is excluded by the Standards of Practice, and is excluded from this inspection. **It is highly recommended that you have a WDI-Termite inspection prior to the end of your inspection contingency period. Any comments made in this report in regards to any such activity was done as a courtesy only, should not be viewed as an all-inclusive listing of activity, and requires further evaluation by a licensed pest control company.**

Observations

4.4.1 Fungal Growth



A FUNGAL GROWTH PRESENT ON SURFACE(S)

There was fungal growth present on the referenced surface(s) or present in the referenced area(s).

1. Evaluation and repairs to the source of the moisture allowing the formation of the growth is recommended to be conducted by a qualified contractor.
2. Collecting samples of the growth and sending the samples to an accredited laboratory is recommended to be conducted by a mold inspector. If the testing results of the fungal growth are determined to be mold, evaluation and remediation are recommended to be conducted by an environmental contractor.

4.5.1 Pest/Insect/Wildlife Concerns



POSSIBLE FLYING INSECT NEST PRESENT

A presumed flying insect nest was present. Evaluation and removal as needed is recommended by a pest control company or other qualified person.



4.5.2 Pest/Insect/Wildlife Concerns

 Recommendation / Evaluation**WOOD DESTROYING
DAMAGE PRESENT**

Presumed wood destroying damage was present at one or more areas. An evaluation of the activity is recommended to be conducted by a Termite company.



5: EXTERIOR

		IN	NI	NP	O
5.1	Driveways	X			
5.2	Walkways	X			X
5.3	Fence/Wall(s)	X			X
5.4	Gates	X			X
5.5	Siding	X			X
5.6	Trim	X			X
5.7	Exterior Doors	X			
5.8	Windows	X			X
5.9	Window Screens	X			X
5.10	Sprinklers			X	
5.11	Exterior Electrical	X			
5.12	Doorbell	X			
5.13	Steps/Railings	X			X
5.14	Hose Bib(s)	X			X
5.15	Foundation - (RAISED)	X			X
5.16	Foundation - (SLAB)			X	
5.17	Grading and Drainage	X			X
5.18	Exterior Comments	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Driveways: Driveway Material

Concrete

Gates: Material

Wood

Windows: Windows

Metal

Foundation - (RAISED): Access Location

Accessible, Rear, Right side

Foundation - (RAISED): Material

Raised, Concrete, Pier and Post

Walkways : Walkway Material

Concrete

Siding : Siding Material

Stucco

Doorbell: Doorbell

Yes

Foundation - (RAISED): Bolted to Foundation

Yes;, In Garage

Foundation - (RAISED): Plumbing Leak in Crawl Space

No

Fence/Wall(s): Material

Block, Wood

Trim: Material

Wood

Hose Bib(s): Hose Bib(s)

Yes

Foundation - (RAISED): Crippled Walls

Recommend bracing as an upgrade

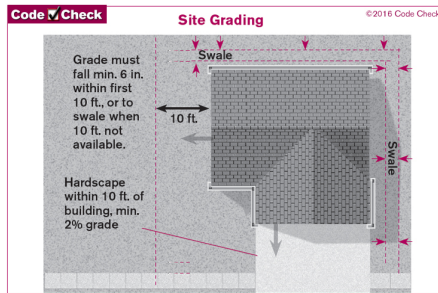
Foundation - (RAISED): Ventilation

Adequate

Grading and Drainage: Grade at Foundation

Grade at foundation needs attention

Grading and Drainage: Lot Flat lot



Walkways : Addition

The walks appear to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Fence/Wall(s): Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Windows: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

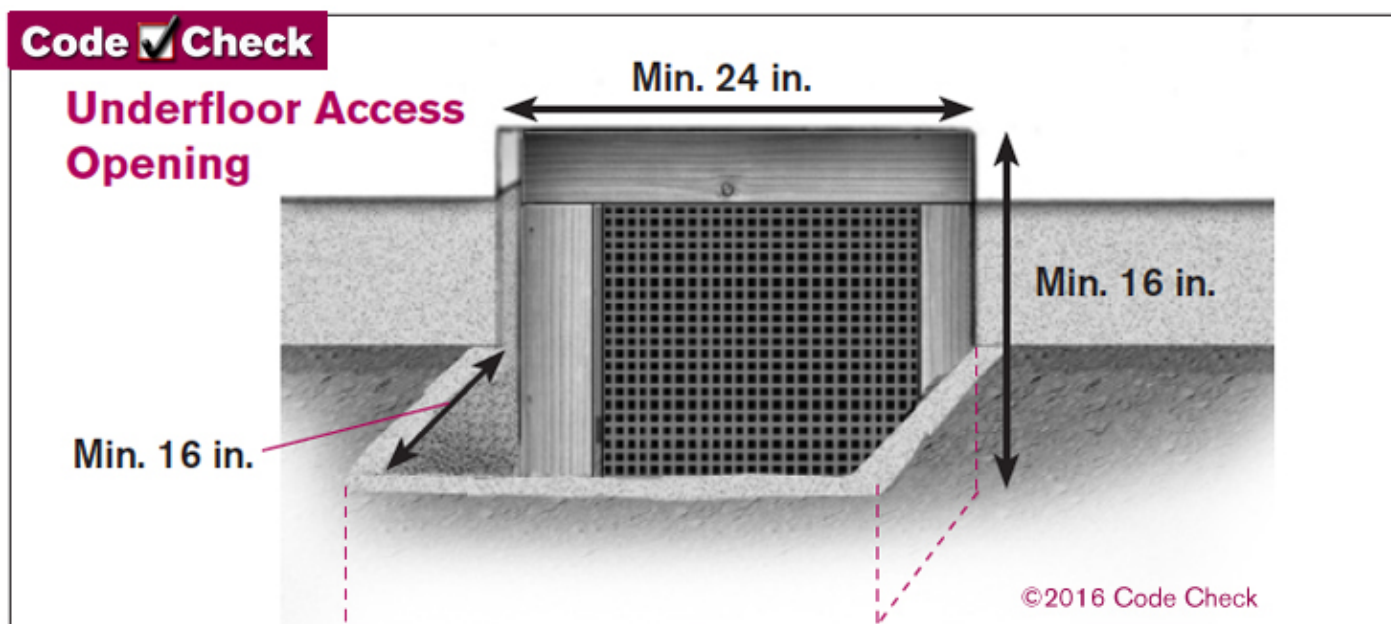
Doorbell: Doorbells

Doorbells are sometimes operating through specialty systems like Wi-Fi. These are also utilizing a battery or a power source that is low-voltage and is not within the realm of the home inspection. Doorbells have several components that have a tendency to stop working and may need a specialist to repair or replace.

Foundation - (RAISED): Crawl Space Limitations

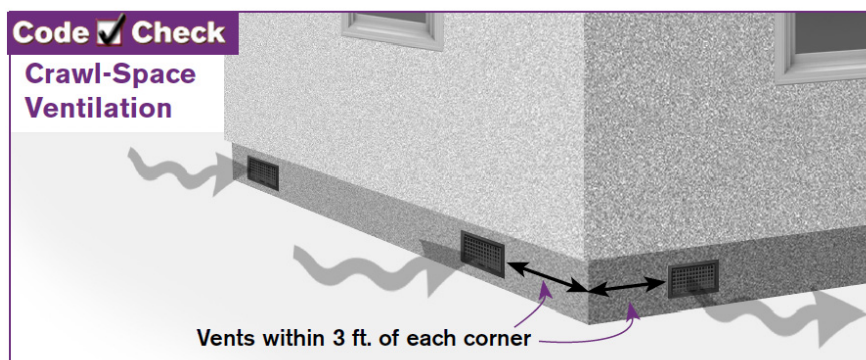
There are many things that can be obscured by under-floor insulation and are excluded from this inspection (Examples: Such things as, but not limited too: joists, beams, piping, wiring and/or ducting).

It is not within the realm of the inspection to have the inspector determine if columns, beams, joists, support posts, studs, trusses, are of the proper dimensions, span, and/or the proper spacing. The inspector does not guarantee or warrant that water will not accumulate in the crawl space in the future. Gutters can help prevent this. There are several areas in our territory that have higher than normal water tables. These homes may need sump pumps, fans, and/or other means to keep the crawl as dry as possible. This is not part of our inspection as it is not always visible. Our inspectors will attempt to find and locate all crawl access points and areas, however we may not be able to find all access due to floor coverings, personal belongings, and other things. In such cases, the client should ask the property owner where all access points are that are not described in this inspection, and have those areas inspected. The crawlspace should be checked periodically for several things like plumbing leaks, water intrusion, pests, termites, and other problems.



Foundation - (RAISED): Raised Foundation Ventilation Diagram

This is today's standards. You may have a home with vent spread further apart because of the construction methods of the time.



Grading and Drainage: Expansive Soil

Expansive soil conditions are common in this area. As geological evaluations are beyond the scope of this report, client is advised to consult with an appropriate specialist if concerned by either the conditions listed in this report or those which you have observed.

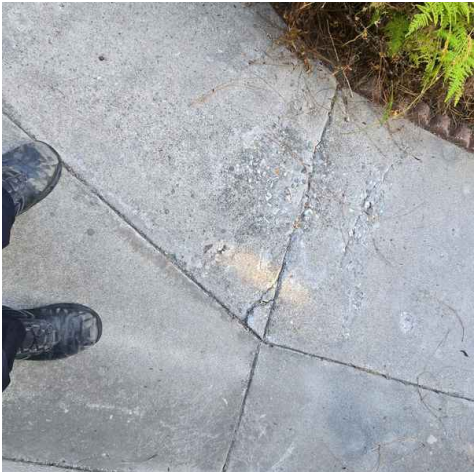
Observations

5.2.1 Walkways

 Maintenance Item

WALKWAY MATERIAL - DETERIORATED

Walkways show signs of deterioration in one or more areas.



5.2.2 Walkways

 Maintenance Item

WALKWAY MATERIAL - EXPANSIVE CRACKS

Expansive cracks observed.



5.2.3 Walkways

 Maintenance Item

WALKWAY MATERIAL - MINOR CRACKS

Minor cracks observed.

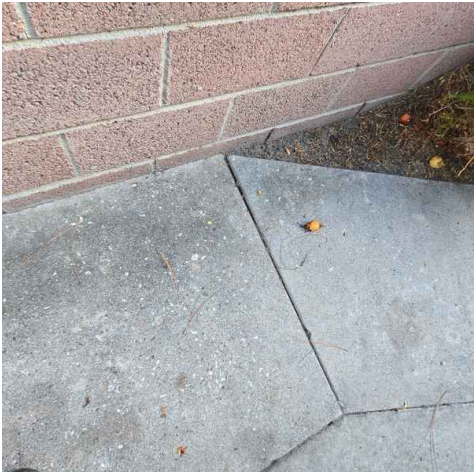


5.2.4 Walkways

WALKWAY - TRIP HAZARD

Trip hazards observed; due to uneven walks. Patch or repair recommended.

 Recommendation / Evaluation



5.3.1 Fence/Wall(s)

EXCESSIVE VEGETATION

Excessive vegetation noted. Unable to fully evaluate. Recommend further evaluation.

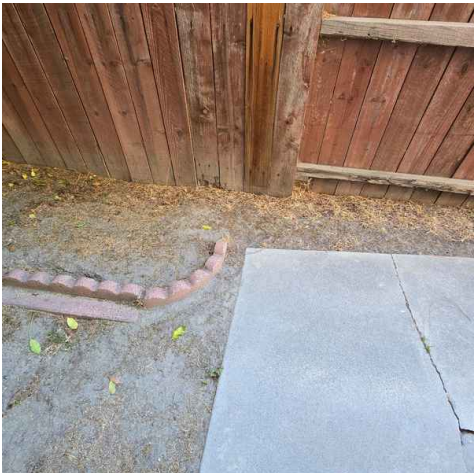
 Maintenance Item



5.3.2 Fence/Wall(s)

FENCE AND WALL MATERIAL - DETERIORATED

 Maintenance Item



5.3.3 Fence/Wall(s)



Recommendation / Evaluation

FENCE AND WALL MATERIAL - LOOSE MATERIAL

Loose materials at wall found at one or more areas. Recommend correcting



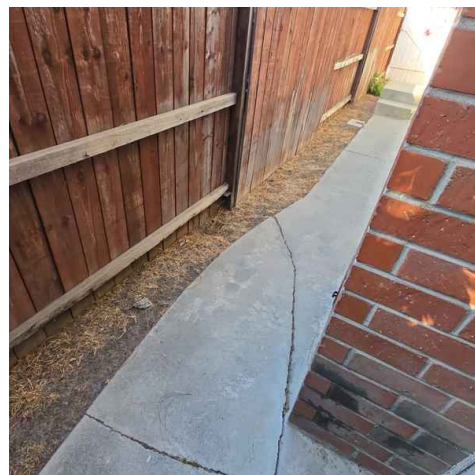
5.3.4 Fence/Wall(s)



Maintenance Item

SOIL TO WOOD CONTACT

Soil to wood contact at various areas, which may allow wood to become susceptible to dry rot and/or termites.



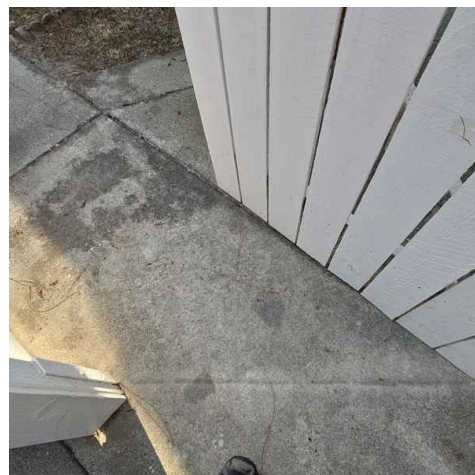
5.4.1 Gates



Maintenance Item

GATES DRAG ON GROUND

1 or more gates drag on ground. Gates need adjusting



5.5.1 Siding



Recommendation / Evaluation

CRACKING

Cracking was observed at one or more points on the exterior. This is common in settling of a home. Recommend sealing cracks to prevent any water intrusion.



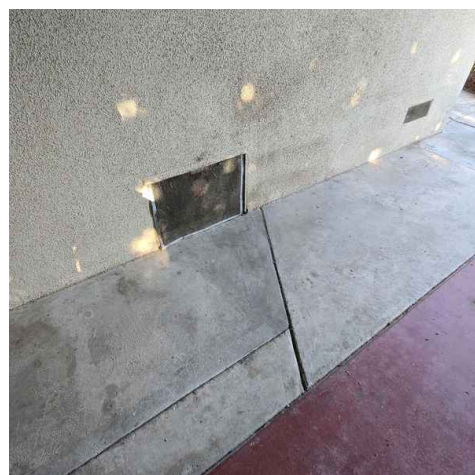
5.5.2 Siding



Maintenance Item

DISCOLORATION

There are signs of discoloration, algae, and/or mildew on the siding. This is a cosmetic issue and is not uncommon especially on shaded portions of the home. Recommend that said areas be washed or cleaned on a regular basis.



5.5.3 Siding



Maintenance Item

PATCHING NOTED

Evidence of patching noted. We are unable to determine the effectiveness of this repair.



5.5.4 Siding



Recommendation / Evaluation

SIDING - BLISTERING

Siding is flaking and/or blistering at one or more areas around home, this could be caused by water. Repairs maybe needed.

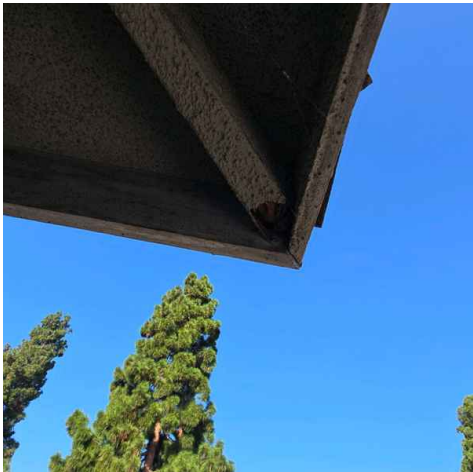
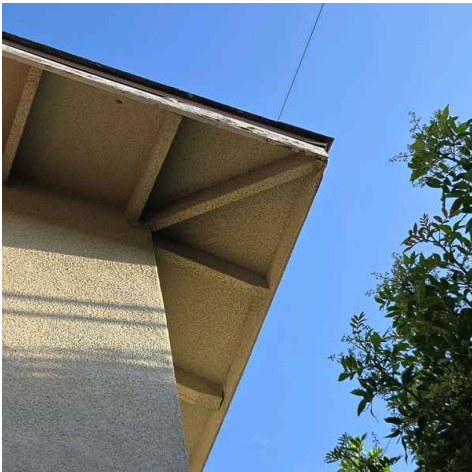


5.6.1 Trim

DETERIORATED WOOD

 Recommendation / Evaluation

One or more sections of the trim are deteriorated. Recommend a Termite Company evaluate the whole home.



5.6.2 Trim

PAINT/FINISH FAILING

 Maintenance Item

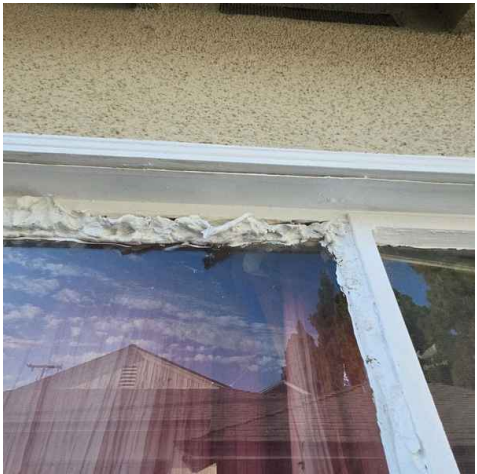
The paint or finish is failing. This can lead to deterioration and rot of the material. Recommend that the areas be properly prepared and painted / finished.



