

WINDOW NOTE:

PROVIDE AN EMERGENCY ESCAPE AND RESCUE OPENING THAT COMPLIES WITH ALL OF THE FOLLOWING:
- MINIMUM NET CLEAR OF 5.7 SQ.FT.
(5 FEET MINIMUM AT GRADE FLOOR OPENING)
- MINIMUM 20 INCH NET CLEAR OPENING WIDTH
- MINIMUM 24 INCHET CLEAR OPENING HEIGHT
- BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR (CRC R310.1)

SHOWERS NOTE:

SHOWER COMPARTMENTS AND BATHTUBS WITH AN INSTALLED SHOWER HEADS SHALL BE FINIHES WITH NON ABSORBENT SURFACE THAT EXTENDS TO HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC R307.2)

HERS NOTES:

* An electronically signed and registered Installation Certificate(s) CF2R, posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R is reviewed and approved.

HERS Note on the plan: "An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing CF3R shall be posted at the building signed and registered Certificate(s) of Field Verification and Diagnostic Testing CF3R shall be posted at the building s ite by a certified HER S rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of Occupancy will not be issued until CF3R is reviewed and approved.

FIRE SRINKLER NOTE:

THE SUBMITTAL OF RESIDENTIAL FIRE SPRINKLER PLANS REQUIRED BY SECTION R313 OF THE 2022 CALIFORNIA RESIDENTIAL CODE OR WHEN REQUIRED BY SECTION 903 OF THE 2022 CALIFORNIA BUILDING CODE HAS BEEN DEFERRED.

TO AVOID DELAYS IN CONSTRUCTION PLANS FOR FIRE SPRINKLER PLANS SHALL BE SUBMITTED NOT LESS THAN 30 CALENDAR DAYS PRIOR TO INSTALLATION OR PRIOR TO REQUESTING A FOUNDATION INSPECTION WHEN THE SUBMITTAL OF FIRE SPRINKLER PLANS IS DEFERRED. A FRAMING/ROUGH INSPECTION SHALL NOT BE REQUESTED PRIOR APPROVAL OF THE FIRE SPRINKLER PLANS

WATER METERS FOR COMBINE DOMESTIC WATER AND FIRE SPLINKLERS SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLERS SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.

AFTER A BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COST INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLERS SYSTEM WICH PRODUCE A HIGHER GPM AND LARGER METER SIZE REQUIREMENT:

OWNER SIGNATURE:

GENERAL NOTES

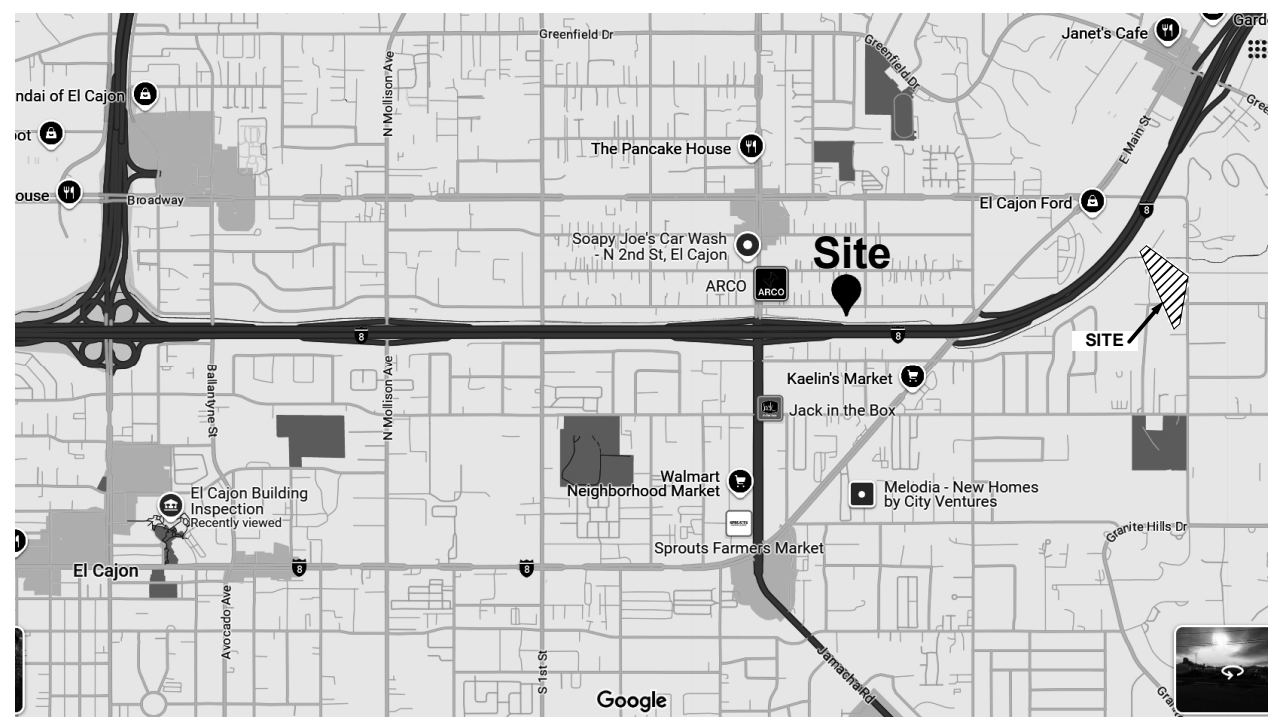
- DO NOT SCALE DRAWINGS. NOTIFY OWNER / DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL INDICATED DIMENSIONS ARE APPROXIMATE AND ARE GIVEN FOR ESTIMATE PURPOSES ONLY. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS, SIZES, REQUIRED CLEARANCES AND SHALL ASSUME FULL RESPONSIBILITY FOR THE FITTING OF ALL EQUIPMENT AND MATERIALS HEREIN REQUIRED TO OTHER PARTS OF THE WORK AND TO THE WORK OF OTHER TRADES.
- IT IS THE INTENT OF PROJECT DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS, THAT A COMPLETE AND WORKABLE INSTALLATION BE PROVIDED. TO THIS END, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPERVISION, TRANSPORTATION, WAREHOUSING, AND OTHER SERVICES REQUIRED TO COMPLETE THE WORK IN AN EFFICIENT AND TIMELY MANNER.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. DURING THIS PERIOD, ANY DEFECT FOUND IN MATERIAL OR WORKMANSHIP SHALL BE REPAIRED OR REPLACED TO OWNERS SATISFACTION, AT THE CONTRACTORS EXPENSE.
- THESE DRAWINGS AND SPECIFICATIONS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTORS, SUB, AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE WORK REGARDLESS OF WHERE THE INFORMATION OCCURS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE OF THE PROJECT TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS. SECTIONS AND DETAILS DIMENSIONS ARE FACE TO FACE OF STUDS OR SLAB UNLESS NOTED OTHERWISE ON DRAWINGS.
- THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY MATERIAL FAILURE NOR ANY DEVIATIONS MADE FROM THE CONSTRUCTION DOCUMENTS DURING OR AFTER CONSTRUCTION OF THE DESCRIBED RESIDENCE.
- ST. ADDRES SHALL BE LOCATED ON BLDG EXTERIOR, VISIBLE FROM STREET. NUMBERS SHALL BE MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2".
- 5% MIN. SLOPE REQUIRED FOR DRAINAGE AWAY FROM BLDG. AND SITE NATURAL DRAINAGE SHALL NOT BE DIVERTED ONTO ADJACENT PROPERTY.
- ALL SPOTS ELEVATIONS ARE FOR REFERENCE ONLY. BUILDER SHALL FIELD VERIFY EXISTING ELEVATIONS AND JUST T.O.S. (TOP OF SLAB) ACCORDINGLY.

Building permit applications submitted shall comply with the following codes:

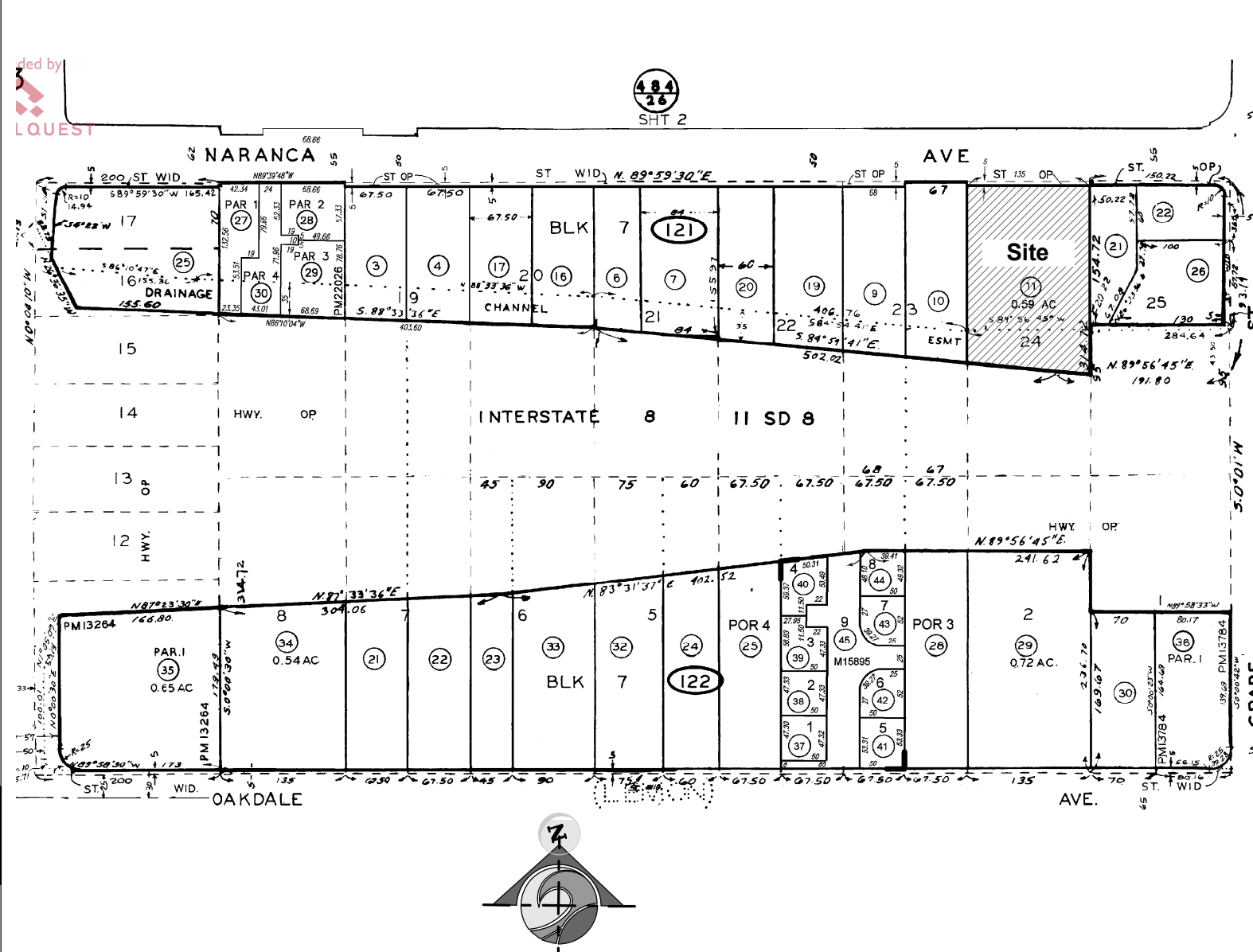
2022 Edition of the California Building Code
2022 Edition of the California Residential Code
2022 Edition of the California Mechanical Code
2022 Edition of the California Plumbing Code
2022 Edition of the California Electrical Code
2022 Edition of the California Fire Code
2022 Edition of the California Green Building Standards

2022 Edition of the California Energy Code,

VICINITY MAP



LOCATION MAP



PROJECT DATA

PROJECT ADDRESS: MAIN HOUSE
1375 Naranca Ave.
El Cajon CA. 92021

PROPOSED NEW Jr. ADU
T.B.D.
El Cajon CA. 92021

A.P.N.# 489-121-11-00

LEGAL DESCRIPTION: TR 1833 BLK 7 LOT 24*
(EX ST&HWY)

OCCUPANCY TYPE: R-3

CONSTRUCTION TYPE: TYPE V -B

YEAR BUILT/EXISTING STRUCTURE: ----

SPRINKLERED: NO

ZONING INFORMATION:

BASE ZONE: RM-6000

NUMBER OF STORIES: EXISTING 1 STORY
DWELLING

LOT AREA: 25,700.00 SQ.FT.

LOT COVERAGE: 40% = 10,280.00 S.F MAX
EXISTING AREA = 1,950.00 < 10,280.00 S.F.

SCOPE OF WORK

The size of the property allows to have more dwelling units, and the proposed project is to create 2 more Dwelling units with 2 detaches ADU creating a maximum of 6 units in the lot.

Adding 4 more water meters and 4 more electrical meters.

Creating a new driveway entry by Naranca Ave.

PROPOSED RENDERING



1375 - - NARANCA AVE. EL CAJON CA. 92021

PROJECT SUMMARY

UNITS DATA CALCULATIONS

(E) UNIT 1	1ST LEVEL	2ND LEVEL	PORCH
	1,211.00 S.F	0 S.F	
	TOTAL 1,211.00 S.F		
UNIT 2	1ST LEVEL	2ND LEVEL	30.00 S.F
	1,250.00 S.F	682.00 S.F	
	TOTAL 1,932.00 S.F		
UNIT 3	1ST LEVEL	2ND LEVEL	24.00 S.F
	1,327.00 S.F	0 S.F	
	TOTAL 1,327.00 S.F		
(E) JADU	495 S.F		30.00 S.F
ADU 1	700 S.F		00 S.F
ADU 2	480 S.F		00 S.F
	TOTAL 1,041.40 S.F		

6 UNITS GFA

UNIT NO.	FLOOR AREA		RSFA GFA
	HOUSE	COVERED	
(E) UNIT 1	1,211.00 S.F	26.00 S.F	1,237.00 S.F
UNIT 2	1,931.00 S.F	30.00 S.F	1,961.00 S.F
UNIT 3	1,327.00 S.F	24.00 S.F	1,351.00 S.F
(E) JADU	495 S.F	30.00 S.F	525.00 S.F
ADU 1	700 S.F	0 S.F	700.00 S.F
ADU 2	480.00 S.F	0 S.F	480.00 S.F
TOTAL	6,705.40 S.F	163.00 S.F	6,868.40 S.F

LOT SIZE	25,700.00 S.F	
COVERAGE	26.72%	

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1-A2.2	PROPOSED ROOF PLAN, ELEVATIONS & SECTIONS
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2-A2.2	PROPOSED ELEVATIONS AND SECTIONS ADU_2
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4-A2.1	PROPOSED FLOOR PLAN AND ROOF PLAN UNIT_3
4-A2.2	PROPOSED ELEVATIONS AND SECTIONS UNIT_3

CONTACTS

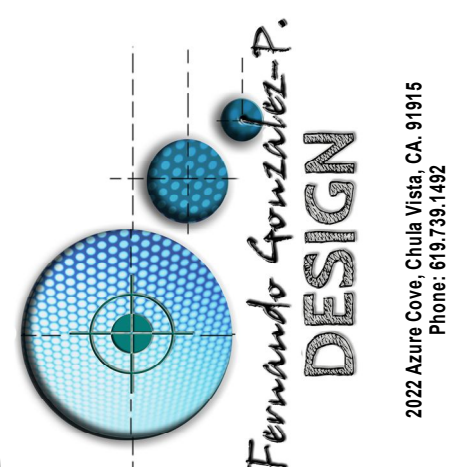
OWNER
VINOD KURUVADI
4992 HIDDEN DUNE CT.
SAN DIEGO, CA. 92130
Tel: 619-405-6307
e-mail: vinodkuruvadi@gmail.com

DESIGNER
Fernando Gonzalez-Pacheco
2022 Azure Cove #6
Chula Vista, CA
Phone: 619-739-1492
e-mail: fernyn1.6@gmail.com

CIVIL ENGINEER

ENERGY CALCS. T24

NEW HOUSES AND ADU'S
NARANCA RESIDENCES
1375 NARANCA AVE., EL CAJON, CA 92021



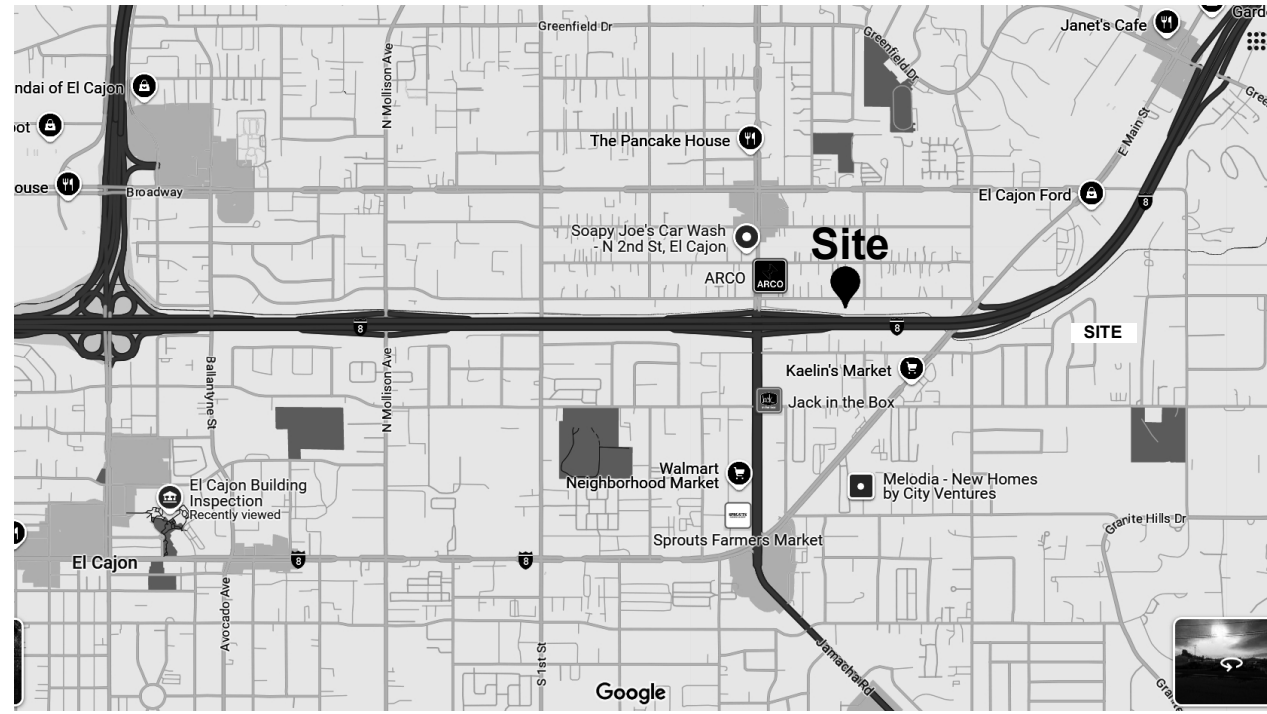
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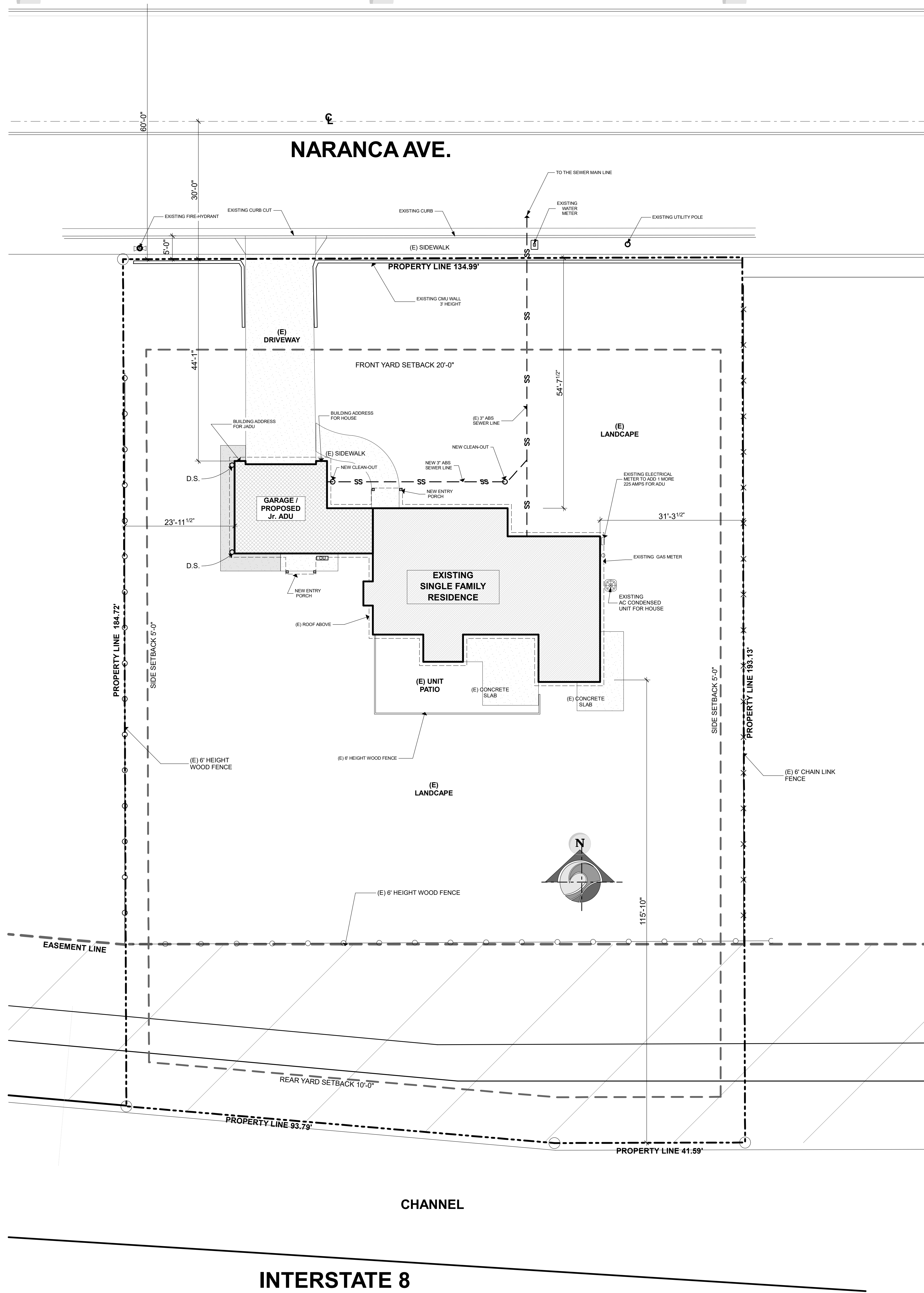
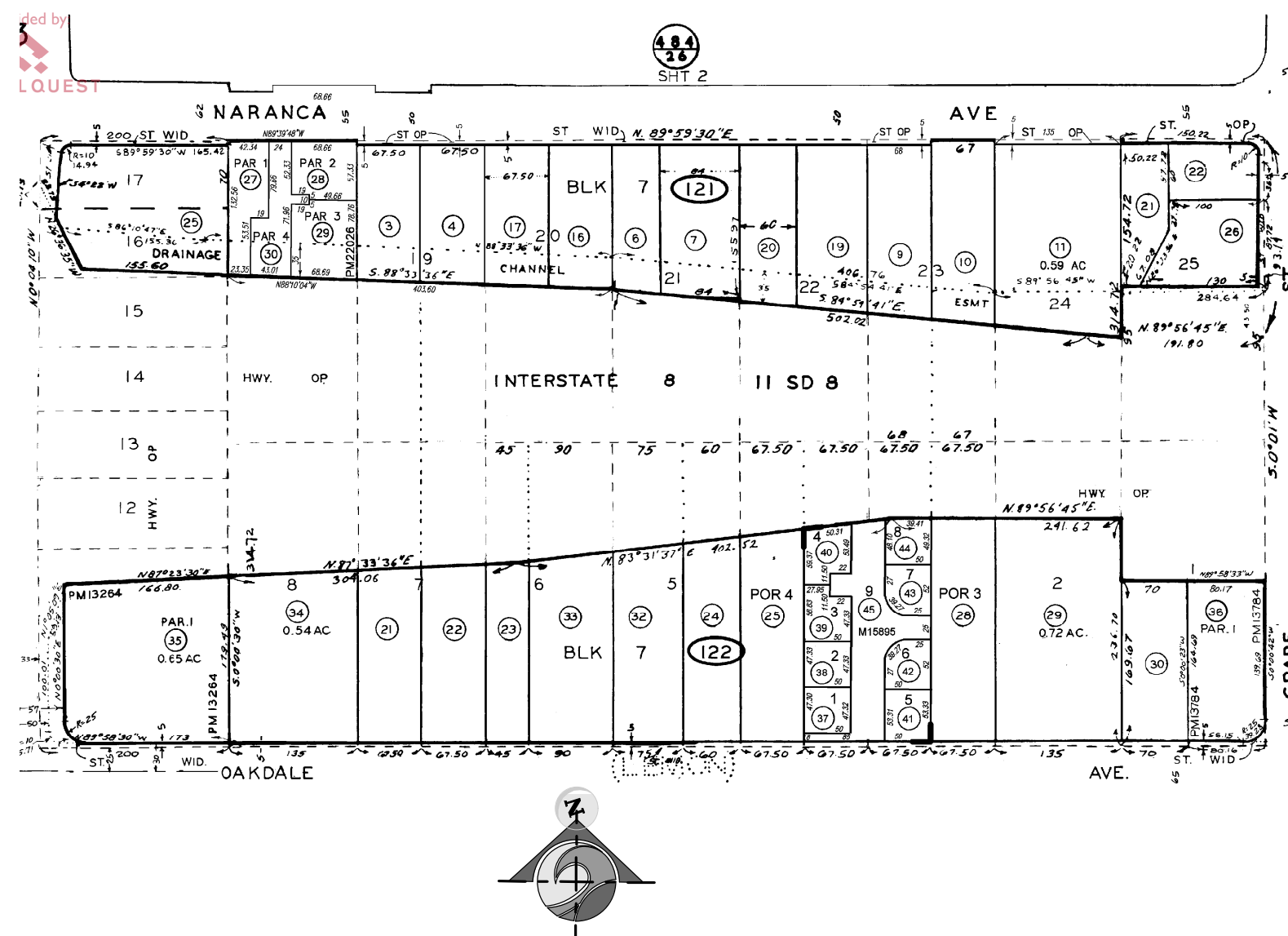
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VICINITY MAP



LOCATION MAP



Revisions:

NEW HOUSES AND ADU'S

NARANCA RESIDENCES

1375 NARANCA AVE., EL CAJON, CA 92021

Fernando Gonzalez-P.

