



Inspection Report

Jill Aguilar

Property Address:
9191 San Diego Way #47
Atascadero CA 93422

9/17/2025



Harper Homes: Home Inspection Services

Dylan Linnenkamp
3940 Broad Street Suite 7 PMB 200
San Luis Obispo, CA, 93401

805-975-9440

Table of Contents

Cover Page.....1

Table of Contents.....3

Summary.....4

Intro Page.....6

1 Grounds.....8

2 Exterior.....10

3 Heating / Air Conditioning.....18

4 Plumbing System.....20

5 Electrical System.....24

6(A) Master Bathroom.....29

6(B) Hall Bathroom.....30

7 Interiors.....31

8 Kitchen.....33

9 Structure.....35

Summary

The following items or discoveries are either **defective** and **do not function as intended** or to be considered **health and safety items**. Recommend further evaluation and repair by a **licensed contractor or specialty tradesperson**. This summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer **read the complete report**.

2. Exterior

Defect / Functionally Deficient Items:

2.0 ROOF

FURTHER EVALUATION

Areas of the roofing material are weathered and in need of replacement. Recommend further evaluation with cost to replace and remaining life determined by a licensed roofing contractor.

2.4 SIDING / TRIM

(1) REPAIR NEEDED

Areas of the fascia, trim and siding contain moisture damage. Refer to the pest report for further information on this condition and make repairs as prescribed.

4. Plumbing System

Safety / Health Deficient Items:

4.0 WATER HEATERS

(3) INSTALLATION NEEDED

Water heater safety valve piping missing and needs properly installed to prevent an unsafe condition if the TPR is activated.

5. Electrical System

Safety / Health Deficient Items:

5.2 BREAKERS / FUSES

REPAIR NEEDED

Double wires improperly installed on a breaker in the sub panel. Alteration or repairs should be made to prevent an unsafe condition.

5.3 CIRCUIT WIRING (where visible)

ALTERATION NEEDED

Wire terminates improperly in the kitchen. Exposed wire needs installed in a junction box or removed back to the previous connection point.

5.6 RECEPTACLE OUTLETS

(1) INSTALLATION NEEDED

Exterior receptacle without a weather cover noted at the right exterior. Installation is needed to insure full safety of this system.

5.7 SYSTEM GROUNDING / GROUND FAULT CIRCUIT INTERRUPT

INSTALLATION NEEDED

GFCI protection not provided or not functioning at the kitchen receptacles. Recommend repair or installation of GFCI protection for receptacles in these locations for intended safety of the home.

Defect / Functionally Deficient Items:

5.5 LIGHTING / SWITCHES**(1) INSTALLATION NEEDED**

Light fixture not installed and wires exposed at the left exterior. Recommend proper installation of a light fixture or junction box cover added.

5.6 RECEPTACLE OUTLETS**(3) REPAIR NEEDED**

The receptacle at the switched receptacle under the sink was inoperative at the time of inspection and repairs are needed.

6(A) . Master Bathroom

Defect / Functionally Deficient Items:**6.1.A TOILETS****REPAIR NEEDED**

The toilet is excessively loose. Recommend reinstalling the toilet with a new wax ring and proper tightening. Sub-flooring should be evaluated and repaired, as needed.

6(B) . Hall Bathroom

Defect / Functionally Deficient Items:**6.1.B TOILETS****REPAIR NEEDED**

The toilet is excessively loose. Recommend reinstalling the toilet with a new wax ring and proper tightening. Sub-flooring should be evaluated and repaired, as needed.

8. Kitchen

Defect / Functionally Deficient Items:**8.4 SINK / FAUCET / DRAIN****REPAIR NEEDED**

Drain line leak noted under the sink. Recommend repairs made before further use of the sink.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Dylan Linnenkamp

General Info

Property Address 9191 San Diego Way #47 Atascadero CA 93422	Date of Inspection 9/17/2025	Report ID 091725DL2
Customer(s) Jill Aguilar	Time of Inspection 03:30:00 PM	Real Estate Agent Trudy Futak

Inspection Details

Standards of Practice: CREIA California Real Estate Inspection Association	In Attendance: Inspector, Buyers Agent, Buyer	Type of building: Manufactured Home
--	---	---

Square Footage Approximate: 1300	Approximate year of construction: 1987	Temperature: Over 80
--	--	--------------------------------

Weather: Partly Cloudy	Ground/Soil surface condition: Dry	Rain in last 7 days: No
----------------------------------	--	-----------------------------------

Property is:
Vacant

Comment Key & Definitions

In the report the location of items will be referred to as being located on the front, rear, left and right of the property. Our perspective is from the exterior of the building looking at the home from the street.