5.8.1 Windows

IMPROPERLY INSTALLED GLAZING

 Maintenance Item



5.9.1 Window Screens

TORN SCREEN(S)

 Maintenance Item

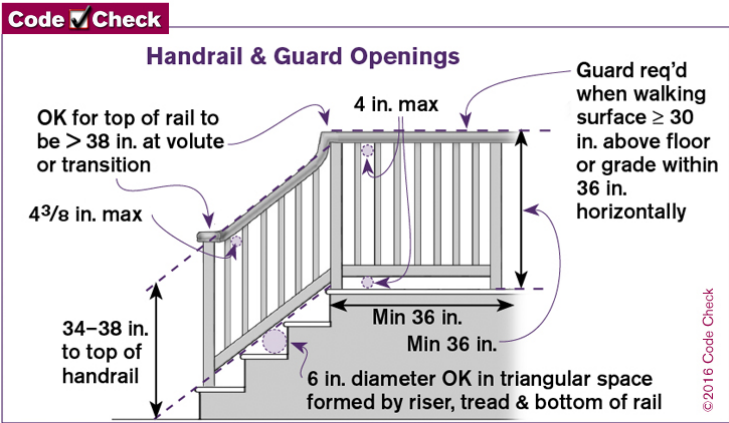


5.13.1 Steps/Railings

RAILING SPACING

 Recommendation / Evaluation

Suggest closing all balusters to within 4 inches of each other, for safety.

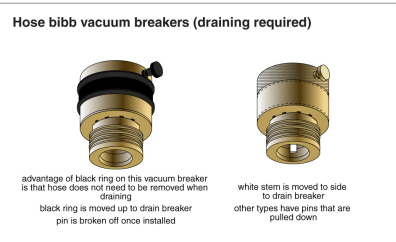


5.14.1 Hose Bib(s)

NO ANTI-SIPHON VALVE(S)

One or more hose bibs may not have anti-siphon valves. Recommend adding anti-siphon valves to all hose bibs as needed as an upgrade.

Recommendation / Evaluation



5.15.1 Foundation - (RAISED)

CORROSION ON PLUMBING

Corrosion on plumbing lines and drain lines. No leak at time of inspection. This can decrease life expectancy.

Recommendation / Evaluation

5.15.2 Foundation - (RAISED)

DETERIORATED CONCRETE FOUNDATION

Deteriorated concrete noted at one or more areas of the foundation.

Recommendation / Evaluation

5.15.3 Foundation - (RAISED)

DETERIORATED WOOD

One or more sections under the home are deteriorated. Recommend a Termite Company evaluate the whole home.

Recommendation / Evaluation

5.15.4 Foundation - (RAISED)

TEMPORARY REPAIR ON PLUMBING SYSTEM

One or more temporary repairs noted on plumbing lines underneath house. No signs of leak at time of inspection.



5.15.5 Foundation - (RAISED)

VENT SCREENS - DAMAGED

1 or more vent screens are torn, damaged, and/or missing. Recommend correcting.



5.17.1 Grading and Drainage

NEGATIVE GRADING

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.



6: OUTDOOR LIVING SPACES

		IN	NI	NP	O
6.1	Outdoor Living Spaces and Stairs	X			X

IN = InspectedNI = Not InspectedNP = Not PresentO = Observations

Information

Outdoor Living Spaces and Stairs: Cover Metal, Wood	Outdoor Living Spaces and Stairs: Decking Material Concrete	Outdoor Living Spaces and Stairs: Enclosure/Railing No
Outdoor Living Spaces and Stairs: Location Rear	Outdoor Living Spaces and Stairs: Type Patio	Outdoor Living Spaces and Stairs: Windows No

Outdoor Living Spaces and Stairs: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Observations

6.1.1 Outdoor Living Spaces and Stairs

DECK - MINOR CRACKS

Maintenance Item

Cracking was observed at one or more points. This is common in settling of a home.



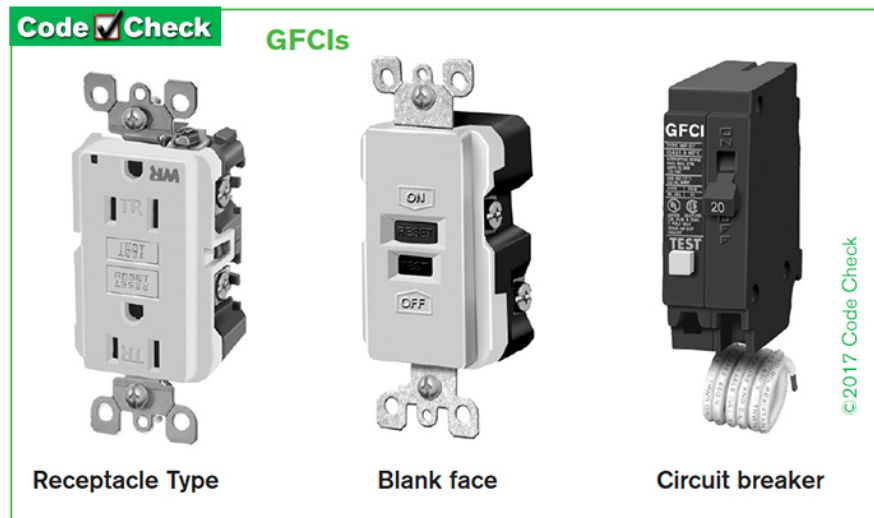
6.1.2 Outdoor Living Spaces and Stairs

Recommendation / Evaluation

ELECTRICAL - NO GFI'S

There is no ground fault interrupter in this area which may not have been standard at the time of construction. However, todays standards require ground fault interrupters at all areas within five feet of running water and external outlets. We suggest installing a ground fault interrupter in this area as a safety upgrade.

A GFCI receptacle can provide protection for other receptacles downstream on the circuit. GFCI protection can be provided by GFCI breakers, blank face devices, or GFCI receptacles



7: ROOF

		IN	NI	NP	O
7.1	Method	X			
7.2	Material / Type - House	X			X
7.3	Gutters / Downspouts	X			X
7.4	Flashings	X			X
7.5	Chimneys / Skylights	X			X

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Method: Inspection Method

Walked Roof

Material / Type - House: Material & Slope

Slope: Pitched, Material:
Composition Shingle

Gutters / Downspouts: Gutters

No

Method: Roof Limitations

Our inspections exclude areas not traversable or clearly visible due to restricted access. Items such as solar roofing components, debris, and roof coatings may limit our evaluation. Any observations regarding these systems are provided as a courtesy. We do not offer estimates on the remaining life of the roofing system or its materials, nor can we guarantee a leak-free roof, especially given the infrequent rainfall in our area. While we can spot potential old leaks through water stains on ceilings and attic spaces, we cannot confirm their current activity or whether they have been repaired. For precise identification of leak sources or stains, we strongly recommend consulting a roofer before releasing contingencies. Regular maintenance is crucial to prevent leaks; we advise having a roofer assess the roofing system every 2 to 5 years.

We cannot ascertain if the roof, skylights, or penetrations have leaked previously. Only active leaks, indicated by visible water or moisture during the inspection, can be detected. Past leaks are noted if observed. Anarumo Inspection Services does not warrant that the roof will remain leak-free.

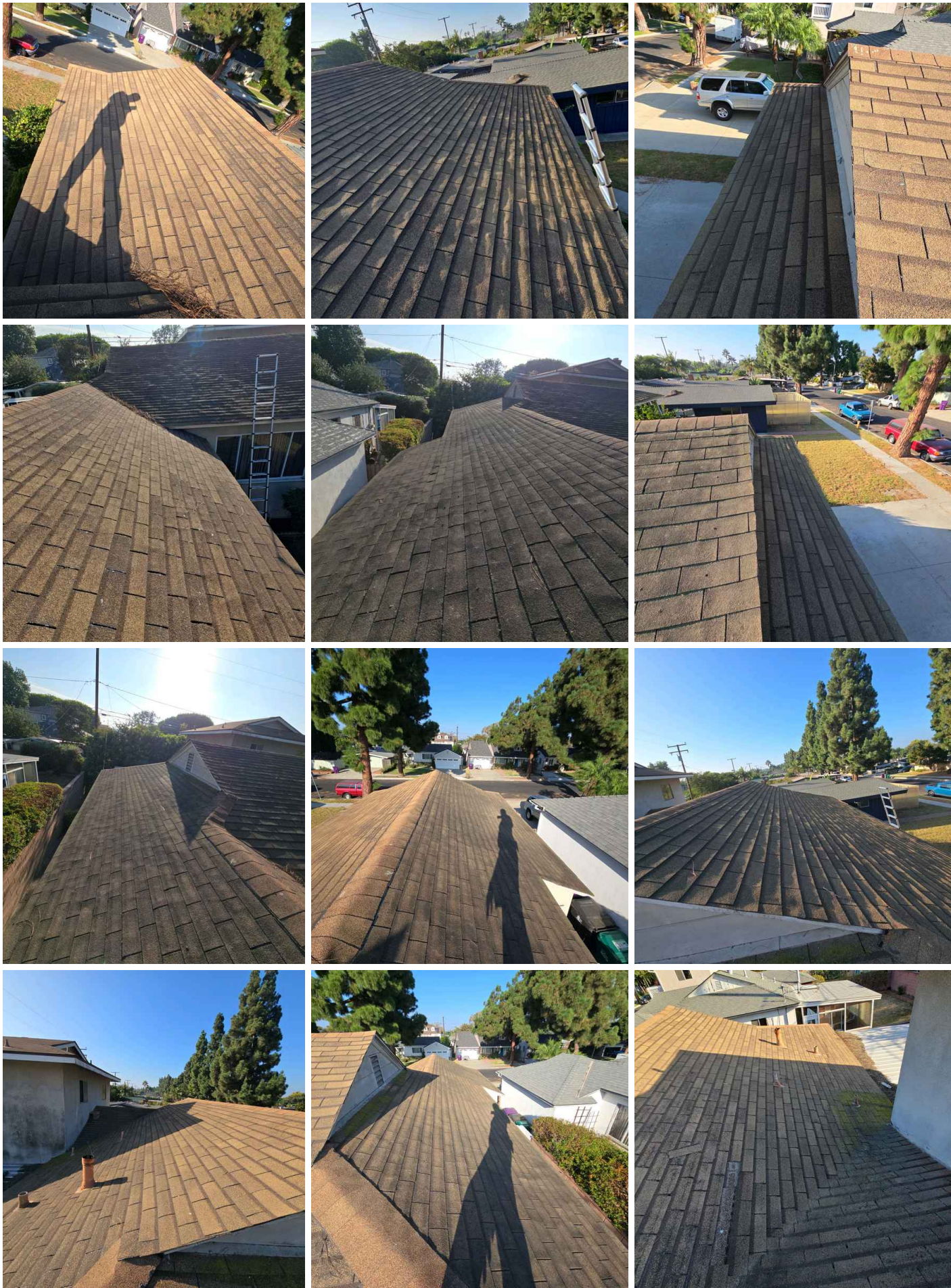
Full access to roofs and attics may be impeded by factors such as steepness, debris, and obstructions. For older roofs, a professional evaluation by companies like Anarumo Inspections or a roofing contractor every 2 to 5 years is recommended for maintenance and repair.

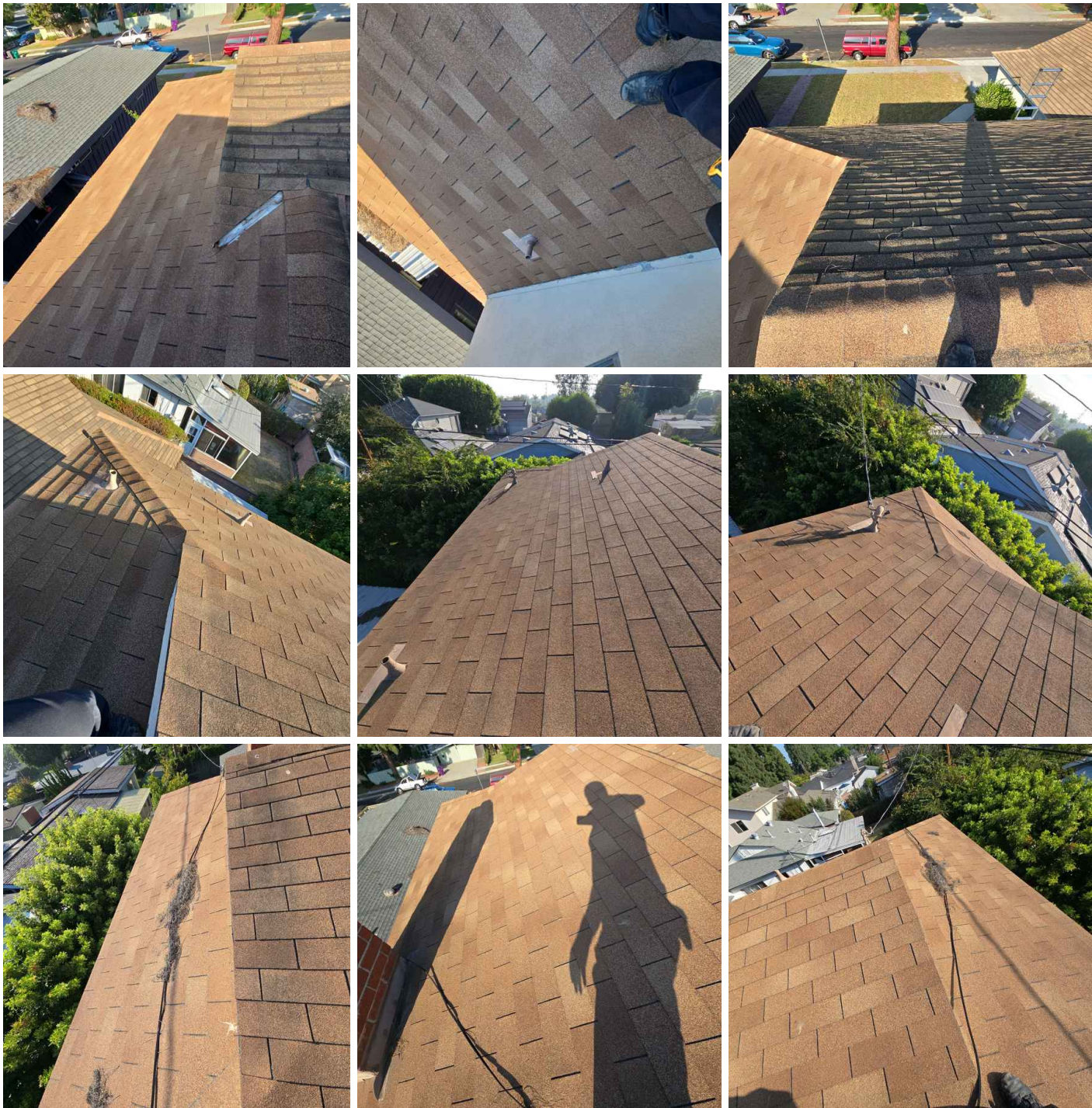
The inspector cannot determine the functionality or leak status of gutters, downspouts, and extensions without significant rainfall during the inspection. Regular maintenance of the gutter system may be required. The inspector is unable to assess if a roof leaks under any conditions, as no water or hose testing is conducted. The condition of the roof underlayment is beyond the scope of this inspection. Concerns about roof leaks or the remaining roof lifespan should be addressed by a licensed roofer through further inspection. This applies to all inspected roof areas, including garages.

Material / Type - House: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Material / Type - House: Visual Condition Documentation (Photos)





Chimneys / Skylights: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

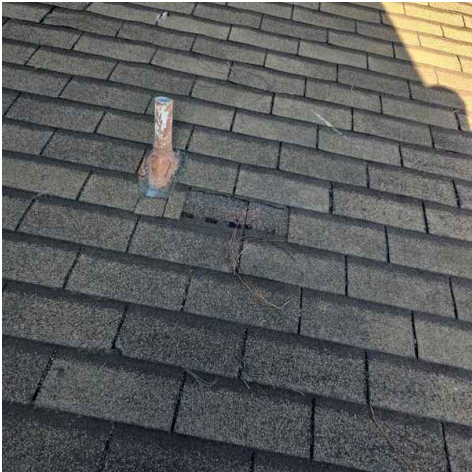
Observations

7.2.1 Material / Type - House

DAMAGED (GENERAL)

Roof shows normal wear for its age and type. We recommend repairs be made in the few areas where roofing materials are damaged or missing. Recommend a qualified roofing professional evaluate and repair.

 Recommendation / Evaluation



7.2.2 Material / Type - House

DAMAGED RAIN CAP

Rain cap is damaged. Recommend replacing to prevent water intrusion and damage.

 Recommendation / Evaluation

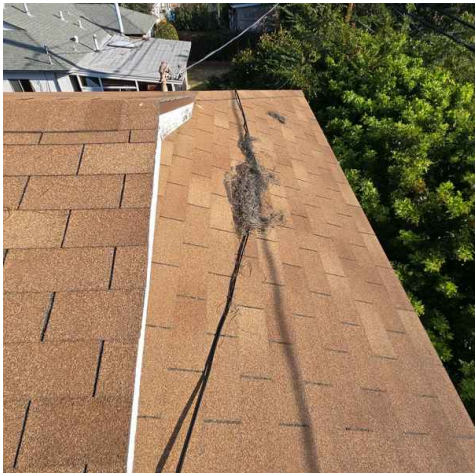


7.2.3 Material / Type - House

DEBRIS

Suggest clearing all debris from roof. Debris left on roof may retain moisture and cause that section of roof to age prematurely.

