

LEGEND

- CMU RETAINING WALL (ITEM 4)
- CONCRETE RETAINING WALL (ITEM 3)
- CMU RETAINING WALL WITH GLASS RAILING
- CONCRETE RETAINING WALL WITH GLASS RAILING

ALL RETAINING WALLS TO RECEIVE WATERPROOFING PER DETAIL 15/A6.1

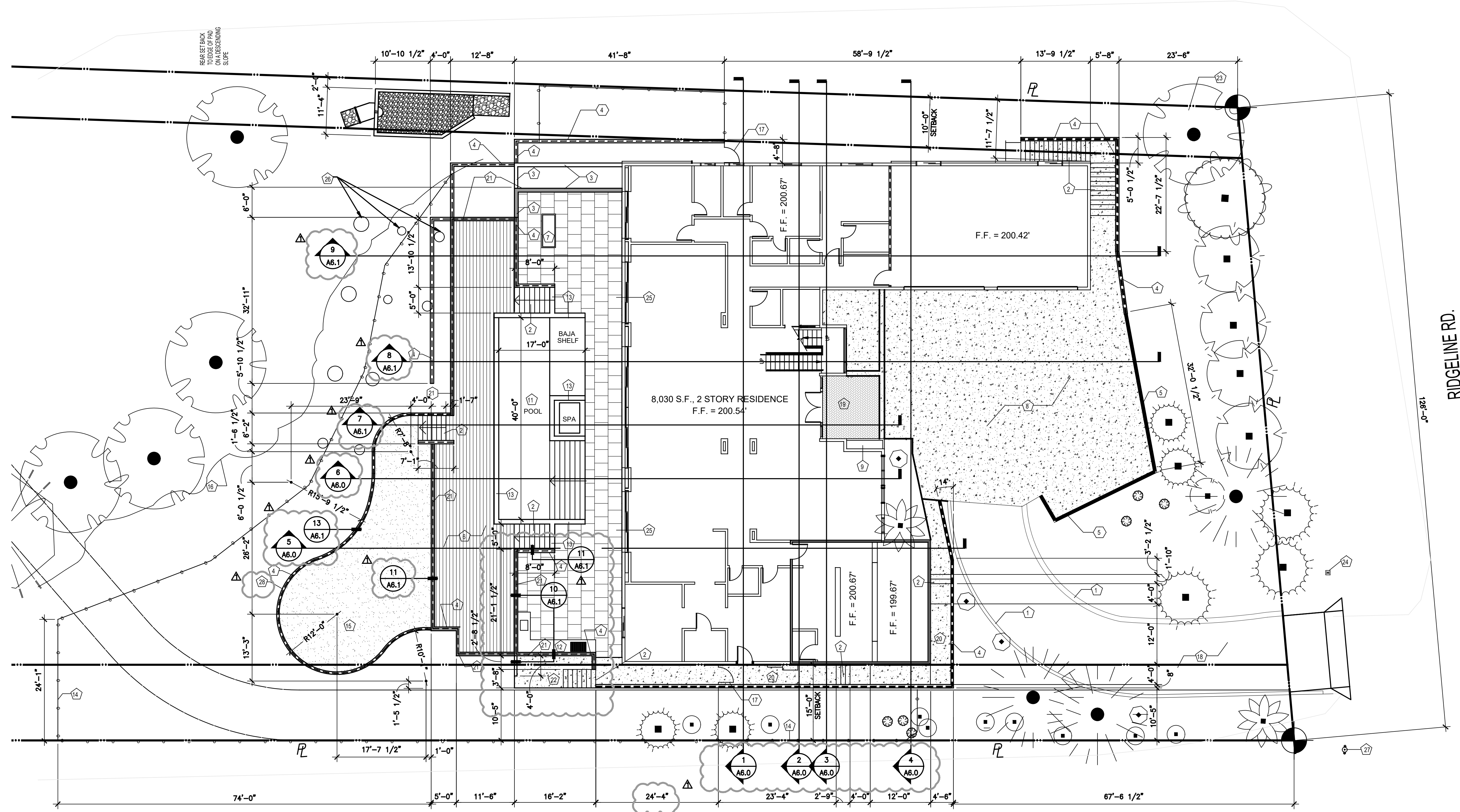
ADDED SECTIONS AND DETAIL BUBBLES TO RETAINING WALLS FOR RAILING

Item #	Description
1	MOW CURB
2	CONCRETE STEPS - 6" HIGH RISER x 12" DEEP TREADS
3	NEW CONCRETE RETAINING WALL - SEE RETAINING WALL PLANS - PAINTED WHITE TO MATCH BLDG.
4	NEW CMU RETAINING WALL - SEE RETAINING WALL PLANS - PAINTED WHITE TO MATCH BLDG.
5	EXISTING RETAINING WALL TO REMAIN - 4'-0"
6	COMPOSITE DECKING: TRUORGANICS - DENALI
7	FIRE PIT - T.B.D
8	CONCRETE - MATCH GARAGE
9	WATER FEATURE (T.B.D.)
10	SPA: SEPARATE SUBMITTAL
11	POOL: SEPARATE SUBMITTAL
12	BAR/BBQ COUNTER: SEPARATE SUBMITTAL
13	POOL STONE VENEER: SEPARATE SUBMITTAL
14	5' TUBULAR STEEL FENCE - SEE LANDSCAPING PLANS - DETAIL A/LC-5
15	FIBAR 300 PLAY GROUND
16	EXISTING TREE LINE