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

APPEARS SERVICEABLE = This component or system was visually observed and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

MAINTENANCE NEEDED = This area, system or component is in need of maintenance which should be considered typical of the age or style of construction.

ALTERATION NEEDED = The necessary components are installed but need adjusted or altered to function as intended.

INSTALLATION NEEDED = The necessary components are not installed.

REPAIR NEEDED = The item, component or unit is not functioning as intended and needs repaired or replaced. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

FURTHER EVALUATION = The condition of the system or component is beyond the expertise of the inspector and further evaluation by a qualified licensed contractor is advised.

This home is older than 30 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be

expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

1. Grounds

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of the foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not part of our inspection. Fences gates and retaining walls are not part of this inspection but may be reported on. Our inspection of the driveway or parking area is limited to within 100 feet of the building.

Styles & Materials

Grading & Drainage:	Retaining Walls:	Fences and Gates:
Above or at grade to road	Wood	Wood
Flat pad / site		Chain link
Walkways / Parking:	Exterior Decks:	
Concrete	Wood deck	
	Concrete patio	

Items

1.0 GRADE / DRAINAGE

Comments: Appears Serviceable

1.1 DECKS / PATIOS

Comments: Appears Serviceable

1.2 DRIVEWAY / WALKWAYS

Comments: Appears Serviceable

1.3 FENCES / GATES

Comments: Action Required

REPAIR AS NEEDED

Loose or damaged fence posts were noted and sections of the fence are loose and leaning. Fence repairs can be made, as needed.

1.4 SHRUBBERY / PLANTER / RETAINING WALLS

Comments: Action Required

(1) MAINTENANCE NEEDED

Foliage needs trimmed back from contacting the siding. This will decrease the probability of moisture and pest intrusion.

(2) REPAIR AS NEEDED

Landscape retaining wall at the rear exterior is leaning slightly and can be altered or re-installed, as needed.



1.4 Item 1(Picture)

2. Exterior

The foregoing is an opinion of the general quality and condition of the roofing, siding, and exterior building materials. The inspector cannot and does not offer an opinion or warranty as to whether the these components and systems may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Determining the condition of insulated glass windows is not always possible due to dirty windows, temperature, weather and lighting conditions.

Styles & Materials

Roof Deck Styles: Gable Medium pitch (3 1/2 to 6 1/2 in 12)	Roof Covering Material: Composition shingles	Roof Flashing: Metal flashings
Viewed Roof Covering From: Fully traversed and viewed	Gutters / Roof Drains: No gutters installed	Exterior Siding: Wood
Trim: Wood trim Wood fascia	Window / Skylights: Vinyl frame dual pane Skylight	

Items

2.0 ROOF

Comments: Action Required

FURTHER EVALUATION
Areas of the roofing material are weathered and in need of replacement. Recommend further evaluation with cost to replace and remaining life determined by a licensed roofing contractor.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

2.1 FLASHINGS

Comments: Action Required

REPAIR NEEDED

Exposed nails improperly "face nailed" into the bottom of the metal flashings and need sealed with roof repair caulk. Proper installation at the next roof replacement interval will help prevent the need for caulking maintenance.

2.2 CHIMNEYS AND ROOF PENETRATIONS

Comments: Appears Serviceable

2.3 GUTTERS / DOWNSPOUTS

Comments: Action Required

RECOMMENDED IMPROVEMENT

Recommend gutters and downspouts installed where applicable to promote functional drainage of rain water away from the home.