 Recommendation / Evaluation



7.2.4 Material / Type - House

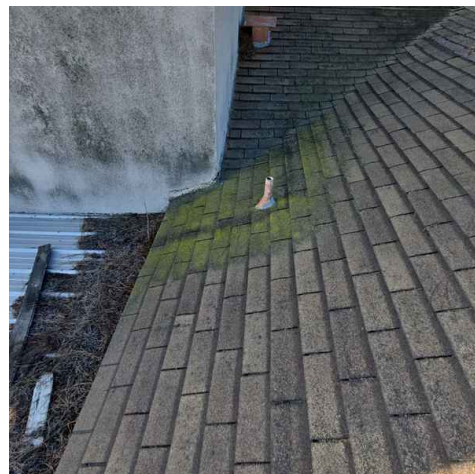


Maintenance Item

DISCOLORATION

Roofing is discolored, which can be caused by moisture, rust, or soot. Recommend a qualified roofing contractor evaluate and remedy with a roof cleaning or repair.

[Here is a helpful article](#) on common roof stains.



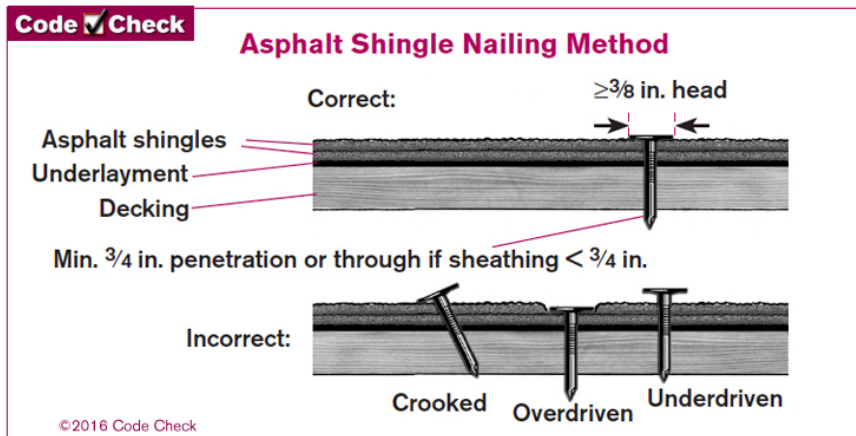
7.2.5 Material / Type - House



Recommendation / Evaluation

EXPOSED NAIL HEADS

Observed one or more exposed / under-driven nails/fasteners. Suggest sealing exposed nail heads. Recommend a qualified roofing contractor evaluate and repair.



7.2.6 Material / Type - House



Maintenance Item

OLD SYSTEM

I observed during my inspection that the system appeared to be old and at the end of its service life. It may not be reliable. Ask the homeowner or occupant about its recent performance. Regular maintenance and monitoring of its condition is recommended. Budgeting for repairs and future replacement is recommended. [InterNACHI's Standard Estimate Life Expectancy Chart for Homes](#)

7.2.7 Material / Type - House



Recommendation / Evaluation

PATCHING

Evidence of patching noted. We are unable to determine the effectiveness of this repair.

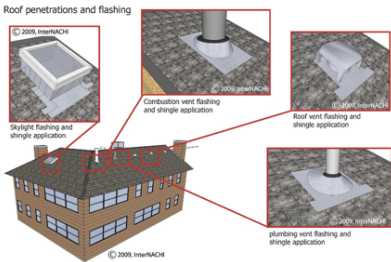


7.2.8 Material / Type - House

RECOMMEND SEALING ALL ROOF PROJECTIONS

We advise resealing all through roof vents and projections as part of routine maintenance.

 Recommendation / Evaluation



7.2.9 Material / Type - House

TWO (2) LAYERS OF ROOFING MATERIAL

There appeared to be multiple layers of composition roofing or composition roofing over wood shingle / shake roofing on this structure. This is not an allowed building practice. The roof structure may be overloaded as a result. Consult with a qualified contractor..

 Recommendation / Evaluation

7.2.10 Material / Type - House

WIRES LAYING ON ROOF

Wires laying on the roof Are damaging roof. Recommend raising to proper height or removing wires.

 Recommendation / Evaluation

Code Check

Overhead Conductor Clearances

Vertical Clearances from Grade		18 IRC	17 NEC
☐ Service conductors (including drip loop) 10 ft. min above areas accessible only to pedestrians A		3604.2.2	230.24.B
☐ 12 ft. above residential property & driveways B		3604.2.2	230.24.B
☐ 18 ft. above public streets & tractor trailer parking C		3604.2.2	230.24.B

Vertical Clearances above Roofs		18 IRC	17 NEC
☐ Setback, location & clearances per utility _____ utility			
☐ Min 8 ft. if slope < 4:12 EXC D		3604.2.1	230.24A
☐ Min 10 ft. vertical above walkable roof deck E		3604.2.1X1	230.24AX1
☐ Min 3 ft. if slope ≥ 4:12 EXC F		3604.2.1X2	230.24AX2
☐ 18 in. above roof OK ≤ 4 ft. overhanging eave G		3604.2.1X3	230.24AX3

Clearances from Building Openings		18 IRC	17 NEC
☐ 3 ft. to sides of doors or decks & ≥ 3 ft. below or to sides of openable windows H EXC _____		3604.1	230.9A
☐ Not req'd for raceway or cable w/ overall outer jacket F3604.1			230.9A
☐ Distance above window per utility or local AHJ _____ utility			230.9AX
☐ Clearance above decks extends 3 ft. past edge E, I		3604.1	230.9A

© Code Check 2020



7.3.1 Gutters / Downspouts

RECOMMEND GUTTERS AS NEEDED

Recommendation / Evaluation

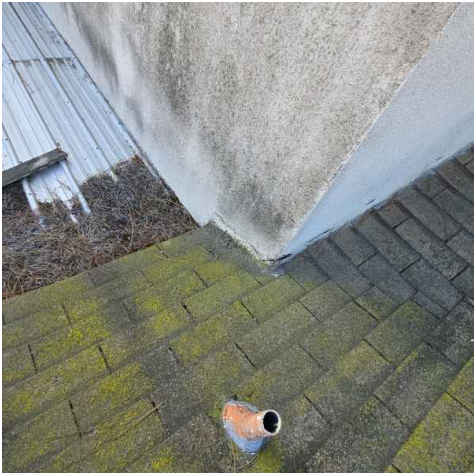
Suggest adding a gutter and downspout system to divert water away from the homes foundation as needed and reduce or prevent water intrusion.

7.4.1 Flashings

FLASHING - DAMAGED

Recommendation / Evaluation

Recommend corrections as needed.



7.5.1 Chimneys / Skylights

CHIMNEY CAP - MISSING

Recommendation / Evaluation

No spark arrester installed at chimney. We suggest installing a spark arrester as a fire safety upgrade. This is also important to protect from moisture intrusion and protect the chimney. Recommend a qualified roofer or chimney expert install.



7.5.2 Chimneys / Skylights

**CHIMNEY CROWN -
DAMAGE**

Recommendation / Evaluation

Damage noted in chimney crown. Recommend repairing as needed.



7.5.3 Chimneys / Skylights

**CHIMNEY - MISSING
CRICKET**

Recommendation / Evaluation

A chimney "cricket" or "saddle" was not present. A cricket (water diverter) is recommended on chimneys over 30 inches wide, to prevent water and debris from settling behind the chimney, possibly damaging sheathing / framing in the area. The installation of a cricket is recommended to be performed by a roofing contractor or other qualified contractor.



7.5.4 Chimneys / Skylights

**CHIMNEY SHOULD HAVE A
2" (TWO INCH) CLEARANCE**

Recommendation / Evaluation

Suggest implementing a two inch clearance around flue pipe or chimney of any combustible materials as a safety upgrade.



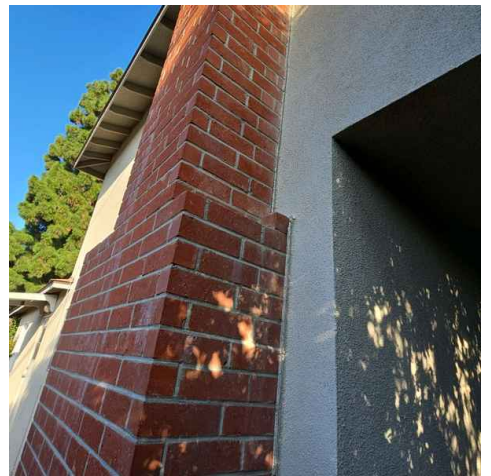
7.5.5 Chimneys / Skylights

SEALANT - CRACKED/MISSING

Sealant was cracked or missing in one or more areas. Recommend repairs as needed by a qualified professional.



Recommendation / Evaluation



8: GARAGE

		IN	NI	NP	O
8.1	General	X			
8.2	Siding	X			X
8.3	Trim	X			X
8.4	Garage Door	X			X
8.5	Garage Door Opener	X			
8.6	Walls	X			X
8.7	Ceiling	X			
8.8	Slab	X			
8.9	Window(s)	X			
8.10	Access Door	X			
8.11	Fire Door			X	
8.12	Firewalls	X			X
8.13	Electrical	X			X
8.14	Vent Screen(s)			X	
8.15	Laundry Tub			X	
8.16	Washer Hook up			X	
8.17	Dryer Hook Up			X	
8.18	Comments	X			X

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

General: Garage is:

Attached To Home

Siding : Siding Material

Stucco

Trim: Material

Wood

Garage Door: Material

Metal, Non-insulated

Garage Door Opener: No

Automatic Door Opener Noted

Garage vehicle door is manually-operated.

Firewalls: Plaster

General: Storage

storage area(s) appear(s) to be an addition. Unable to determine if permitted; we suggest consulting with the local municipality for further review.

Garage Door: Garage Door Information

Regular maintenance of garage doors, including their hardware and springs, is essential. It's recommended to periodically ensure all components are properly lubricated and securely fastened.

Observations

8.2.1 Siding

CRACKING



Recommendation / Evaluation

Cracking was observed at one or more points on the exterior. This is common in settling of a home. Recommend sealing cracks to prevent any water intrusion.



8.2.2 Siding

DISCOLORATION

 Maintenance Item

There are signs of discoloration, algae, and/or mildew on the siding. This is a cosmetic issue and is not uncommon especially on shaded portions of the home. Recommend that said areas be washed or cleaned on a regular basis.



8.2.3 Siding

PAINT/FINISH FAILING

 Maintenance Item

The paint or finish is failing. This can lead to deterioration and rot of the material. Recommend that the areas be properly prepared and painted / finished.



8.3.1 Trim

PAINT/FINISH FAILING

 Maintenance Item

The paint or finish is failing. This can lead to deterioration and rot of the material. Recommend that the areas be properly prepared and painted / finished.

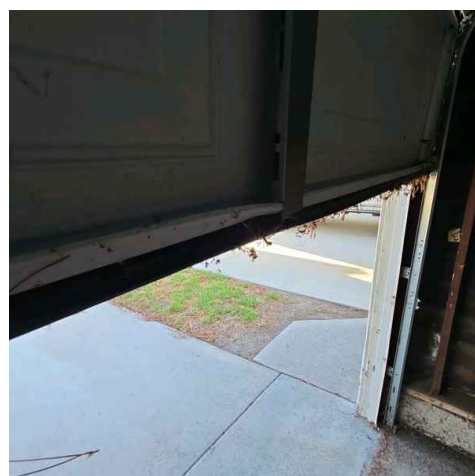


8.4.1 Garage Door

PANEL DAMAGE

Recommendation / Evaluation

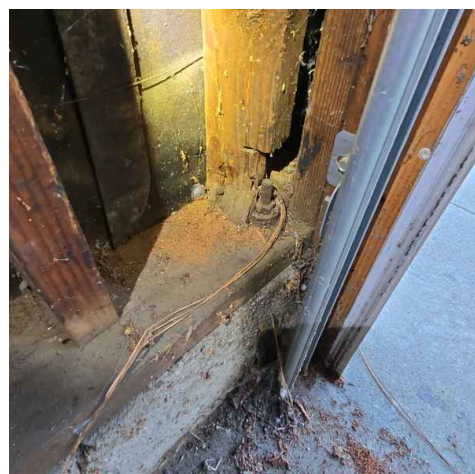
Garage door panel is damaged and may need repair/replacement.



8.6.1 Walls

DAMAGE STUD

Maintenance Item



8.12.1 Firewalls

HOLES IN FIREWALL

Safety Hazard

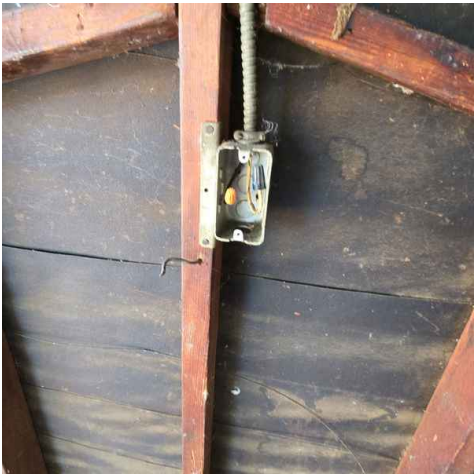
Hole(s) in wall noted. Suggest sealing all holes and around all penetrations with an approved material.



8.13.1 Electrical
EXPOSED WIRES

 Recommendation / Evaluation

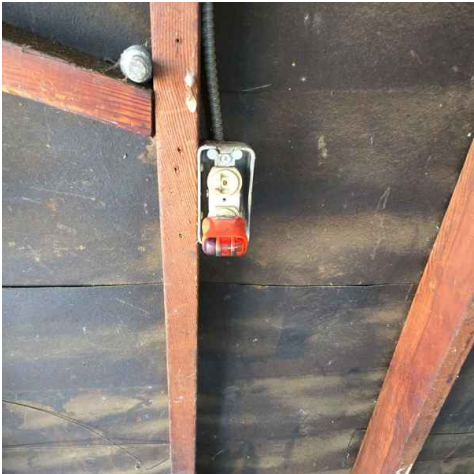
Exposed wires noted. Recommend covering for safety.



8.13.2 Electrical
INOPERABLE OUTLET

 Recommendation / Evaluation

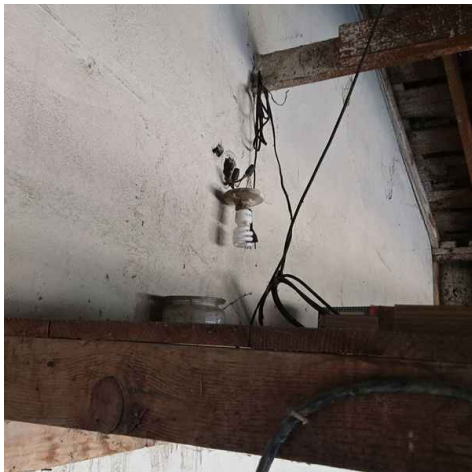
One or more outlets are not working at time of inspection.



8.13.3 Electrical
LOOSE LIGHT FIXTURE

 Recommendation / Evaluation

One or more fixtures are loose. Recommend securing.



8.13.4 Electrical

LOOSE LIGHT SWITCH

Recommendation / Evaluation

Loose light switch noted at one or more areas. Recommend securing.



8.13.5 Electrical

MISSING LIGHT BULB

Recommendation / Evaluation

Missing lightbulb to one or more fixtures. Unable to test. not limited to just stated defect. Recommend repairs or replacement if needed.



8.13.6 Electrical

UNABLE TO DETERMINE FUNCTION OF ONE SWITCH

Maintenance Item

During the inspection, it was noted that there was one or more light switches whose function could not be determined at the time of our evaluation. Despite testing and examination of the surrounding areas, the specific appliance, fixture, or area controlled by this switch remained unclear. This situation may occur due to various reasons, such as wiring issues, a disconnected fixture, or the switch being part of a more complex electrical system not immediately apparent without further investigation.

8.18.1 Comments

CRACK IN STEM WALL

Crack noted in one or more areas of stem walls. Recommend a qualified professional review prior to close of escrow.