DESIGN

2022 Aztec Court, Chula Vista, CA 91915
Phone 619.751.1462

EXISTING SITE PLAN

Date: 08-13-26

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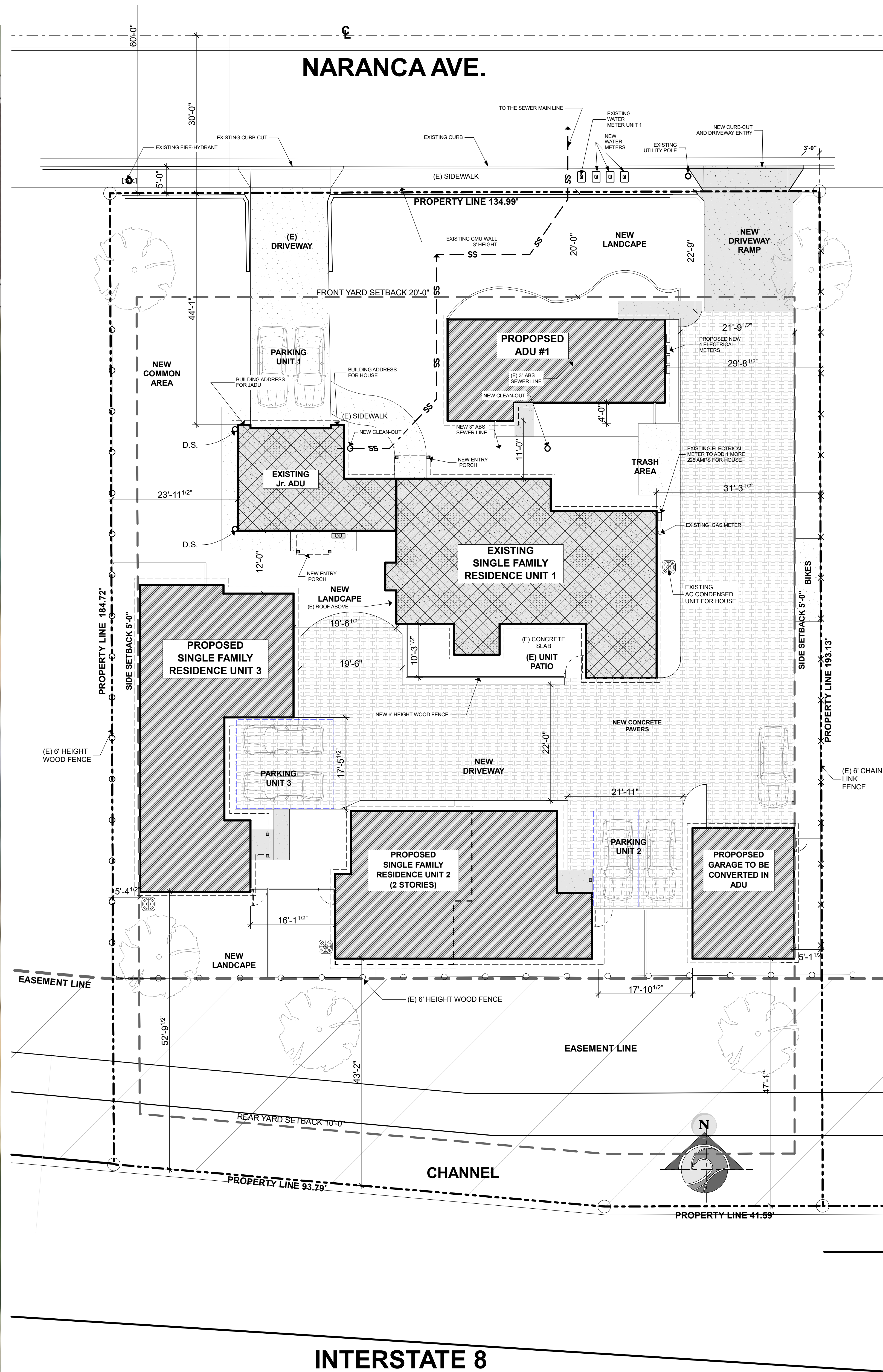
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SCHEMATIC SITE PLAN



INTERSTATE 8

PROPOSED SITE PLAN

SITE PLAN GENERAL NOTES

1. The Architect is responsible for plotting only. The Civil engineer / Contractors responsible for horizontal control. If a problem occurs the civil engineer / Contractor notify the Architect prior to start of construction.
2. The Contractor shall verify all site dimensions prior to start of construction and notify the Architect if any problem or discrepancies occur.
3. The Contractor shall verify finish floor elevations prior to start of construction.
4. Water meters shall note be located within driveways.
5. All building addresses shall be clearly seen from the street. See exterior elevations
6. No footing shall be located within 8'-0" of top of a slope. If such a condition occurs and is not indicated on these plans, notify the Architect.
7. See Sheet "A-2 & A-3" for additional information.
8. Verify all exterior flatwork with landscape plans. (N.I.C.)
9. Typical Driveways per Plan x 4" Thk. concrete over 4" clean sand. (verify and install per soils report recommendations) provide control joints at max. 12'-0" o.c. coordinate with soils report & landscape plans
10. Typical flat work, per plan X 4" Thk concrete over 4" clean sand (verify and install per soils report recommendations) provide control joints at max 12'-0" o.c. coordinate with soils report & landscape plans
11. All water to drain away from foundation for a minimum of 5'-0" and then to a point of discharge approved by local jurisdiction, contractor to provide a sub drain system and connect roof drains to the sub drain system. (coordinate with landscape plans).
12. Structures shall have an automatic fire sprinkler system installed per NFPA 13-D Standards and San Diego Fire protection District Standards. Fire sprinklers plans shall be submitted and approved by the city of San Diego Mechanical plan review section prior to framing inspection.
13. Approved numbers and /or addresses shall be placed on all new existing buildings an appropriate additional locations as to be plainly visible and legible from either direction of approach said numbers shall contrast with the following minimum standards as to size 4" high with a 3/8" stroke for residential buildings, post at roadway.
14. All stormwater runoff from proposed and/or replaced impervious areas shall be routed to previous surfaces of landscaping prior to reaching the public drain system
15. All required landscape as shown on these plans, including in the right-of-way, shall be maintained by the Owner. All landscape areas shall be maintained free of debris and litter and all plants material shall be maintained in healthy growing condition consistent with the City of San Diego Landscape Regulations and Standards.
16. The angle of departure and angle of approach of fire access roadway shall not exceed 7 degrees or 12% or as approved by the chief. (fire code sec. 902.2.7.)
17. The structure will use natural gas.

Note:
AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WICH PRODUCE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT.

OWNERS SIGNATURE: _____

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OWNER SIGNATURE: _____

Revisions:

NEW HOUSES AND ADU'S

NARANCA RESIDENCES

1375 NARANCA AVE., EL CAJON, CA 92021

Fernando Gonzalez-P.

DESIGN

2022 Azusa Cone China Vista, CA 91715

Phone 626.725.1462

PROPOSED SITE PLAN

Date: 08-13-26

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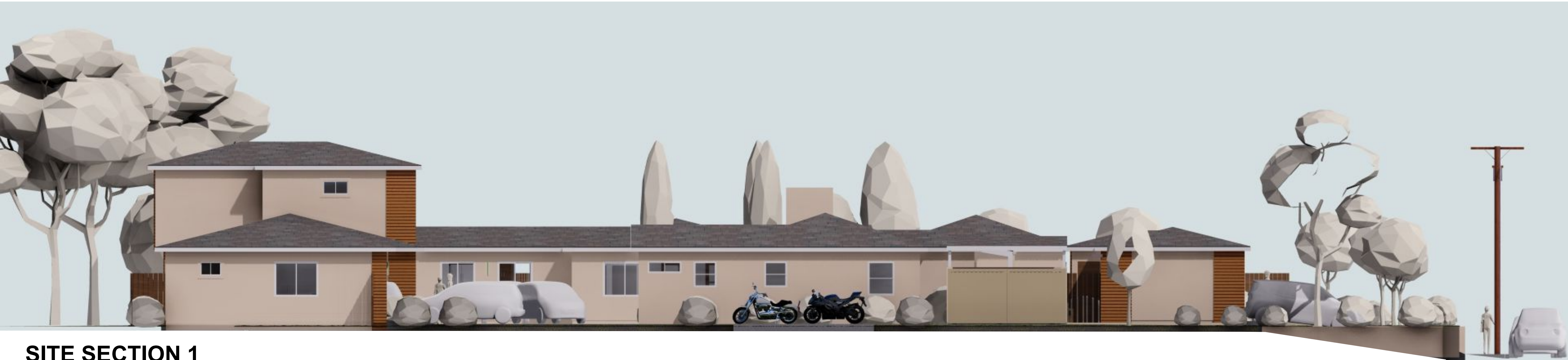
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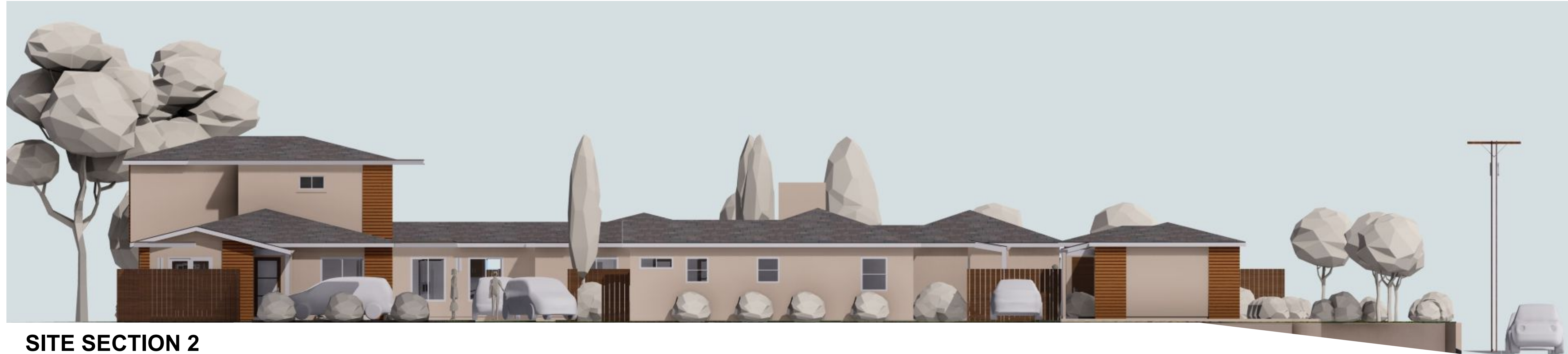
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SITE SECTION 1



SITE SECTION 2



SITE SECTION 3



STREET VIEW

Revisions:

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NEW HOUSES AND ADU'S

NARANCA RESIDENCES

1375 NARANCA AVE., EL CAJON, CA 92021

Fernando Gonzalez-P.

DESIGN

322 Azusa Court, Chula Vista, CA 91915

Phone 619.755.1452

SITE SECTIONS

Date: 08-13-26

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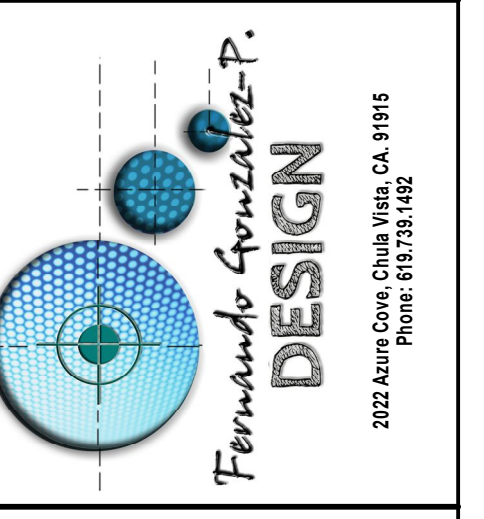
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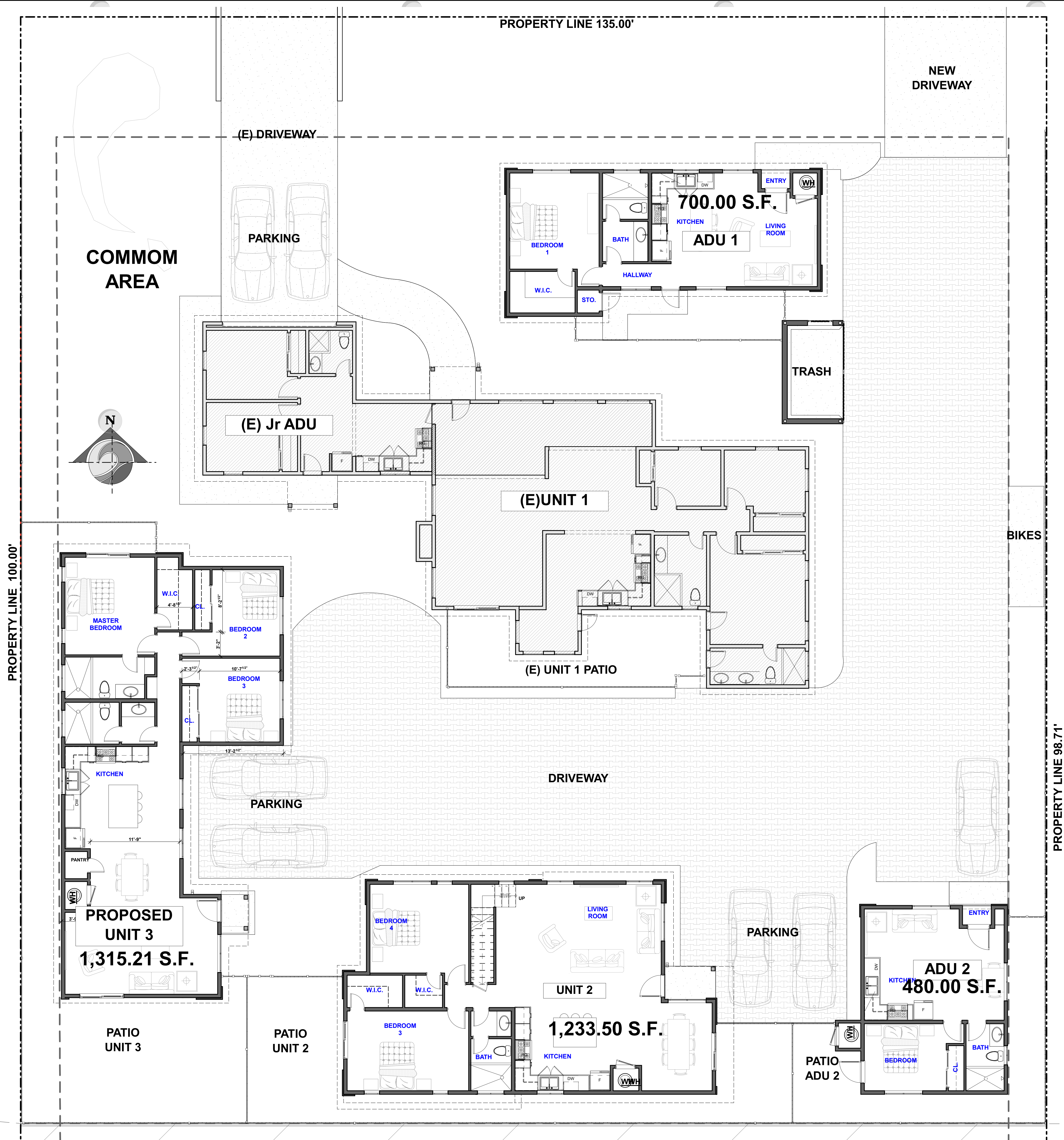
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NEW HOUSES AND ADU'S
NARANCA RESIDENCES
 1375 NARANCA AVE., EL CAJON, CA 92021



SCHEMATIC VIEWS

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1 1ST LEVEL FLOOR PLANS
3/16" = 1'-0"

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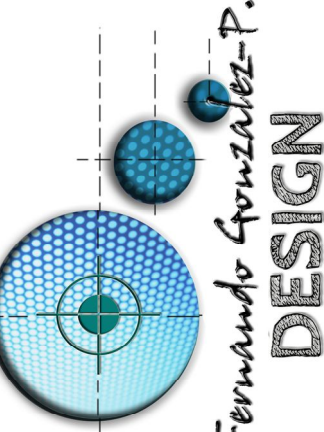
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NEW HOUSES AND ADU'S

NARANCA RESIDENCES

1375 NARANCA AVE., EL CAJON, CA 92021



Fernando Gonzalez P.
DESIGN

2022 Azusa, CA 91701, CA 91701
Phone 626.375.1462

PROPOSED FLOORPLANS

Date: 08-13-26

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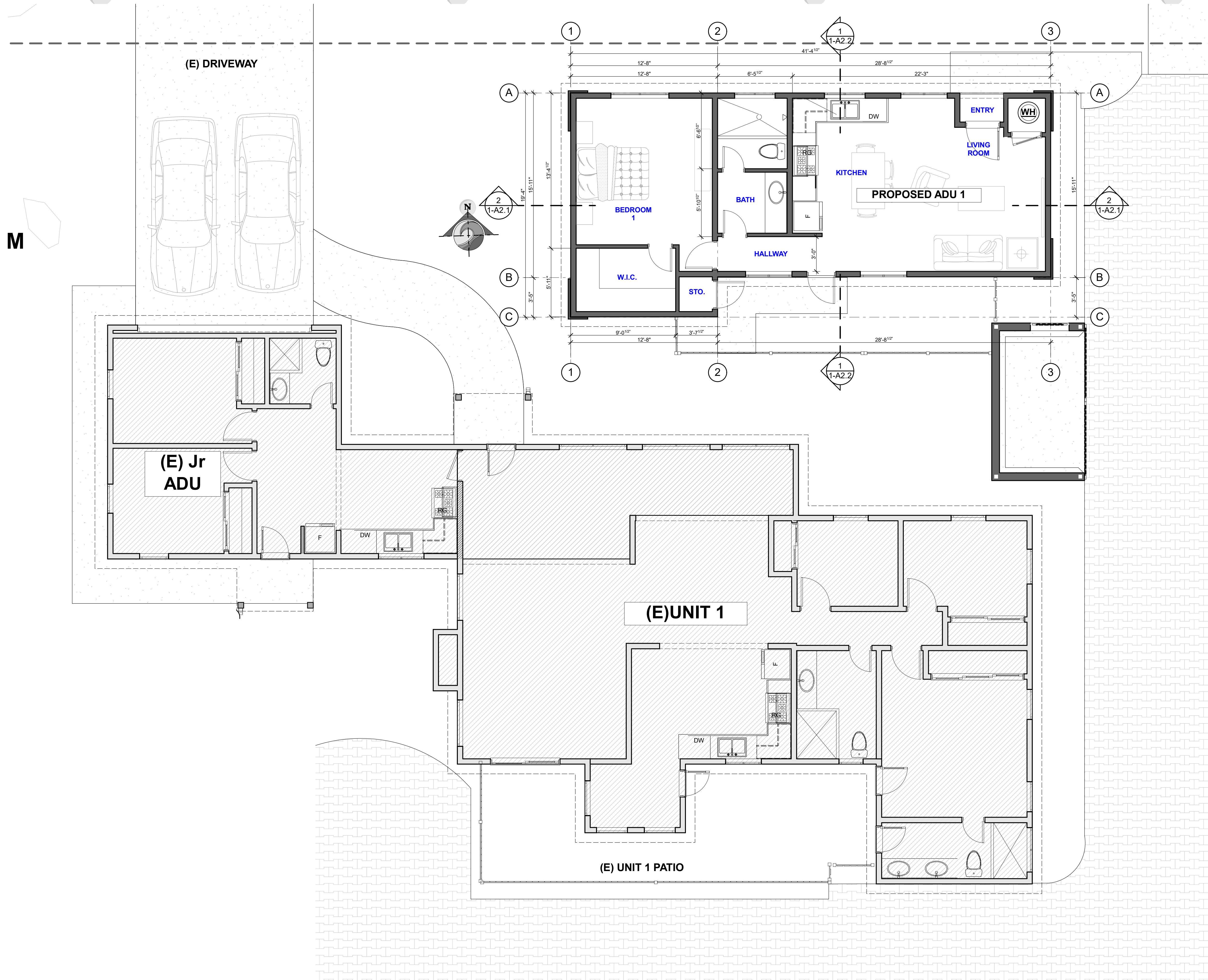
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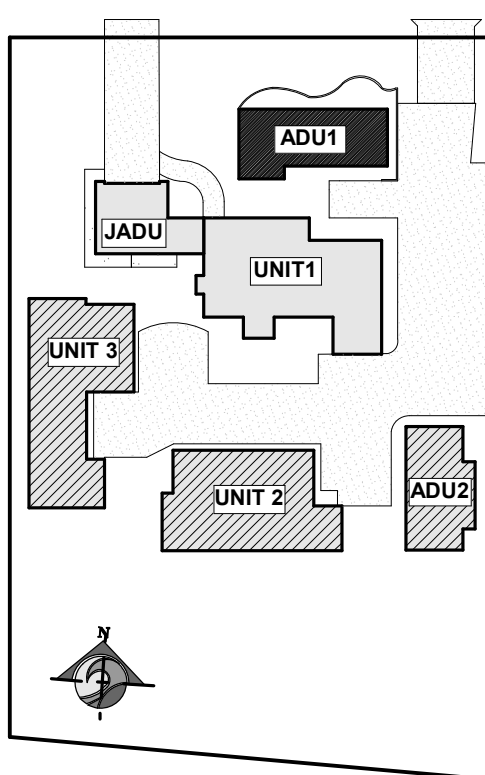
1 EXISTING UNIT 1 FLOOR PLAN & NEW ADU #1
1/4" = 1'-0"

GENERAL NOTES:

1. ALL PLUMBING FIXTURES AND FITTINGS ILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2019 CBC.
2. ALL WATER CLOSETS SHALL BE "ULTRA LOW FLUSH".
3. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
4. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
5. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
6. PROVIDE WATER CLOSET A MAXIMUM FLOW OF 1.28 GALLONS FLUSH PER MINUTE (GPF).
7. PROVIDE MIXING VALVES AT SHOWER.
8. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
9. NO CPVC STATE HEALTH & SAFETY CODE 104 @ 12" O.C. F.N.
10. MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS.
11. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC).
12. BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM) CFM AND NOISE RATING ("SONE") (GENERALLY 3 SONE MAX. AS USED INTERMITTENTLY). ALL INSTALLED EXHAUST FANS MUST BE SPECIFIED AT A NOISE RATING OF A MAXIMUM 1 "SONE" FOR THE CONTINUOUS USE OR MAXIMUM 3 "SONE" FOR THE INTERMITTENT USE.
13. ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. PELLET STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
14. "STATE HEALTH & SAFETY CODE BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
15. TUB/SHOWERS WALLS, COVER WALLS AND CEILINGS IN TUB & SHOWER COMPARTMENTS W/ 156 FEET. MATERIALS USED ON SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
16. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
17. ALL EXTERIOR AND INTERIOR WALLS ARE 2x4 @ 16" O.C. U.N.G. PER PLAN.
18. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS".
19. SMOKE ALARMS SHALL BE PROVIDED EVERY EXISTING AND NEW BEDROOM (HARD WIRED W/ BATTERY BACK-UP) * SEE ELECTRICAL PLANS WITH ALL RELATED NOTES.
20. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. * SEE ELECTRICAL PLANS WITH ALL RELATED NOTES.
21. EGRESS WINDOWS SHALL HAVE A MAX. OF 44".
22. OUTDOOR SHOWER DRAINS AND SINKS ARE NOT PERMITTED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER. HOT AND COLD WATER CONNECTIONS ALLOWED.
22. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
23. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR.
24. WATER HEATER:
A.O. SMITH PROMAX DIRECT VENT MODEL GDV50L
50 GALLON CAPACITY, 40,000 BTUH, 91 GPH @60° F
ENERGY FACTOR 0.62, 200 LBS.
25. ATTIC / UNDERFLOOR INSTALLATION
MUST COMPLY WITH SECTIONS 904.808 AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
26. Electrical receptacle outlets, switches and controls intended to be used by occupants shall be located no more than 48" measured from the top of the outlet box and not less than 15" measured from the bottom of the outlet box above the finish floor.
27. Specify doorbell controls to not exceed 48" above exterior floor, measured from the top of the doorbell button assembly.
28. Gypsum board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity. CRC R702.3.7.1