Item #	Description
17	STEEL GATE - SEE DETAIL A/LC-5
18	CONCRETE DRIVEWAY TO REMAIN
19	ENTRYWAY: 4X12 STONE PAVERS 60MM CASITA PALAZZO STONE COLLECTION, RUNNER PATTERN COLOR TO BE BORREGO-FLAT EDGE FINISH. AVAILABLE THROUGH ORCO BLOCK AND HARDSCAPE. (714) 527-2239
20	CONCRETE WALKWAY
21	SHADED AREA DENOTES GLASS RAILING PANEL - SEE RETAINING WALL PLANS & DETAIL 11/A6.1
22	POOL EQUIPMENT - SEPARATE SUBMITTAL
23	(1) (E) CORNER TREE TO REMAIN, PROTECT IN PLACE MAY BE REMOVED IF AFFECTED BY CONSTRUCTION OF RETAINING WALL
24	EXISTING WATER METER TO REMAIN
25	EXTERIOR GRADE PORCELAIN TILES (T.B.D.)
26	EXISTING CAISSONS TO BE CUT / REMOVED
27	EXISTING FIRE HYDRANT TO REMAIN
28	STEEL FENCING - SEE DETAIL 13/A6.1

* NOTE: ALL EXPOSED PORTIONS OF RETAINING WALLS AND FREESTANDING WALLS SHALL BE OF STUCCO TO MATCH THE HOUSE

*SEE SHEET C-1, C-2, C-3, OF GRADING AND DRAINAGE PLANS FOR RETAINING WALL HEIGHTS



ENLARGED SITE PLAN
SCALE: 1" = 10'-0"

PRIMIOR

750 N. DIAMOND BAR BLVD., SUITE 188
DIAMOND BAR, CALIFORNIA 91765
PHONE: 800-735-9873 | EMAIL: INFO@PRIMIOR.COM

PROJECT:
LA VISTA RESIDENCE
23509 RIDGELINE ROAD
DIAMOND BAR, CA 91765

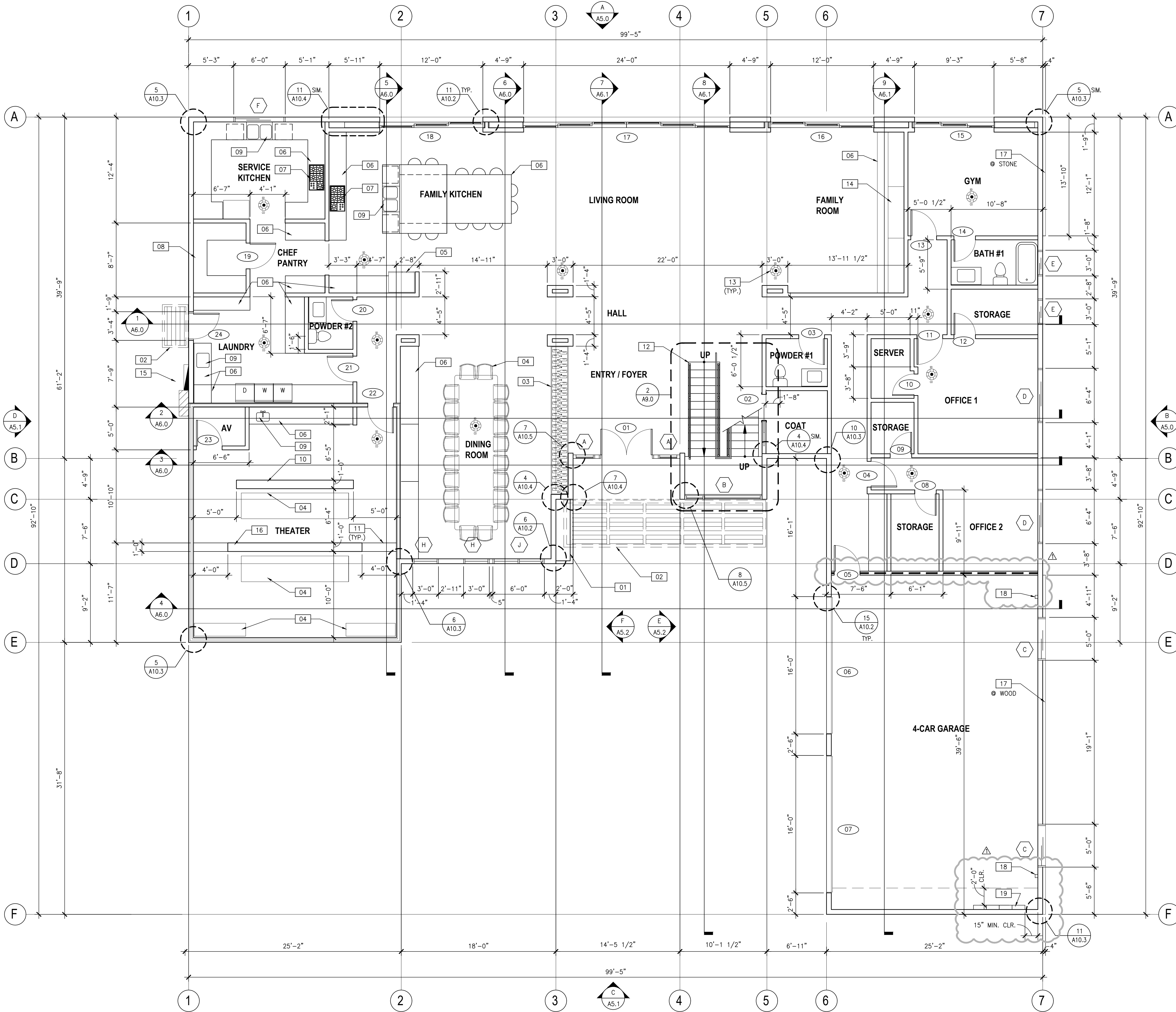
PROFESSIONAL STAMP:
REGISTERED ARCHITECT
CHARLES NOLAN
MINYARD
C-33926
5/31/2023
RENEWAL DATE
STATE OF CALIFORNIA
Charles Nolan