Recommendation / Evaluation



9: MAJOR SYSTEMS

		IN	NI	NP	O
9.1	Heating Equipment	X			X
9.2	Cooling Equipment			X	
9.3	Thermostat	X			
9.4	Distribution System			X	
9.5	Chimneys and Fireplaces	X			X
9.6	Smoke Detectors	X			
9.7	Carbon Monoxide Detectors	X			
9.8	Disclosures	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Heating Equipment: Disconnects

Electronic Disconnect, Gas Shut Off

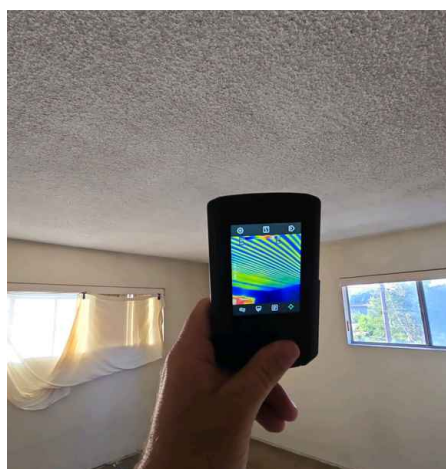
Heating Equipment: Energy Source

Electric, Natural Gas

Heating Equipment: Heater - Type

Radiant Heat, Floor Furnace

Heating Equipment: Infrared Photo Of Heater ON



Heating Equipment: Location

Master Bedroom

Thermostat: Location

Living room, Family room, Master Bedroom

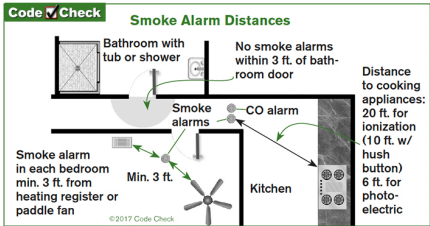
Chimneys and Fireplaces:

Fireplace Type / Location

Wood, Living Room, Gas

Smoke Detectors: Locations

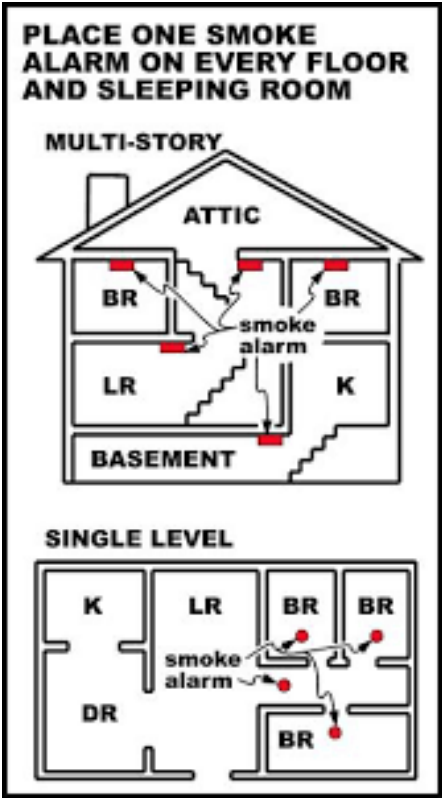
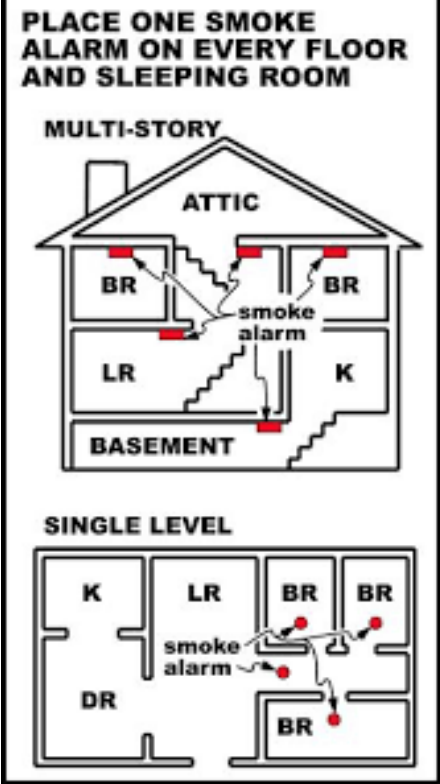
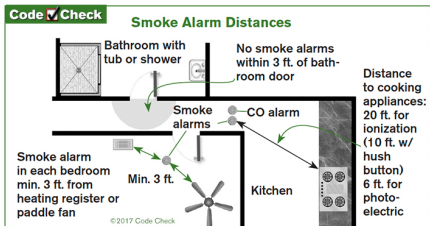
Each Bedroom, Hall



Carbon Monoxide Detectors:

Locations

Master Bedroom, Hall



Heating Equipment: Filter Type

None

If your HVAC system does use a filter it is a great idea to change the filter once you take possession of your new home. Generally we find most filters do not have a installed date or change date on them. Most air filter manufacturers and HVAC companies will recommend changing your air filter every 90 days or 3 months. That can change based on where your home is located (ex. dusty, dry climates) and if you have any pets. The age of your system and equipment may also effect it.

Thermostat: Thermostats / Remotes

Some thermostats and remotes state "COOL" or "HEAT", This can sometimes believed to be a sign that there might be heating or cooling for the home. This does not mean that it does either one. Some may only be for "HEAT" or "COOL" only. Please refer to the report to verify that there was either or and its operating condition.

Chimneys and Fireplaces: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Chimneys and Fireplaces: This Fireplace Inspection Is NOT Based On A NFPA 211 Level 1, 2, or 3 Inspection

This is a limited visual inspection, we may check some items based on a similar amount of items as a level 1 inspection. The National Fire Protection Agency or NFPA recommendation is a level 2 inspection on the sale or transfer of a home. A NFPA level 1, 2, or 3 inspection was not performed by Anarumo Inspection Services and a level 2 inspection is highly recommend. We can send an inspector back to perform a more in-depth inspection or Chimney Scan for an additional fee.

Disclosures: Disclosure

Our evaluation of major systems is both visual and functional provided power and/or fuel is supplied to the component. Identifying or testing for the presence of asbestos, radon, lead based products, or other potentially hazardous materials is not within the scope of this report. These materials were used prior to 1982, and should you be concerned, we suggest having an independent inspection performed prior to the close of escrow. Judging the sufficiency of water flow in plumbing or the cooling efficiency of air conditioning is a subjective evaluation, therefore, we only note a poor condition if, in the inspector's opinion, the adequacy seems to be less than normal. We urge you to evaluate these systems prior to closing. Not all major systems started with gas drip legs / sediment traps; However today it is common practice we recommend adding them.

DISMANTLING AND/OR EXTENSIVE INSPECTION OF INTERNAL COMPONENTS OF ANY APPLIANCE, INCLUDING HEATERS AND HEAT EXCHANGERS, IS BEYOND THE SCOPE OF THIS REPORT. THE LOCAL UTILITY COMPANY WILL CONDUCT SUCH AN INSPECTION UPON REQUEST.

Observations

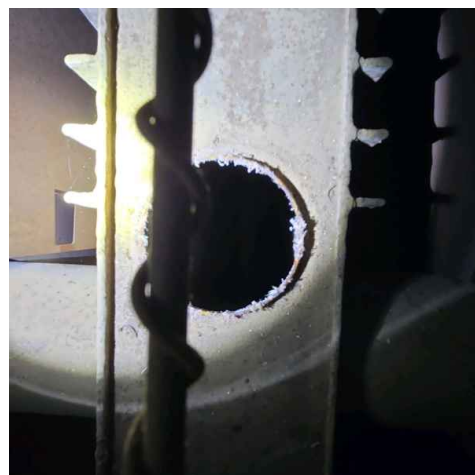
9.1.1 Heating Equipment



Recommendation / Evaluation

GAS TO UNIT OFF

At the time of the inspection, fuel was off to this unit. Fuel or power is not restored to appliances that are shut down. Most utility companies will, upon request, conduct a free inspection. Verification of this systems performance prior to closing is suggested.



9.1.2 Heating Equipment



Safety Hazard

INOPERABLE

Heater was inoperable at time of inspection. Recommend qualified HVAC professional evaluate & ensure functionality.



9.5.1 Chimneys and Fireplaces

C-CLAMP

Suggest adding a c-clamp to the fireplace damper as a safety upgrade, so that fireplace damper does not close completely during use.



Recommendation / Evaluation

9.5.2 Chimneys and Fireplaces

DAMAGED BRICK NOTED

Recommend repairs as needed.



Recommendation / Evaluation



9.5.3 Chimneys and Fireplaces

EVIDENCE OF IMPROPER DRAFT OR VENTING

Black marks at top of fireplace on the room side is an evidence of improper venting. Recommend having this corrected for safety.



Recommendation / Evaluation



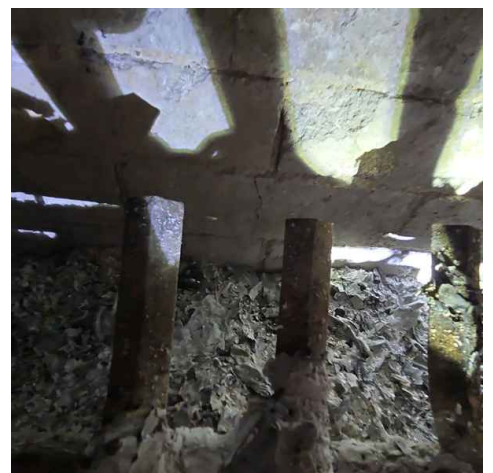
9.5.4 Chimneys and Fireplaces

FIREBOX - CRACKS

Cracks observed in one or more areas around the firebox. This presents a safety/fire hazard. Urge repair by qualified chimney specialist before fireplace can be used. Recommend a NFPA 211 level 2 chimney inspection.



Safety Hazard



9.5.5 Chimneys and Fireplaces

**MISSING SCREEN OR GLASS
DOORS**

Recommendation / Evaluation

Recommend adding permanent doors or permanent screens for safety



9.5.6 Chimneys and Fireplaces

**SUGGEST CLEANING
FIREPLACE**

Recommendation / Evaluation

Suggest cleaning fireplace/chimney prior to first use. Possible creosote build-up noted in chimney from burning wood. We advise obtaining a professional cleaning.



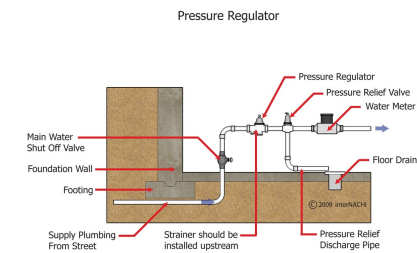
10: PLUMBING

		IN	NI	NP	O
10.1	Drain, Waste, & Vent Systems	X			X
10.2	Main Water Shut-off Device & Water Supply Lines	X			X
10.3	Water Heater, Controls, Flues & Vents	X			X
10.4	Gas (Natural) Meter Information	X			X
10.5	Laundry Area	X			
10.6	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Main Water Shut-off Device & Water Supply Lines: Location Front



Main Water Shut-off Device & Water Supply Lines: PSI 60

Main Water Shut-off Device & Water Supply Lines: Material - Copper

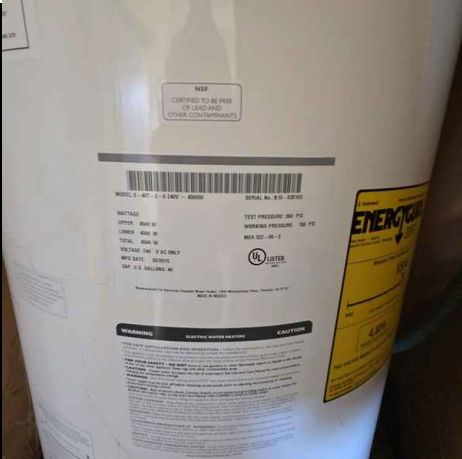
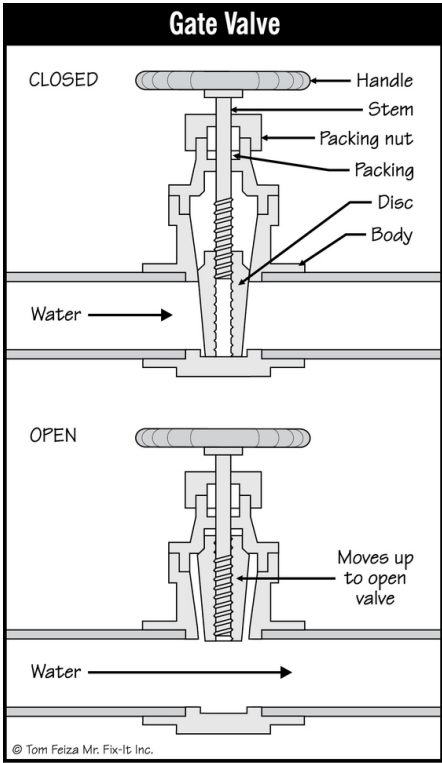
Copper is preferred for durability and low maintenance.

Main Water Shut-off Device & Water Supply Lines: Material Visible

Galvanized, Copper

Main Water Shut-off Device & Water Supply Lines: Water Shut Off Valve Type - Gate Valve

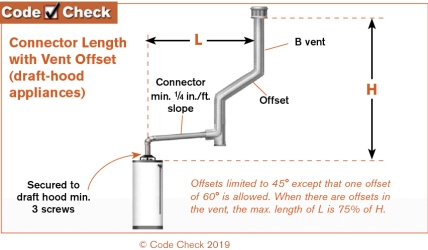
Water Heater, Controls, Flues & Vents: Capacity & Data Plate
40 Gallons



P008

Water Heater, Controls, Flues & Vents: Flue
Not Applicable

Water Heater, Controls, Flues & Vents: Location
Master Bedroom Closet



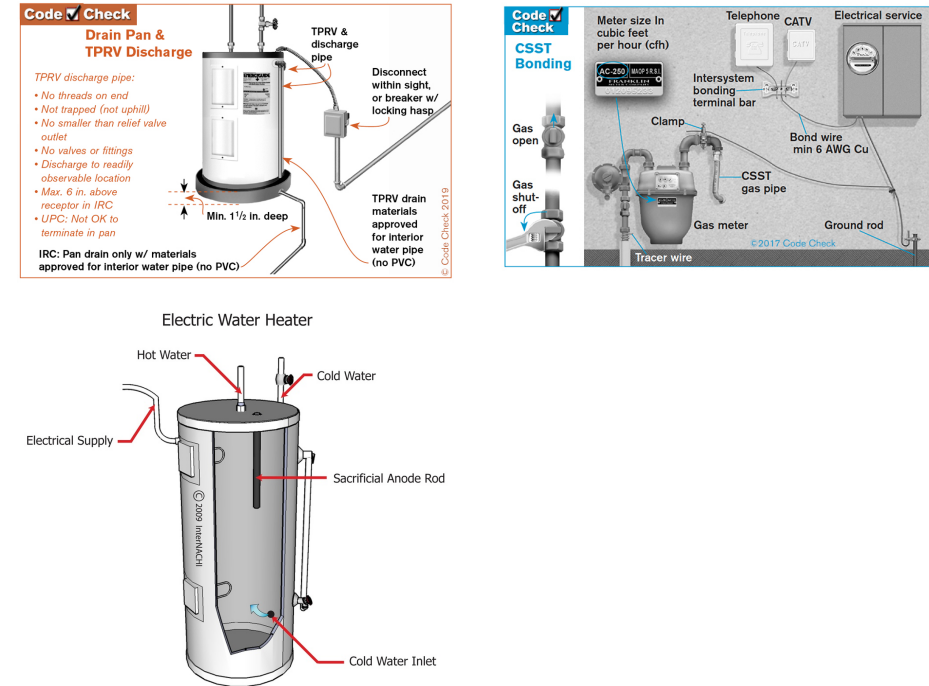
Water Heater, Controls, Flues & Vents: Safety Requirements
Cold Water Shut Off,
Temperature And Pressure Relief
Valve



Water Heater, Controls, Flues & Vents: Type - Electric Tanked Water Heater

Gas (Natural) Meter Information: Bonding Connection Observed Unknown/Not visible

Gas (Natural) Meter Information: Location of Fuel Source Right



Gas (Natural) Meter Information: Material Observed Iron

Laundry Area : Dryer Fuel Gas, 220 Electric

Laundry Area : Dryer Location Kitchen

Laundry Area : Dryer Vent Vent - Intact

Laundry Area : Washer Hook Up Location Kitchen

Drain, Waste, & Vent Systems: Inspected Drain, Waste, Vent Pipes

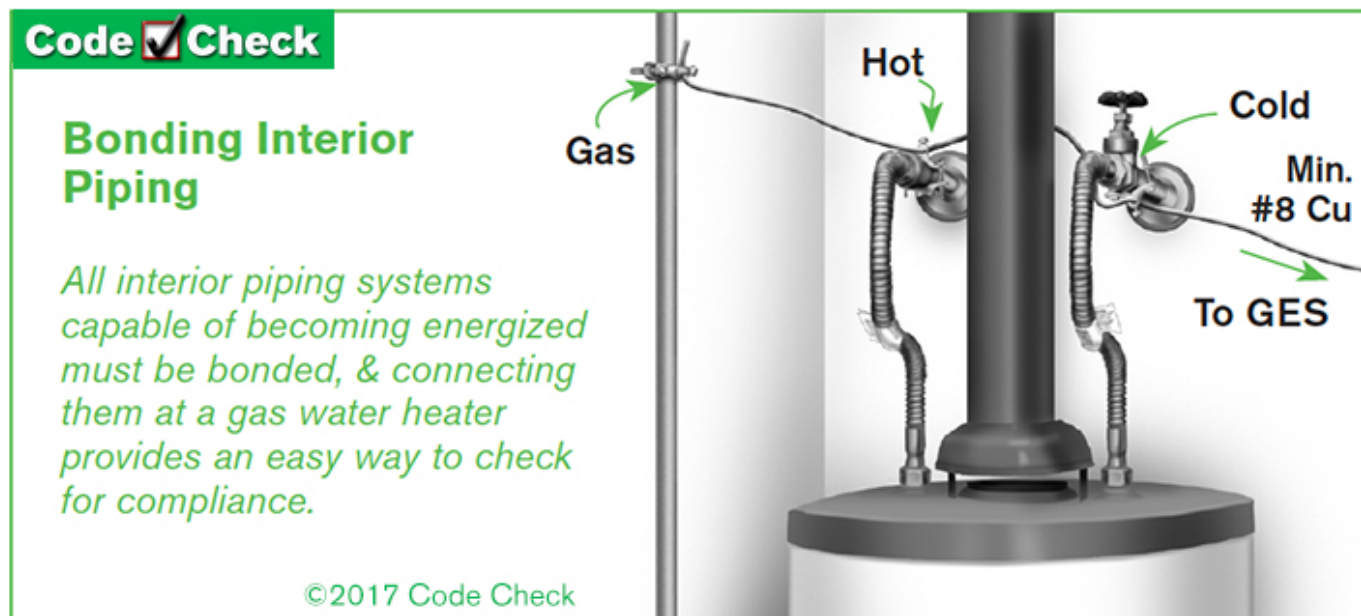
During the inspection we attempt to inspect the drain, waste, and vent pipes. Not all of the pipes and components were accessible and observed. Ask the homeowner about water and sewer leaks or blockages in the past. The inspection was restricted because not all of the pipes were exposed, readily accessible, and observed. For example, most of the drainage pipes were hidden within the walls or below ground.