Floor Plan Legend

- EXISTING INTERIOR WALLS to remain
- NEW 2X stud wall @16" O.C. w/ plywood sheathing per structural. Finish interior with 5/8" drywall. Exterior w/ stucco finish. Use greenboard in restrooms. Use cement, or glass mat gypsum.
- SA SMOKE ALARM
The smoke alarms are ionization smoke alarms with alarm silencing switch, or photoelectric smoke alarm in accordance CRC R314.3.3 (4)
- CA CARBON MONOXIDE ALARM
REQUIRED PER SECTION R315.2



Revisions:

NEW HOUSES AND ADU'S

NARANCA RESIDENCES

1375 NARANCA AVE., EL CAJON, CA 92021

PROPOSED FLOOR PLAN ADU_1

Date: 08-13-26

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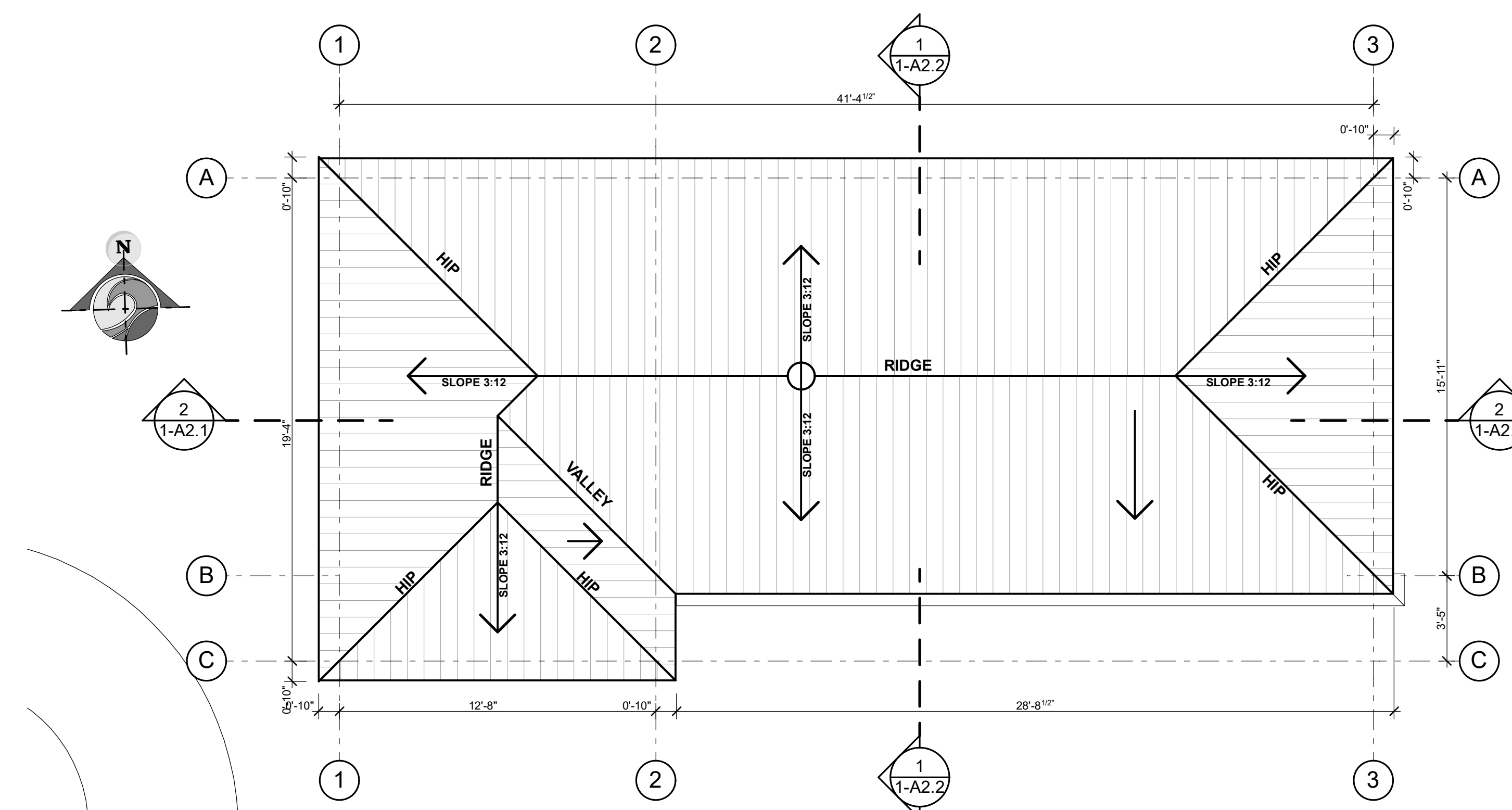
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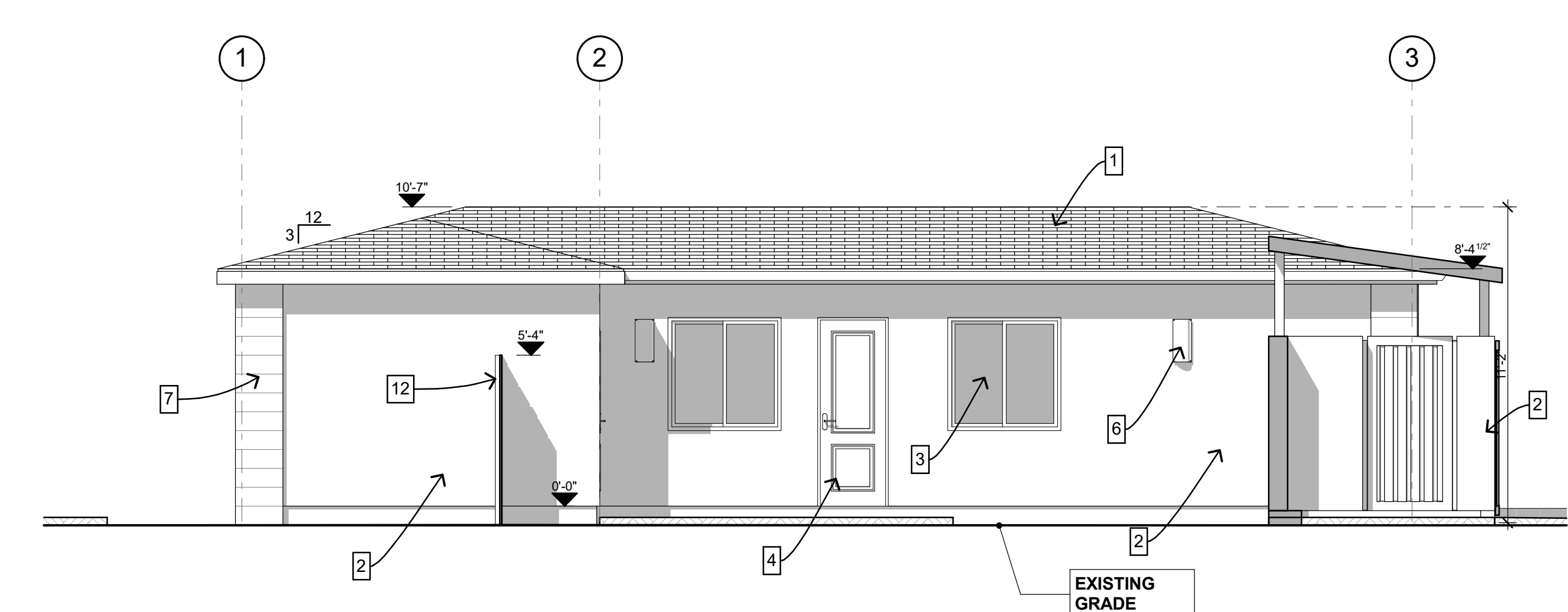
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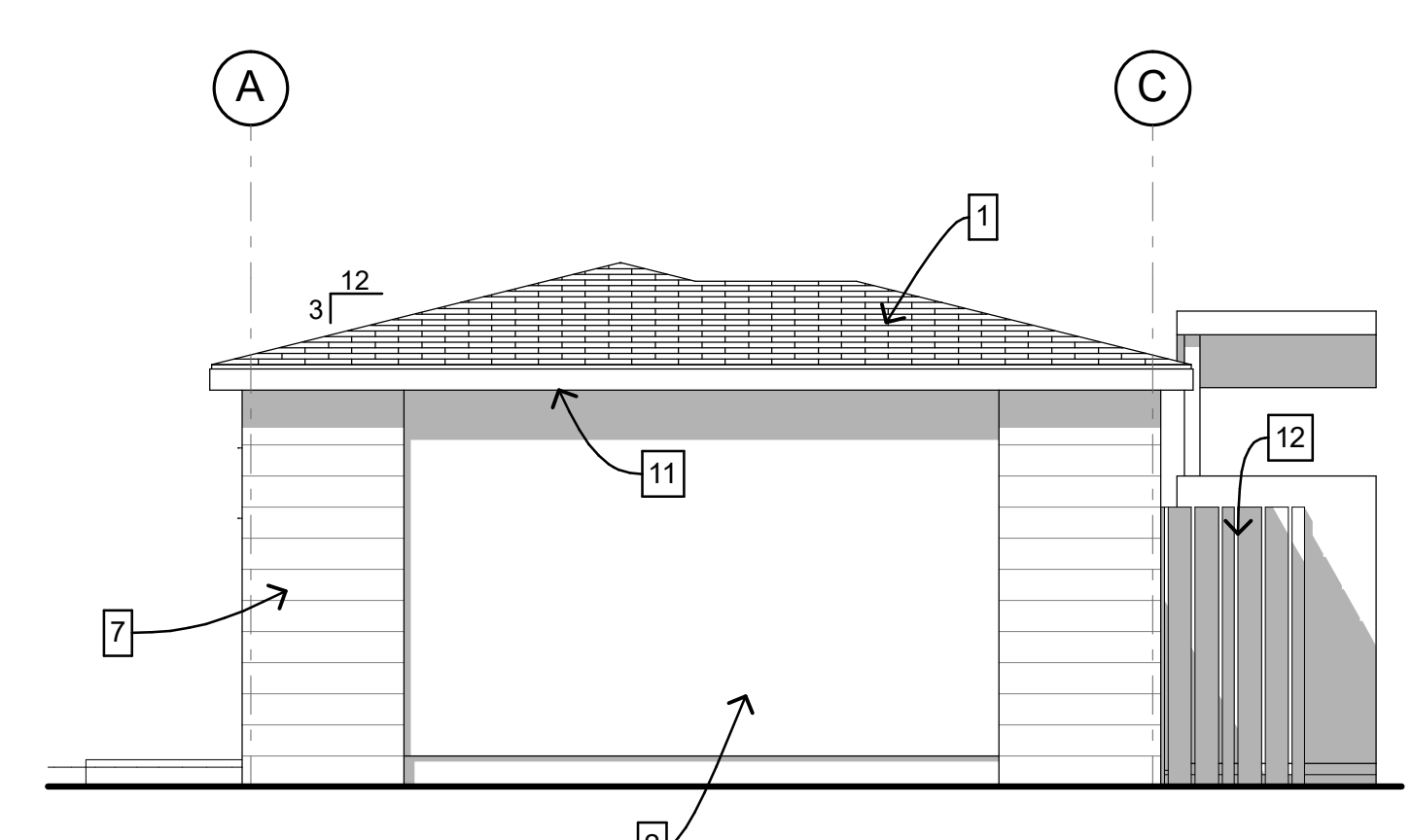
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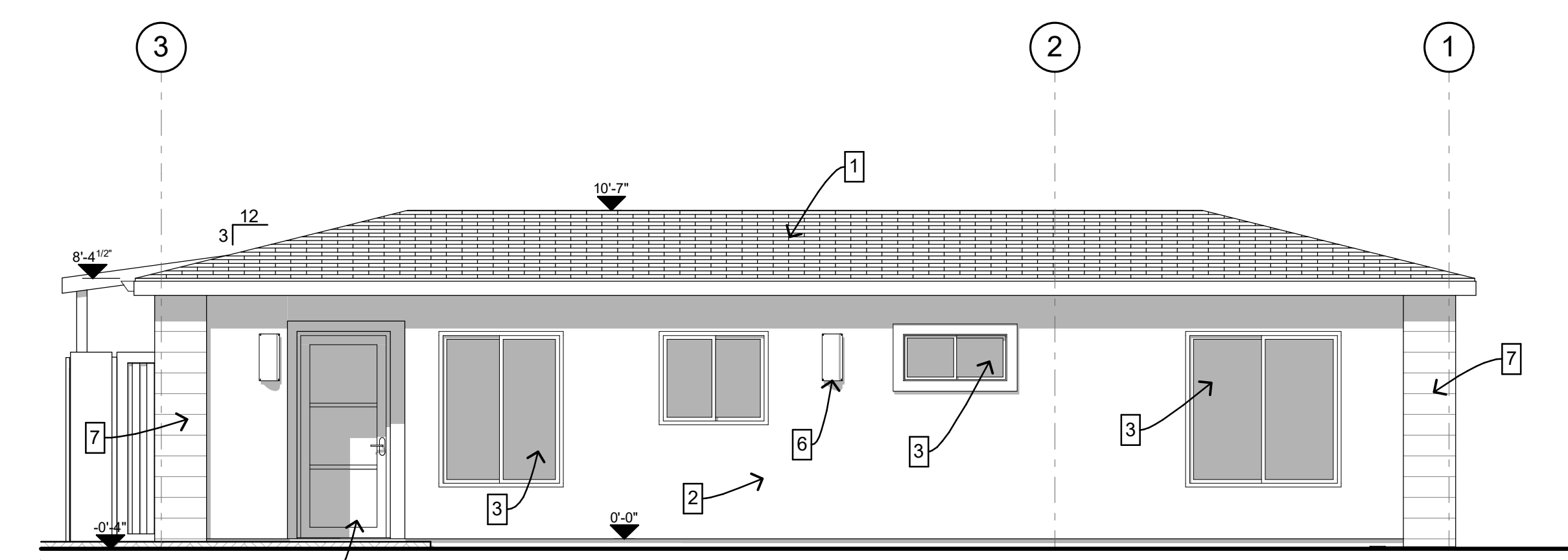
0 ROOF PLAN ADU_1
1/4" = 1'-0"



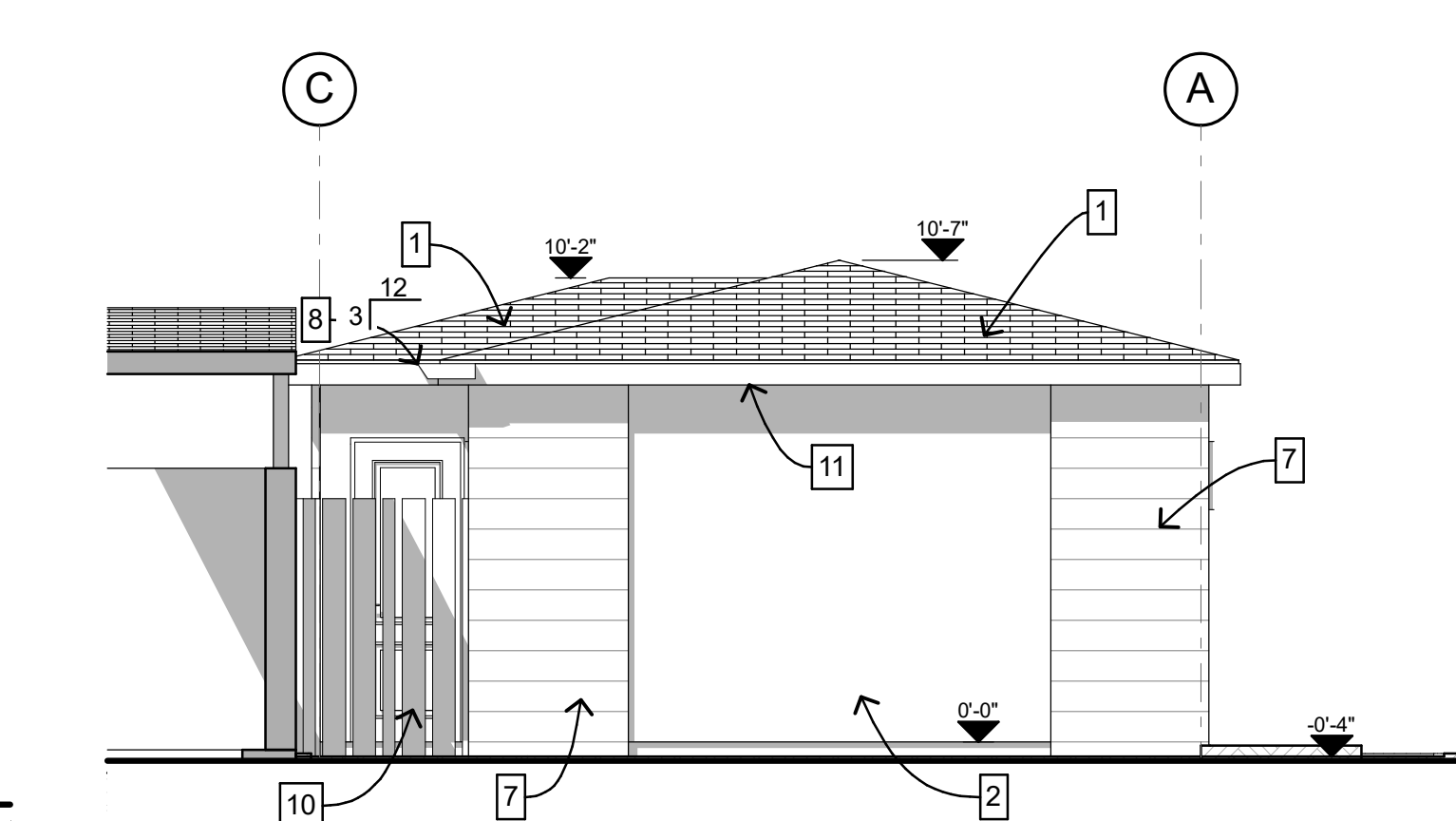
1 SOUTH ELEVATION ADU_1
1/4" = 1'-0"



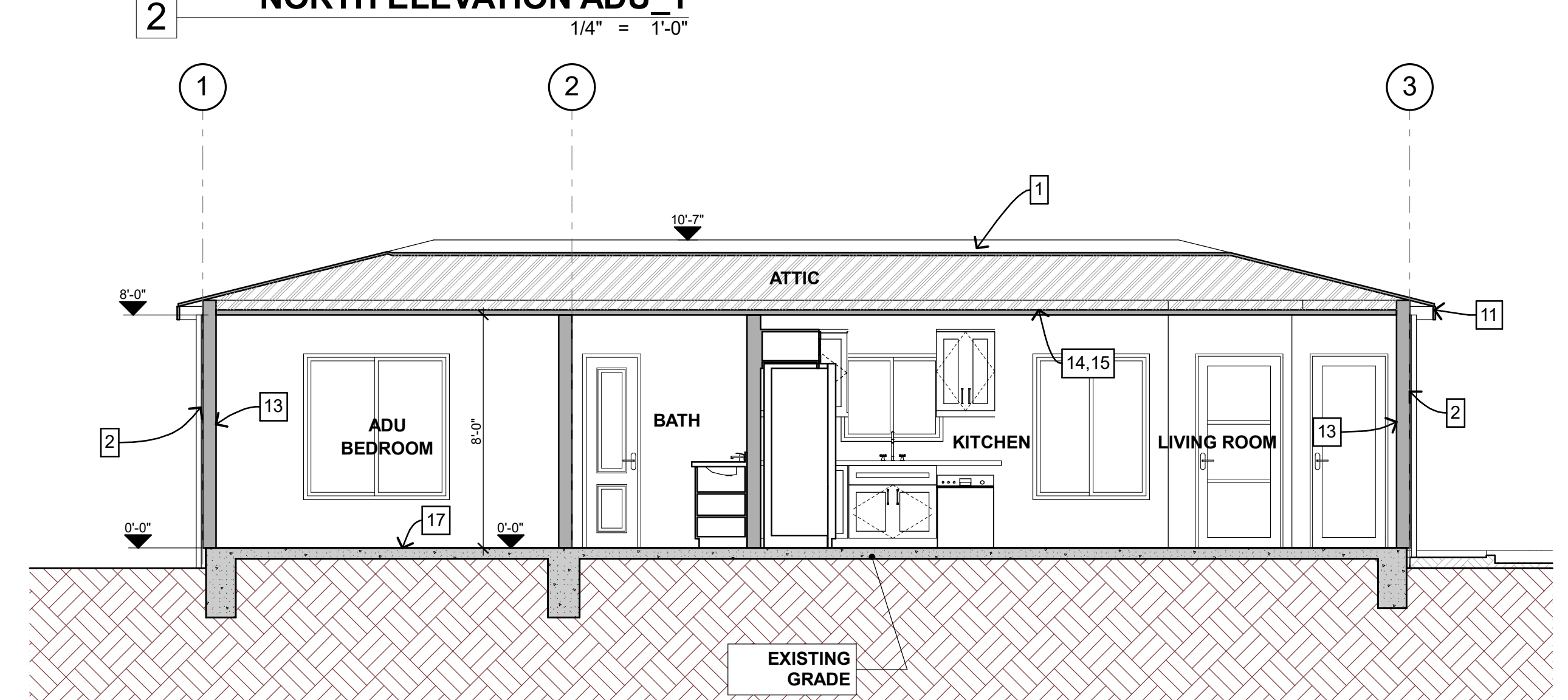
4 WEST ELEVATION ADU_1
1/4" = 1'-0"



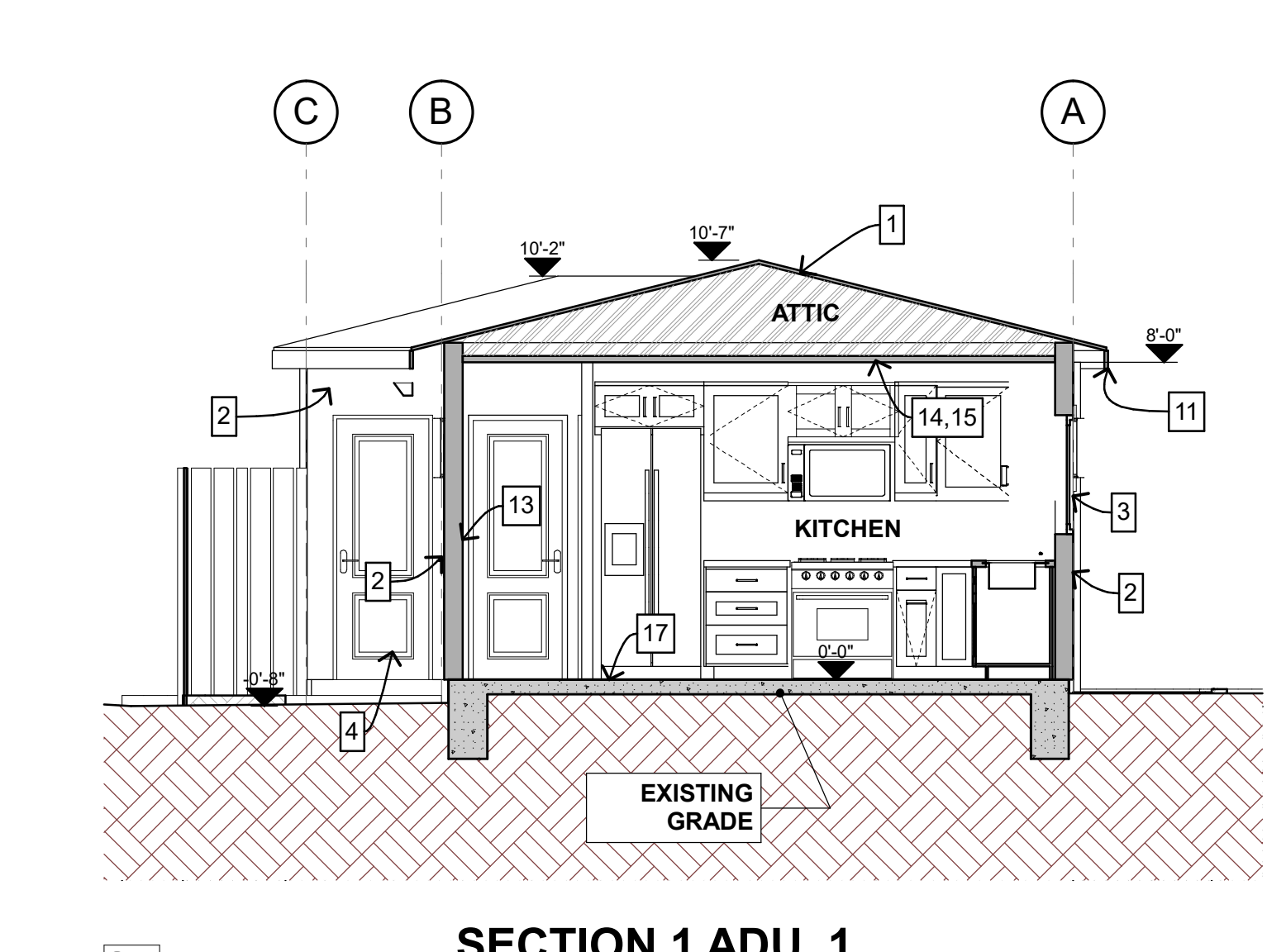
2 NORTH ELEVATION ADU_1
1/4" = 1'-0"



3 EAST ELEVATION ADU_1
1/4" = 1'-0"



S2 SECTION 2 ADU_1
1/4" = 1'-0"



S1 SECTION 1 ADU_1
1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

1. ROOFING ASSEMBLY, CLASS "A"
CERTAINEED ASPHALT ROOF SHINGLE
ICC ESR 3537
ROOFING MATERIAL TO BE INSTALLED
OVER TWO LAYERS OF 40# BUILDING PAPER.
2. THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR
OTHER PROJECTION SHALL NOT EXCEED 30"
ABOVE GRADE.
3. ATTIC VENTILATION OPENINGS SHALL BE
COVERED WITH CORROSION RESISTANT
METAL MESH WITH OPENINGS OF 1/4"
DIMENSION.
4. ALL EAVES TO HAVE VENT BLOCKING
THROUGHOUT TO PROVIDE A MINIMUM VENT
AREA OF 1:150 OF ATTIC AREA.
5. PROVIDE A MINIMUM OF 1" AIR SPACE
BETWEEN THE INSULATION AND THE ROOF
SHEATHING.
6. ALL ROOF JACKS, PIPES, PANS, & CHIMNEY
COVERS TO HAVE TWO COATS OF PRIMER AND
ONE COAT OF INDUSTRIAL GRADE ENAMEL.
7. ALL HORIZONTAL STORM DRAIN PIPING SHALL
HAVE A SLOPE OF 1/4" PER FT.