2.4 SIDING / TRIM

Comments: Action Required

(1) REPAIR NEEDED

Areas of the fascia, trim and siding contain moisture damage. Refer to the pest report for further information on this condition and make repairs as prescribed.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)



2.4 Item 4(Picture)



2.4 Item 5(Picture)



2.4 Item 6(Picture)



2.4 Item 7(Picture)



2.4 Item 8(Picture)



2.4 Item 9(Picture)



2.4 Item 10(Picture)



2.4 Item 11(Picture)



2.4 Item 12(Picture)



2.4 Item 13(Picture)



2.4 Item 14(Picture)



2.4 Item 15(Picture)



2.4 Item 16(Picture)



2.4 Item 17(Picture)



2.4 Item 18(Picture)



2.4 Item 19(Picture)

(2) REPAIR NEEDED

Wood siding is buckling in areas. Probable moisture absorption at the siding due to moisture damage has caused the siding to expand and push outward between connection points. Not of structural concern. Recommend replacement of the siding as needed.



2.4 Item 20(Picture)

(3) REPAIR NEEDED

Perforations in the siding at the left side of the home should be patched or repaired to prevent pest or moisture intrusion.



2.4 Item 21(Picture)

2.5 EXTERIOR DOORS

Comments: Appears Serviceable

2.6 WINDOWS / SKYLIGHTS

Comments: Action Required

MAINTENANCE NEEDED

Retrofit windows utilized in this building. This type of window installation is sealed at the surface mounted vinyl flange and it was not determined if proper flashings were installed. Caulking will need maintained at the perimeter of the windows.

2.7 GARAGE / CARPORT

Comments: Action Required

REPAIR NEEDED

The carport post is damaged and repairs are needed to ensure proper support at this location.



2.7 Item 1(Picture)

2.8 PAINT / CAULK / SEAL / MISCELLANEOUS.

Comments: Action Required

MAINTENANCE NEEDED

Peeling paint was noted at the wood fascia and paint maintenance is needed.

3. Heating / Air Conditioning

The inspector is not equipped to inspect heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that the inspection is almost impossible. The inspector cannot light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos material have been commonly used in heating systems. Determining the presence of asbestos can only be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or even distribution of air through out a home cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on cooling systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not part of the inspection. Normal service and maintenance is recommended on a yearly basis. It is suggested that all homes with fuel burning systems have a carbon monoxide installed for added safety. All fireplaces should be cleaned on a regular basis to make sure no cracks have developed.

Styles & Materials

Heat Type/Power Source/Age:	Furnace Location:	Ductwork:
Forced Air	In the laundry room	Insulated flexible duct
Natural Gas		
MFG 1987		
Cooling Equipment Type/Size/Age: Filter Locations/Type/Size:		
Electric Split System	Disposable	
3 ton unit	On the HVAC unit	
MFG 2020		

Items

3.0 HEATING EQUIPMENT

Comments: Action Required

REPAIR AS NEEDED
The furnace appears to be in working condition, but is over 30 years old and at or near the end of it's serviceable life. Recommend service performed by a qualified HVAC contractor to help conserve the remaining life of the unit and have replaced as necessary.



3.0 Item 1(Picture)

3.1 THERMOSTATS

Comments: Appears Serviceable

3.2 FILTER

Comments: Action Required

MAINTENANCE NEEDED

HVAC return air filter is dirty and in need of replacement.

3.3 DUCTS / REGISTERS / DISTRIBUTION SYSTEMS

Comments: Appears Serviceable

3.4 COOLING AND AIR HANDLER EQUIPMENT

Comments: Action Required

(1) RECOMMENDED IMPROVEMENT

The A/C condenser/compressor at the exterior of the home should be properly attached to the ground to prevent displacement in seismic activity.

(2) INFORMATIONAL NOTE

The cooling system was tested and functional at the time of the inspection.



3.4 Item 1(Picture)

4. Plumbing System

Water quality or hazardous materials (lead) is available from local labs. All underground piping related water supply, waste or sprinkler use are excluded from this inspection. City sewer service, septic systems and all underground pipes are not part of this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. Only the hose faucets which are attached to the home are tested during our inspection. You may wish to test any which are away from the home. The temperature pressure relief valve, at the upper portion of the water heater is a required safety valve which should be connected to a drain line of proper size terminating just above the floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The stem caused by a blow off can cause scalding. Improper installations should be corrected. Laundry appliances are not tested or moved. We highly recommend removal and cleaning of the dryer vent at least once a year. Cleaning the vent pipe can significantly reduce the risk of a fire.