REVISIONS	
06/17/21	5TH PLAN CHECK SUBMITTAL
01/08/21	4TH PLAN CHECK SUBMITTAL
6/18/20	HOA SUBMITTAL
2/27/20	3RD PLAN CHECK SUBMITTAL
12/23/19	OWNER CHANGES
10/28/19	2ND PLAN CHECK SUBMITTAL
7/16/19	1ST PLAN CHECK SUBMITTAL

ISSUE DATE: 04/23/19

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
A1.3



- FLOOR PLAN NOTES**
- 01 WATER FEATURE - SEE LANDSCAPING
 - 02 MAPES CANOPY - SEE DETAIL 14/A10.4
 - 03 WINE DISPLAY - BY OTHERS
 - 04 FURNITURE - BY OTHERS
 - 05 REFRIGERATOR - T.B.D.
 - 06 MILLWORK - BY OTHERS
 - 07 COOKTOP UNIT - T.B.D.
 - 08 SHELF AND ROD - ROD @ 5'-2" A.F.F. SHELF @ 5'-10" A.F.F.
 - 09 SINK - SEE PLUMBING
 - 10 34" HIGH LOW WALL - SEE DETAIL 8/A10.7
 - 11 6" HIGH x 12" DEEP CONCRETE STEPS - SEE DETAIL 11/A10.7
 - 12 STAIRS - SEE SHEET A9.0
 - 13 SMOKE DETECTOR / CARBON MONOXIDE SENSOR
 - 14 GAS FIREPLACE - T.B.D.
 - 15 ELECTRICAL SERVICE PANEL - SEE ELECTRICAL
 - 16 24" HIGH LOW WALL - SEE DETAIL 9/A10.7
 - 17 FURRED WALL - SEE DETAILS 4/A10.3 AND 14/A10.3
 - 18 ELECTRICAL CAR CHARGING STATION - SEE ELECTRICAL
 - 19 TANKLESS WATER HEATER - SEE PLUMBING

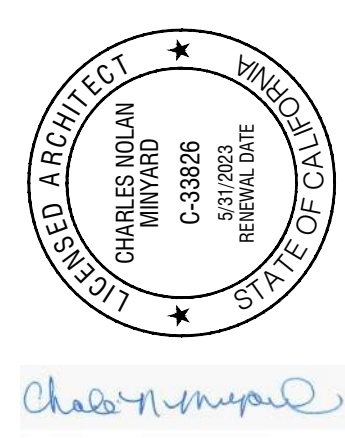
NOTES

1. ALL EXTERIOR DIMENSIONS TO EXTERIOR SLAB - ALL INTERIOR DIMENSIONS TO FRAMING MEMBERS

- FLOOR PLAN LEGEND**
- 1-HOUR RATED WALL - 2"x4" @ 16" O.C. (1 A10.7, 2 A10.7)
 - 2"x4" @ 16" O.C. STUD WALL (SECOND FLOOR) (1 A10.7)
 - 2"x6" @ 16" O.C. STUD WALL - REFER TO STRUCTURAL DRAWINGS FOR DOUBLE 2"x6" STUD AND SHEAR WALL LOCATIONS (1 A10.7)
 - 2"x6" @ 16" O.C. STUD WALL WITH SOUND BOARD
 - WINDOW - SEE WINDOW ELEVATIONS - SHEET A8.0
 - DOOR - SEE DOOR SCHEDULE - SHEET A7.0
 - SMOKE DETECTOR / CARBON MONOXIDE

1ST FLOOR PLAN
SCALE: 3/16"=1'-0"