Drain, Waste, & Vent Systems: Sewer Line

Suggest having a sewer camera inspection done on all single family homes. As we can not determine if there is any obstructions in the lines. Back ups normally will not present during an inspection.

Main Water Shut-off Device & Water Supply Lines: Bonding Interior Piping

This may not have been required at the time this home was built. It is a good upgrade.



Main Water Shut-off Device & Water Supply Lines: Water Supply Is Public

The water supply to the house appeared to be from the public water supply source based upon the observed indications at the time of the inspection. To confirm and be certain, I recommend asking the homeowner for details.

Water Heater, Controls, Flues & Vents: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Gas (Natural) Meter Information: Gas Leak Information

It is advised to contact the gas supplier for a safety inspection of all gas systems and appliances either during the contingency period or before finalizing the purchase and moving in. The inspector is unable to detect gas leaks within the home or underground at any point during the inspection process.

Gas (Natural) Meter Information: Gas Meter Information

The gas meter was inspected looking for damage and the regulator vents' clearance from ignition sources and air inlets into the home. No indications of deficiencies were present at the time of inspection unless otherwise noted in this report.

Laundry Area : Disclosure

In the Laundry area, we do not test clothes dryers, nor washing machines And their water connections and drainpipes. However, you should be Aware that water supply to washing machines is usually left on, and their hoses can leak or burst under pressure and continue to flow. Therefore, We recommend using modern braided stainless steel type water hoses that are more dependable as an upgrade when you take possession of this property.

Disclosure: Disclosure

Since main shut-off valves are operated infrequently, it is not unusual for them to become frozen over time. They often leak or break when operated after a period of inactivity. For this reason main shut-off valves are not tested during a home inspection. We suggest caution when operating shut-offs that have not been turned for a long period of time. All shut-off valves and angle stops should be turned regularly to ensure free movement in case of emergency. Pressure regulators are beyond the inspectors scope of practice.

Observations

10.1.1 Drain, Waste, & Vent Systems



Recommendation / Evaluation

DRAIN WASTE VENT SHOULD EXCEED ABOVE ROOF

Drain waste vent should exceed roofline find a minimum of 6 inches or per local municipalities code. Recommend extending.



10.2.1 Main Water Shut-off Device & Water Supply Lines



Recommendation / Evaluation

MATERIAL - GALVANIZED

Galvanized water pipes rust from the inside out and can become restricted over time. When low water flow is noted at plumbing fixtures, or, if in your opinion the water flow is low, some restriction may have occurred. If concerned, we advise further review by a licensed plumber. These pipes can also display sediment in the plumbing fixtures after running the water.



10.3.1 Water Heater, Controls, Flues & Vents



Maintenance Item

ANNUAL MAINTENANCE FLUSH NEEDED

Water heaters should be flushed annually to prevent sediment buildup and maintain efficiency. Recommend a qualified plumber service and flush.

[Here is a DIY link to help.](#)

10.3.2 Water Heater, Controls, Flues & Vents



Recommendation / Evaluation

CORROSION ON SUPPLY LINES

Corrosion was noted at supply lines. One or more lines may need replacement. No leak at time of inspection.



10.3.3 Water Heater, Controls, Flues & Vents

NO EARTHQUAKE STRAPS

No Earthquake straps Present at time of inspection. Recommend installing as a safety upgrade.



10.3.4 Water Heater, Controls, Flues & Vents

NO ELECTRICAL DISCONNECT FOR ELECTRIC WATER HEATER:

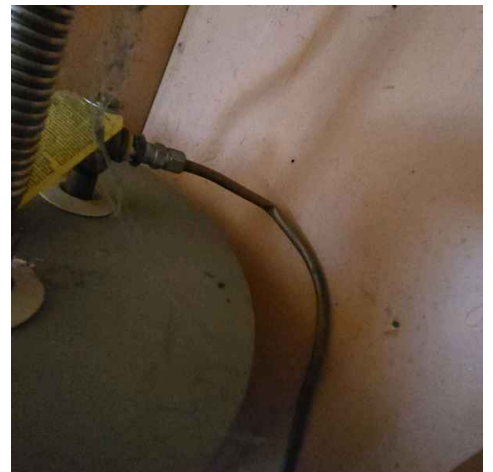
The electric water heater does not appear to have a dedicated electrical disconnect located within sight of the unit. According to modern safety standards (NEC 422.31), a local disconnect is recommended when the appliance is not in the direct line of sight from the main electrical panel. This allows for convenient and safe servicing. While the current setup may have functioned as-is for some time, adding a local disconnect would improve serviceability and bring the installation closer to current safety practices. Consider evaluation and upgrade by a qualified electrician.



10.3.5 Water Heater, Controls, Flues & Vents

TPR - DISCHARGE PIPE REDUCED IN SIZE

Extension pipe at temperature relief valve reduces in size. Recommend having corrected.



10.4.1 Gas (Natural) Meter Information

GAS LINES (40+ YEAR OLD HOMES OR UNDERGROUND LINES)

Recommendation / Evaluation

The gas piping system in this home appears to be original or over 40 years old. While no immediate issues were observed at the time of inspection, it is important to note that older gas lines—particularly those made of black iron, galvanized steel, or other legacy materials—are prone to corrosion, leaks, and deterioration over time.

Additionally, if any portion of the gas piping is underground, it may be subject to soil conditions, moisture exposure, and external damage that are not visible during a standard home inspection. Underground gas lines, particularly those made of older materials, may be more susceptible to hidden leaks or failures.

Because gas line integrity is outside the scope of this inspection, we strongly recommend having a licensed plumbing or gas contractor evaluate the system to check for leaks, corrosion, or other potential hazards. A pressure test or gas leak detection may be advised to ensure the system is safe and in compliance with current standards.

For safety, homeowners should also be aware of the location of the gas shutoff valve and consider installing a seismic shut-off valve if not already present, as required in many areas of California.

If you have any concerns about the condition or safety of the gas piping, we recommend further evaluation prior to finalizing the purchase to avoid unexpected repairs or safety issues.

10.4.2 Gas (Natural) Meter Information

GAS PIPES NOT BONDED

Recommendation / Evaluation

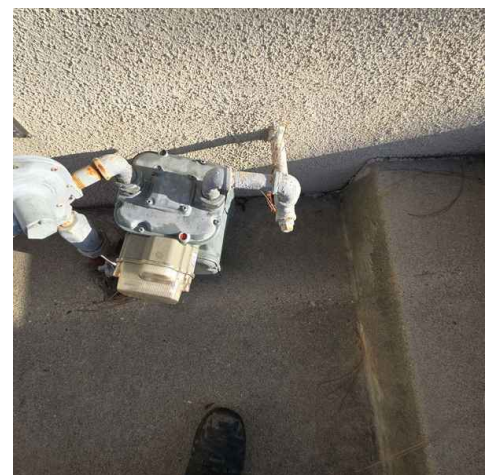
Gas pipes were not bonded to the home electrical system. Recommend a qualified plumber evaluate and correct.

10.4.3 Gas (Natural) Meter Information

GAS PIPES - SURFACE RUST

Maintenance Item

Some degree of surface rust was present on the gas piping in the area of the gas meter. Sanding and painting the pipes with rust-inhibiting paint is recommended to extend the life of the pipes.



10.4.4 Gas (Natural) Meter Information

NO EARTHQUAKE SHUT OFF VALVE

Recommendation / Evaluation

The gas main does not have an automatic seismic shut-off valve. This device is required in some jurisdictions, and is a recommended upgrade for safety. Also some insurance companies are requiring this to be installed, recommend consulting with your insurance company to see if they want or require this to be installed.

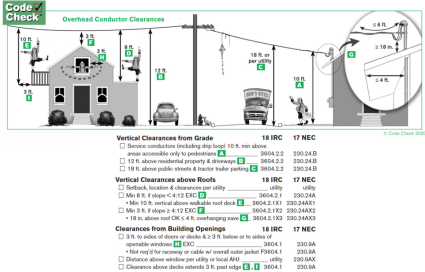
11: ELECTRICAL

		IN	NI	NP	O
11.1	Service Entrance Conductors	X			X
11.2	Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices	X			X
11.3	Branch Wiring Circuits	X			X

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

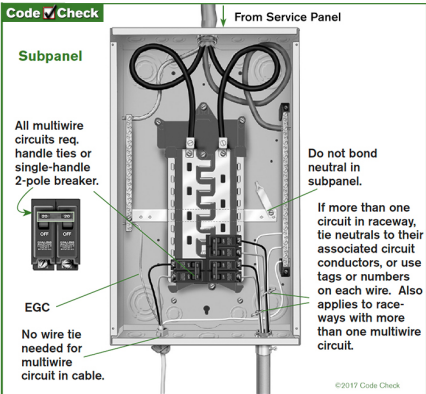
Information

Service Entrance Conductors:
Electrical Service
Overhead



Main Panel, Distribution Panel(s),
Grounding, & Overload
Protection Devices: Distribution
(Sub) Panel Location(s)

None



Main Panel, Distribution Panel(s),
Grounding, & Overload
Protection Devices: Infrared Of
Interior Of Electrical Panels

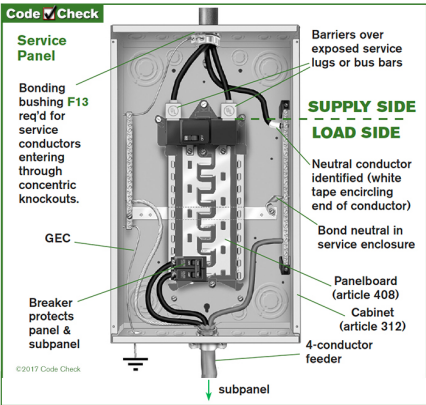


Main Panel, Distribution Panel(s),
Grounding, & Overload
Protection Devices: Main
Disconnect

Yes

Main Panel, Distribution Panel(s),
Grounding, & Overload
Protection Devices: Main Panel
Location

Rear



Main Panel, Distribution Panel(s),
Grounding, & Overload
Protection Devices: Overload
Protection / Futures

Circuit Breaker, No Futures For
Expansion

Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: Panel Capacity
100 Amp

Branch Wiring Circuits: Copper Branch Circuit
Copper branch circuits are preferred for durability and low maintenance.

Branch Wiring Circuits: Wiring Copper



Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: Arc-Fault Circuit Interrupters - Also Known As AFCIs

The National Electrical Code (NEC) wants Arc-Fault Circuit Interrupters (AFCI) protection in several areas around your home. AFCI protection is currently required for all 15 and 20 amp branch circuits providing power to outlets* in residential family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and similar rooms or areas. Home inspectors are not a code enforcement. However we try to find all the areas that they are located and recommend adding them. Please keep in mind that codes are ever evolving and are subject to change. Sometimes the year after a home is built or decades after. Sometimes builders, contractors, or even city inspectors miss or oversee that they are missing AFCIs. We recommend wherever AFCI protection is required, that it be installed as a safety upgrade by an electrician.

* An "outlet" is defined in the National Electric Counsel (NEC) as "A point on the wiring system at which current is taken to supply utilization equipment." This might mean a light, a smoke alarm, or a 'receptacle'. A receptacle is what normal people call an outlet.

Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices: Ground Fault interrupters - Also Known As GFIs or GFCIs

The National Electrical Code (NEC) wants GFIs or ground fault circuit interrupter (GFCI) protection in many areas around your home. This is to dramatically reduce the dangers associated with electrical hazard and shock. The most common places will be for outdoors electrical, Air Conditioners, Garages, Kitchens, Bathrooms, Laundry Areas, with in six feet (6') of running water, and is subject to change to more areas at anytime. Home inspectors are not a code enforcement. However we try to find all the areas that they are located and recommend adding them. Please keep in mind that codes are ever evolving and are subject to change. Sometimes the year after a home is built or decades after. Sometimes builders, contractors, or even city inspectors miss or oversee the missing GFIs. We recommend wherever GFCI protection is required, that they be installed as a safety upgrade by an electrician.

Observations

11.1.1 Service Entrance Conductors



Recommendation / Evaluation

ELECTRICAL DRIP LOOP IS IMPROPERLY INSTALLED

Recommend contacting local municipality on having corrected.



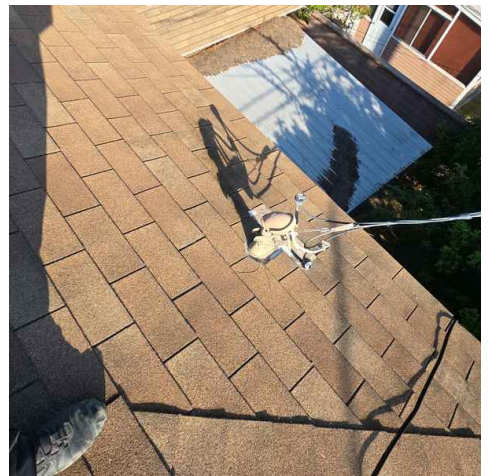
11.1.2 Service Entrance Conductors



Recommendation / Evaluation

ELECTRICAL MAST HEIGHT - BELOW 36"

This might have been normal construction at the time of installation. Today we install an electrical that provides the wires 36" or more of clearance to the roof.



11.2.1 Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices



Recommendation / Evaluation

AFCI BREAKERS - NONE

AFCI protection is currently recommended and maybe required in some municipalities for all 15 and 20 amp branch circuits providing power to receptacles* in residential family rooms. Like dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, and similar rooms or areas. This may not have been required at the time of construction or upgrade.

11.2.2 Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices



Recommendation / Evaluation

BREAKERS APPEAR TO BE OVER 30 YEARS OLD

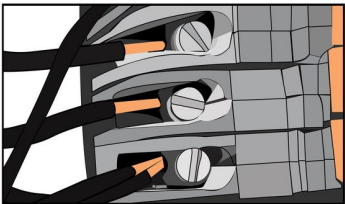
Most of these panels that are still in use, are more than 30 years old now and manufacturers say that breakers have a life expectancy of about 30 years. Due to this we recommend budgeting to upgrade the electrical panel(s) in the future.

11.2.3 Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices

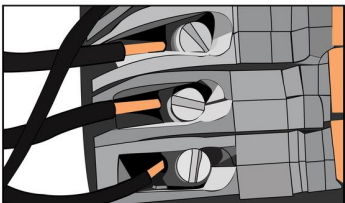
Recommendation / Evaluation

DOUBLED UP CIRCUITRY

Double-Tapped Breakers

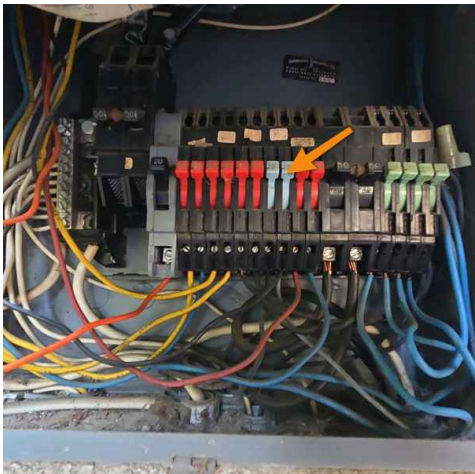


Don't



Do

Doubled-up circuitry at one or more breakers noted. This condition can add to the load of the affected electrical circuits causing a possible overload and tripping of the breakers. Ideally, doubled-up circuitry should be independently fused. We advise contacting a licensed electrician for review and/or repair.



Conductor Terminals
Section 110-14(a)

Manufacturer's Instructions

BRANCH NEUT. & EQUIP. GND. BAR	WIRE RANGE	TORQUE IN. - LBS.
14-10 CU, 12-10 AL		25
8 CU-AL		25
6-4 CU-AL		35

EQUIP. GND. BAR COMBINATIONS

TWO 14 OR 12 CU	25
TWO 12 OR 10 AL	

Okay [110-3(b)]

VIOLATION

*Note: Split bolt connectors (bugs, lugs) are only rated for two conductors.

The number of conductors in a terminal is limited to that for which the terminal is designed and listed.

11.2.4 Main Panel, Distribution Panel(s), Grounding, & Overload Protection Devices

Recommendation / Evaluation

ZINSCO / GTE / CHALLENGER / MURRAY / SYLVANIA / STAB LOK / FEDERAL PACIFIC PANELS / BULLDOG PUSHAMATICS

Most of these panels that are still in use, are more than 40 years old now and manufacturers say that breakers have a life expectancy of 40 years. As time has passed, insurances companies, electricians, and home inspectors have found that some of the panels can work fine for many years. However as our electrical demands have increased as the years have gone on, some of these panels have had problems with overheating, melted components , and arcing. Due to this fact we recommend budgeting to upgrade the electrical panel(s) in the future.

11.3.1 Branch Wiring Circuits

Recommendation / Evaluation

CLOTH BRANCH WIRING FOUND

Cloth wiring is considered an obsolete wiring material and some insurance companies are not insuring homes with it. Cloth wiring uses cloth for insulation were as today we use plastic. Cloth wiring may require, Cloth wiring in the past has used certain products in it which make it more prone to animals trying to eat it.