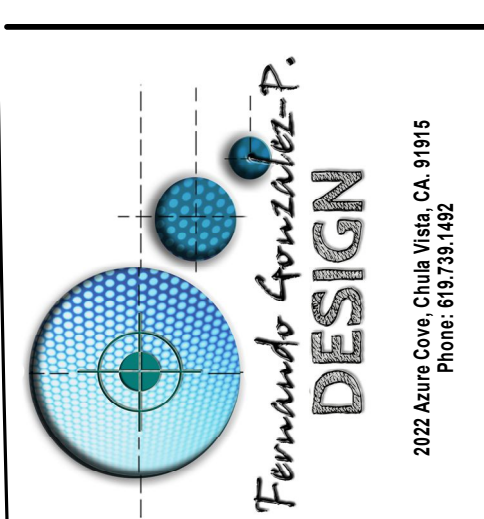
Roof Plan Legend

- Roof vent, Rectangular
attic vent, Thunderbird
products 16 oz Cooper

ELEVATION & SECTIONS KEY NOTES

1. ROOFING ASSEMBLY, CLASS "A"
CERTAINEED ASPHALT ROOF SHINGLE
ICC ESR 3537
ROOFING MATERIAL TO BE INSTALLED
OVER TWO LAYERS OF 40# BUILDING
PAPER.
2. STUCCO FINISH:
7/8" EXTERIOR PLASTER (SCRATCH,
BROWN & FINISH COAT) OVER METAL
LATH, OVER PLYWOOD SHEATHING PER
STRUCTURAL.
3. WINDOW PER SCHEDULE.
4. DOOR PER SCHEDULE.
5. WOOD COLUMN PER DETAIL.
6. HIGH EFFICACY EXTERIOR LIGHT.
7. NEW FIBER CEMENT SIDING
JAMES HARDIE ICC-ESR 1844.
8. METAL GUTTER.
9. METAL DOWNSPOUT.
10. ROOF VENT.
11. 2X PAINTED WOOD FASCIA.
12. 6" HEIGHT VINYL FENCE.
13. R-15 INSULATIONS ON WALLS.
14. R-30 AND R13 ROOF INSULATION.
15. 5/8" GYP BOARD.
16. 5/8" TYPE "X" GYP BOARD.
17. CONCRETE SLAB ON GRADE PER
STRUCTURAL.
18. FLOOR FRAMING PER STRUCTURAL.
19. 2x STUD FRAME WALLS.

NEW HOUSES AND ADU'S
NARANCA RESIDENCES
1375 NARANCA AVE., EL CAJON, CA 92021



ROOF PLAN, ELEVATIONS & SECTIONS
ADU 1

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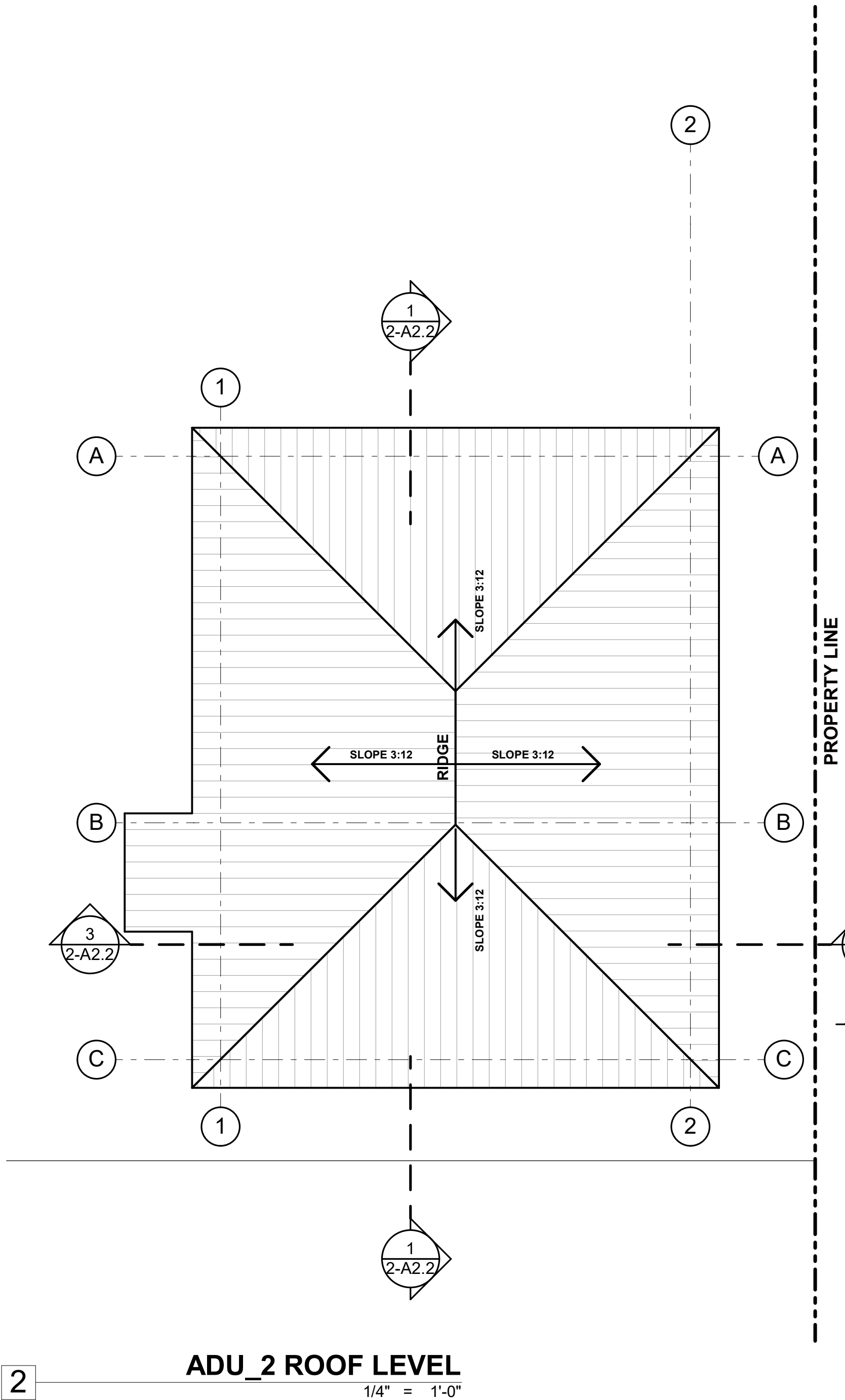
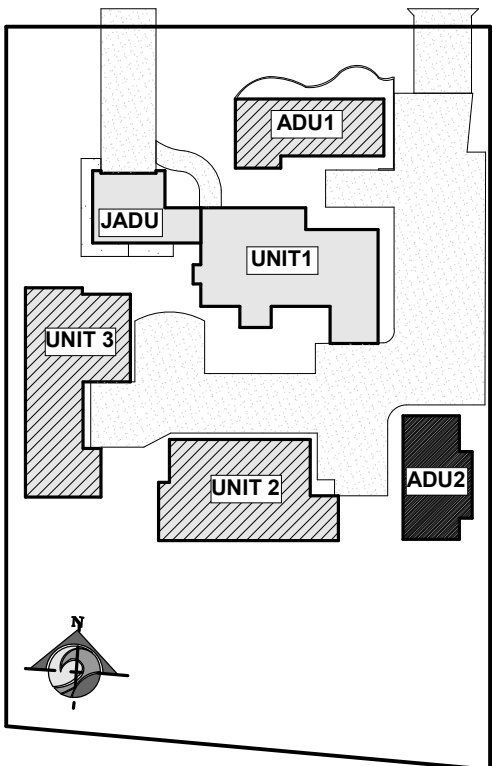
GENERAL NOTES:

1. ALL PLUMBING FIXTURES AND FITTINGS ILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2018 CBC
2. ALL WATER CLOSETS SHALL BE "ULTRA LOW FLUSH"
3. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM)
4. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM)
5. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM)
6. PROVIDE WATER CLOSET A MAXIMUM FLOW OF 1.28 GALLONS FLUSH PER MINUTE (GPF)
7. PROVIDE MIXING VALVES AT SHOWER
8. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
 1. FANS SHALL BE **ENERGY STAR** COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
 2. UNLESS FUNCTIONING AS A COMPONENT OF WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT
9. NO CPVC STATE HEALTH & SAFETY CODE 104 @ 12" O.C. F.N.
10. MINIMUM CLEARANCES OF 18" FROM THE CENTER LINE OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS
11. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC)
12. BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM) CFM AND NOISE RATING ("SONE") (GENERALLY 3 "SONE" MAX. AS USED INTERMITTENTLY). ALL INSTALLED EXHAUST FANS MUST BE SPECIFIED AT A NOISE RATING OF A MAXIMUM 1 "SONE" FOR THE CONTINUOUS USE OR MAXIMUM 3 "SONE" FOR THE INTERMITTENT USE.
13. ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
14. "STATE HEALTH & SAFETY CODE BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
15. TUB/SHOWERS WALLS: COVER WALLS AND CEILINGS IN TUB & SHOWER COMPARTMENTS W/ 1/8" FELT MATERIALS USED ON SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
16. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
17. ALL EXTERIOR AND INTERIOR WALLS ARE 2x4 @ 16" O.C. U.N.O. PER PLAN
18. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS".
19. SMOKE ALARMS SHALL BE PROVIDED EVERY EXISTING AND NEW BEDROOM/HARD WIRED W/ BATTERY BACK-UP" *SEE ELECTRICAL PLANS WITH ALL RELATED NOTES"
20. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WICH FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. *SEE ELECTRICAL PLANS WITH ALL RELATED NOTES"
21. EGRESS WINDOWS SHALL HAVE A MAX. OF 44"
22. OUTDOOR SHOWER DRAINS AND SINKS ARE NOT PERMITTED TO CONNECT TO THE PUBLIC SEWER SYSTEM UNLESS EQUIPED WITH AN APPROVED COVER. HOT AND COLD WATER CONNECTIONS ALLOWED.
22. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
23. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FEET ABOVE THE FLOOR.
24. WATER HEATER: A.O. SMITH PROMAX DIRECT VENT MODEL GDV50L 50 GALLON CAPACITY, 40,000 BTU/H, 91 GPH @90° F ENERGY FACTOR 0.62, 200 LBS.
25. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908 AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)
26. Electrical receptacle outlets, switches and controls intended to be used by occupants shall be located no more than 48" measured from the top of the outlet box and not less than 15" measured from the bottom of the outlet box above the finish floor.
27. Specify doorbell controls to not exceed 48" above exterior floor, measured from the top of the doorbell button assembly.
28. Gypsum board shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity. CRC R702.3.7.1

Floor Plan Legend

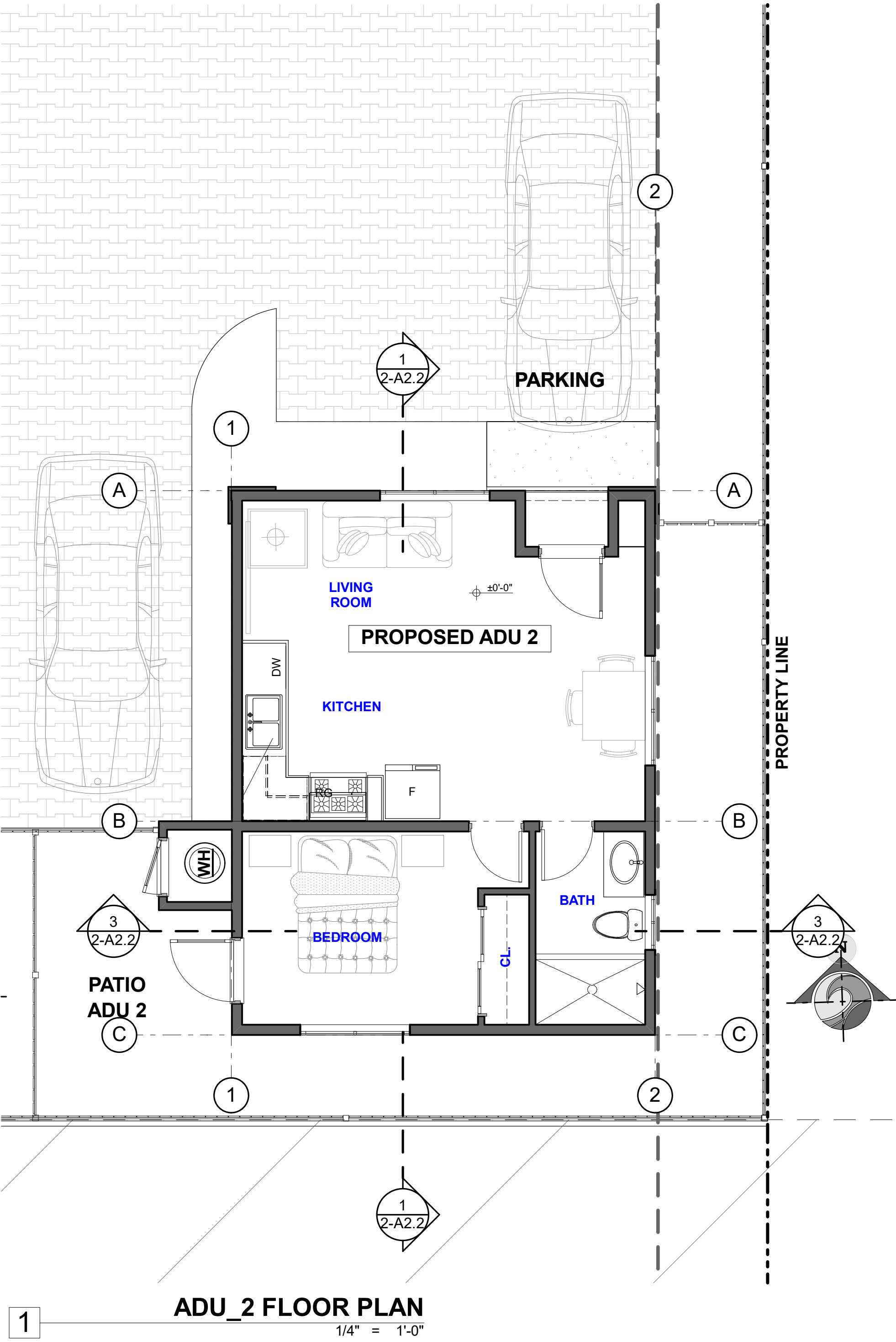
- EXISTING INTERIOR WALLS to remain
- NEW 2X stud wall @16" O.C. w/ plywood sheathing per structural. Finish interior with 5/8" drywall. Exterior w/ stucco finish. Use greenboard in restrooms. use cement, or glass mat gypsum.

- SMOKE ALARM: the smoke alarms are ionization smoke alarms with alarm silencing switch, or photoelectric smoke alarm in accordance CRC R314.3.3 (4)
- CARBON MONOXIDE ALARM REQUIRED PER SECTION R315.2



ADU_2 ROOF LEVEL

1/4" = 1'-0"



ADU_2 FLOOR PLAN

1/4" = 1'-0"

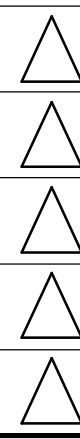
ROOF PLAN
GENERAL NOTES

1. ROOFING ASSEMBLY, CLASS "A" CERTAINEED ASPHALT ROOF SHINGLE ICC ESR 3537 ROOFING MATERIAL TO BE INSTALLED OVER TWO LAYERS OF 40# BUILDING PAPER.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30" ABOVE GRADE.
3. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH OPENINGS OF 1/4" DIMENSION.
4. ALL EAVES TO HAVE VENT BLOCKING THROUGHOUT TO PROVIDE A MINIMUM VENT AREA OF 1:150 OF ATTIC AREA.
5. PROVIDE A MINIMUM OF 1" AIR SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING.
6. ALL ROOF JACKS, PIPES, PANS, & CHIMNEY COVERS TO HAVE TWO COATS OF PRIMER AND ONE COAT OF INDUSTRIAL GRADE ENAMEL.
7. ALL HORIZONTAL STORM DRAIN PIPING SHALL HAVE A SLOPE OF 1/4" PER FT.

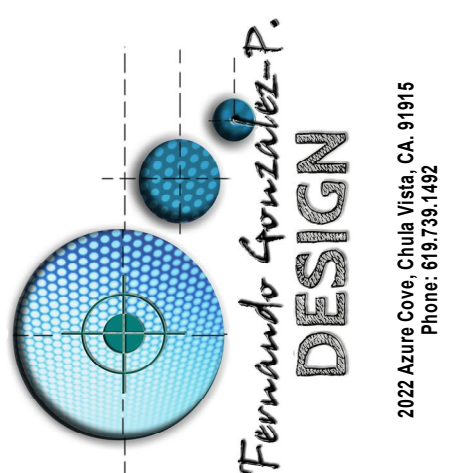
Roof Plan Legend

- Roof vent, Rectangular
attic vent, Thunderbird
products 16 oz Cooper

Revisions:



NEW HOUSES AND ADU'S
NARANCA RESIDENCES
1375 NARANCA AVE., EL CAJON, CA 92021



PROPOSED FLOOR PLAN & ROOF
PLAN

Date: 08-13-26

Scale:

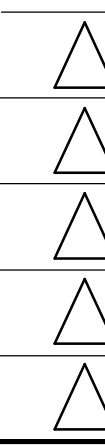
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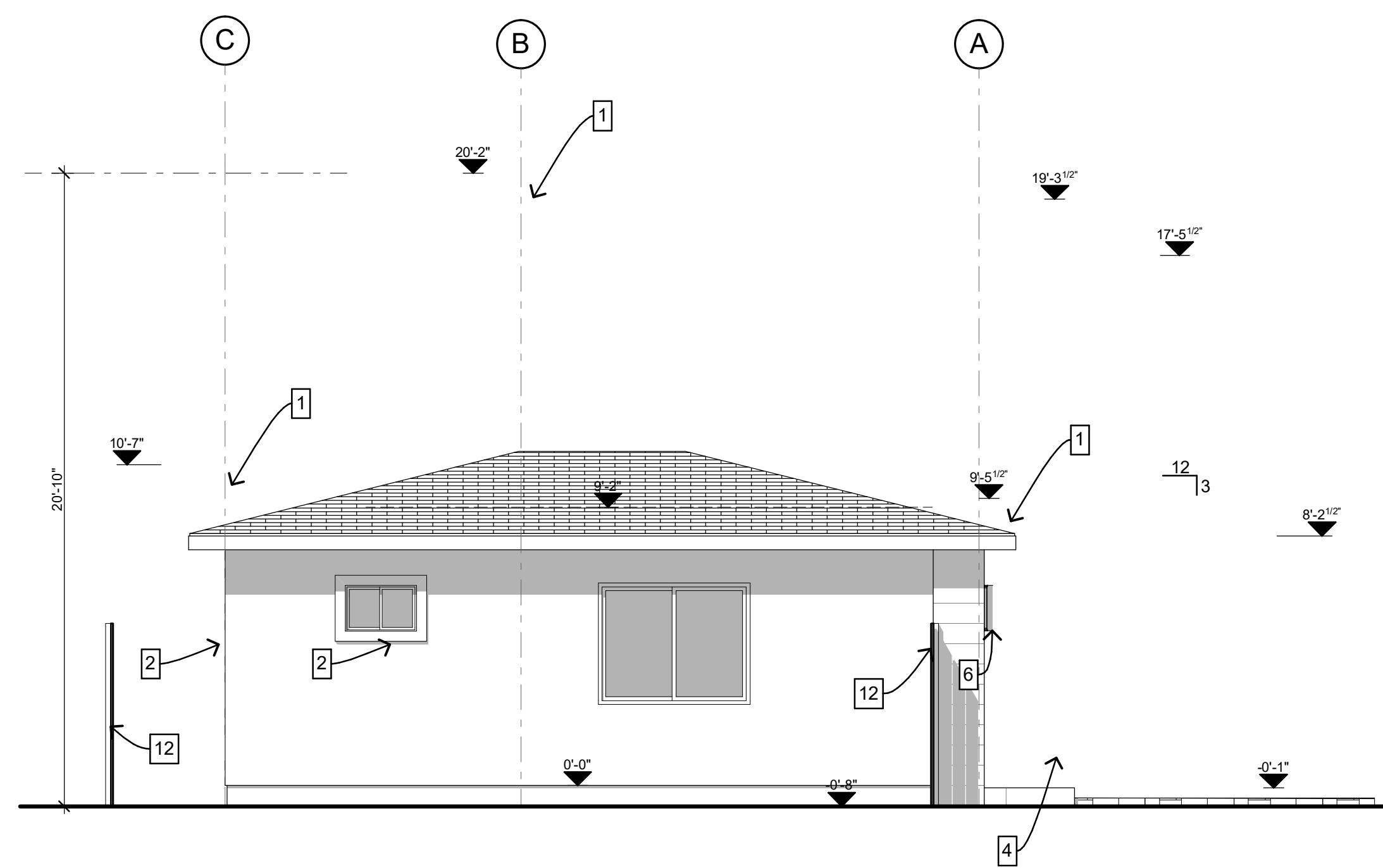
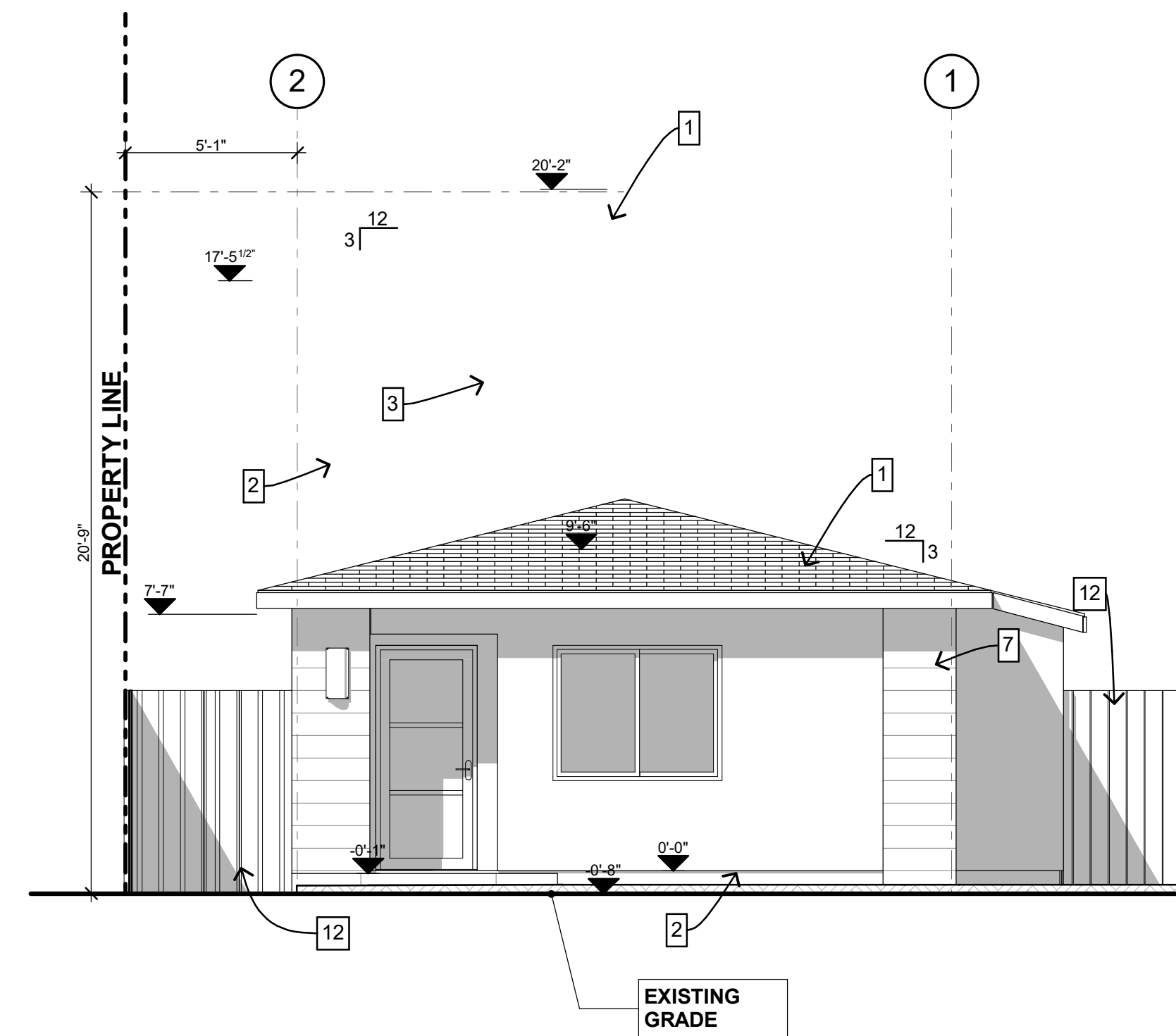
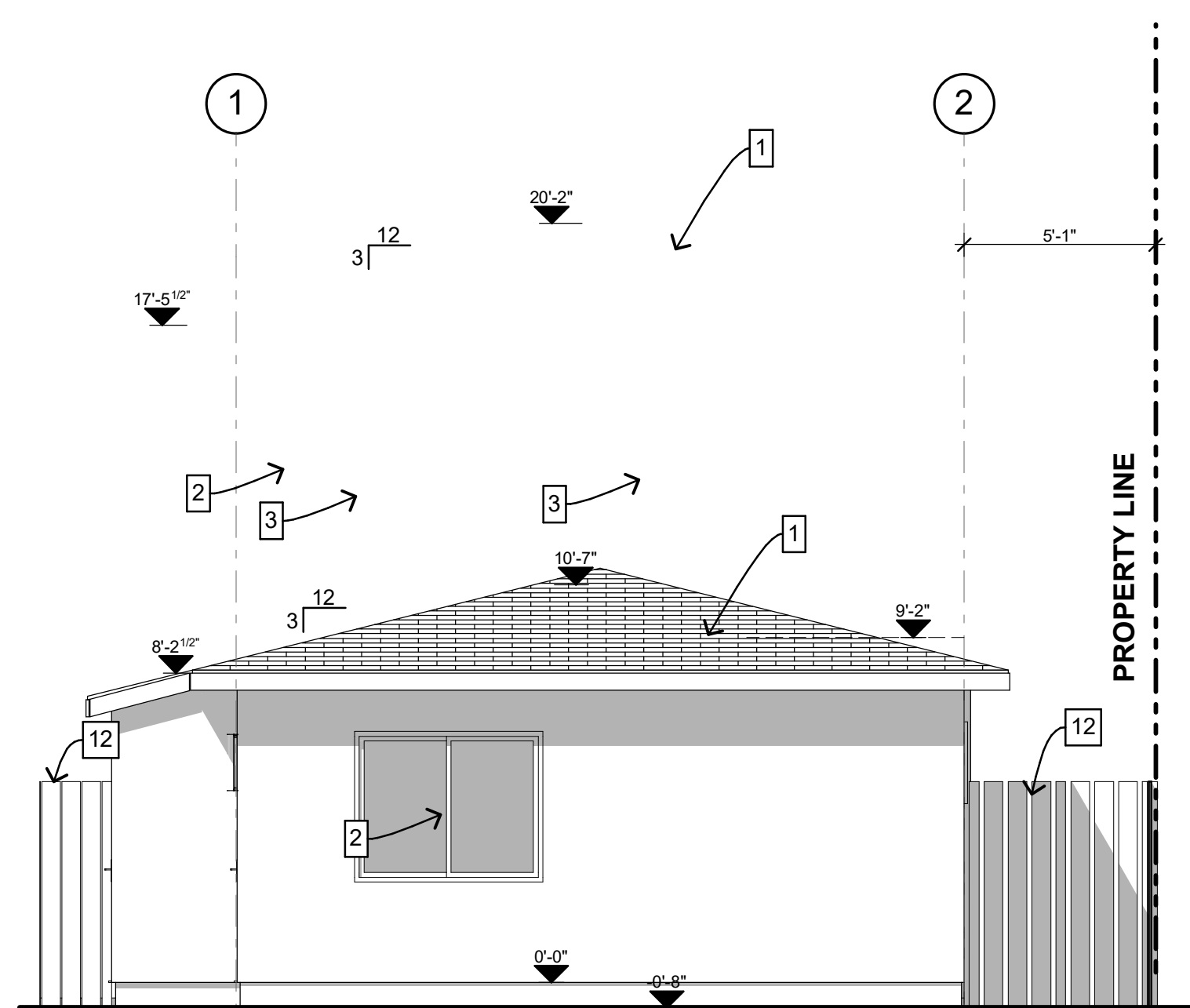
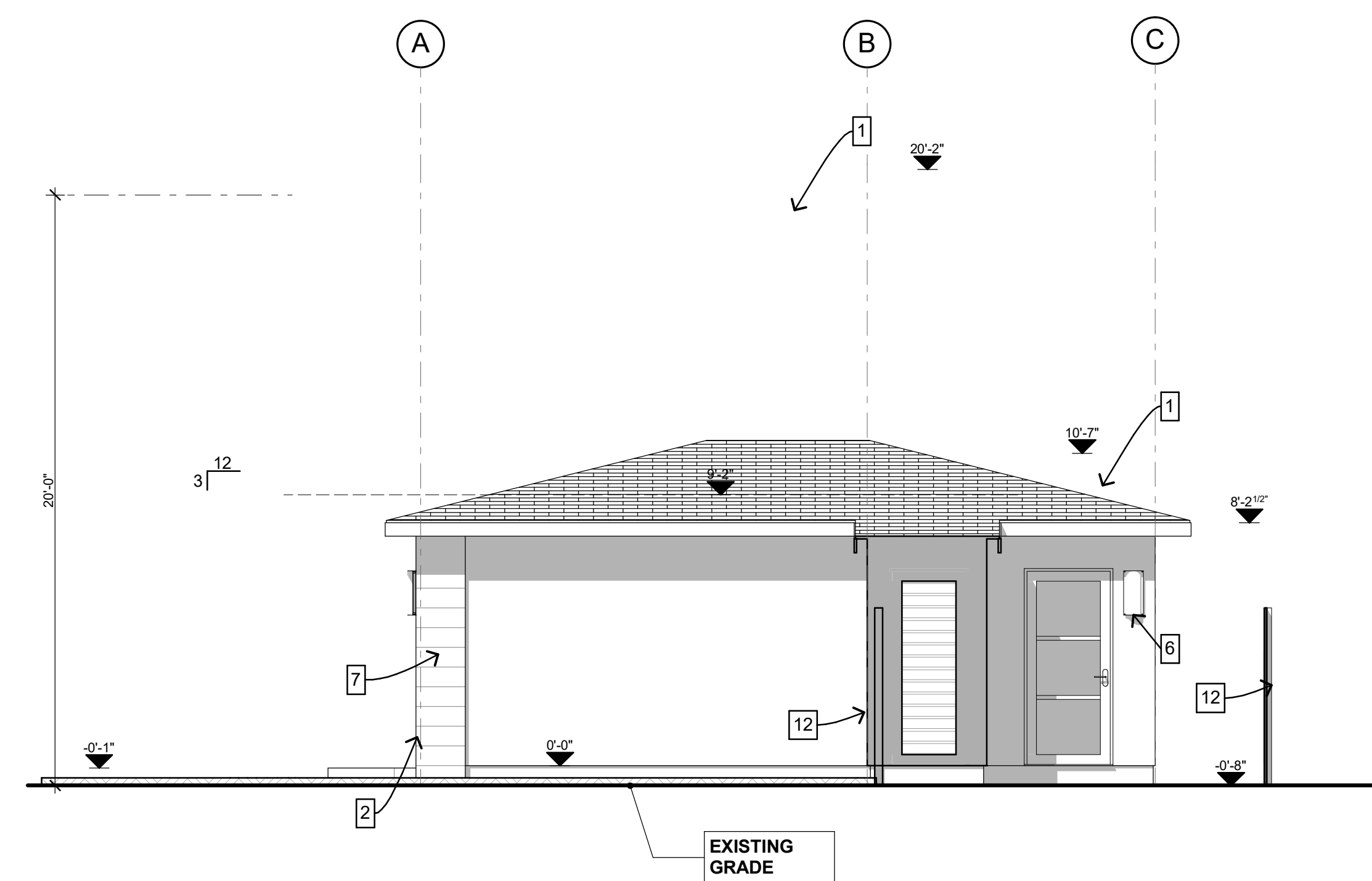
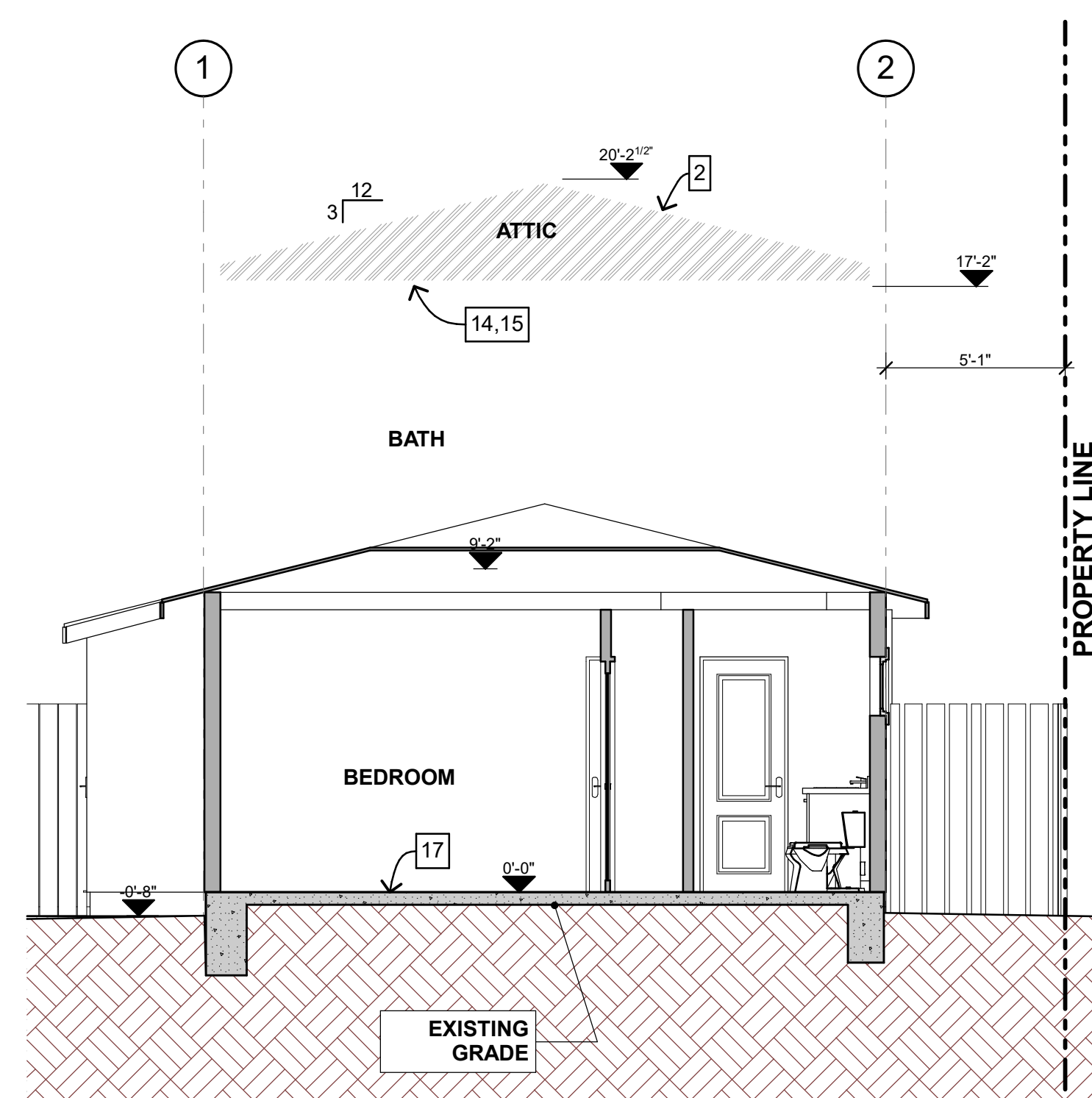
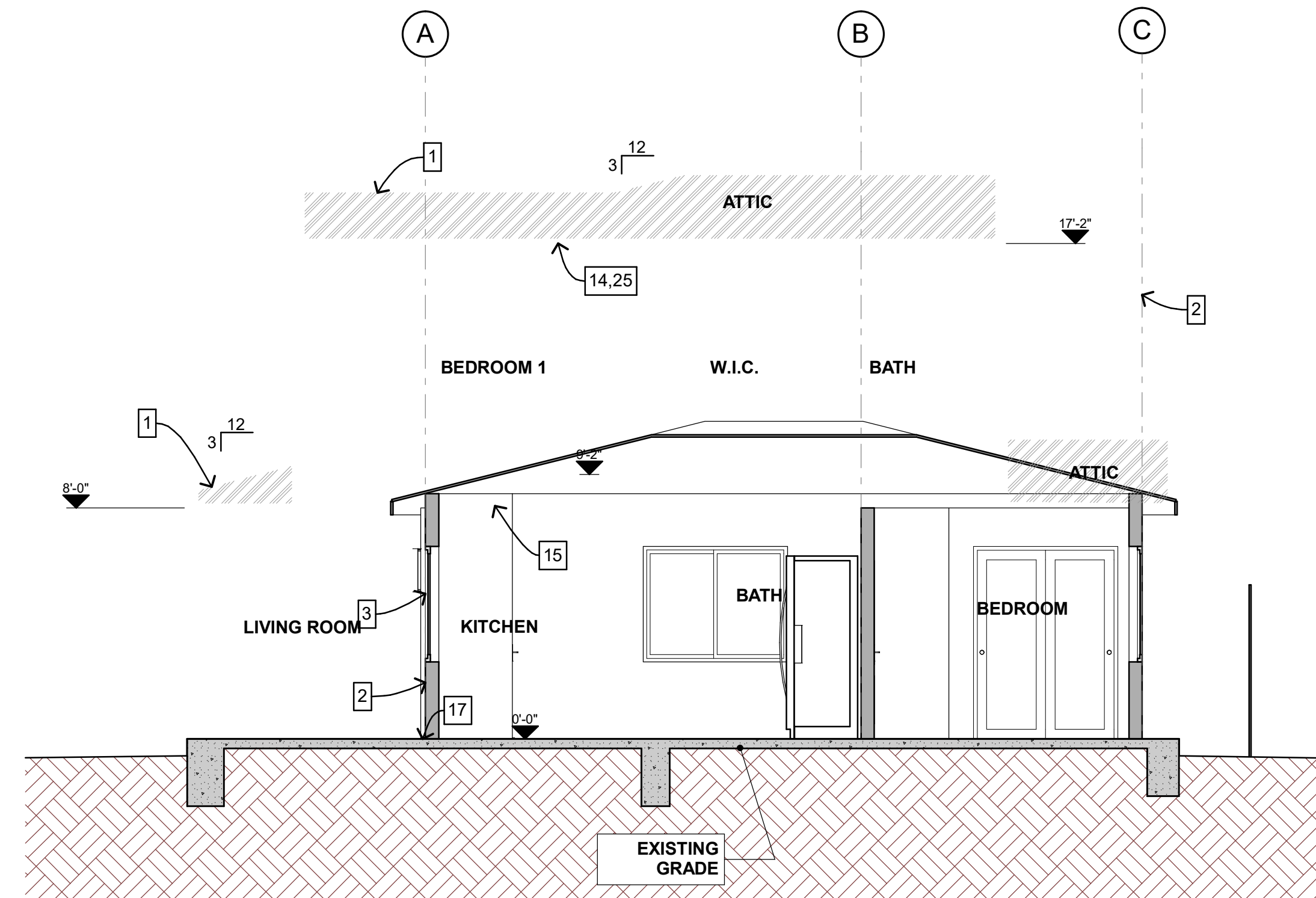
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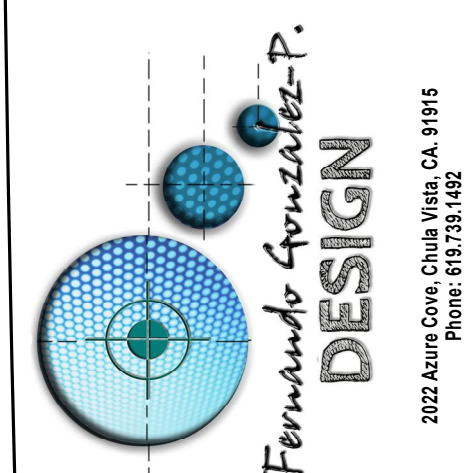
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**ELEVATION & SECTIONS
KEY NOTES**

1. ROOFING ASSEMBLY: GLASS 7"x1" CERTAINEED ASPHALT ROOF SHINGLE
ICC ESR 3537
ROOFING MATERIAL TO BE INSTALLED OVER TWO LAYERS OF 40# BUILDING PAPER.
2. STUCCO FINISH:
7/8" EXTERIOR PLASTER (SCRATCH, BROWN & FINISH COAT) OVER METAL LATH, OVER PLYWOOD SHEATING PER STRUCTURAL.
3. WINDOW PER SCHEDULE
4. DOOR PER SCHEDULE
5. WOOD COLUMN PER DETAIL
6. HIGH EFFICACY EXTERIOR LIGHT
7. NEW FIBER CEMENT SIDING
JAMES HARDIE ICC-ESR 1844
8. METAL GUTTER
9. METAL DOWNSPOUT
10. ROOF VENT
11. 2X PAINTED WOOD FASCIA
12. 6' HEIGHT VINYL FENCE
13. R-15 INSULATIONS ON WALLS
14. R-30 AND R13 ROOF INSULATION
15. 5/8" GYP. BOARD.
16. 5/8" TYPE "X" GYP BOARD
17. CONCRETE SLAB ON GRADE PER STRUCTURAL
18. FLOOR FRAMING PER STRUCTURAL
19. 2x STUD FRAME WALLS

**2 EAST ELEVATION ADU 2**
1/4" = 1'-0"**1 NORTH ELEVATION ADU 2**
1/4" = 1'-0"**4 SOUTH ELEVATION ADU 2**
1/4" = 1'-0"**3 WEST ELEVATION ADU 2**
1/4" = 1'-0"**S3 SECTION 3 ADU 2**
1/4" = 1'-0"**S1 SECTION 1 ADU 2**
1/4" = 1'-0"

NEW HOUSES AND ADU'S
NARANCA RESIDENCES
1375 NARANCA AVE., EL CAJON, CA 92021



PROPOSED ELEVATIONS & SECTIONS

Date: 08-13-26

Scale:

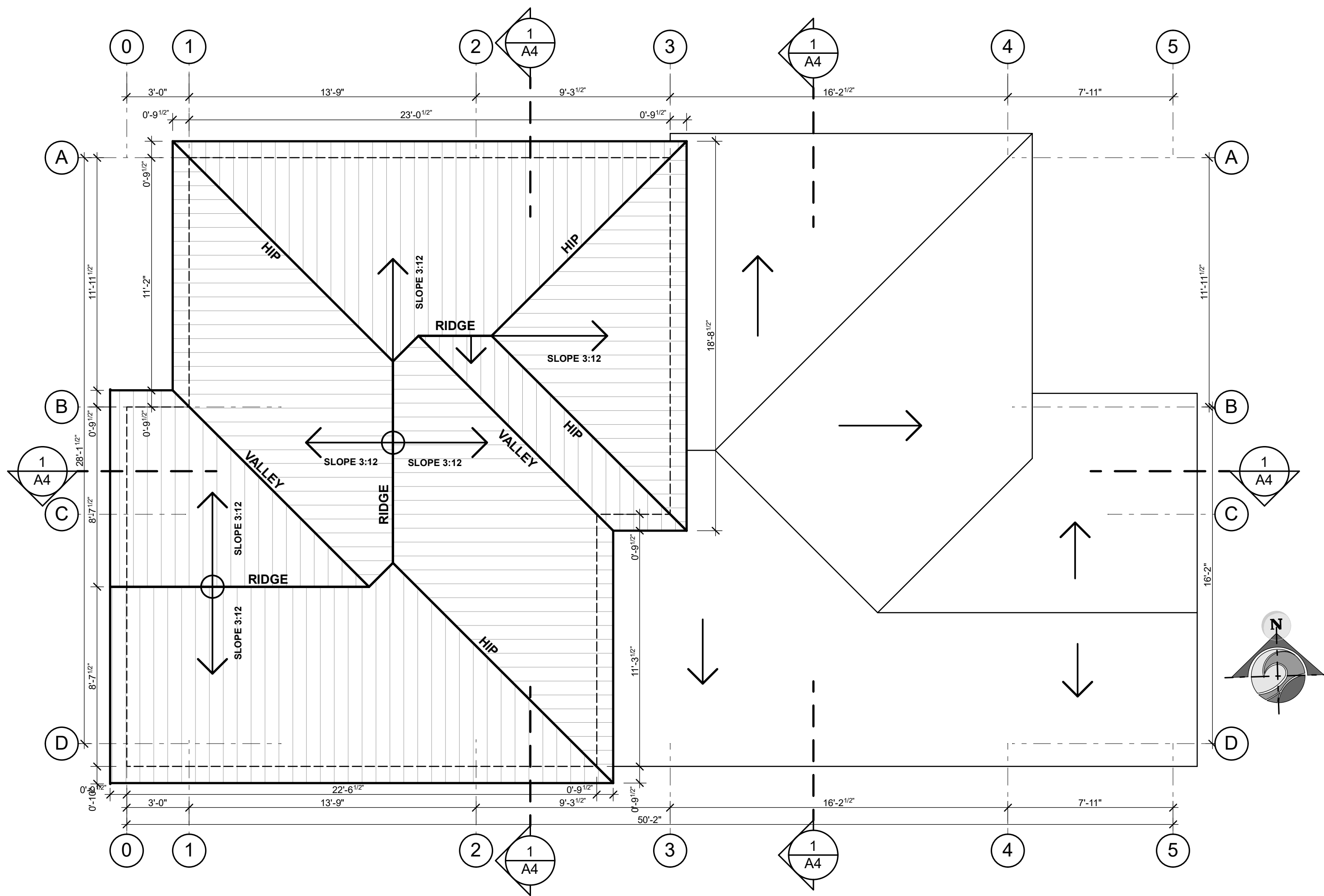
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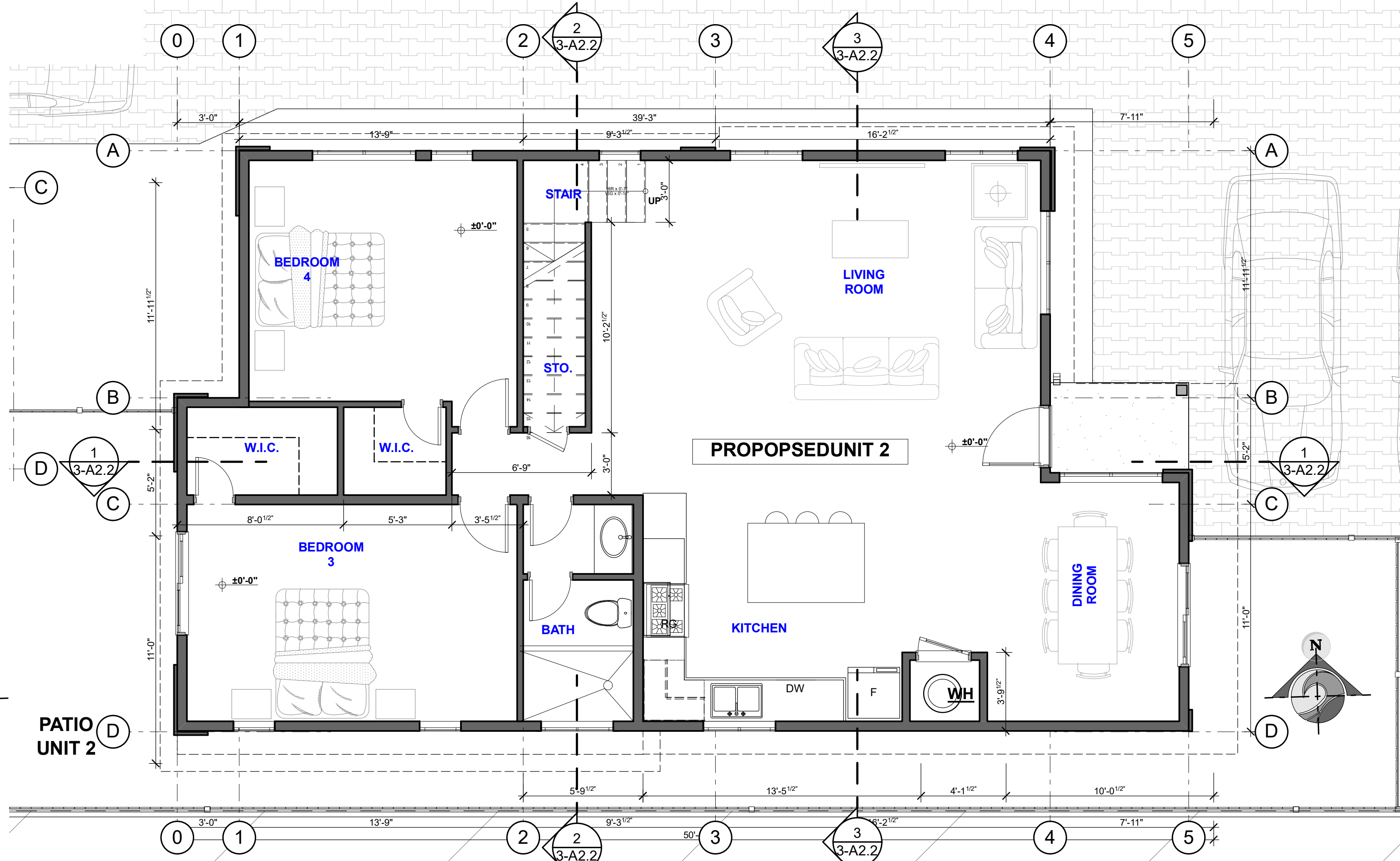
2 ROOF PLAN UNIT 2
1/4" = 1'-0"