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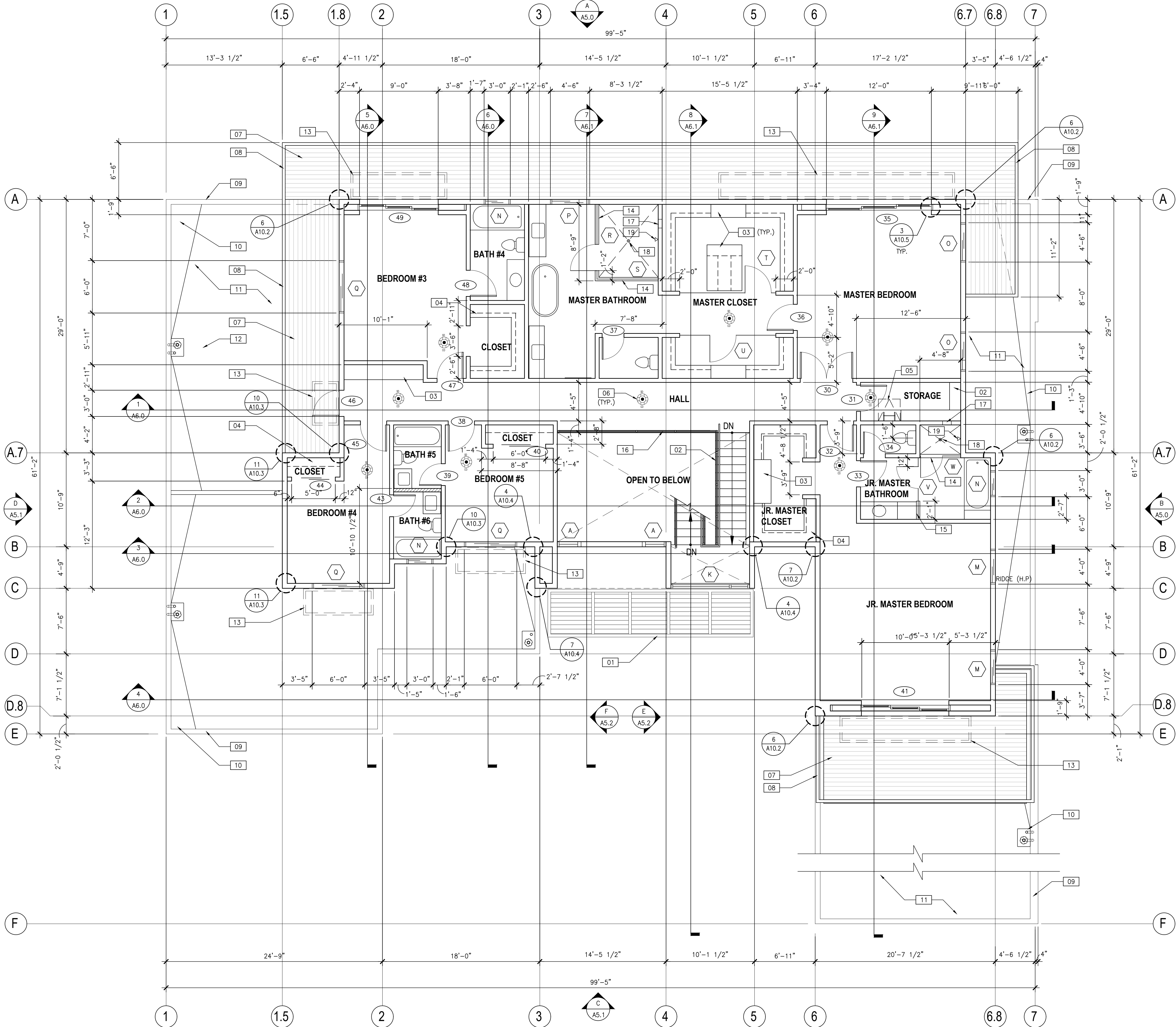
1ST FLOOR PLAN	
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12/23/2019	OWNER CHANGES
02/27/2020	3RD PLAN CHECK SUBMITTAL
06/18/2020	HCA SUBMITTAL
01/08/2021	4TH PLAN CHECK SUBMITTAL
06/17/2021	5TH PLAN CHECK SUBMITTAL

DATE:

DRAWN BY:

SHEET NUMBER:

A2.1



2nd FLOOR PLAN
SCALE: 3/16"=1'-0"

FLOOR PLAN NOTES

- 01 MAPES CANOPY - SEE DETAIL 14/A10.4 - SIM
- 02 STAIRS - SEE SHEET A9.0
- 03 MILLWORK - BY OTHERS
- 04 SHELF AND ROD - ROD @ 5'-2" A.F.F. SHELF @ 5'-10" A.F.F.
- 05 ROOF ACCESS - SEE DETAILS 13/A10.8 AND 15/A10.8
- 06 SMOKE DETECTOR / CARBON MONOXIDE SENSOR
- 07 BALCONY DECKING - SEE SHEET 10.6
- 08 BALCONY RAILING - SEE SHEET 10.6
- 09 PARAPET - SEE ROOF PLAN - A4.0
- 10 ROOF / OVERFLOW DRAIN - SEE DETAILS 15/A10.0 AND 16/A10.4
- 11 SINGLE PLY ROOFING - CLASS A
- 12 CRICKET - SEE DETAIL 16/A10.0
- 13 MAPES CANOPY ABOVE - SEE DETAIL 14/A10.4 - SIM.
- 14 6" HIGH CURB - SEE DETAIL 7/A10.8
- 15 36" HIGH WALL - SEE DETAIL 1/9.0
- 16 INTERIOR BALCONY RAILING SYSTEM - SEE DETAIL 4/A10.8
- 17 SHOWER INSET - SEE DETAIL 12/A10.8
- 18 FLOOR DRAIN - SEE DETAIL 8/A10.8
- 19 SHOWER WALL - SEE DETAIL 11/A10.8

NOTES

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- ### DOOR - SEE DOOR SCHEDULE - SHEET A7.0
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07/08/2021	4TH PLAN CHECK SUBMITTAL
06/17/2021	5TH PLAN CHECK SUBMITTAL

DATE:

DRAWN BY:

SHEET NUMBER:

A2.2

PROJECT:

LA VISTA RESIDENCE

23509 RIDGELINE ROAD

DIAMOND BAR, CALIFORNIA 91765

2ND FLOOR PLAN

DATE:

DRAWN BY:

SHEET NUMBER:

A2.2

PROJECT:

LA VISTA RESIDENCE

23509 RIDGELINE ROAD

DIAMOND BAR, CALIFORNIA 91765

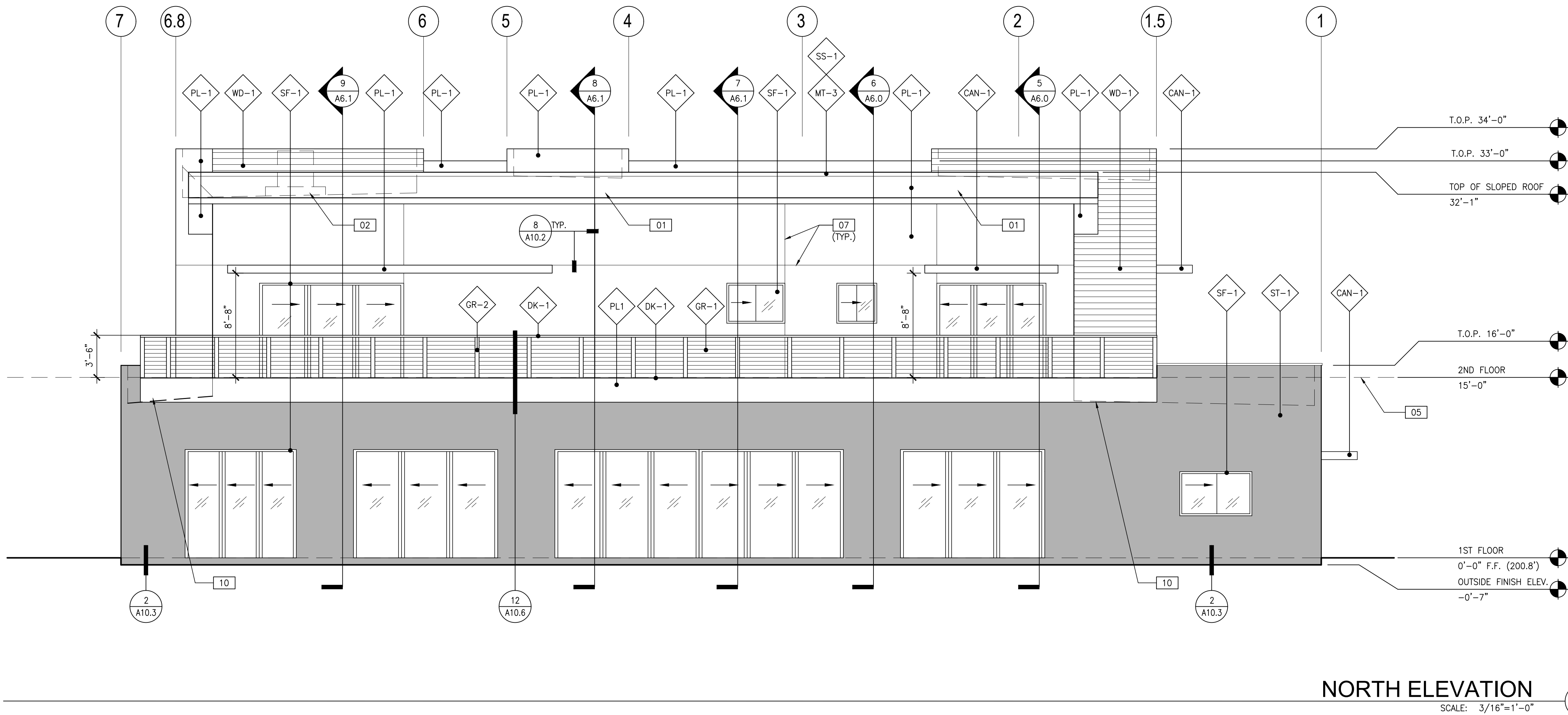
2ND FLOOR PLAN

DATE:

DRAWN BY:

SHEET NUMBER:

A2.2



ELEVATION NOTES

- 01 ROOF LINE BEYOND
- 02 HVAC EQUIPMENT ON PLATFORM BEYOND
- 03 PARAPET WALL OPENING - SEE ROOF PLAN FOR LOCATIONS
- 04 ROOF ACCESS - SEE DETAILS 13/A10.8 AND 15/A10.8
- 05 2ND FLOOR LEVEL
- 06 3" DOWNSPOUT - STRAPPED TO BUILDING, PAINTED TO MATCH ADJACENT SURFACE
- 07 CONTROL JOINT - MAX 120 SQ. FT. - SEE DETAIL 8/A10.2
- 08 EXHAUST VENT - SEE MECHANICAL
- 09 ELECTRICAL PANELS - SEE ELECTRICAL
- 10 RAIN ESCAPE SYSTEM WITH 3" PVC DRAIN PIPES