Styles & Materials

Water Shut Off Location: Handle shut off Left exterior of the home	Water Supply Aproximate Size / Material: 3/4" Copper Galvanized	Plumbing Water Distribution: Copper PEX
Water Source: Public	Water Pressure (normal is 40 to 80 psi): Water pressure aprox. 80PSI (Normal)	Plumbing Waste (visible only): ABS
Gas Type / Primary Energy Heat Source: Natural gas	Gas Shut Off Location: Front exterior of the home	Gas Line Type: Galvanized gas pipe Steel gas pipe
Water Heater Power Source / Vent Type: Pressure relief valve not tested Natural gas Sheet metal vent	Water Heater Capacity / Age: 40 Gallon Extra Info : MFG 2022	Water Heater Location: In an outside closet
Laundry Type Venting and Accessories: Washer connections Gas dryer connection Dryer vents at exterior wall		

Items

4.0 WATER HEATERS

Comments: Action Required

(1) INSTALLATION NEEDED

Water heater strapping needs blocking added between the tank and the wall to resist displacement in seismic activity.

(2) INSTALLATION NEEDED

Water heater vent pipe connections need proper fasteners installed to help prevent the chance of displacement in the event of seismic activity.



4.0 Item 1(Picture)

(3) INSTALLATION NEEDED

Water heater safety valve piping missing and needs properly installed to prevent an unsafe condition if the TPR is activated.



4.0 Item 2(Picture)

4.1 SEWER / DRAINS / VENTS (VISIBLE ONLY)

Comments: Appears Serviceable

4.2 WATER LINES (VISIBLE ONLY)

Comments: Appears Serviceable

4.3 GAS LINES (VISIBLE ONLY)

Comments: Action Required

(1) INFORMATIONAL NOTE

The gas shutoff is located at the front exterior of the home. To turn the gas off turn the valve perpendicular to the piping.



4.3 Item 1(Picture)

(2) RECOMMENDED IMPROVEMENT

Gas line sediment trap not installed near the water heater and furnace, and should be installed to help prevent the possibility of gas line debris from entering the gas appliances.

4.4 PLUMBING VALVES / ACCESSORIES

Comments: Appears Serviceable

INFORMATIONAL NOTE

The water shutoff is located at the left exterior of the home. To turn the water off turn the handle perpendicular to the piping.



4.4 Item 1(Picture)

4.5 EXTERIOR WATER FAUCETS

Comments: Appears Serviceable

4.6 WASHER / DRYER / LAUNDRY

Comments: Action Required

(1) MAINTENANCE NEEDED

Dryer vent is partially blocked by dryer lint and the vent flap is stuck open. Recommend proper cleaning of the dryer vent to insure maximum efficiency and prevent pest or rodent intrusion. The vent screen should be removed to prevent lint build up.

(2) RECOMMENDED IMPROVEMENT

Recommend replacement of the rubber supply hoses to the clothes washer with leak and damage resistant steel braided hoses.

5. Electrical System

Any electrical repairs should be performed by a licensed electrician. Aluminum wiring, when present, will be noted in this report and requires periodic inspection and maintenance by a licensed electrician. Electrical panels and outlets which are not attached to the home are outside the scope of this inspection. The Main Electrical Disconnect is located inside the Main Panel unless otherwise noted.

Styles & Materials

Panel capacity: 100 AMP	Main Panel/Main Disconnect Location: Left exterior of the home	Electrical Service Conductors: Below ground service 120/240 volt service Exterior main service panel
Sub Panel Location(s): At the right exterior	Distribution Systems and Accessories: Sub-panel(s) Circuit breakers Nonmetallic sheathed cable Copper wires	

Items

5.0 SERVICE ENTRANCE CONDUCTORS

Comments: Appears Serviceable

5.1 MAIN / SUB-PANELS

Comments: Action Required

(1) INSTALLATION NEEDED
Box clamp/wire bushing not installed at sub panel. Recommend installation of proper box clamp by a qualified professional to prevent the chance of wire damage from contact with the box edge.