12: KITCHEN

		IN	NI	NP	O
12.1	Floors	X			
12.2	Walls	X			X
12.3	Ceilings	X			X
12.4	Doors	X			
12.5	Windows	X			X
12.6	Cabinets	X			X
12.7	Countertops	X			X
12.8	Electrical	X			X
12.9	Sink, Faucets, & Drains	X			X
12.10	Garbage Disposal	X			X
12.11	Dishwasher	X			X
12.12	Vent	X			
12.13	Range/Cooktop	X			
12.14	Oven	X			X
12.15	Built-in Microwave			X	
12.16	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Sink, Faucets, & Drains: Under Sink Photo



Vent: Exhaust Hood Type Vented

Range/Cooktop: Range Fuel Source Gas



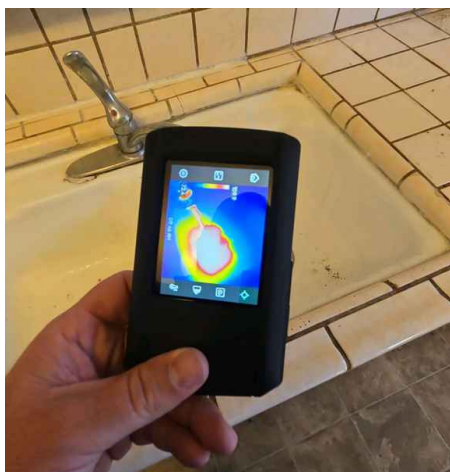
Oven: Oven Fuel Source

Gas



Sink, Faucets, & Drains: Hot Water Temperature (100 to 114F and/or 126F or Higher)

120 degrees Fahrenheit is the safety recommendation against scalding, but 140° is the common default setting. Most experts agree that anything below 115 degrees creates a risk for bacteria to develop inside your water heater from stagnant water. This is an indication that the water heater may need adjustments or maintenance.



Garbage Disposal: Garbage Disposal Information

The inspection of the garbage disposal is restricted in scope. It does not extend to forecasting the lifespan of the unit or assessing its effectiveness in grinding food and other materials. Furthermore, the evaluation does not cover the condition or efficiency of the internal blades.

Dishwasher: Dishwasher Information

The dishwasher inspection is confined to basic operations, specifically limiting checks to a single fill and drain cycle. It excludes detailed evaluations of internal components such as the water pump and hoses. As such, the inspector cannot provide forecasts on the lifespan of the dishwasher or its internal parts. Additionally, the efficiency of the dishwasher in cleaning or drying dishes falls outside the scope of this inspection, which does not encompass full operational cycles.

Vent: Exhaust Hood Information

The exhaust fan/vent is evaluated using standard controls alone, without conducting smoke tests or other methods to measure airflow (CFMs) or effectiveness in air evacuation. The inspector is unable to estimate the remaining lifespan of the unit.

Range/Cooktop: Range Information

The inspection of the range or cooktop is confined in scope. It does not include predictions about the appliance's longevity, assessments of the BTU output of the burners, or evaluations of cooking performance. For gas models, this inspection does not cover the detection of gas leaks. A comprehensive examination by the Gas Company for all gas-powered appliances is advised beyond this basic inspection.

Oven: Oven Information

During the home inspection, only the oven's "Bake" feature is tested; other functions such as convection, browning, rotisserie, and warming drawers are not evaluated. The inspection verifies basic operation of the heating elements without testing every temperature setting, assessing if accurate cooking temperatures are reached, or confirming calibration with the oven settings. The effectiveness of the oven in cooking food and the lifespan of the unit remain undetermined. For gas models, this inspection does not include gas leak detection. A thorough review by the Gas Company for all gas-powered appliances is recommended beyond this inspection.

Disclosure : Disclosure

The kitchen inspection is both visual and functional. Appliances are operated, if power is supplied. Clocks, timers and other pre-setting devices on stoves and ovens are not within the scope of this inspection. Calibrations to cooking systems are not evaluated nor life expectancies given to dishwashers. Note: Dishwashers can fail at any time due to their complexity. Our review is to determine if the system is free of leaks and excessive corrosion.

The presence and/or odor of mold and/or mildew are possible anywhere there is moisture, such as: under sinks and plumbing at kitchens and bathrooms, plumbing leaks, crawl spaces, other rooms, etc. Often the moisture is hidden from view by personal property or if it is present within walls, under flooring, inside cabinets or in an inaccessible area. Determination of the presence of mold and/or mildew, or possible health hazards resulting from exposure to these organisms is not within the scope of this inspection. If client has any concerns regarding the presence of mold and/or mildew, we advise consulting with an Indoor Air Quality specialist or other qualified person, for any testing, evaluations and/or removal which may be desired prior to close of escrow.

Observations

12.2.1 Walls

 Recommendation / Evaluation

CRACKS - MINOR

Minor cracks in walls. Some settling is not unusual in a home of this age and these cracks are not a structural concern.



12.2.2 Walls

 Maintenance Item

PATCHING NOTED

Patched areas observed on walls in one or several locations.



12.3.1 Ceilings

 Recommendation / Evaluation

CRACKS - MINOR
Minor cracks in walls. Some settling is not unusual in a home of this age and these cracks are not a structural concern.

12.3.2 Ceilings

 Maintenance Item

PATCHING NOTED
Patched areas observed on Ceilings in one or several locations.

12.5.1 Windows

 Maintenance Item

BROKEN WINDOW LOCK



12.6.1 Cabinets

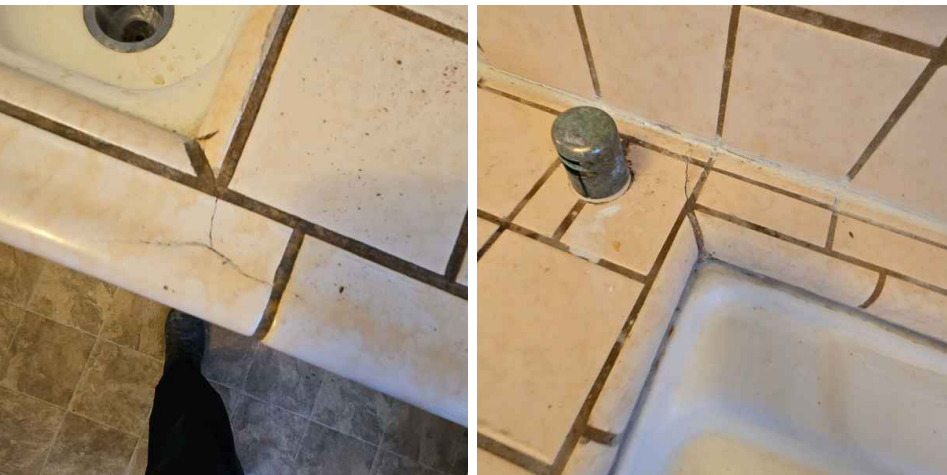
 Maintenance Item

CABINETS NEED ADJUSTING

12.7.1 Countertops

 Maintenance Item

COUNTERTOP - DAMAGED MATERIAL
During the inspection, it was observed that the kitchen countertop displayed multiple indications of damage, potentially including but not limited to cracks, chips, dings, burn marks, and general wear. These findings imply significant use and impact on both the appearance and functionality of the countertop.



12.8.1 Electrical

EXTENSION CORD WIRING Recommendation / Evaluation

Extension cord is used for a power supply. This is not a proper installation. Recommend correcting.



12.8.2 Electrical

NO GFIS Recommendation / Evaluation

There is no ground fault interrupter in this area (which should be the entire counter) which may not have been standard at the time of construction. However, today's standards require ground fault interrupters at all areas within six feet of running water and external outlets. We suggest installing a ground fault interrupter in this area as a safety upgrade. If it is connected to a GFI and NOT labeled this is still improper.

A GFCI receptacle can provide protection for other receptacles downstream on the circuit. GFCI protection can be provided by GFCI breakers, blank face devices, or GFCI receptacles

Code  Check**GFCIs****Receptacle Type****Blank face****Circuit breaker**

©2017 Code Check



12.8.3 Electrical

UNGROUNDED RECEPTACLES

One or more outlets were found to be ungrounded or open ground in this home and may not be limited to just one area. We will attempt to name all the areas that have them, however sometimes outlets maybe hidden, used, or not tested as we are only required to check a representative number of receptacles or outlets around the property. All receptacles or outlets ideally should be grounded and due to the age or configuration of this system, we are unable to determine if proper grounding is in place or can occur. Suggest consulting a licensed electrician for further review of the entire electrical system prior to release of contingencies.



Recommendation / Evaluation



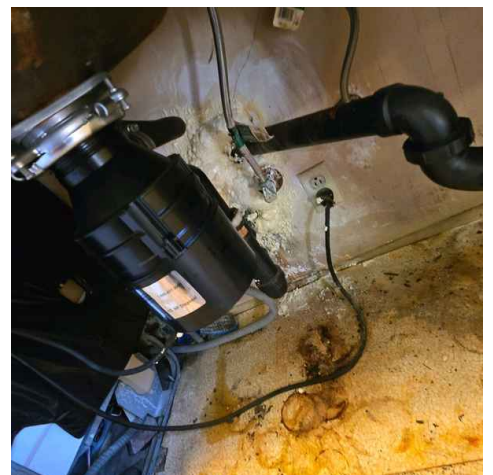
12.9.1 Sink, Faucets, & Drains

BELOW SINK - CORROSION

Corrosion on sink faucet, drain, and/or angle stops. No signs of leak at time of inspection. Repairs maybe needed.



Recommendation / Evaluation



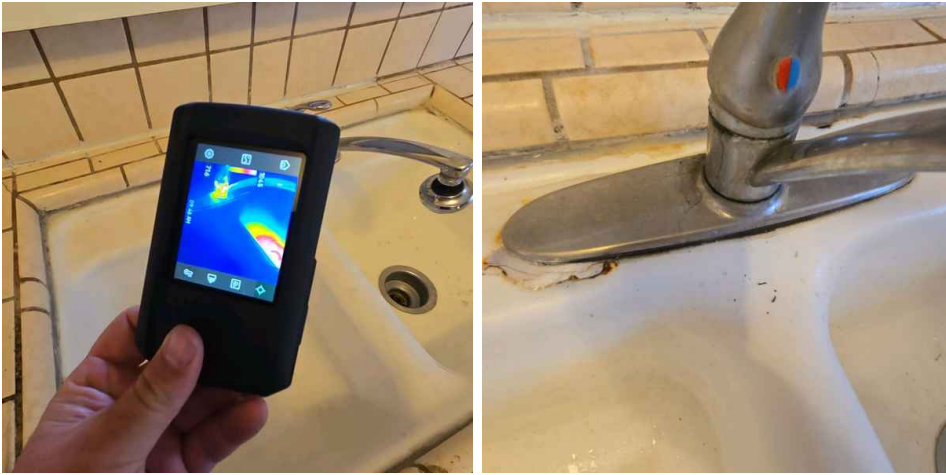
12.9.2 Sink, Faucets, & Drains

FAUCET - LEAK AT BASE

Faucet is leaking at base and sink connection. Repair or replacement is needed.



Recommendation / Evaluation



12.10.1 Garbage Disposal

INOPERABLE Recommendation / Evaluation

Garbage disposal was inoperable at the time of inspection. Recommend qualified handyman repair.

[Here is a DIY resource for troubleshooting.](#)

12.11.1 Dishwasher

DOOR NEEDS ADJUSTING Maintenance Item

12.11.2 Dishwasher

INOPERABLE Recommendation / Evaluation

Dishwasher was inoperable using standard controls. Recommend a qualified plumber or contractor evaluate.

12.11.3 Dishwasher

RUSTED TRAYS Recommendation / Evaluation

Rusted trays noted. No signs of leaks at time of inspection. Replacement maybe needed.

12.14.1 Oven

RANGE DOES NOT APPEAR TO FASTENED Safety Hazard

Range was not fastened to the floor/wall/cabinet. This poses a safety hazard to children. Recommend a qualified contractor secure range so it can't tip.

12.14.2 Oven

TOUCH SCREEN IS UNRESPONSIVE AND ERROR CODE Recommendation / Evaluation



Video

(click here to view on web)

13: BATHROOM - DOWNSTAIRS

		IN	NI	NP	O
13.1	Floors	X			X
13.2	Walls	X			X
13.3	Ceiling	X			
13.4	Doors	X			
13.5	Window(s)	X			X
13.6	Electrical	X			X
13.7	Exhaust Fan / Electric Heater			X	
13.8	Tub	X			X
13.9	Shower	X			
13.10	Sink/Faucet/Drains/Supply	X			X
13.11	Toilet	X			X
13.12	Counter/Cabinets	X			X
13.13	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Sink/Faucet/Drains/Supply: Photo Under Sink



Sink/Faucet/Drains/Supply: Hot Water Temperature (100 to 114F and/or 126F or Higher)

120 degrees Fahrenheit is the safety recommendation against scalding, but 140° is the common default setting. Most experts agree that anything below 115 degrees creates a risk for bacteria to develop inside your water heater from stagnant water. This is an indication that the water heater may need adjustments or maintenance.



Disclosure : Disclosure

Our focus in bathrooms is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently.

The presence and/or odor of mold and/or mildew are possible anywhere there is moisture, such as: under sinks and plumbing at kitchens and bathrooms, plumbing leaks, crawl spaces, other rooms, etc. Often the moisture is hidden from view by personal property or if it is present within walls, under flooring, inside cabinets or in an inaccessible area. Determination of the presence of mold and/or mildew, or possible health hazards resulting from exposure to these organisms is not within the scope of this inspection. If client has any concerns regarding the presence of mold and/or mildew, we advise consulting with an Indoor Air Quality specialist or other qualified person, for any testing, evaluations and/or removal which may be desired prior to close of escrow.

Observations

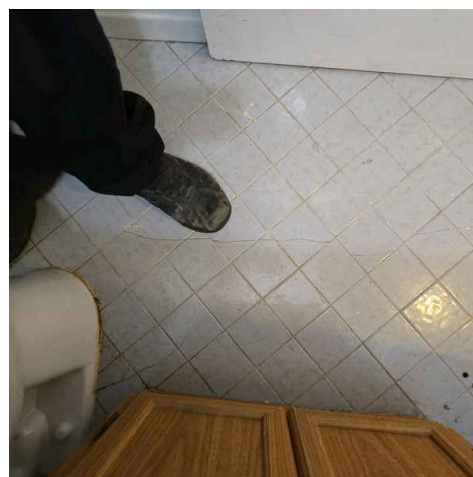
13.1.1 Floors

FLOORING - DAMAGED

During the inspection, damaged flooring was noted in one or more areas. This can included cracks, chips, torn, dings, and a broken material. These conditions, while not alarming, can be addressed to maintain minor safety concerns and aesthetics. We recommend consulting a flooring professional for necessary repairs or replacement.



Maintenance Item



13.2.1 Walls

MICROBIAL GROWTH

Evidence of Microbial growth noted and testing was waived by clients. This is a health and safety concern. We advise obtaining further evaluation from a qualified expert to determine the extent of the necessary corrective measures required.



Recommendation / Evaluation

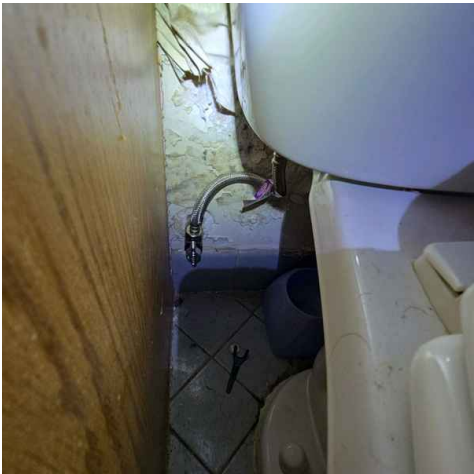


13.2.2 Walls

MOISTURE DAMAGE

Stains on the walls visible at the time of the inspection appeared to be the result of moisture intrusion. The source of moisture may have been corrected. Recommend further examination by a qualified contractor to provide confirmation.

Recommendation / Evaluation



13.5.1 Window(s)

WINDOW - DOES NOT OPEN

The window is unable to open, possibly due to being painted shut or stuck. We were unable to test the window. It is recommended to have the window adjusted and necessary corrections applied.

Maintenance Item



13.6.1 Electrical

UNGROUND RECEPTACLE

Recommendation / Evaluation

One or more outlets were found to be ungrounded or open ground in this home and may not be limited to just one area. We will attempt to name all the areas that have them, however sometimes outlets maybe hidden, used, or not tested as we are only required to check a representative number of receptacles or outlets around the property. All receptacles or outlets ideally should be grounded and due to the age or configuration of this system, we are unable to determine if proper grounding is in place or can occur. Suggest consulting a licensed electrician for further review of the entire electrical system prior to release of contingencies.



13.8.1 Tub

ENCLOSURE DOORS - HAVE BEEN REMOVED



Maintenance Item



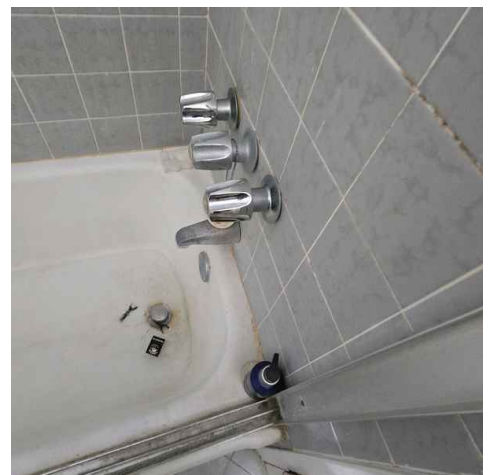
13.8.2 Tub

FLANGE - LOOSE



Maintenance Item

One or more faucet flanges are loose, suggest correcting.



13.8.3 Tub

TUB DRAINS SLOWLY



Recommendation / Evaluation

The tub is draining slowly, and the cause cannot be determined at this time. It may be necessary to clear the drain to address this issue.

13.8.4 Tub

Recommendation / Evaluation

WATER TEMPERATURE
BELOW 100F

During the inspection, it was observed that the water temperature is below 100°F, which may indicate a malfunctioning valve. It is recommended to consult a plumber for further evaluation and necessary repairs.