ROOF PLAN GENERAL NOTES

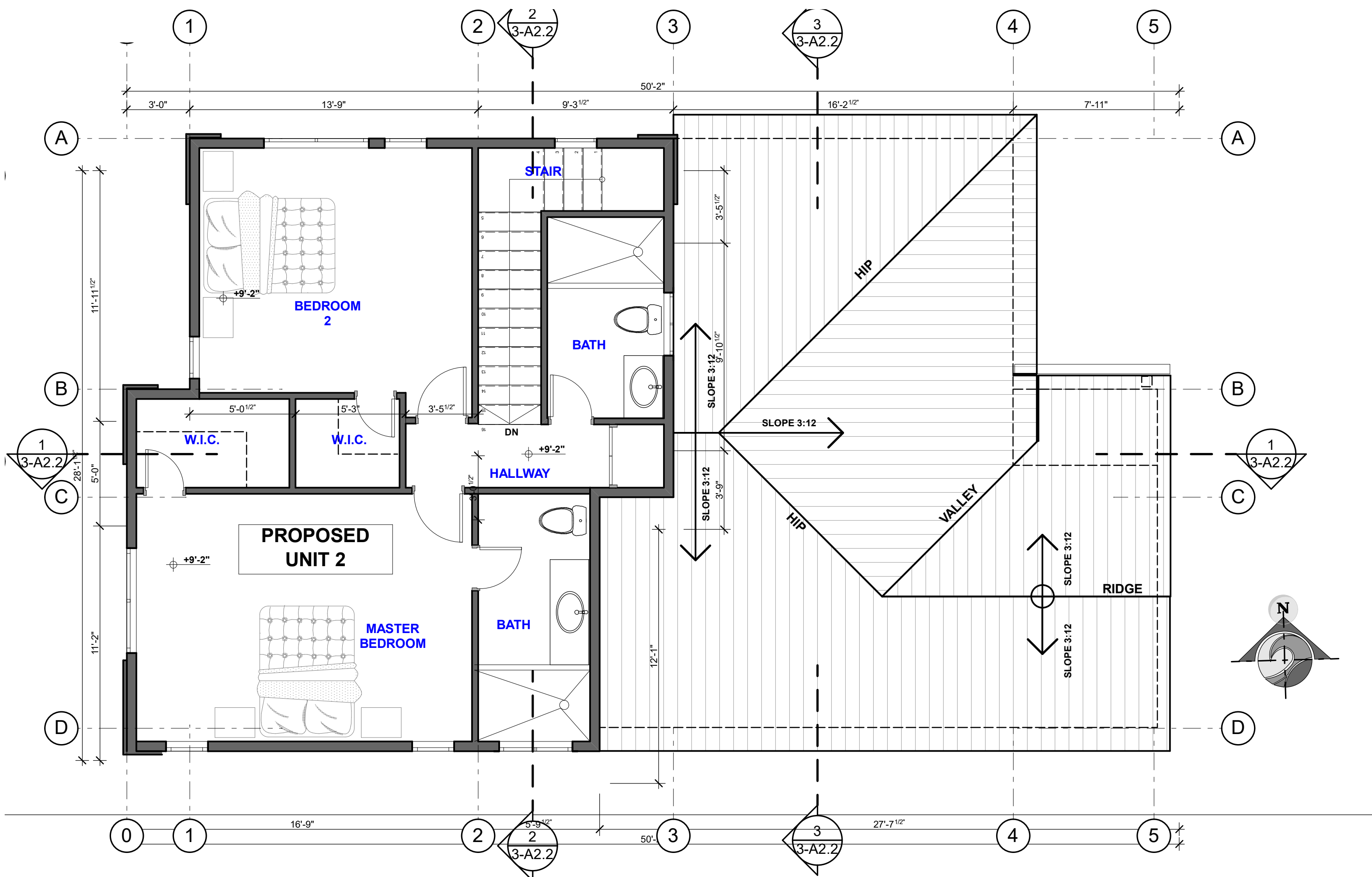
- ROOFING ASSEMBLY, CLASS "A"
CERTAINEED ASPHALT ROOF SHINGLE
ICC ESR 3537
ROOFING MATERIAL TO BE INSTALLED
OVER TWO LAYERS OF 40# BUILDING PAPER.
- THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR
OTHER PROJECTION SHALL NOT EXCEED 30"
ABOVE GRADE.
- ATTIC VENTILATION OPENINGS SHALL BE
COVERED WITH CORROSION RESISTANT
METAL MESH WITH OPENINGS OF 1/4"
DIMENSION.
- ALL EAVES TO HAVE VENT BLOCKING
THROUGHOUT TO PROVIDE A MINIMUM VENT
AREA OF 1:150 OF ATTIC AREA.
- PROVIDE A MINIMUM OF 1" AIR SPACE
BETWEEN THE INSULATION AND THE ROOF
SHEATHING.
- ALL ROOF JACKS, PIPES, PANS, & CHIMNEY
COVERS TO HAVE TWO COATS OF PRIMER AND
ONE COAT OF INDUSTRIAL GRADE ENAMEL.
- ALL HORIZONTAL STORM DRAIN PIPING SHALL
HAVE A SLOPE OF 1/4" PER FT.

Roof Plan Legend

Roof vent, Rectangular
attic vent, Thunderbird
products 16 oz Cooper



1 FLOOR PLAN UNIT 2
1/4" = 1'-0"



GENERAL NOTES:

- ALL PLUMBING FIXTURES AND FITTINGS ILL BE WATER
CONSERVING AND WILL COMPLY WITH THE 2018 CBC
- ALL WATER CLOSETS SHALL BE "ULTRA LOW FLUSH"
- PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW
OF 1.2 GALLONS PER MINUTE (GPM).
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW
OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW
OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE WATER CLOSET A MAXIMUM FLOW
OF 1.28 GALLONS FLUSH PER MINUTE (GPF).
- PROVIDE MIXING VALVES AT SHOWER
- MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY
FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE
DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF WHOLE
HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED
BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE
HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT
BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT
- NO CPVC STATE HEALTH & SAFETY CODE 104 @ 12" O.C. F.N.
- MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE
OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS.
- PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND
FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE
INSTALLED IN ACCORDANCE WITH THE CALIFORNIA
PLUMBING CODE (CPC).
- BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM)
SPM AND NOISE RATING ("SONE") (GENERALLY 3
SONE MAX AS USED INTERMITTENTLY). ALL
INSTALLED EXHAUST FANS MUST BE SPECIFIED
AT A NOISE RATING OF A MAXIMUM 1 "SONE"
FOR THE CONTINUOUS USE OR MAXIMUM 3 "SONE"
FOR THE INTERMITTENT USE.
- ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT VENT
SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE
OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II
EMISSION LIMITS WHERE APPLICABLE.
WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL
ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- STATE HEALTH & SAFETY CODE BANS THE USE
OF CHLORINATED POLYVINYL CHLORIDE
(CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
- TUB/SHOWERS WALLS, COVER WALLS AND CEILINGS IN TUB &
SHOWER COMPARTMENTS W/ 1/8" FELT MATERIALS USED ON
SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED
BY MOISTURE.
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED
WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM
BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME
LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE
PENETRATIONS IS NOT REQUIRED.
- ALL EXTERIOR AND INTERIOR WALLS ARE
24 @ 16" O.C. U.N.O. PER PLAN
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED
WITH ALL NEW HOSE BIBBS.
- SMOKE ALARMS SHALL BE PROVIDED EVERY EXISTING
AND NEW BEDROOM (HARD WIRED W/ BATTERY BACK-UP)
SEE ELECTRICAL PLANS WITH ALL RELATED NOTES
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN
DWELLING UNITS AND IN SLEEPING UNITS WHICH FUEL-
BURNING APPLIANCES ARE INSTALLED AND IN DWELLING
UNITS THAT HAVE ATTACHED GARAGES.
SEE ELECTRICAL PLANS WITH ALL RELATED NOTES*
- EGRESS WINDOWS SHALL HAVE A MAX. OF 44"
- OUTDOOR SHOWER DRAINS AND SINKS ARE NOT
PERMITTED TO CONNECT TO THE PUBLIC SEWER
SYSTEM UNLESS EQUIPPED WITH AN APPROVED COVER.
HOT AND COLD WATER CONNECTIONS ALLOWED.
- GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE
DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO
CONTINUOUS HIGH HUMIDITY.
- SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED
SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT
SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FEET
ABOVE THE FLOOR.
- WATER HEATER:
A.O. SMITH PROMAX DIRECT VENT MODEL GDV50L
50 GALLON CAPACITY, 40,000 BTU/H, 91 GPH @90° F
ENERGY FACTOR 0.62, 200 LBS.
- ATTIC / UNDERFLOOR INSTALLATION
MUST COMPLY WITH SECTIONS 904, 908 AND 909
OF THE CALIFORNIA MECHANICAL CODE (CMC)
- Electrical receptacle outlets, switches and controls intended
to be used by occupants shall be located no more than 48"
measured from the top of the outlet box and
not less than 15" measured from the bottom of the outlet box
above the finish floor.
- Specify doorbell controls to not exceed 48" above exterior
floor, measured from the top of the doorbell button assembly.
- Gypsum board shall not be used where there will be
direct exposure to water, or in areas subject to
continuous high humidity. CRC R702.3.1.1

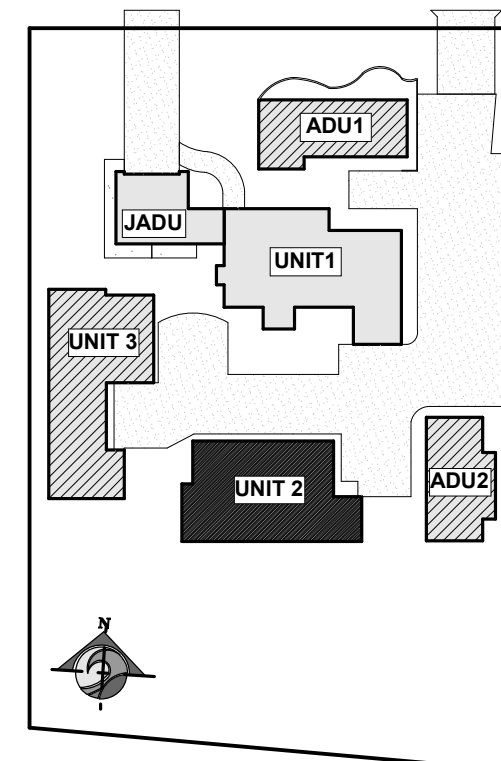
Floor Plan Legend

EXISTING INTERIOR WALLS to
remain

NEW 2X stud wall @16" O.C. w/
plywood sheathing per structural.
Finish interior with 5/8" drywall.
Exterior w/ stucco finish.
Use greenboard in restrooms.
use cement, or glass mat gypsum.

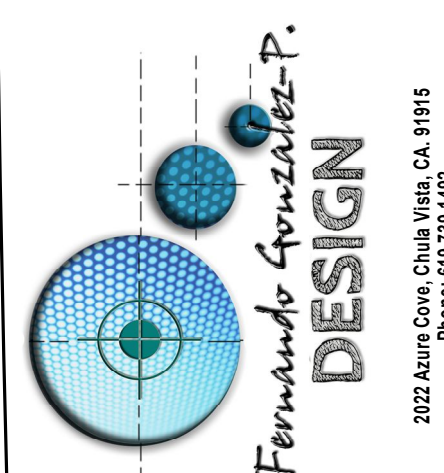
SA SMOKE ALARM
the smoke alarms are ionization smoke
alarms with alarm silencing switch, or
photoelectric smoke alarm in accordance
CRC R314.3.3.1 (4)

CA CARBON MONOXIDE ALARM
REQUIRED PER SECTION R315.2



NEW HOUSES AND ADU'S NARANCA RESIDENCES

1375 NARANCA AVE., EL CAJON, CA 92021



UNIT 2 FLOOR PLAN AND ROOF PLAN

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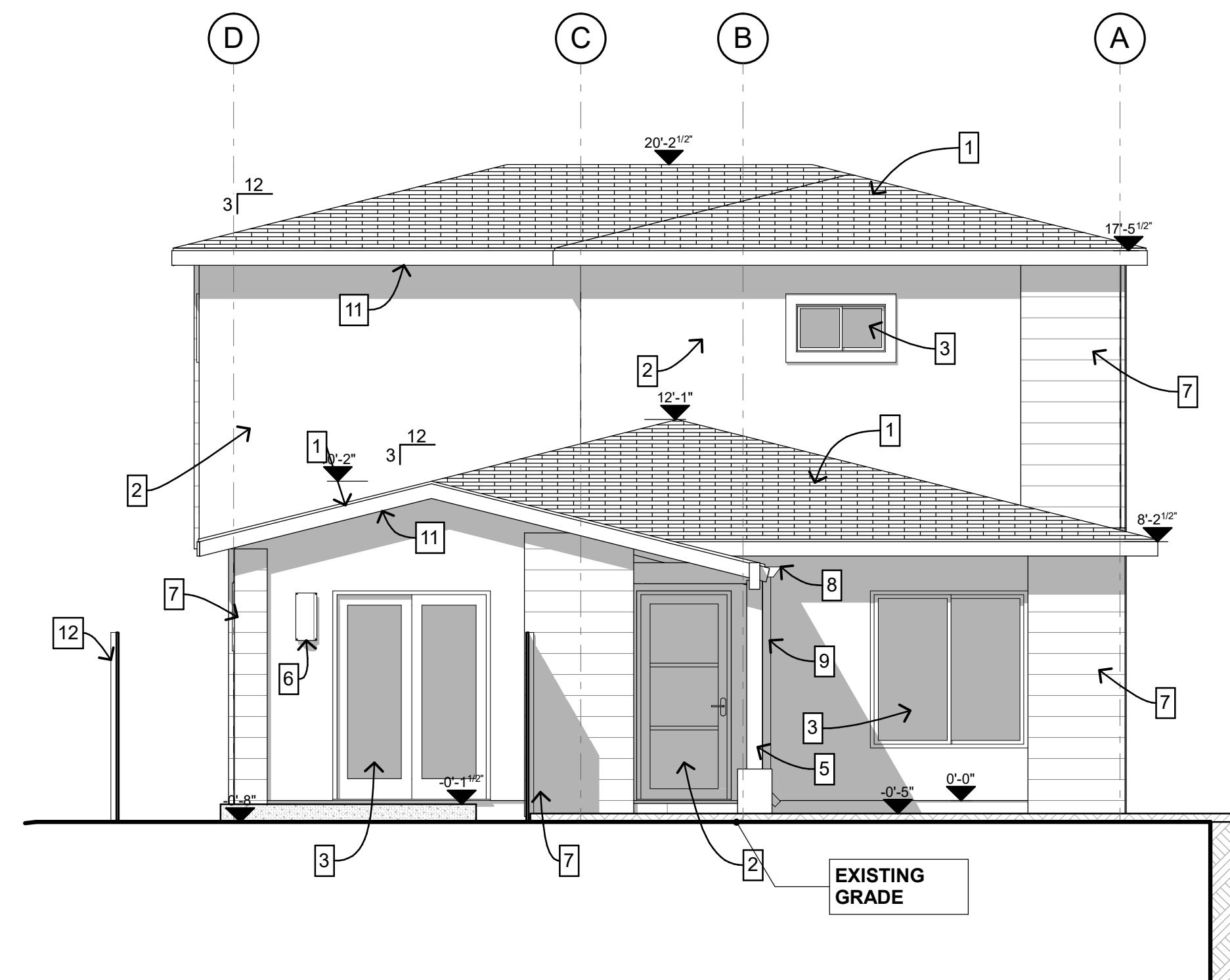
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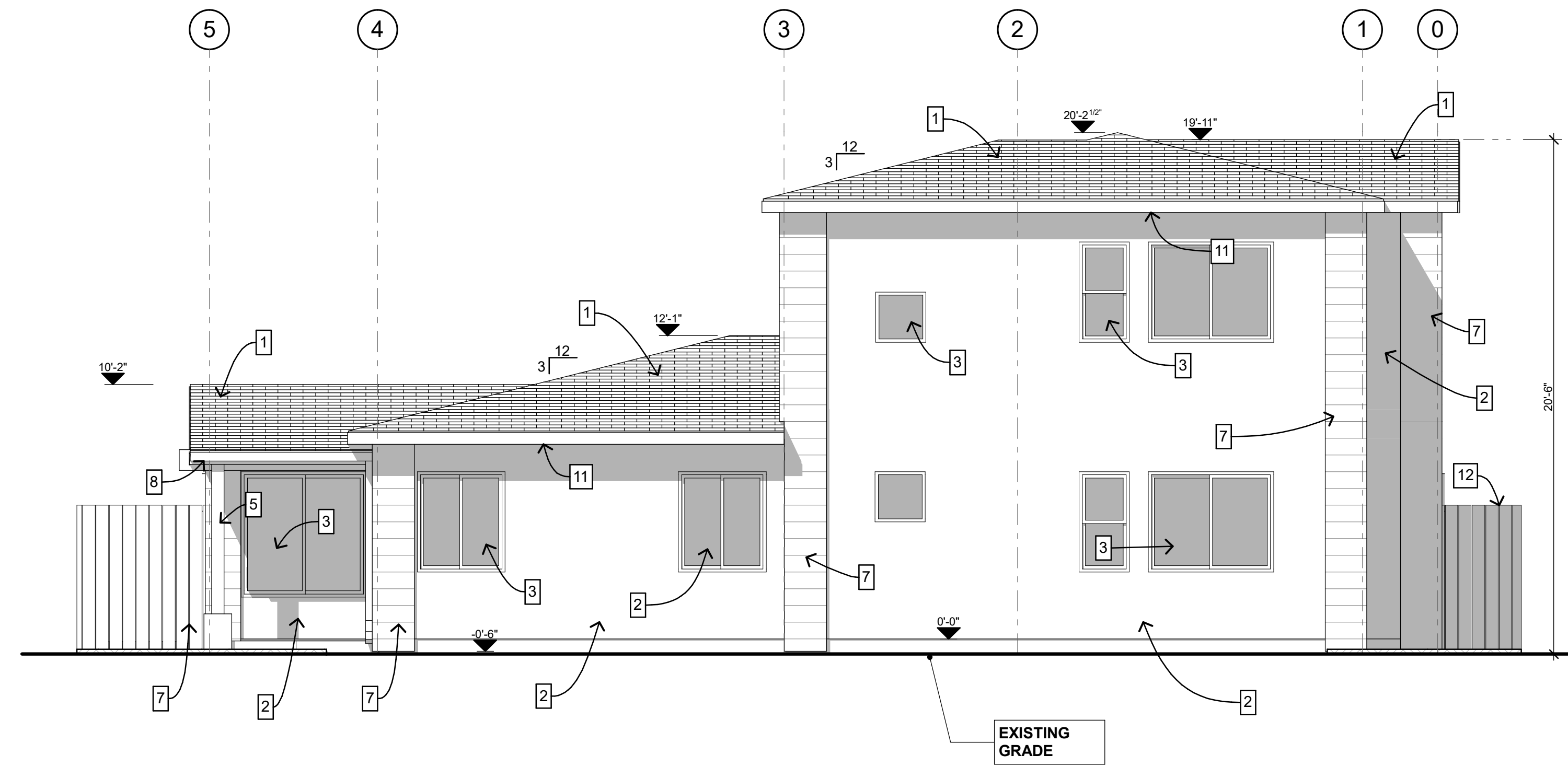


ELEVATION & SECTIONS KEY NOTES

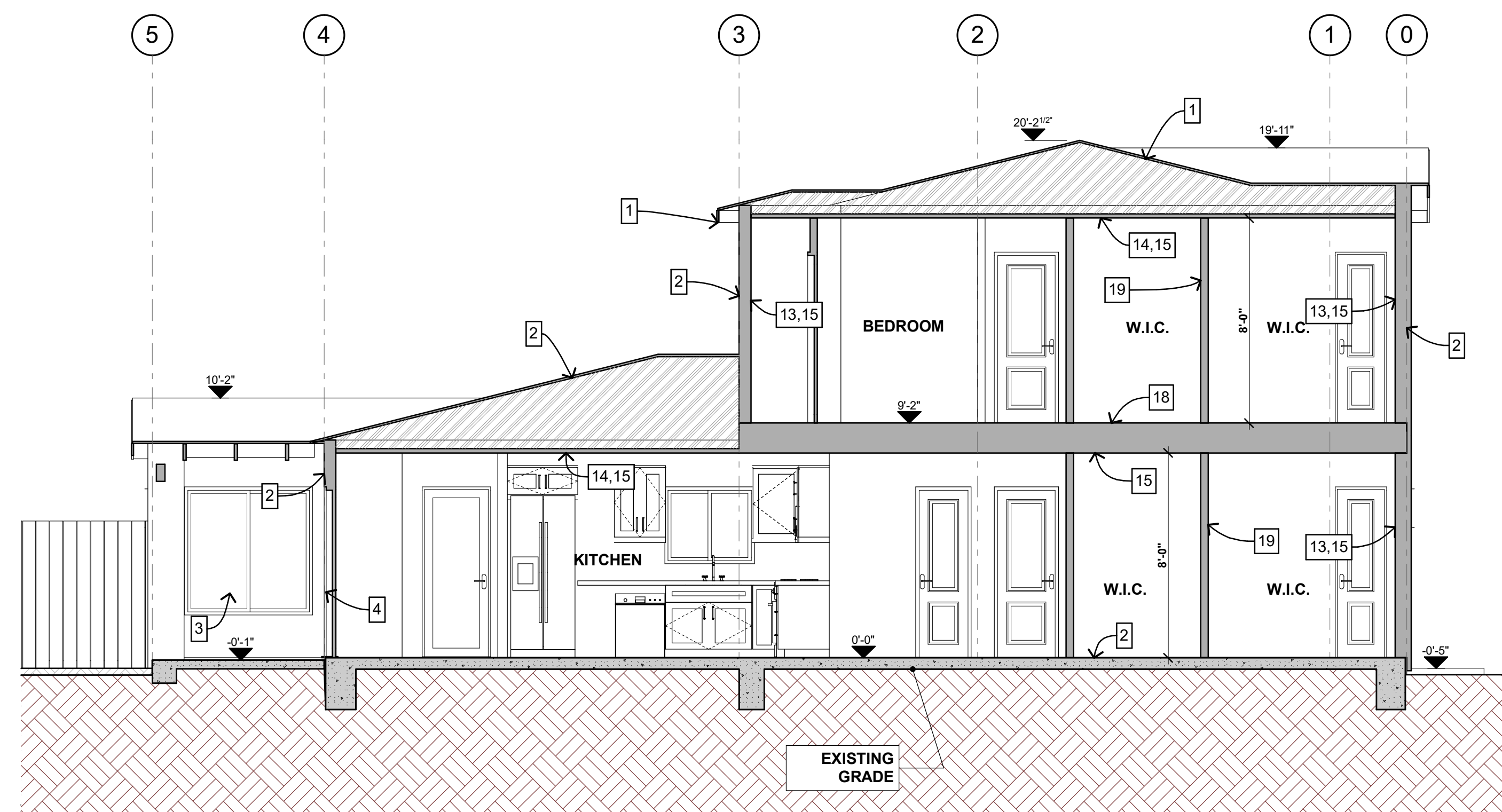
1. ROOFING ASSEMBLY, CLASS "A"
CERTAINEED ASPHALT ROOF SHINGLE
ICC ESR 3537
ROOFING MATERIAL TO BE INSTALLED
OVER TWO LAYERS OF 40# BUILDING
PAPER.
2. STUCCO FINISH:
7/8" EXTERIOR PLASTER (SCRATCH,
BROWN & FINISH COAT) OVER METAL
LATH, OVER PLYWOOD SHEATHING PER
STRUCTURAL.
3. WINDOW PER SCHEDULE
4. DOOR PER SCHEDULE
5. WOOD COLUMN PER DETAIL
6. HIGH EFFICACY EXTERIOR LIGHT
7. NEW FIBER CEMENT SIDING
JAMES HARDIE ICC-ESR 1844
8. METAL GUTTER
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10. ROOF VENT
11. 2X PAINTED WOOD FASCIA
12. 6' HEIGHT VINYL FENCE
13. R-15 INSULATIONS ON WALLS
14. R-30 AND R13 ROOF INSULATION
15. 5/8" GYP BOARD.
16. 5/8" TYPE "X" GYP BOARD
17. CONCRETE SLAB ON GRADE PER
STRUCTURAL
18. FLOOR FRAMING PER STRUCTURAL
19. 2x STUD FRAME WALLS