5.1 Item 1(Picture)

(2) INSTALLATION NEEDED

Unused breaker slot remains exposed at the sub panel and needs the appropriate breaker slot cover installed.



5.1 Item 2(Picture)

(3) ALTERATION NEEDED

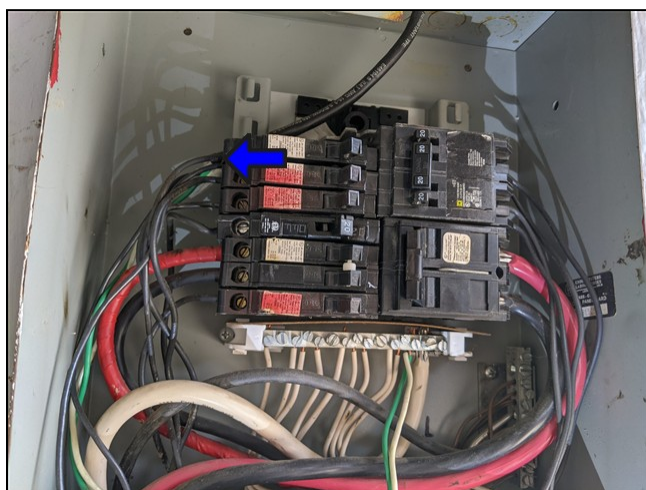
Neutral and grounding conductors improperly bonded in the sub panel. While this can be common practice for older installations or auxiliary buildings, alterations should be performed to properly separate the neutral and grounding connections in sub panels to help prevent a possible unsafe condition.

5.2 BREAKERS / FUSES

Comments: Action Required

REPAIR NEEDED

Double wires improperly installed on a breaker in the sub panel. Alteration or repairs should be made to prevent an unsafe condition.



5.2 Item 1(Picture)

5.3 CIRCUIT WIRING (where visible)

Comments: Action Required

ALTERATION NEEDED

Wire terminates improperly in the kitchen. Exposed wire needs installed in a junction box or removed back to the previous connection point.



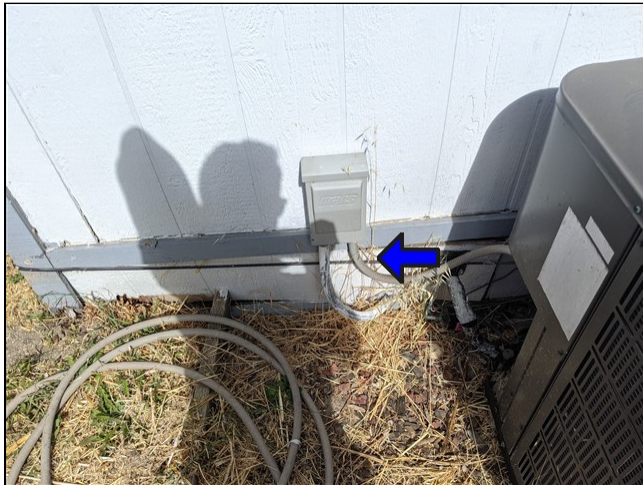
5.3 Item 1(Picture)

5.4 JUNCTION BOXES / CONDUITS

Comments: Action Required

ALTERATION NEEDED

Conduit needs properly secured at the air conditioner power supply.



5.4 Item 1(Picture)

5.5 LIGHTING / SWITCHES

Comments: Action Required

(1) INSTALLATION NEEDED

Light fixture not installed and wires exposed at the left exterior. Recommend proper installation of a light fixture or junction box cover added.