13.11.1 Toilet

Recommendation / Evaluation

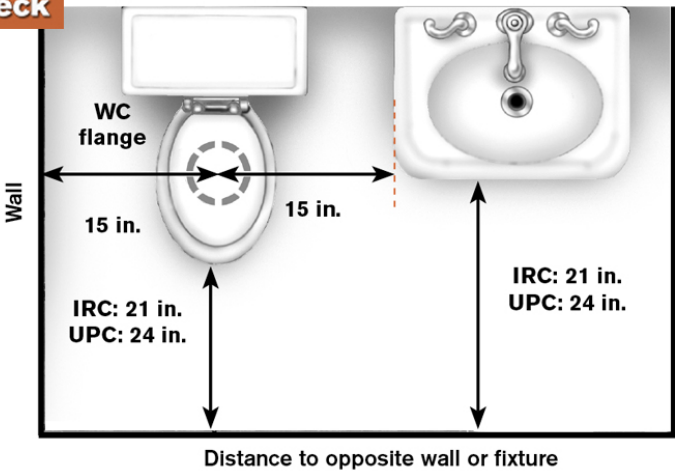
TOILET IS TOO CLOSE TO THE
WALL AND/OR SINK

toilet flange at least 15-1/2 inches from the center of the flange to the wall framing. The standard distance from the back wall is 12 inches, or 12-1/2 inches. Taking into account 1/2" drywall



Code Check

Fixture
Layout



© Code Check 2019

13.12.1 Counter/Cabinets

Maintenance Item

CABINET - DAMAGED

14: BATHROOM - MASTER

		IN	NI	NP	O
14.1	Floors	X			X
14.2	Walls	X			X
14.3	Ceiling	X			
14.4	Doors	X			X
14.5	Window(s)	X			
14.6	Electrical	X			
14.7	Exhaust Fan / Electric Heater	X			
14.8	Tub			X	
14.9	Shower	X			X
14.10	Sink/Faucet/Drains/Supply	X			X
14.11	Toilet	X			
14.12	Counter/Cabinets	X			X
14.13	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

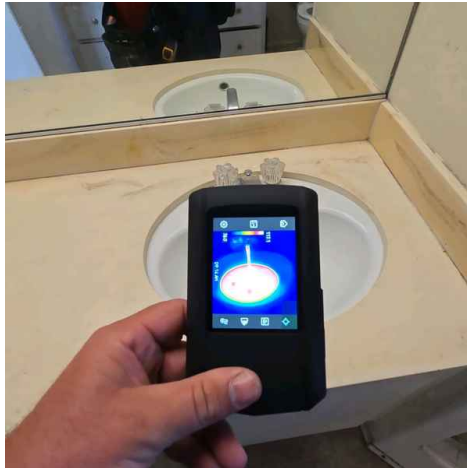
Information

Exhaust Fan / Electric Heater: Electric Heater - Operable



Shower: Hot Water Temperature (100 to 114F or 126F or Higher)

120 degrees Fahrenheit is the safety recommendation against scalding, but 140° is the common default setting. Most experts agree that anything below 115 degrees creates a risk for bacteria to develop inside your water heater from stagnant water. This is an indication that the water heater or valves may need adjustments, maintenance, or replacement.

**Sink/Faucet/Drains/Supply: Hot Water Temperature (Between 115F - 125F)****Sink/Faucet/Drains/Supply: Photo Under Sink**

Disclosure : Disclosure

Our focus in bathrooms is directed at identifying visible water damage and/or problems. We may not always mention common faults such as stuck stoppers or dripping faucets. If considered important, you should check these items independently.

The presence and/or odor of mold and/or mildew are possible anywhere there is moisture, such as: under sinks and plumbing at kitchens and bathrooms, plumbing leaks, crawl spaces, other rooms, etc. Often the moisture is hidden from view by personal property or if it is present within walls, under flooring, inside cabinets or in an inaccessible area. Determination of the presence of mold and/or mildew, or possible health hazards resulting from exposure to these organisms is not within the scope of this inspection. If client has any concerns regarding the presence of mold and/or mildew, we advise consulting with an Indoor Air Quality specialist or other qualified person, for any testing, evaluations and/or removal which may be desired prior to close of escrow.

Observations

14.1.1 Floors

HIGH SPOTS NOTED



During the inspection, it was noted that high spots were present in certain areas . These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

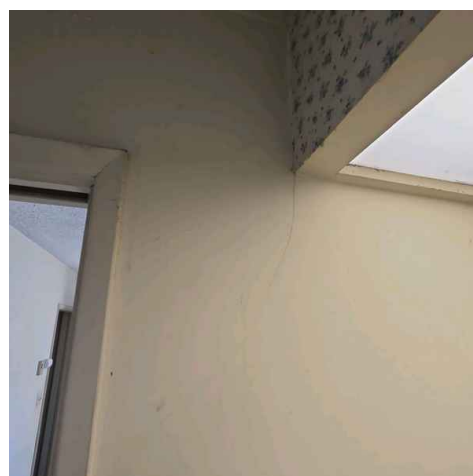
High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

14.2.1 Walls

CRACKS - MINOR



Minor cracks in walls. Some settling is not unusual in a home of this age and these cracks are not a structural concern.



14.2.2 Walls

PAINT FLAKING

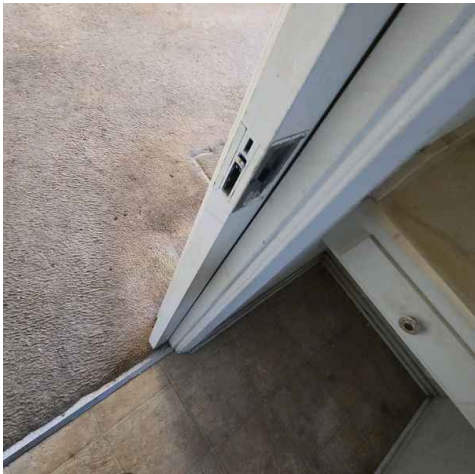


Noticed areas of paint flaking off in various sections, indicating potential aging or exposure to elements. Further evaluation or repainting may be necessary to maintain aesthetics and protect underlying surfaces.



14.4.1 Doors
BROKEN HANDLE

 Maintenance Item



14.9.1 Shower
TILES - CRACKED

 Recommendation / Evaluation

Enclosure has one or more cracked tiles. Recommend a bathroom contractor or handyman repair or replace.



14.10.1 Sink/Faucet/Drains/Supply
BELOW SINK - CORROSION

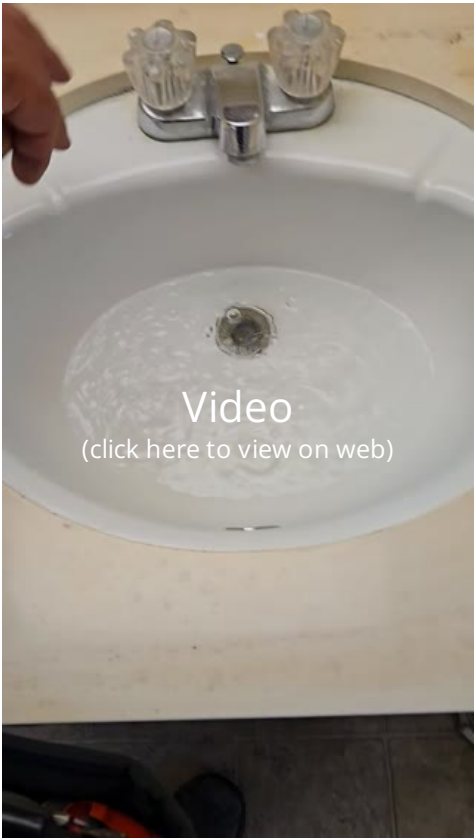
 Recommendation / Evaluation

Corrosion on sink faucet, drain, and/or angle stops. No signs of leak at time of inspection. Repairs maybe needed.



14.10.2 Sink/Faucet/Drains/Supply
SINK - DRAINS SLOWLY
Recommend a plumber

 Recommendation / Evaluation



14.10.3 Sink/Faucet/Drains/Supply
SINK - MISSING STOPPER

 Maintenance Item

14.12.1 Counter/Cabinets
HANDLES - MISSING
Recommend installing handles as needed

 Recommendation / Evaluation



15: LIVING ROOM

		IN	NI	NP	O
15.1	Floors	X			X
15.2	Walls	X			X
15.3	Ceilings	X			
15.4	Doors	X			
15.5	Windows	X			X
15.6	Electrical	X			X
15.7	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Observations

15.1.1 Floors



HIGH SPOTS NOTED

During the inspection, it was noted that high spots were present in certain areas. These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

15.1.2 Floors



SQUEAK NOTED

During the inspection, it was observed that squeaking noises were present in certain areas of the flooring. Squeaking in flooring can be caused by various factors such as natural movement of the subfloor, loose fasteners, or uneven installation of flooring materials.

Squeaking is a common occurrence in many homes and does not necessarily indicate serious structural issues. It is often a result of normal wear and tear, changes in humidity, or minor imperfections in the installation process.

To address the squeaking, it is recommended to evaluate the affected areas and determine the underlying cause. This may involve tightening loose fasteners, reinforcing subflooring if necessary, or addressing any moisture-related issues.

15.2.1 Walls



CRACKS - MINOR

Minor cracks in walls. Some settling is not unusual in a home of this age and these cracks are not a structural concern.



15.5.1 Windows

**WINDOW - DOES NOT OPEN**

The window is unable to open, possibly due to being painted shut or stuck. We were unable to test the window. It is recommended to have the window adjusted and necessary corrections applied.

15.6.1 Electrical

**COVER PLATE - DAMAGED**

One or more receptacles have a damaged/cracked cover plate. Recommend replacement.



15.6.2 Electrical

**UNGROUNDED RECEPTACLE**

One or more outlets were found to be ungrounded or open ground in this home and may not be limited to just one area. We will attempt to name all the areas that have them, however sometimes outlets maybe hidden, used, or not tested as we are only required to check a representative number of receptacles or outlets around the property. All receptacles or outlets ideally should be grounded and due to the age or configuration of this system, we are unable to determine if proper grounding is in place or can occur.

Suggest consulting a licensed electrician for further review of the entire electrical system prior to release of contingencies.

16: DINING ROOM

		IN	NI	NP	O
16.1	Floors	X			X
16.2	Walls	X			
16.3	Ceilings	X			
16.4	Doors	X			X
16.5	Windows	X			
16.6	Electrical	X			X
16.7	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Observations

16.1.1 Floors



HIGH SPOTS NOTED

During the inspection, it was noted that high spots were present in certain areas . These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

16.4.1 Doors



DOOR RUBS ON JAMB

The door is rubbing against the jamb, suggesting a need for adjustment.

[Here is a helpful DIY article](#) on how to fix a sticking door.

16.6.1 Electrical



UNGROUNDED RECEPTACLE

One or more outlets were found to be ungrounded or open ground in this home and may not be limited to just one area. We will attempt to name all the areas that have them, however sometimes outlets maybe hidden, used, or not tested as we are only required to check a representative number of receptacles or outlets around the property. All receptacles or outlets ideally should be grounded and due to the age or configuration of this system, we are unable to determine if proper grounding is in place or can occur.

Suggest consulting a licensed electrician for further review of the entire electrical system prior to release of contingencies.

17: FAMILY ROOM

		IN	NI	NP	O
17.1	Floors	X			X
17.2	Walls	X			X
17.3	Ceilings	X			X
17.4	Doors	X			X
17.5	Windows	X			
17.6	Electrical	X			X
17.7	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Observations

17.1.1 Floors

 Maintenance Item

HIGH SPOTS NOTED

During the inspection, it was noted that high spots were present in certain areas . These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

17.2.1 Walls

 Recommendation / Evaluation

DETERIORATED WOOD

One or more sections of the wall are deteriorated. Recommend a Termite Company evaluate the whole home.



17.2.2 Walls

 Recommendation / Evaluation

MICROBIAL GROWTH

Evidence of Microbial growth noted and testing was waived by clients. This is a health and safety concern. We advise obtaining further evaluation from a qualified expert to determine the extent of the necessary corrective measures required.



17.3.1 Ceilings

PATCHING NOTED

Patched areas observed on Ceilings in one or several locations.

Maintenance Item



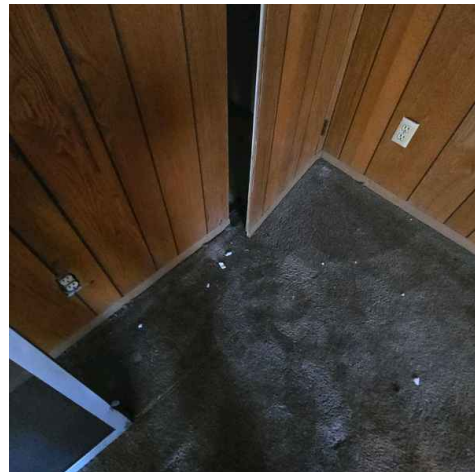
17.4.1 Doors

DOOR RUBS ON JAMB

Maintenance Item

The door is rubbing against the jamb, suggesting a need for adjustment.

[Here is a helpful DIY article](#) on how to fix a sticking door.

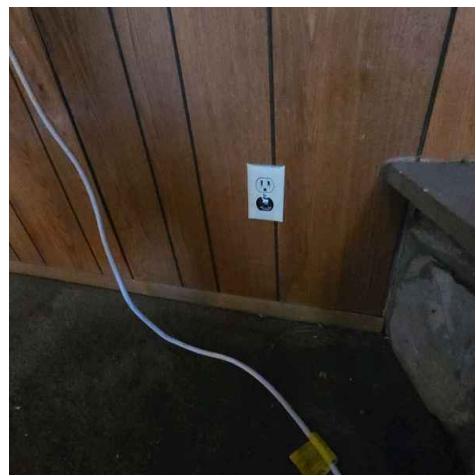


17.6.1 Electrical

BROKEN OUTLET

Recommendation / Evaluation

One or more outlets are broken. Recommend replacing for safety.

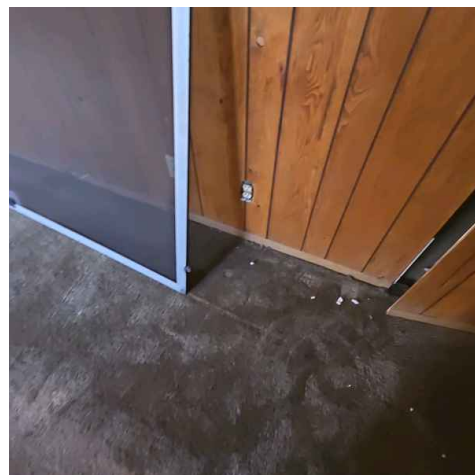


17.6.2 Electrical

COVER PLATE - LOOSE

Maintenance Item

One or more cover plates are loose and need securing.



17.6.3 Electrical

INOPERABLE OUTLET

Recommendation / Evaluation

One or more outlets are not working at time of inspection. Recommend further review.



18: HALL & STAIRS - UPSTAIRS

		IN	NI	NP	O
18.1	Floors	X			X
18.2	Walls	X			X
18.3	Ceilings	X			
18.4	Doors			X	
18.5	Windows	X			
18.6	Electrical	X			
18.7	Stairs and Railing	X			X
18.8	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Disclosure: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Observations

18.1.1 Floors



Maintenance Item

SQUEAK NOTED

During the inspection, it was observed that squeaking noises were present in certain areas of the flooring. Squeaking in flooring can be caused by various factors such as natural movement of the subfloor, loose fasteners, or uneven installation of flooring materials.

Squeaking is a common occurrence in many homes and does not necessarily indicate serious structural issues. It is often a result of normal wear and tear, changes in humidity, or minor imperfections in the installation process.

To address the squeaking, it is recommended to evaluate the affected areas and determine the underlying cause. This may involve tightening loose fasteners, reinforcing subflooring if necessary, or addressing any moisture-related issues.

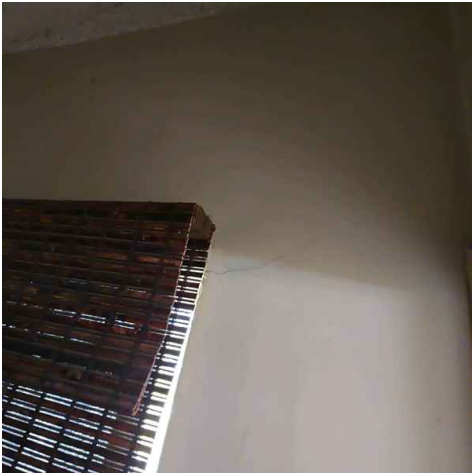
18.2.1 Walls



Recommendation / Evaluation

CRACKS - MINOR

Minor cracks in walls. Some settling is not unusual in a home of this age and these cracks are not a structural concern.



18.2.2 Walls

MICROBIAL GROWTH

 Recommendation / Evaluation

Evidence of Microbial growth noted and testing was waived by clients. This is a health and safety concern. We advise obtaining further evaluation from a qualified expert to determine the extent of the necessary corrective measures required.