FINISH LEGEND

- PL-1 SMOOTH PLASTER W/ CHANNEL REVEALS, FINISH: SANTA BARBARA (SMOOTH), COLOR: CRYSTAL WHITE
- MT-1 ALUMINUM COMPOSITE PANEL: ALUCOBOND - (HIDDEN FASTENERS) FINISH: BRUSHED METAL COLOR: SILVER GREY.
- MT-2 ALUMINUM COMPOSITE PANEL: ALUCOBOND - (HIDDEN FASTENERS) FINISH: NATURAL CONCRETE COLOR: BLACK CEMENT
- MT-3 GALVANIZED SHEET METAL CAP SHEET PAINTED BLACK
- ST-1 ELDORADO STONE - FINISH: STACKED STONE - COLOR: DRY CREEK
- SF-1 SLIDING DOOR/WINDOW SYSTEMS (DARK BRONZE ANODIZED)
- CAN-1 MAPES CANOPY SYSTEM, SUPER LUMIDECK, FLAT SOFFIT WITH 8" C-CHANNEL - COLOR: EXTRA DARK BRONZE
- WD-1 NICHHA - 6" SYSTEM - VINTAGEWOOD SERIES - CEDAR
- GR-1 GUARDRAIL CABLES - ATLANTIS RAIL - GREY
- GR-2 GUARDRAIL POST - 4" ALUMINUM POST - (DARK BRONZE ANODIZED)
- DK-1 TRUEORANICS COMPOSITE DECKING - DENALI WIDE (16' PLANKS/ALTERNATE)
- SS-1 STANDING SEAM - FINISH: SMOOTH COLOR: BLACK

ALTERNATE:

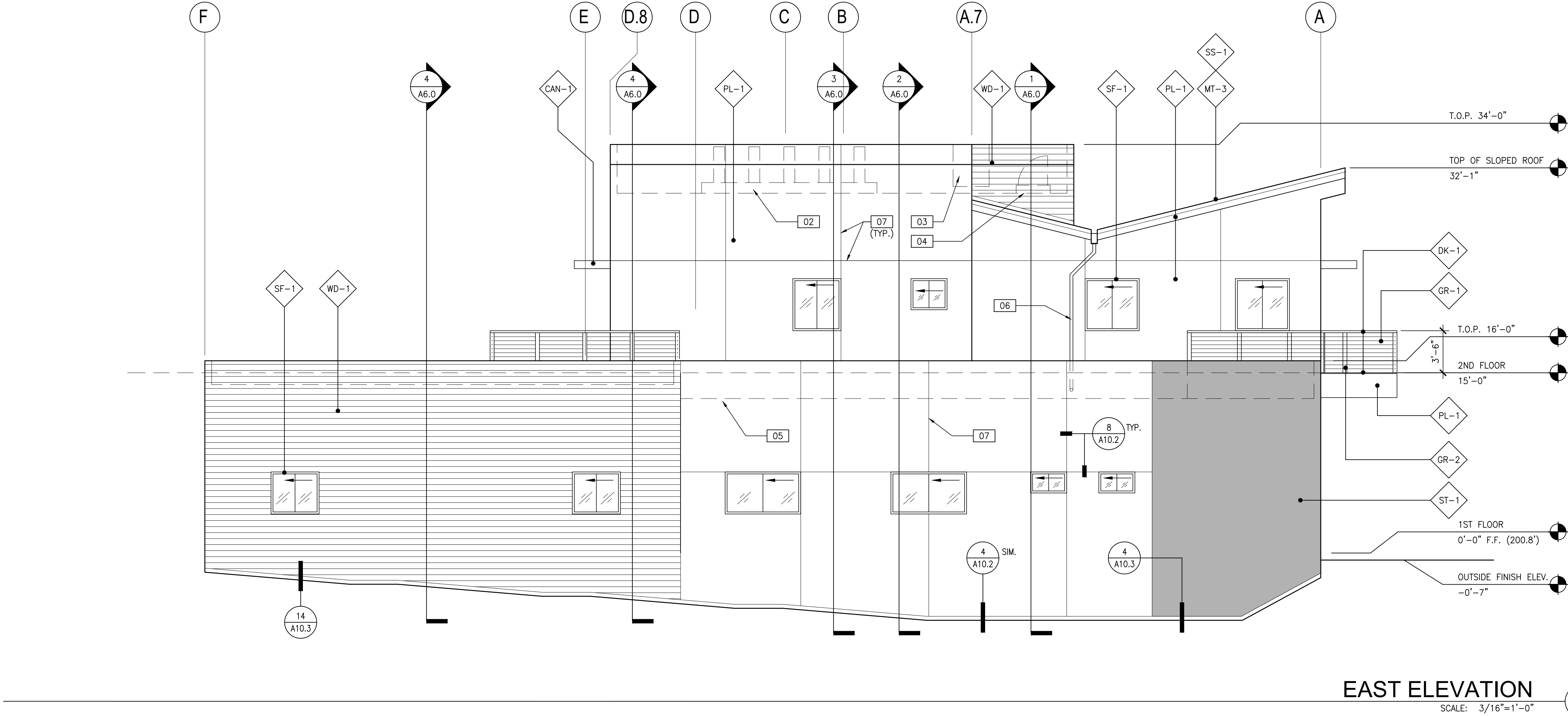
- PROVIDE ALTERNATE COST FOR GLASS IN LIEU OF CABLE SYSTEM AT BALCONY
- GL-1 1/2" TEMPERED GLASS WITH SIDE GLASS SUPPORT CLAMPS. 4 PER GLASS PANEL