(2) REPAIR NEEDED

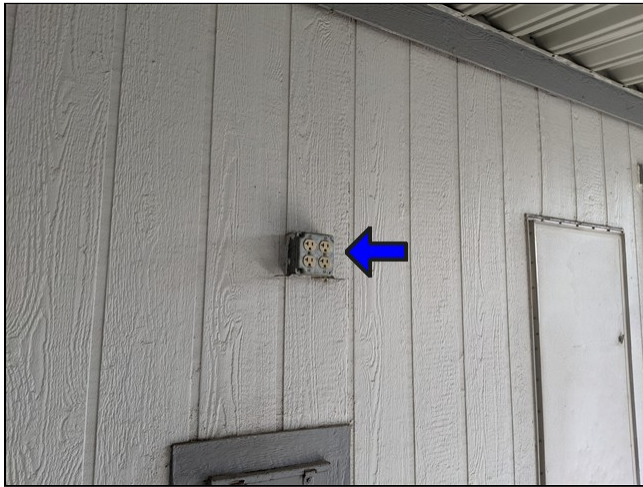
Lighting inoperative at the living room. Probable bulb failures noted. Replace or repair as needed.

5.6 RECEPTACLE OUTLETS

Comments: Action Required

(1) INSTALLATION NEEDED

Exterior receptacle without a weather cover noted at the right exterior. Installation is needed to insure full safety of this system.



5.6 Item 1(Picture)

(2) REPAIR NEEDED

Weather cover for the exterior receptacle at the right exterior is damaged and needs replaced to insure intended safety.



5.6 Item 2(Picture)

(3) REPAIR NEEDED

The receptacle at the switched receptacle under the sink was inoperative at the time of inspection and repairs are needed.



5.6 Item 3(Picture)

5.7 SYSTEM GROUNDING / GROUND FAULT CIRCUIT INTERRUPT

Comments: Action Required

INSTALLATION NEEDED

GFCI protection not provided or not functioning at the kitchen receptacles. Recommend repair or installation of GFCI protection for receptacles in these locations for intended safety of the home.

5.8 DOOR BELL / COMMUNICATION WIRING

Comments: Appears Serviceable

6(A) . Master Bathroom

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surround are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath wet areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper on going maintenance will be required in the future.

Styles & Materials

Bathtub/Shower Types:	Ventilation:	Electrical / GFCI:
Fiberglass tub/shower enclosure	Openable window	Counter outlets
Fiberglass tub		GFCI protection
Bathroom Type/Size:	Toilet Type:	
Full Bath	1.6 GPF Low Flow	

Items

6.0.A TUBS, SHOWERS

Comments: Appears Serviceable

6.1.A TOILETS

Comments: Action Required

REPAIR NEEDED
The toilet is excessively loose. Recommend reinstalling the toilet with a new wax ring and proper tightening. Sub-flooring should be evaluated and repaired, as needed.

6.2.A SINKS

Comments: Appears Serviceable

6.3.A VANITYS, COUNTERS

Comments: Appears Serviceable

6.4.A VENTILATION

Comments: Appears Serviceable

6.5.A CEILINGS, WALLS, FLOORS

Comments: Appears Serviceable

6.6.A CAULKING AND SEALING

Comments: Appears Serviceable

6.7.A TOWEL HOLDERS, MISC

Comments: Appears Serviceable

6(B) . Hall Bathroom

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surround are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath wet areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper on going maintenance will be required in the future.

Styles & Materials

Bathtub/Shower Types: Fiberglass tub/shower enclosure	Ventilation: Openable window	Electrical / GFCI: Counter outlets GFCI protection
Bathroom Type/Size: Full Bath	Toilet Type: 1.28 GPF Ultra Low Flow	

Items

6.0.B TUBS, SHOWERS

Comments: Action Required

ALTERATION NEEDED
The tub spout and faucet plumbing are loose in the wall and need properly secured and sealed at the wall to prevent damage due to displacement.

6.1.B TOILETS

Comments: Action Required

REPAIR NEEDED
The toilet is excessively loose. Recommend reinstalling the toilet with a new wax ring and proper tightening. Sub-flooring should be evaluated and repaired, as needed.

6.2.B SINKS

Comments: Appears Serviceable

6.3.B VANITYS, COUNTERS

Comments: Appears Serviceable

6.4.B VENTILATION

Comments: Appears Serviceable

6.5.B CEILINGS, WALLS, FLOORS

Comments: Appears Serviceable

6.6.B CAULKING AND SEALING

Comments: Appears Serviceable

6.7.B TOWEL HOLDERS, MISC

Comments: Appears Serviceable

7. Interiors

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The paint on the walls is not tested for the presence of lead based paint. Determining the source of odors or like conditions is not part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Window flashings are usually not visible, therefore their condition cannot be reported on. Inspection of window coverings is outside the scope of our inspection. Smoke and CO alarms should be tested monthly and battery replacement yearly.