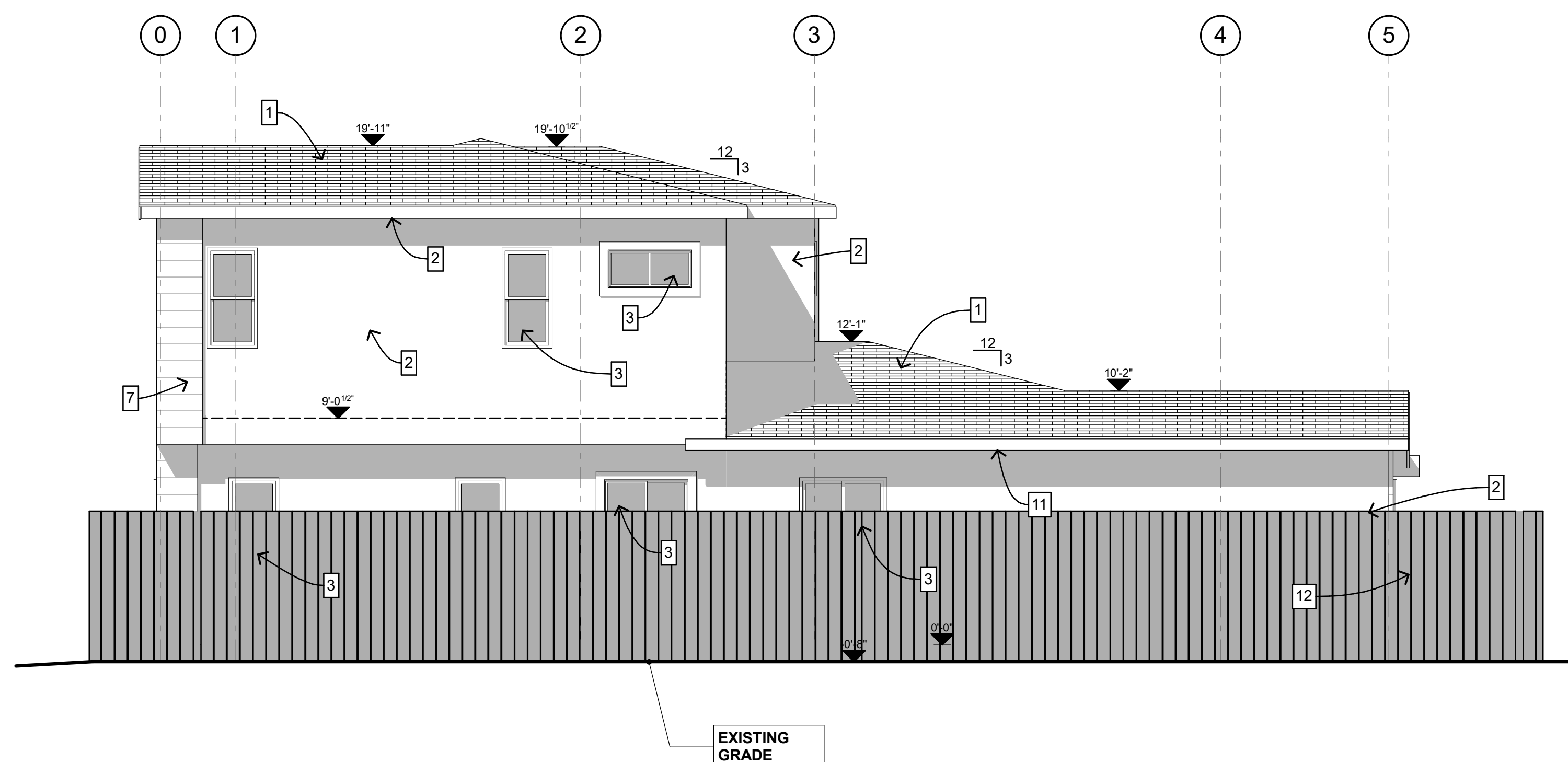
2 EAST ELEVATION UNIT 2
1/4" = 1'-0"



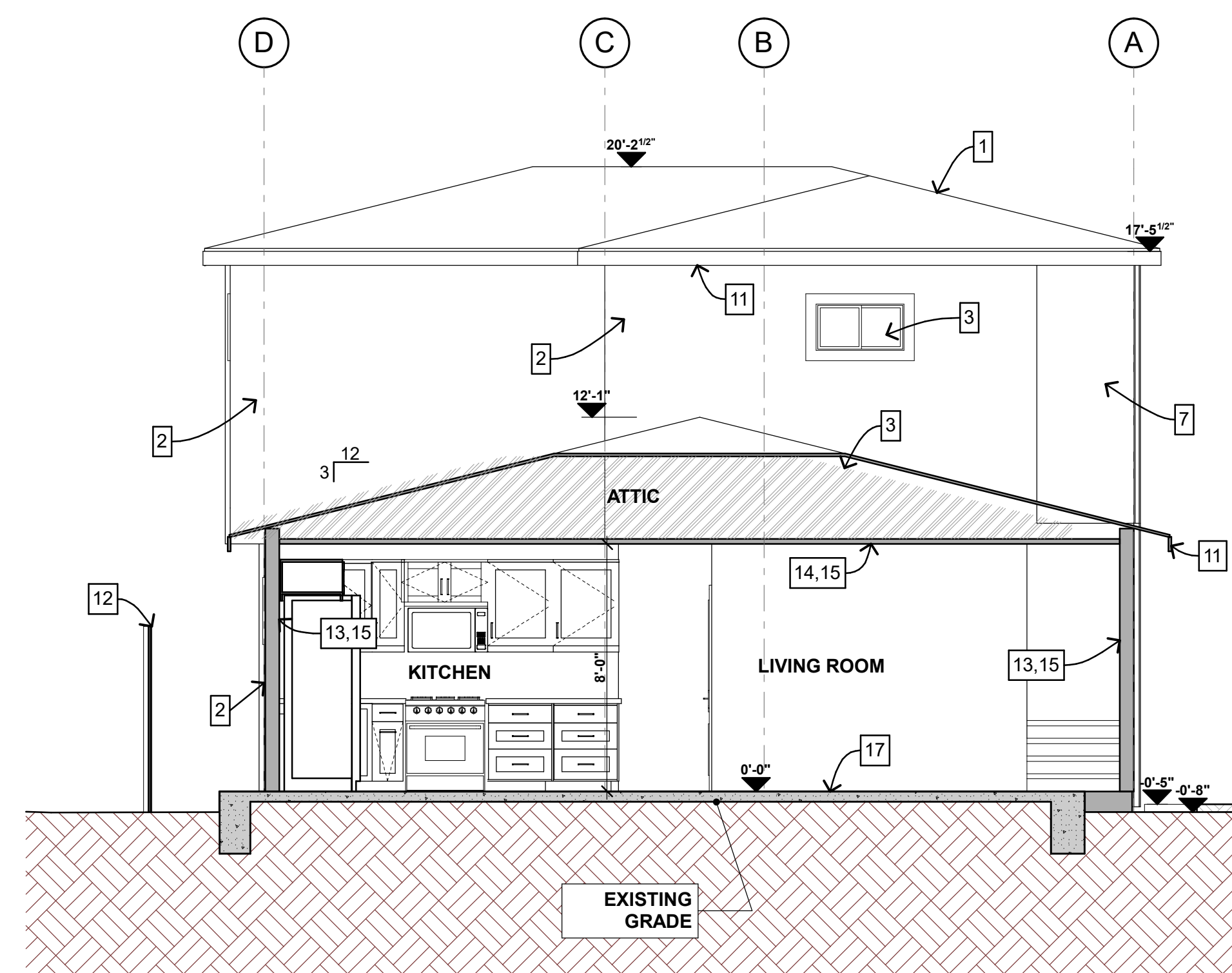
1 NORTH ELEVATION UNIT 2
1/4" = 1'-0"



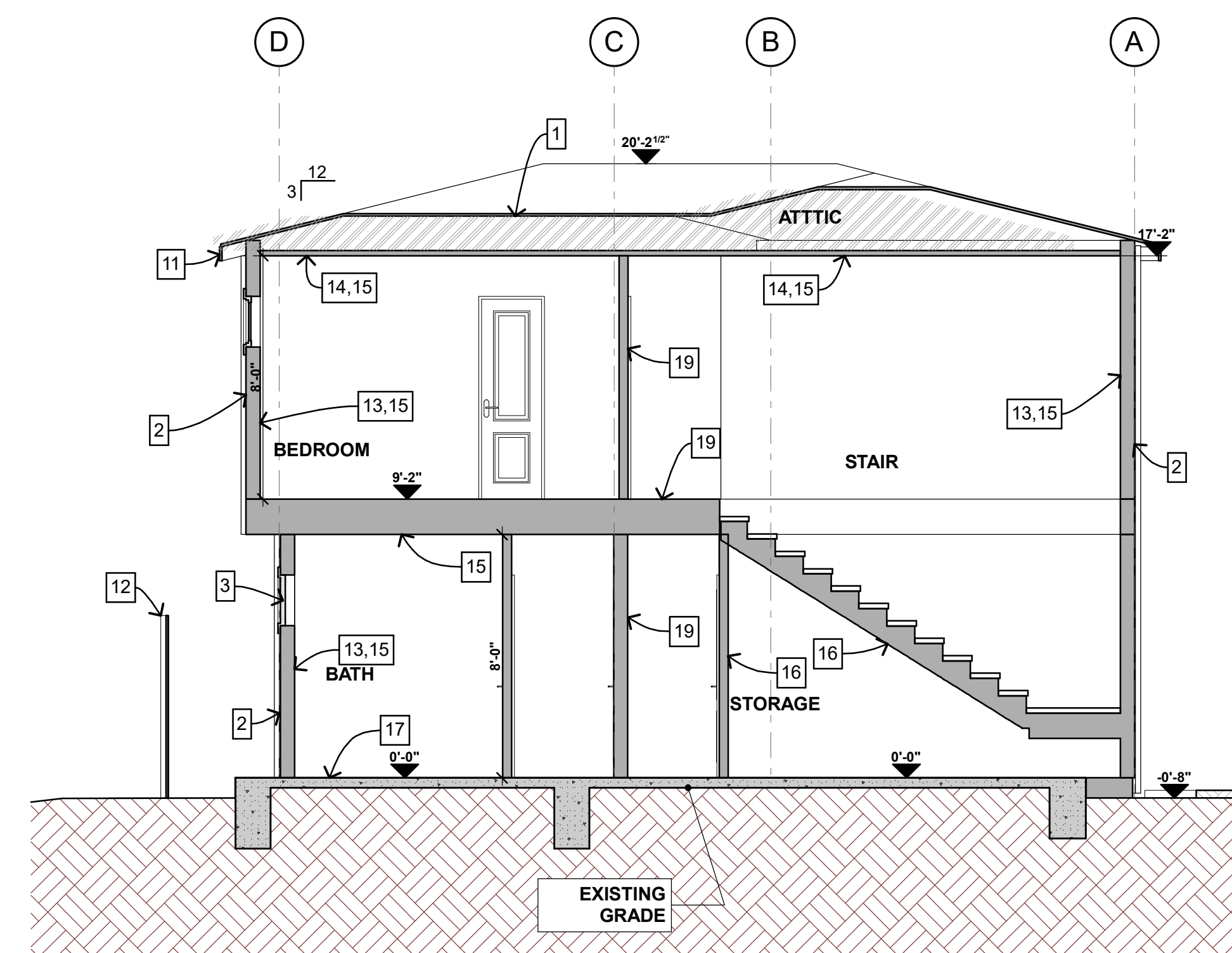
S1 SECTION 1 UNIT 2
1/4" = 1'-0"



3 SOUTH ELEVATION UNIT 2
1/4" = 1'-0"

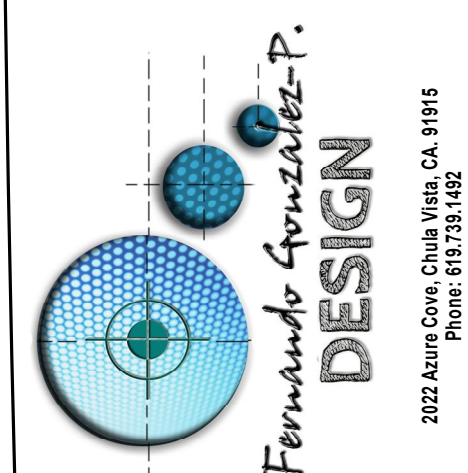


S3 SECTION 3 UNIT 2
1/4" = 1'-0"



S2 SECTION 2 UNIT 2
1/4" = 1'-0"

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UNIT 2 ELEVATIONS AND SECTIONS

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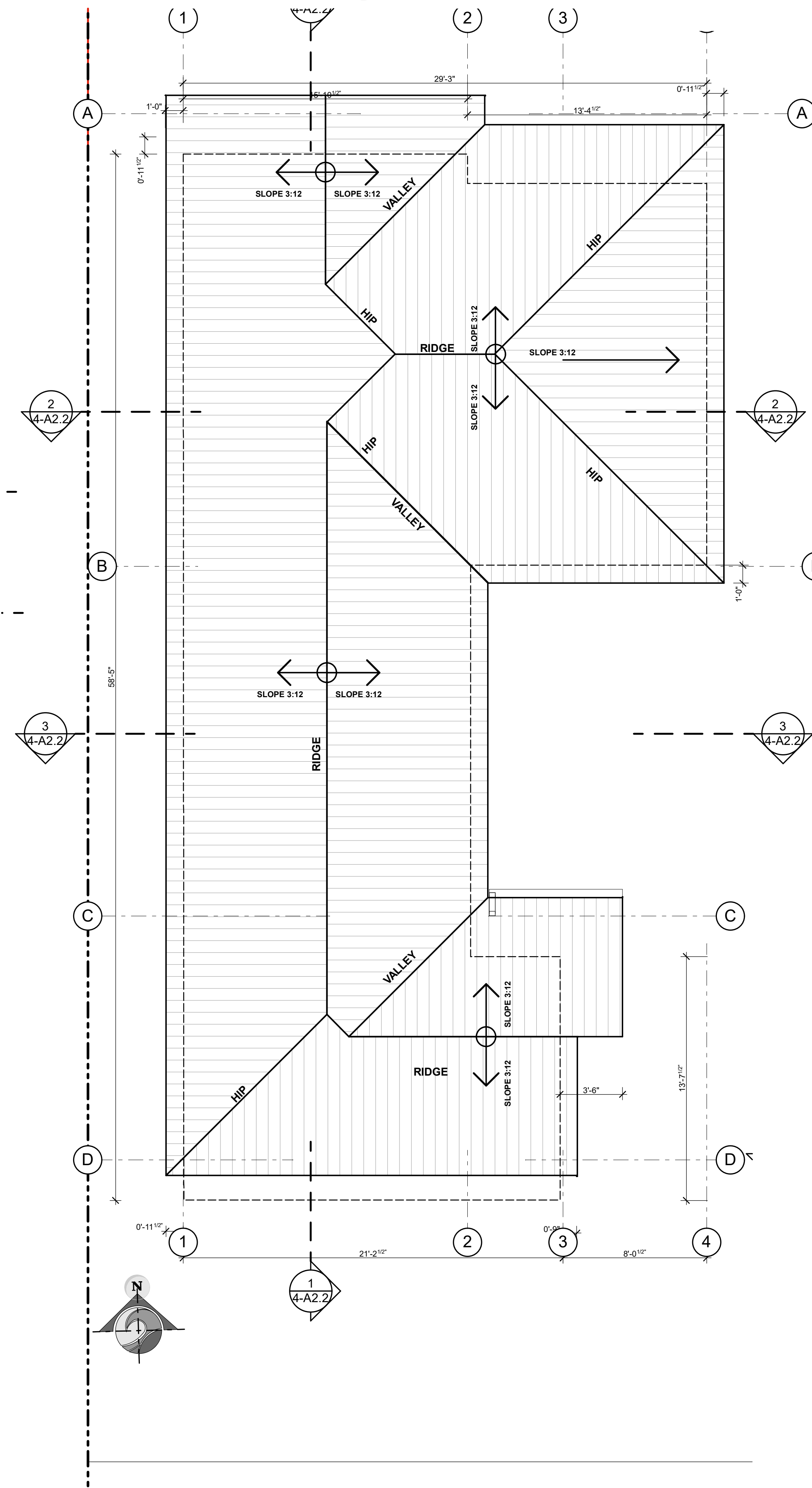
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ROOF PLAN
GENERAL NOTES

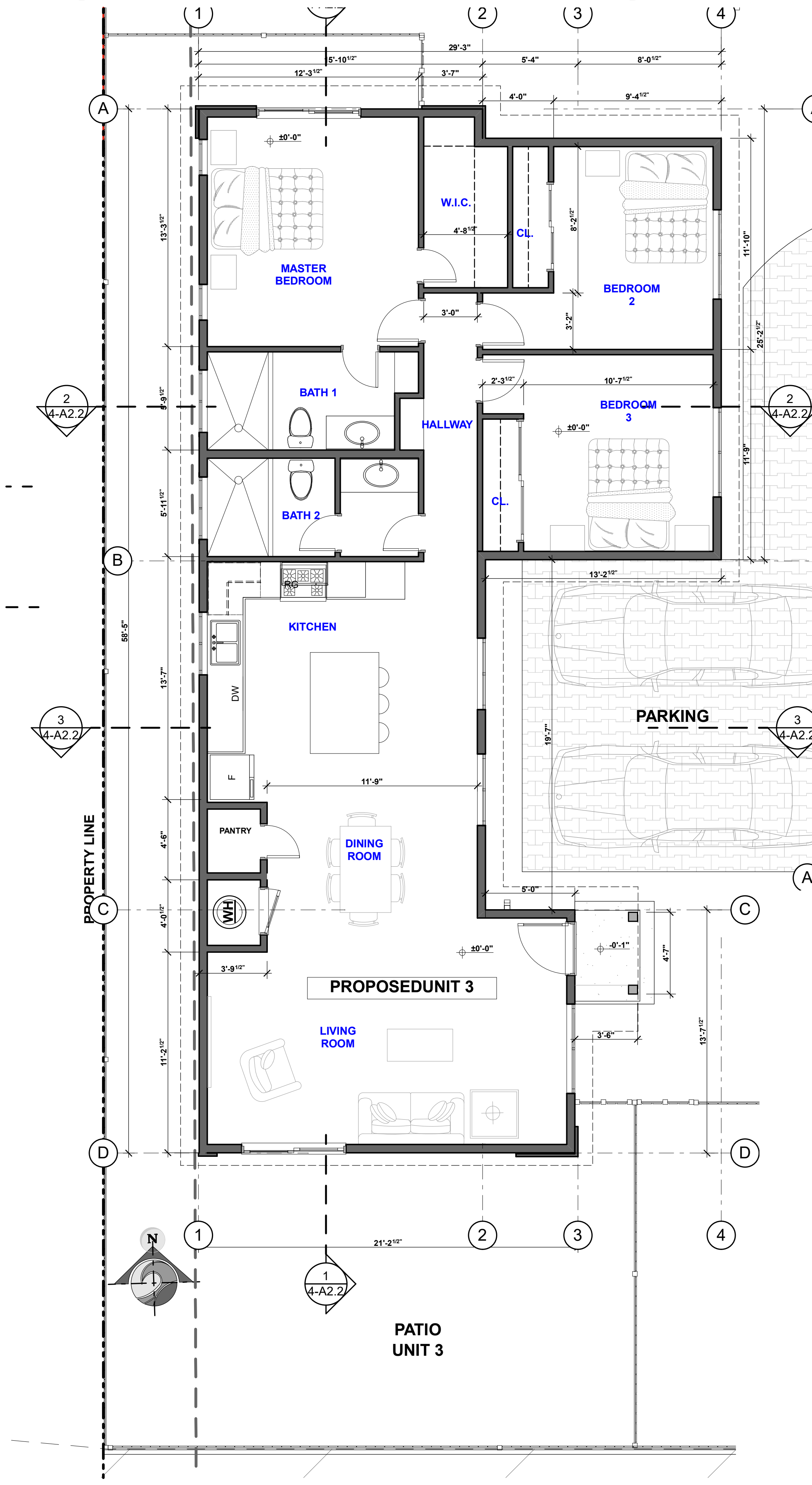
1. ROOFING ASSEMBLY, CLASS "A"
CERTAINEED ASPHALT ROOF SHINGLE
ICC ESR 3537
ROOFING MATERIAL TO BE INSTALLED
OVER TWO LAYERS OF 40# BUILDING PAPER.
2. THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR
OTHER PROJECTION SHALL NOT EXCEED 30'
ABOVE GRADE.
3. ATTIC VENTILATION OPENINGS SHALL BE
COVERED WITH CORROSION RESISTANT
METAL MESH WITH OPENINGS OF 1/4"
DIMENSION.
4. ALL EAVES TO HAVE VENT BLOCKING
THROUGHOUT TO PROVIDE A MINIMUM VENT
AREA OF 1:150 OF ATTIC AREA.
5. PROVIDE A MINIMUM OF 1" AIR SPACE
BETWEEN THE INSULATION AND THE ROOF
SHEATHING.
6. ALL ROOF JACKS, PIPES, PANS, & CHIMNEY
COVERS TO HAVE TWO COATS OF PRIMER AND
ONE COAT OF INDUSTRIAL GRADE ENAMEL.
7. ALL HORIZONTAL STORM DRAIN PIPING SHALL
HAVE A SLOPE OF 1/4" PER FT.

Roof Plan Legend

Roof vent, Rectangular
attic vent, Thunderbird
products 16 oz Cooper



ROOF PLAN UNIT 3
1/4" = 1'-0"



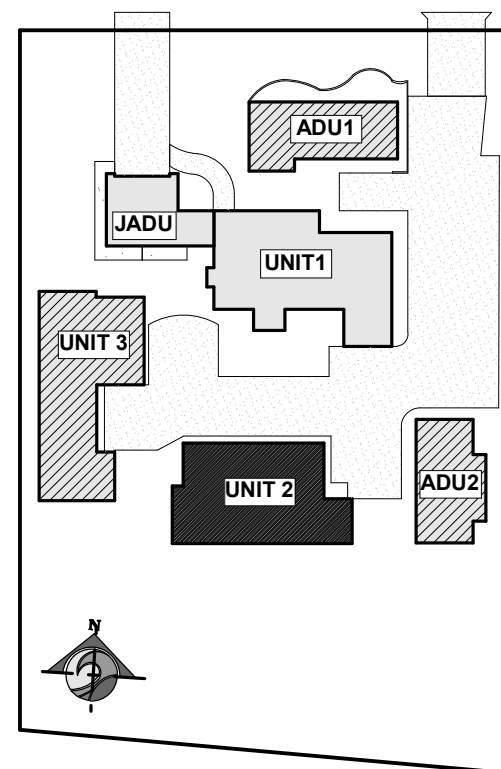
UNIT 3 FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES:

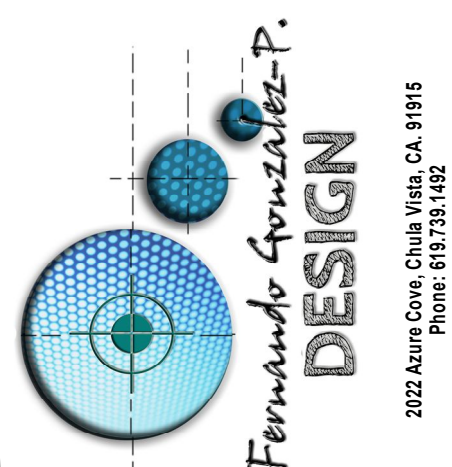
1. ALL PLUMBING FIXTURES AND FITTINGS ILL BE WATER
CONSERVING AND WILL COMPLY WITH THE 2018 CBC
2. ALL WATER CLOSETS SHALL BE "ULTRA LOW FLUSH"
3. PROVIDE LAVATORY FAUCETS WITH A MAXIMUM FLOW
OF 1.2 GALLONS PER MINUTE (GPM).
4. PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW
OF 1.8 GALLONS PER MINUTE (GPM).
5. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW
OF 1.8 GALLONS PER MINUTE (GPM).
6. PROVIDE WATER CLOSET A MAXIMUM FLOW
OF 1.28 GALLONS FLUSH PER MINUTE (GPF).
7. PROVIDE MIXING VALVES AT SHOWER
8. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY
FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:
1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE
DUCTED TO TERMINATE OUTSIDE THE BUILDING.
2. UNLESS FUNCTIONING AS A COMPONENT OF WHOLE
HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED
BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE
HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT
BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT
9. NO CPVC STATE HEALTH & SAFETY CODE 104 @ 12" O.C. F.N.
10. MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE
OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS.
11. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND
FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE
INSTALLED IN ACCORDANCE WITH THE CALIFORNIA
PLUMBING CODE (CPC).
12. BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM)
AND NOISE RATING ("SONE") (GENERALLY 3
SONE MAX AS USED INTERMITTENTLY). ALL
INSTALLED EXHAUST FANS MUST BE SPECIFIED
AT A NOISE RATING OF A MAXIMUM 1 "SONE"
FOR THE CONTINUOUS USE OR MAXIMUM 3 "SONE"
FOR THE INTERMITTENT USE.
13. ANY INSTALLED GAS FIREPLACE SHALL BE DIRECT VENT
SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE
OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II
EMISSION LIMITS WHERE APPLICABLE.
WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL
ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
14. STATE HEALTH & SAFETY CODE BANS THE USE
OF CHLORINATED POLYVINYL CHLORIDE
(CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
15. TUB/SHOWERS WALLS, COVER WALLS AND CEILINGS IN TUB &
SHOWER COMPARTMENTS W/ 156 SFT MATERIALS USED ON
SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED
BY MOISTURE.
16. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED
WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM
BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME
LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE
PENETRATIONS IS NOT REQUIRED.
17. ALL EXTERIOR AND INTERIOR WALLS ARE
24 @ 16" O.C. U.N.O. PER PLAN
18. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED
WITH ALL NEW HOSE BIBBS.
19. SMOKE ALARMS SHALL BE PROVIDED EVERY EXISTING
AND NEW BEDROOM (HARD WIRED W/ BATTERY BACK-UP)
SEE ELECTRICAL PLANS WITH ALL RELATED NOTES
20. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN
DWELLING UNITS AND IN SLEEPING UNITS WICH FUEL-
BURNING APPLIANCES ARE INSTALLED AND IN DWELLING
UNITS THAT HAVE ATTACHED GARAGES.
SEE ELECTRICAL PLANS WITH ALL RELATED NOTES
21. EGRESS WINDOWS SHALL HAVE A MAX. OF 44"
22. OUTDOOR SHOWER DRAINS AND SINKS ARE NOT
PERMITTED TO CONNECT TO THE PUBLIC SEWER
SYSTEM UNLESS EQUIPED WITH AN APPROVED COVER.
HOT AND COLD WATER CONNECTIONS ALLOWED.
22. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE
DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO
CONTINUOUS HIGH HUMIDITY.
23. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED
SHOWER HEADS SHALL BE FINISHED WITH A NON ABSORBENT
SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FEET
ABOVE THE FLOOR.
24. WATER HEATER:
A.O. SMITH PROMAX DIRECT VENT MODEL GDV50L
50 GALLON CAPACITY, 40,000 BTUH, 91 GPH @90° F
ENERGY FACTOR 0.62, 200 LBS.
25. ATTIC / UNDERFLOOR INSTALLATION
MUST COMPLY WITH SECTIONS 904, 908 AND 909
OF THE CALIFORNIA MECHANICAL CODE (CMC)
26. Electrical receptacle outlets, switches and controls intended to
be used by occupants shall be located no more than 48"
measured from the top of the outlet box and
not less than 15" measured from the bottom of the outlet box
above the finish floor.
27. Specify doorbell controls to not exceed 48" above exterior
floor, measured from the top of the doorbell button assembly.
28. Gypsum board shall not be used where there will be
direct exposure to water, or in areas subject to
continuous high humidity. CRC R702.3.7.1