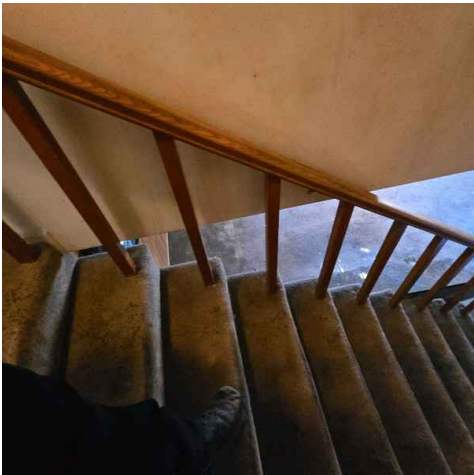


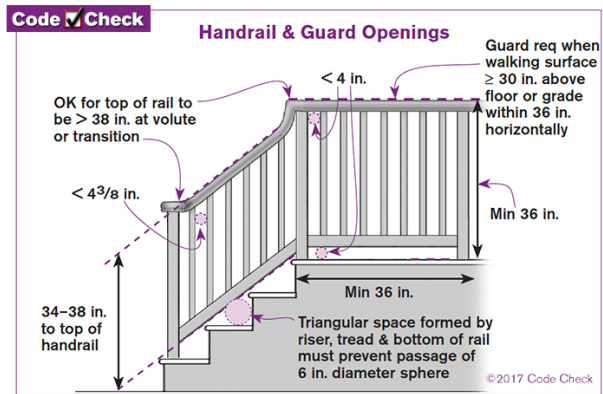
18.7.1 Stairs and Railing

RAILING SPACING GREATER THAN 4"

 Recommendation / Evaluation

We recommend closing all balusters to within a 4-inch proximity to ensure safety. This adjustment aims to minimize the risk of accidents and enhance the overall security of the property.





19: HALL - DOWNSTAIRS

		IN	NI	NP	O
19.1	Floors	X			X
19.2	Walls	X			X
19.3	Ceilings	X			X
19.4	Doors	X			
19.5	Windows			X	
19.6	Electrical	X			
19.7	Stairs and Railing			X	
19.8	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Observations

19.1.1 Floors



HIGH SPOTS NOTED

During the inspection, it was noted that high spots were present in certain areas. These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

19.2.1 Walls



PAINT FLAKING

Noticed areas of paint flaking off in various sections, indicating potential aging or exposure to elements. Further evaluation or repainting may be necessary to maintain aesthetics and protect underlying surfaces.



19.3.1 Ceilings



CRACKS - MINOR

Minor cracks in walls. Some settling is not unusual in a home of this age and these cracks are not a structural concern.



20: BEDROOM - DOWNSTAIRS FRONT

		IN	NI	NP	O
20.1	Floors	X			X
20.2	Walls	X			
20.3	Ceilings	X			
20.4	Doors	X			
20.5	Windows	X			X
20.6	Electrical	X			X
20.7	Closet	X			
20.8	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Observations

20.1.1 Floors



HIGH SPOTS NOTED

During the inspection, it was noted that high spots were present in certain areas. These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

20.1.2 Floors



SQUEAK NOTED

During the inspection, it was observed that squeaking noises were present in certain areas of the flooring. Squeaking in flooring can be caused by various factors such as natural movement of the subfloor, loose fasteners, or uneven installation of flooring materials.

Squeaking is a common occurrence in many homes and does not necessarily indicate serious structural issues. It is often a result of normal wear and tear, changes in humidity, or minor imperfections in the installation process.

To address the squeaking, it is recommended to evaluate the affected areas and determine the underlying cause. This may involve tightening loose fasteners, reinforcing subflooring if necessary, or addressing any moisture-related issues.

20.5.1 Windows



WINDOW - DOES NOT OPEN

The window is unable to open, possibly due to being painted shut or stuck. We were unable to test the window. It is recommended to have the window adjusted and necessary corrections applied.

20.6.1 Electrical

COVER PLATE - DAMAGED

Maintenance Item

One or more receptacles have a damaged/cracked cover plate.
Recommend replacement.



21: BEDROOM - DOWNSTAIRS REAR

		IN	NI	NP	O
21.1	Floors	X			X
21.2	Walls	X			
21.3	Ceilings	X			
21.4	Doors	X			
21.5	Windows	X			X
21.6	Electrical	X			X
21.7	Closet	X			
21.8	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Observations

21.1.1 Floors



HIGH SPOTS NOTED

During the inspection, it was noted that high spots were present in certain areas. These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

21.1.2 Floors



SQUEAK NOTED

During the inspection, it was observed that squeaking noises were present in certain areas of the flooring. Squeaking in flooring can be caused by various factors such as natural movement of the subfloor, loose fasteners, or uneven installation of flooring materials.

Squeaking is a common occurrence in many homes and does not necessarily indicate serious structural issues. It is often a result of normal wear and tear, changes in humidity, or minor imperfections in the installation process.

To address the squeaking, it is recommended to evaluate the affected areas and determine the underlying cause. This may involve tightening loose fasteners, reinforcing subflooring if necessary, or addressing any moisture-related issues.

21.5.1 Windows



WINDOW - INOPERABLE CRANKS

One or more cranks are malfunctioning and require adjustments to operate correctly.



21.6.1 Electrical

COVER PLATE - DAMAGED

One or more receptacles have a damaged/cracked cover plate.
Recommend replacement.



Maintenance Item



22: BEDROOM - MASTER

		IN	NI	NP	O
22.1	Floors	X			X
22.2	Walls	X			X
22.3	Ceilings	X			X
22.4	Doors	X			
22.5	Windows	X			
22.6	Electrical	X			X
22.7	Closet	X			X
22.8	Disclosure	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Disclosure: Addition

This area appears to be an addition to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits before the close of escrow.

Observations

22.1.1 Floors



Maintenance Item

HIGH SPOTS NOTED

During the inspection, it was noted that high spots were present in certain areas. These high spots can be attributed to various factors such as settlement, natural wood movement, construction practices, or flooring material.

High spots in the flooring are common in buildings and are typically a result of natural processes or construction practices. While they may affect the aesthetics of the flooring, they do not necessarily indicate significant structural issues.

22.1.2 Floors



Maintenance Item

SQUEAK NOTED

During the inspection, it was observed that squeaking noises were present in certain areas of the flooring. Squeaking in flooring can be caused by various factors such as natural movement of the subfloor, loose fasteners, or uneven installation of flooring materials.

Squeaking is a common occurrence in many homes and does not necessarily indicate serious structural issues. It is often a result of normal wear and tear, changes in humidity, or minor imperfections in the installation process.

To address the squeaking, it is recommended to evaluate the affected areas and determine the underlying cause. This may involve tightening loose fasteners, reinforcing subflooring if necessary, or addressing any moisture-related issues.

22.2.1 Walls

CRACKS - MINOR

Recommendation / Evaluation

Minor cracks in walls. Some settling is not unusual in a home of this age and these cracks are not a structural concern.



22.2.2 Walls

PAINT FLAKING

Maintenance Item

Noticed areas of paint flaking off in various sections, indicating potential aging or exposure to elements. Further evaluation or repainting may be necessary to maintain aesthetics and protect underlying surfaces.



22.3.1 Ceilings

WATER STAIN(S) ON CEILING

Recommendation / Evaluation

There is a stain on ceiling that shows no signs of moisture at time of inspection.

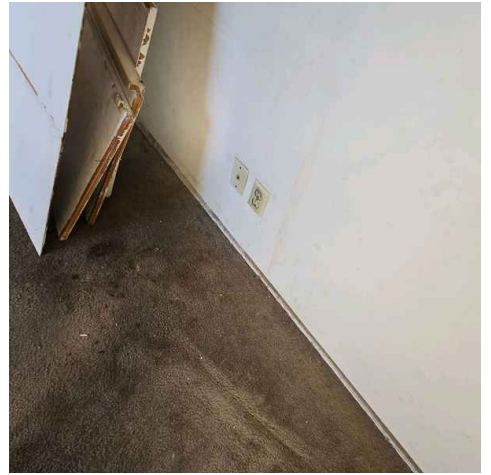


22.6.1 Electrical

OUTLET - LOOSE

Recommendation / Evaluation

One or more outlets are loose. Recommend securing.



22.6.2 Electrical

UNABLE TO DETERMINE FUNCTION OF ONE SWITCH

Maintenance Item

During the inspection, it was noted that there was one or more light switches whose function could not be determined at the time of our evaluation. Despite testing and examination of the surrounding areas, the specific appliance, fixture, or area controlled by this switch remained unclear. This situation may occur due to various reasons, such as wiring issues, a disconnected fixture, or the switch being part of a more complex electrical system not immediately apparent without further investigation.

22.7.1 Closet

CLOSET DOOR - OFF ITS TRACK

Recommendation / Evaluation

One or more closet doors are off the track. Recommend correction to prevent door from falling down.



23: ATTIC

		IN	NI	NP	O
23.1	Access Location	X			
23.2	Sheathing	X			
23.3	Evidence of leakage	X			X
23.4	Attic Insulation	X			
23.5	Ventilation	X			X
23.6	Attic Comments	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Access Location: Attic
Master Bedroom Closet,
Downstairs Rear Bedroom Closet
Limited

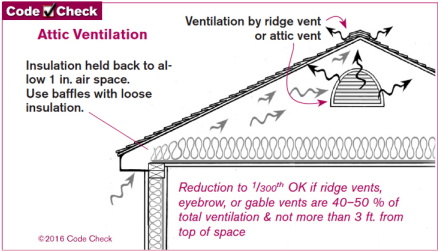
Sheathing: Material
1x6 boards

Evidence of leakage: Leaking
See roof comments, Dry Water
Stains

**Attic Insulation: Approximate
Average Thickness**
3

Attic Insulation: Insulation
Yes

Ventilation: Ventilation
Adequate



Access Location: Attic Information

Certain sections of the attic may remain unseen or unreachable due to restrictions on access.

Attic Comments: Could Not See Everything in Attic

I could not see and inspect everything in the attic space. The access is restricted and my inspection is limited.

Observations

23.3.1 Evidence of leakage

POSSIBLE ACTIVE WATER STAINS IN THE ATTIC
Water stains noted in the attic. Due to the condition of the roof recommend further consultation. There's a possibility roof is not watertight.

Recommendation / Evaluation

23.5.1 Ventilation

VENT DAMAGED

Recommendation / Evaluation

Vent was damaged, which could allow pests to enter. Recommend a qualified attic or ventilation contractor repair.

24: ADDITIONS

		IN	NI	NP	O
24.1	Recommend Checking For Property Permits	X			

IN = InspectedNI = Not InspectedNP = Not PresentO = Observations

Information

Recommend Checking For Property Permits: Recommend Checking On Permits

This home appears to have addition (s) to the original structure. We are unable to determine if permits were issued at the time of construction. We advise checking city records to verify the existence of permits for any and all modifications to the structure and its components before the close of escrow. We are not able to verify if these were all done with permits.

25: HOME MAINTENANCE

		IN	NI	NP	O
25.1	Home Maintenance	X			
25.2	Your Job As a Homeowner	X			

IN = Inspected NI = Not Inspected NP = Not Present O = Observations

Information

Home Maintenance: Easy Seasonal Maintenance

FALL

HOME MAINTENANCE CHECKLIST

INCORPORATE THESE SIMPLE STEPS INTO YOUR HOME MAINTENANCE ROUTINE AS WE TRANSITION FROM SUMMER TO FALL:



- ☐ Check your home for water leaks.
- ☐ Have a certified chimney sweep inspect and clean the flues and check your fireplace damper.
- ☐ Clean off the covers and change the batteries in the smoke and carbon monoxide detectors/alarms.
- ☐ Blow out your lawn irrigation system.
- ☐ Clean the gutters and downspouts.
- ☐ Replace window screens with storm windows.
- ☐ Have a heating professional check your heating system every year.
- ☐ Remove any birds' nests from chimney flues and outdoor electrical fixtures.
- ☐ Protect your home from frozen pipes.
- ☐ Run all gas-powered lawn equipment until the fuel is gone.
- ☐ Test your emergency generator.



WINTER

HOME MAINTENANCE CHECKLIST

INCORPORATE THESE SIMPLE STEPS INTO YOUR HOME MAINTENANCE ROUTINE AS WE TRANSITION FROM FALL TO WINTER:



- ☐ Make sure any firewood stored outdoors is at least 20 feet away from your home's foundation.
- ☐ Familiarize responsible family members with the location and operation of the main gas valve and other appliance valves.
- ☐ Clean the clothes dryer exhaust duct, damper, and the space under the dryer.
- ☐ Make sure that the caulking or weatherstripping around the windows and doors is adequate in order to keep down your heating and cooling costs.
- ☐ Make sure all electrical holiday decorations have tight connections.
- ☐ Clean the kitchen exhaust hood and air filter.
- ☐ Test all GFCI devices.
- ☐ Make sure that the caulking around your bathroom fixtures is adequate to prevent water from seeping into the sub-flooring.



SPRING

HOME MAINTENANCE CHECKLIST

INCORPORATE THESE SIMPLE STEPS INTO YOUR HOME MAINTENANCE ROUTINE AS WE TRANSITION FROM WINTER TO SPRING:



- ☐ Check for damage to your roof.
- ☐ Check all the fascia and trim for deterioration.
- ☐ Have a professional air conditioning contractor inspect and maintain your system as recommended by the manufacturer.
- ☐ Check your water heater for rust, leaks, and other issues.
- ☐ Check your home for water leaks.
- ☐ Replace all extension cords that have become brittle, worn or damaged.
- ☐ Check your fire extinguishers and replace, if necessary.



SUMMER

HOME MAINTENANCE CHECKLIST

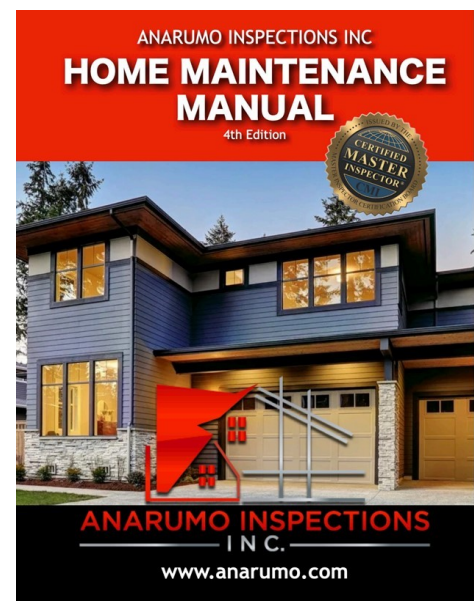
INCORPORATE THESE SIMPLE STEPS INTO YOUR HOME MAINTENANCE ROUTINE AS WE TRANSITION FROM SPRING TO SUMMER:



- ☐ Check your children's backyard play equipment for safety issues.
- ☐ Check your wood deck or concrete patio for deterioration.
- ☐ Check the nightlights at the top and bottom of all stairways.
- ☐ Check the exterior siding.
- ☐ Check all window and door locks.
- ☐ Check the water hoses on the washing machine, refrigerator, icemaker, and dishwasher for cracks and bubbles.
- ☐ Devise and practice an emergency escape plan with your family.



Your Job As a Homeowner: Read Your Digital Home Maintenance Manual



I have provided you a digital home maintenance manual. It includes information on how your home works, how to maintain it, and how to save energy. Please write my contact information within the book's inside cover, so that you can always contact me.

We're neighbors! So, feel free to reach out whenever you have a house question or issue.

REPLACE THIS VIDEO WITH A VIDEO OF YOU Talking About R...


Share



Watch on  YouTube

Your Job As a Homeowner: Schedule a Home Maintenance Inspection



Even the most vigilant homeowner can, from time to time, miss small problems or forget about performing some routine home repairs and seasonal maintenance. That's why an Annual Home Maintenance Inspection will help you keep your home in good condition and prevent it from suffering serious, long-term and expensive damage from minor issues that should be addressed now.

The most important thing to understand as a new homeowner is that your house requires care and regular maintenance. As time goes on, parts of your house will wear out, break down, deteriorate, leak, or simply stop working. But none of these issues means that you will have a costly disaster on your hands if you're on top of home maintenance, and that includes hiring an expert once a year.

Just as you regularly maintain your vehicle, consider getting an Annual Home Maintenance Inspection as part of the cost of upkeep for your most valuable investment your home.

Your InterNACHI-Certified Professional Inspector can show you what you should look for so that you can be an informed homeowner. Protect your family's health and safety, and enjoy your home for years to come by having an Annual Home Maintenance Inspection performed every year.

Schedule next year's maintenance inspection with your home inspector today!

Every house should be inspected every year as part of a homeowner's routine home maintenance plan. Catch problems before they become major defects.

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Your Job As a Homeowner: What Really Matters in a Home Inspection

Now that you've bought your home and had your inspection, you may still have some questions about your new house and the items revealed in your report.

Home maintenance is a primary responsibility for every homeowner, whether you've lived in several homes of your own or have just purchased your first one. Staying on top of a seasonal home maintenance schedule is important, and your InterNACHI Certified Professional Inspector can help you figure this out so that you never fall behind. Don't let minor maintenance and routine repairs turn into expensive disasters later due to neglect or simply because you aren't sure what needs to be done and when.

Your home inspection report is a great place to start. In addition to the written report, checklists, photos, and what the inspector said during the inspection not to mention the sellers disclosure and what you noticed yourself it's easy to become overwhelmed. However, it's likely that your inspection report included mostly maintenance recommendations, the life expectancy for the home's various systems and components, and minor imperfections. These are useful to know about.

But the issues that really matter fall into four categories:

1. major defects, such as a structural failure;
2. things that can lead to major defects, such as a small leak due to a defective roof flashing;
3. things that may hinder your ability to finance, legally occupy, or insure the home if not rectified immediately; and
4. safety hazards, such as an exposed, live buss bar at the electrical panel.

Anything in these categories should be addressed as soon as possible. Often, a serious problem can be corrected inexpensively to protect both life and property (especially in categories 2 and 4).

Most sellers are honest and are often surprised to learn of defects uncovered during an inspection. It's important to realize that sellers are under no obligation to repair everything mentioned in your inspection report. No house is perfect. Keep things in perspective as you move into your new home.

And remember that homeownership is both a joyful experience and an important responsibility, so be sure to call on your InterNACHI Certified Professional Inspector to help you devise an annual maintenance plan that will keep your family safe and your home in good condition for years to come.

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