GENERAL NOTES

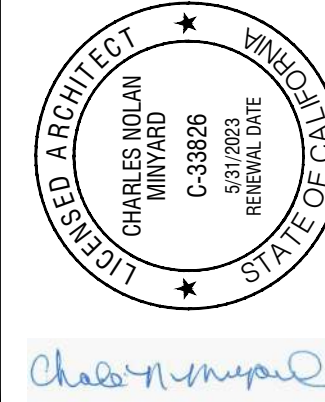
ALL ROOF OR GROUND-MOUNTED MECHANICAL EQUIPMENT (e.g., AIR CONDITIONING, HEATING, VENTILATION DUCTS AND EXHAUST, WATER HEATERS, ETC.), WASTE AND STORAGE AREAS, AND UTILITY SERVICES SHALL BE SCREENED FROM PUBLIC VIEW FROM ADJUTING PUBLIC STREETS AND RIGHTS-OF-WAY, AND ADJUTING AREAS) ZONED FOR RESIDENTIAL OR OPEN SPACE USES, INCLUDING VIEWS FROM ABOVE THE SUBJECT PROJECT. THE METHOD OF SCREENING SHALL BE ARCHITECTURALLY COMPATIBLE WITH OTHER SITE DEVELOPMENT IN TERMS OF COLORS, MATERIALS, AND ARCHITECTURAL STYLE SUBJECT TO APPROVAL BY THE DIRECTOR. THE SCREENING DESIGN/CONSTRUCTION SHALL BLEND WITH THE DESIGN OF THE STRUCTURE(S) AND INCLUDE APPROPRIATELY INSTALLED AND MAINTAINED LANDSCAPING WHEN ON GROUND.

FIRE PROTECTION NOTES

- FIRE PROTECTION STANDARDS
- IN THE CASE OF A CONFLICT, WHERE MORE RESTRICTIVE PROVISIONS ARE CONTAINED IN THE UNIFORM BUILDING CODE OR IN THE FIRE CODE, THE MORE RESTRICTIVE PROVISIONS SHALL PREVAIL.
 - ROOF SHALL BE COVERED WITH NONCOMBUSTIBLE MATERIALS AS DEFINED IN THE BUILDING CODE. OPEN EAVE ENDS SHALL BE STOPPED IN ORDER TO PREVENT BIRD NESTS OR OTHER COMBUSTIBLE MATERIAL LODGING WITHIN THE ROOF AND TO PRECLUDE ENTRY OF FLAMES.
 - EXTERIOR WALLS SHALL BE SURFACED WITH NONCOMBUSTIBLE OR FIRE-RESISTANT MATERIALS.
 - BALCONIES, PATIO ROOFS, EAVES AND OTHER SIMILAR OVERHANGS SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION OR SHALL BE PROTECTED BY FIRE-RESISTANT MATERIAL IN COMPLIANCE WITH THE BUILDING CODE.



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06/17/2021	5TH PLAN CHECK SUBMITTAL

DRAWN BY:

SHEET NUMBER:
A5.0

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- 02 HVAC EQUIPMENT ON PLATFORM BEYOND
- 03 PARAPET WALL OPENING - SEE ROOF PLAN FOR LOCATIONS
- 04 ROOF ACCESS - SEE DETAILS 13/A10.8 AND 15/A10.8
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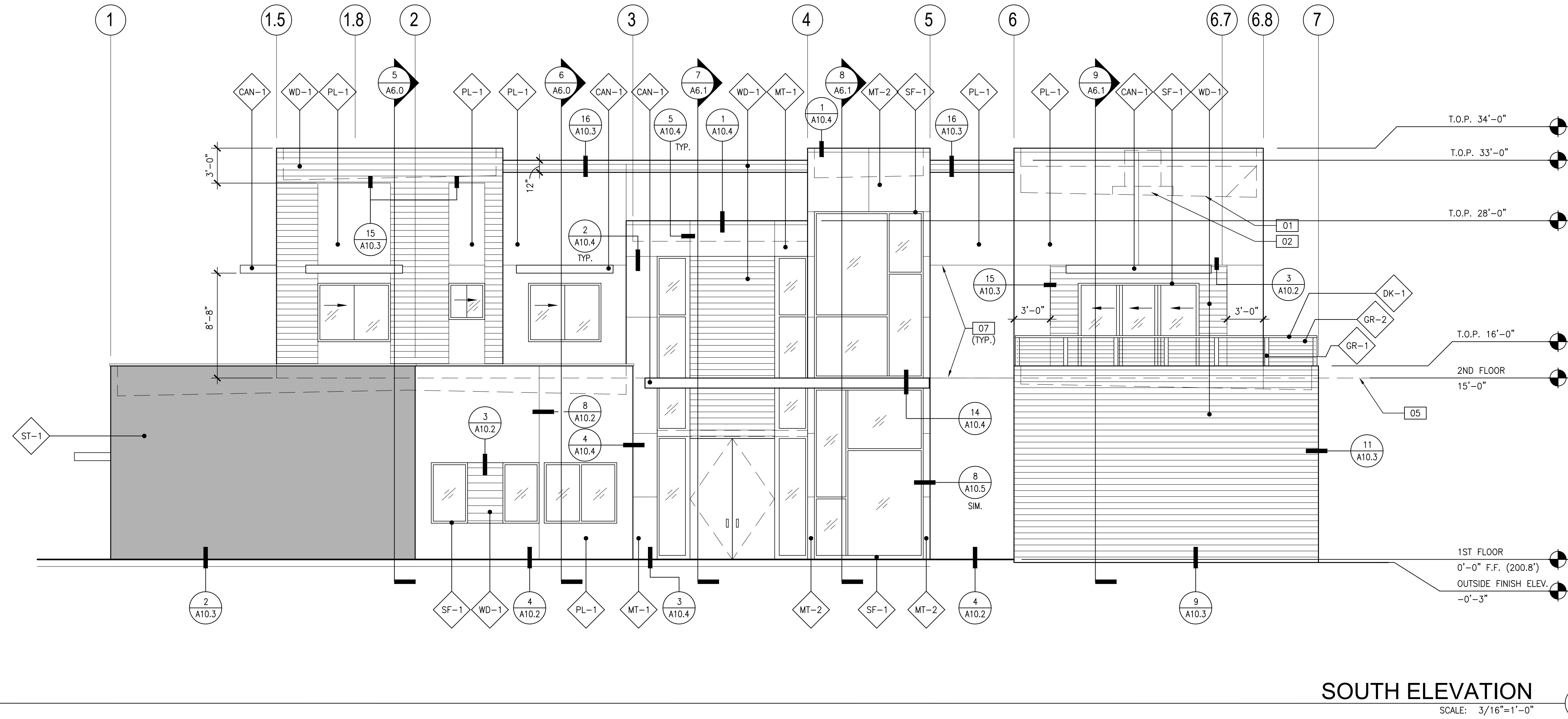
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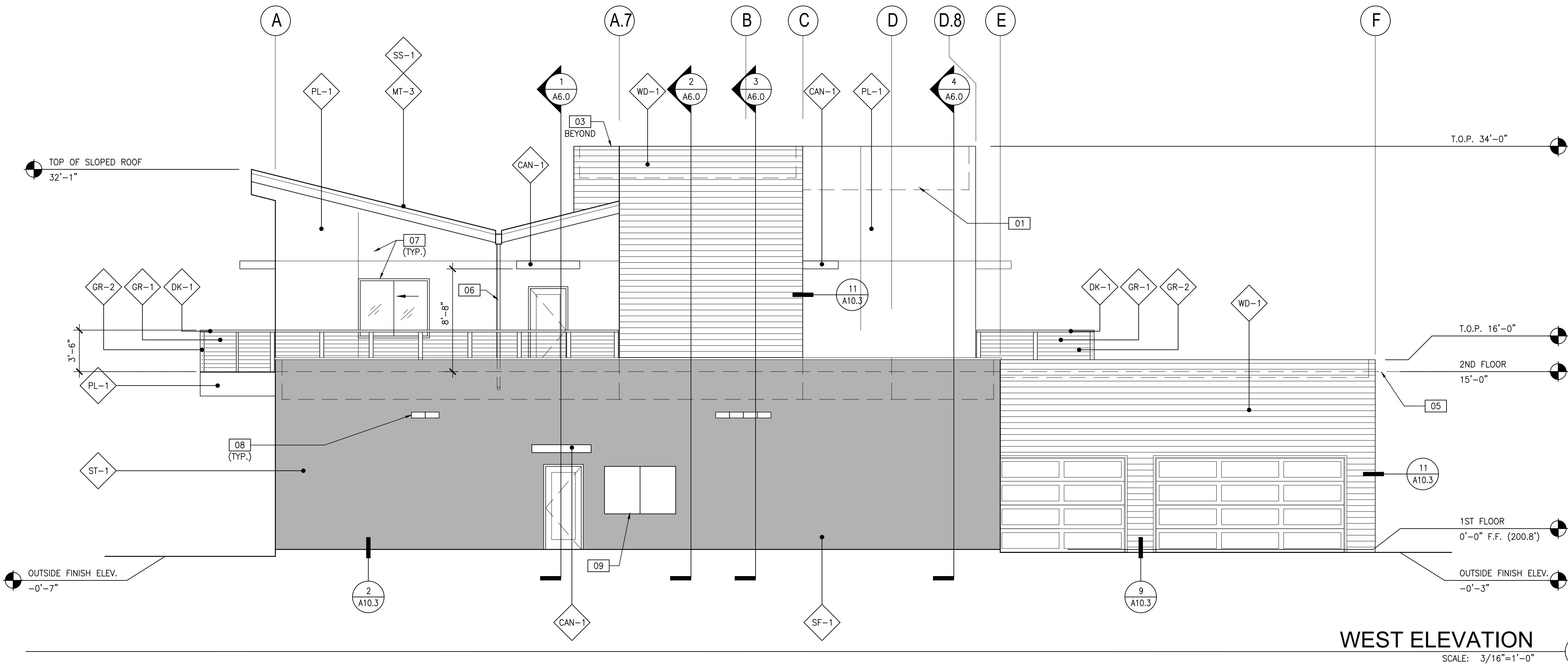
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SOUTH ELEVATION

SCALE: 3/16"=1'-0"

C

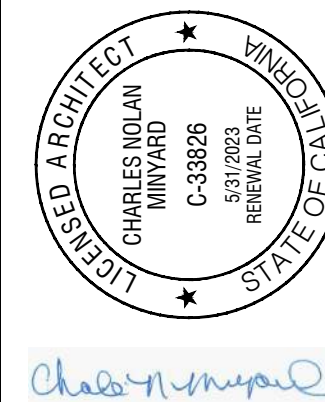


WEST ELEVATION

SCALE: 3/16"=1'-0"

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A5.1