Styles & Materials

Wall & Ceiling Materials:

Drywall
Paneling

Floor Covering(s):

Vinyl
Tile

Interior Styles:

Nominal 8 foot ceilings
High ceilings (over 8 feet)
Vaulted ceilings
Vacant

Alarms / Safety Equip.:

Smoke alarms
Carbon monoxide alarms

Items

7.0 CEILINGS, WALLS

Comments: Appears Serviceable

7.1 FLOORS

Comments: Action Required

REPAIR AS NEEDED

Cracked tiles noted at the living room and hallway appear stable and can be replaced as needed.



7.1 Item 1(Picture)



7.1 Item 2(Picture)

7.2 DOORS (REPRESENTATIVE NUMBER)

Comments: Appears Serviceable

7.3 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Action Required

REPAIR NEEDED

Moisture intrusion noted at the window sills and walls due to probable moisture intrusion from the windows prior to replacement. Recommend caulking the interior corner seams in the frames and repairs made to the drywall as needed.



7.3 Item 1(Picture)



7.3 Item 2(Picture)

7.4 ALARMS / SAFETY / SECURITY

Comments: Appears Serviceable

8. Kitchen

Inspection of refrigerators, stand alone freezers and built in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected.

Styles & Materials

Range/Oven/Cooktop:

Gas range (slide in)

Ventilation:

Mechanical exhaust

Electrical:

Counter outlets
No GFCI protection

Other Appliances:

Garbage disposal

Items

8.0 RANGES / OVENS / MICROWAVE

Comments: Action Required

FURTHER EVALUATION

The oven was not installed and connected at the time of the inspection. Recommend further evaluation is made as needed.

8.1 VENTILATION

Comments: Appears Serviceable

8.2 DISPOSAL / TRASH COMPACTOR

Comments: Action Required

FURTHER EVALUATION

The garbage disposal could not be tested at the time of the inspection due to the receptacle under the sink having no power at the time of the inspection. Recommend further evaluation is made as needed.

8.3 COUNTERS / CABINETS

Comments: Appears Serviceable

8.4 SINK / FAUCET / DRAIN

Comments: Action Required

REPAIR NEEDED

Drain line leak noted under the sink. Recommend repairs made before further use of the sink.



8.4 Item 1(Picture)

9. Structure

Areas hidden from view by finished walls or stored items cannot be judged and are not part of this inspection. Minor cracks are typical on many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

Styles & Materials

General Description: 3 bedroom 2 bathroom	Roof Structure: Access impaired, no visual inspection	Ceiling and Wall Structure: Wood framed pre-fabrication
Floor Structure: Pre-fabricated	Foundation: Metal foundational jacks Seismic jacks	Method Used To Observe Sub-Area: Could not access
Sub-Area Access Location: Was not located	Sub-area insulation type and thickness: Fiberglass with vapor barrier	Method Used To Observe Attic: This building has no attic No access

Items

9.0 FOUNDATION / SLAB (where visible)

Comments: Appears Serviceable

9.1 BUILDING FRAMING MEMBERS

Comments: Appears Serviceable

9.2 SUB-AREA / VENTILATION / INSULATION

Comments: Action Required

- (1) FURTHER EVALUATION

Access impaired. The sub-floors and floor framing were not fully viewed from the sub-area due to the presence of a vapor barrier. The vapor barrier also covers the HVAC ducting, electrical wiring and water lines.
- (2) REPAIR NEEDED

Sections of damaged vapor barrier and damaged or missing insulation were noted at the various locations. Recommend insulation installed and vapor barrier repaired to insure intended efficiency and help prevent pest intrusion.
- (3) FURTHER EVALUATION

All sections of the sub-area were not viewed due to no sub area access noted. Recommend further evaluation as needed.
- (4) INSTALLATION NEEDED

Sub-area ventilation insufficient. Foundation vents are usually required at the rate of one square foot of opening for each 150 square feet of floor space. Recommend installing extra sub-area vents with cross ventilation.