Floor Plan Legend

- EXISTING INTERIOR WALLS to remain
- NEW 2X stud wall @ 16" O.C. w/
plywood sheathing per structural.
Finish interior with 5/8" drywall.
Exterior w/ stucco finish.
Use greenboard in restrooms.
use cement, or glass mat gypsum.
- SMOKE ALARM
the smoke alarms are ionization smoke
alarms with alarm silencing switch, or
photoelectric smoke alarm in accordance
CRC R314.3.3 (4)
- CARBON MONOXIDE ALARM
REQUIRED PER SECTION R315.2



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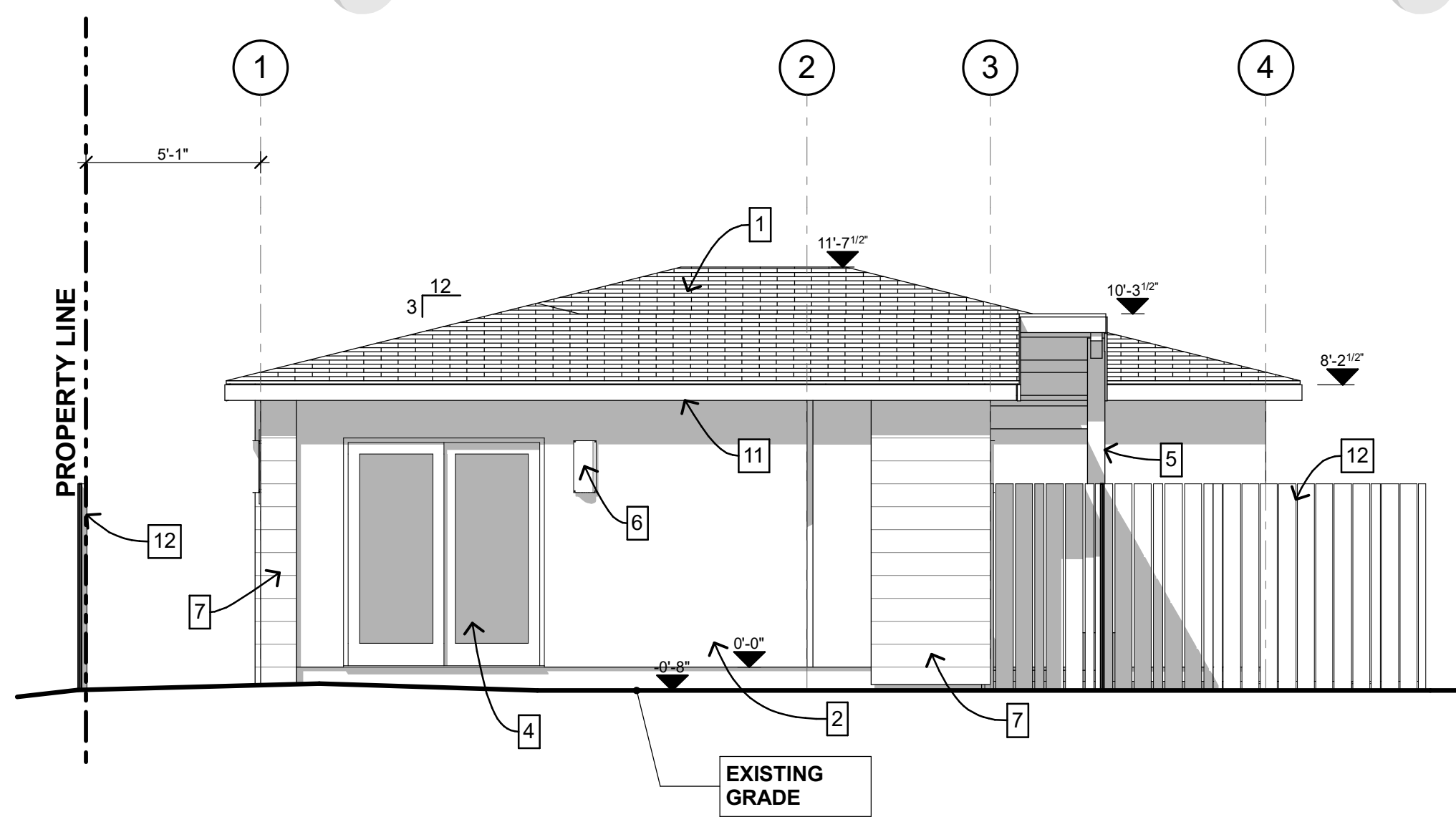


FLOOR PLAN & ROOF PLAN UNIT_3

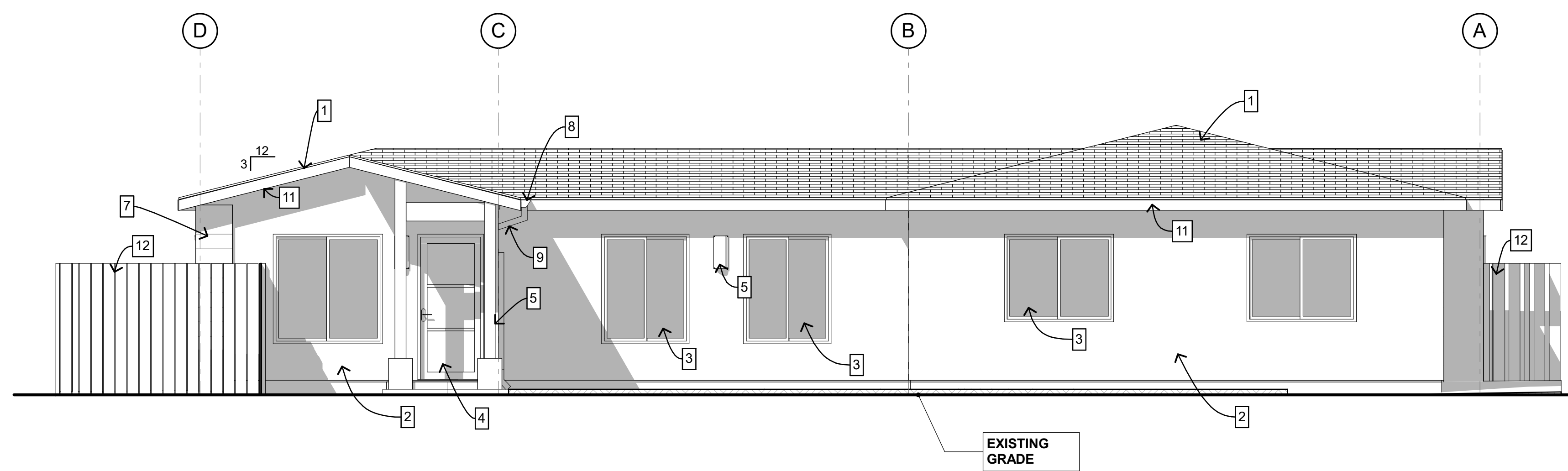
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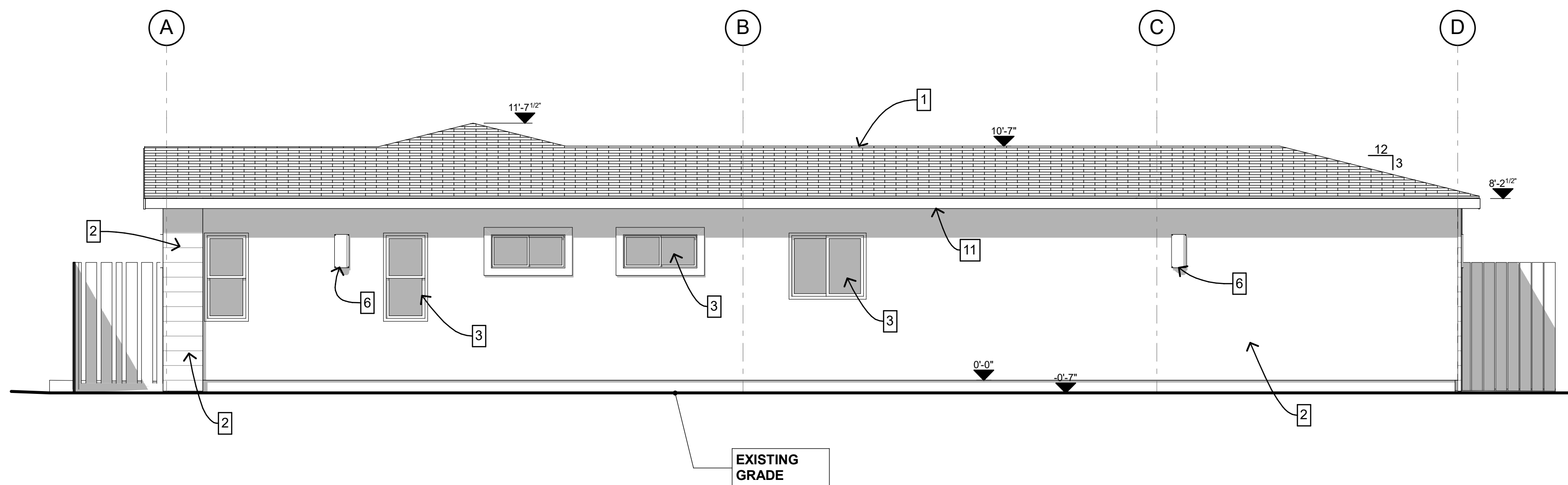
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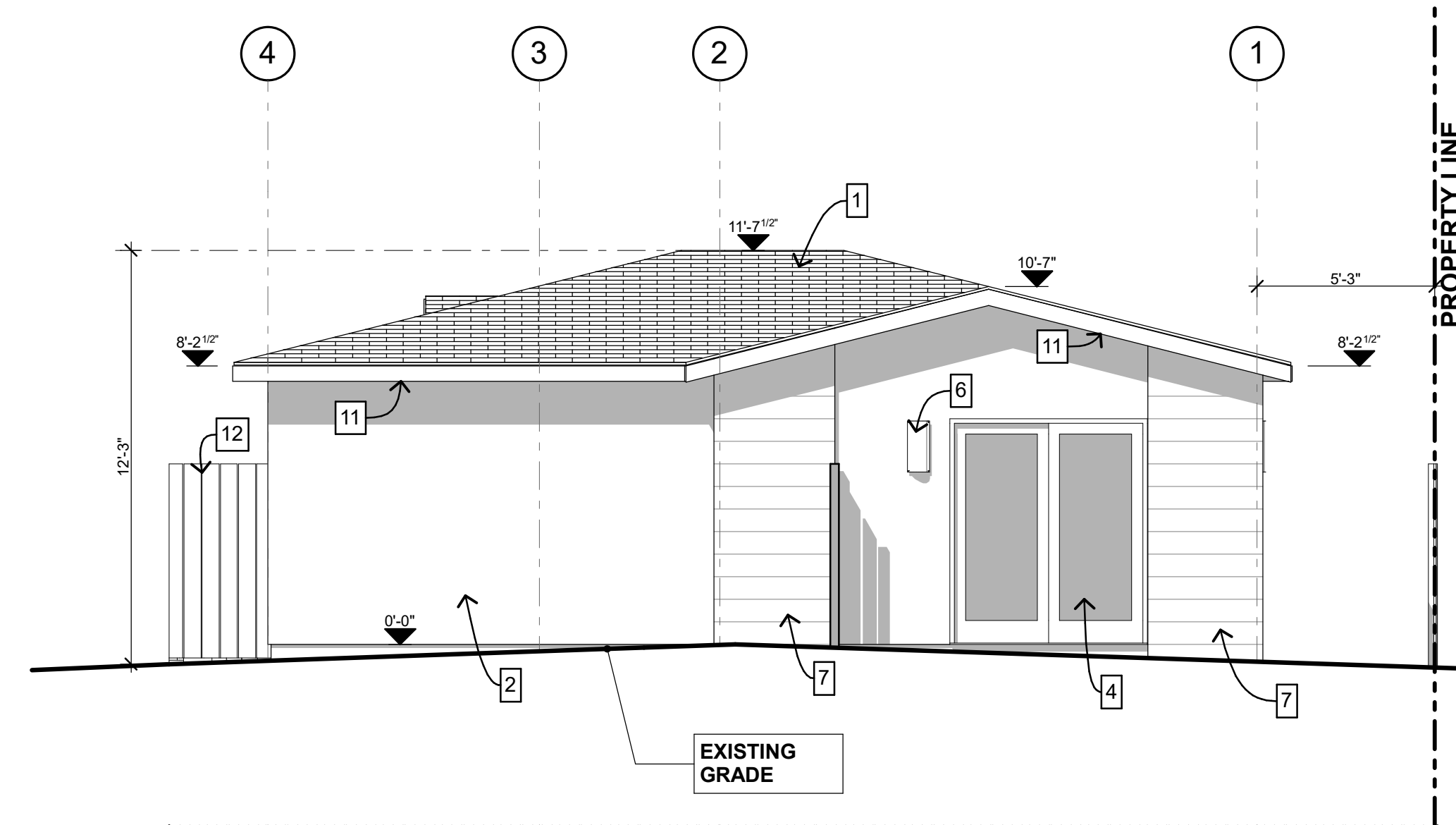
2 SOUTH ELEVATION UNIT 3
1/4" = 1'-0"



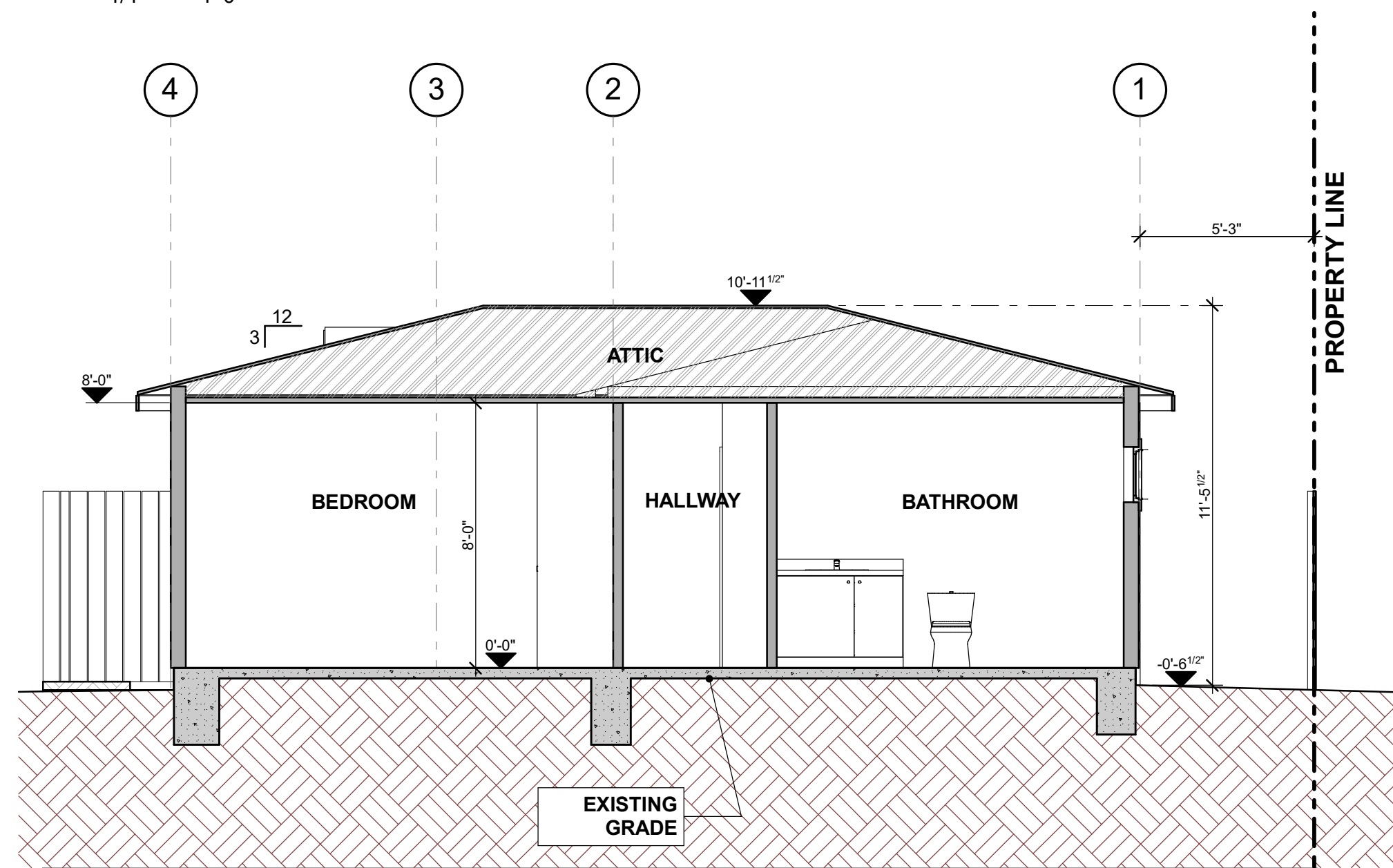
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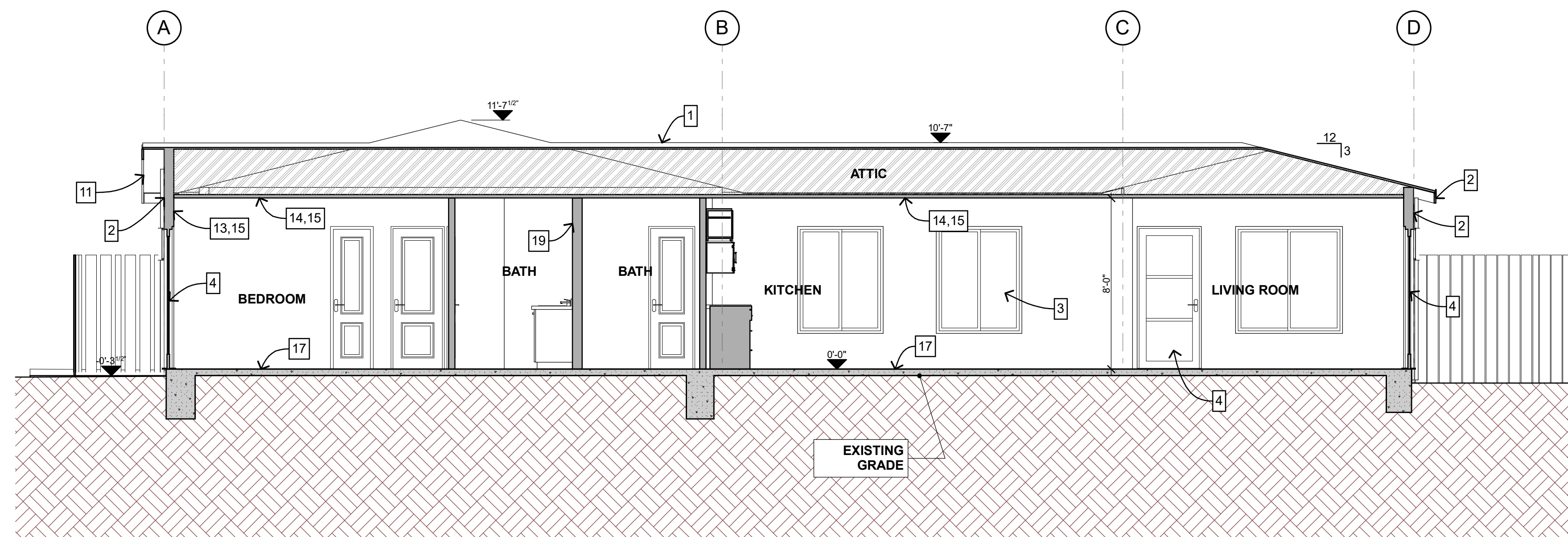
4 WEST ELEVATION UNIT 3
1/4" = 1'-0"



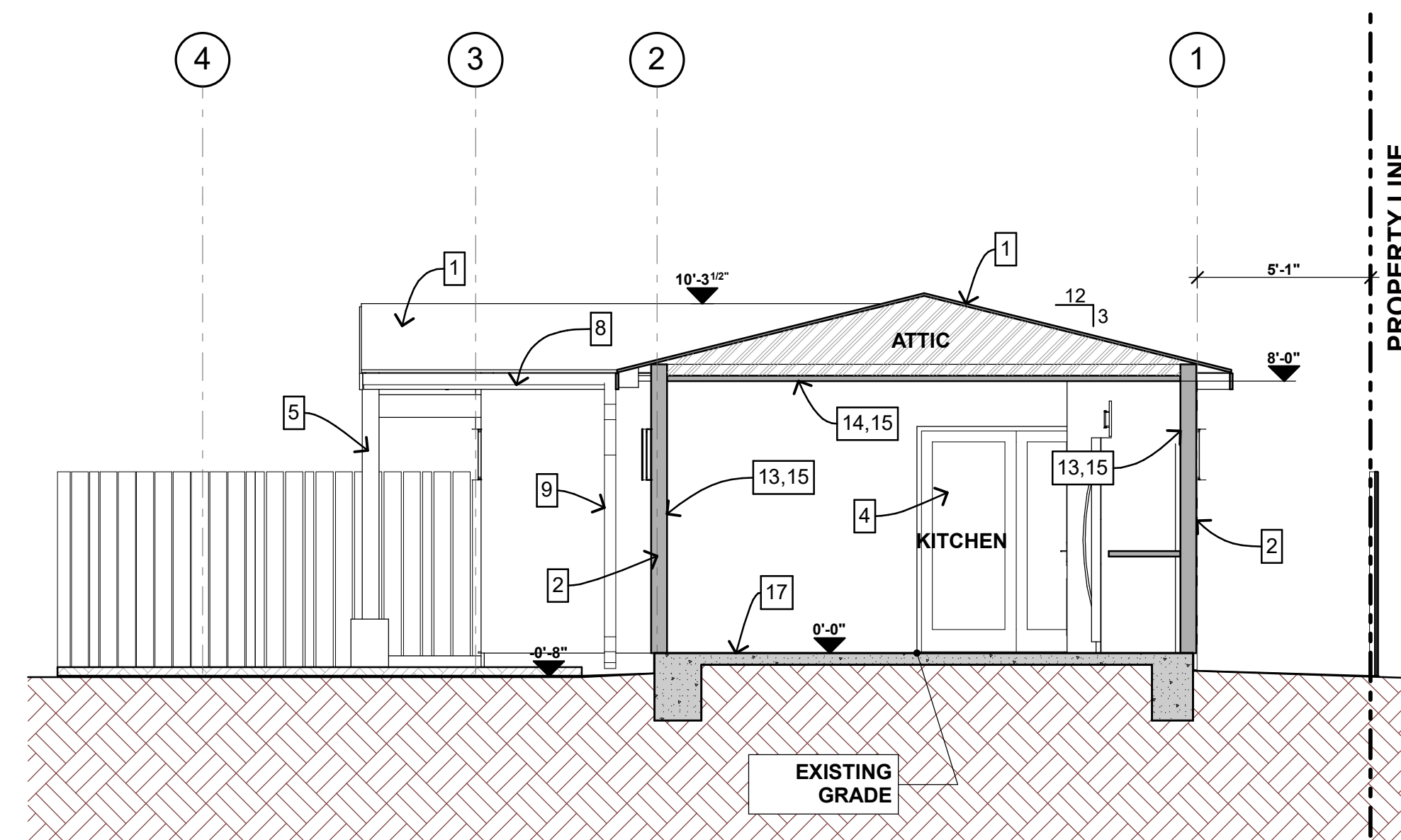
3 NORTH ELEVATION UNIT 3
1/4" = 1'-0"



1 SECTION 2 UNIT 3
1/4" = 1'-0"



S1 SECTION 1 UNIT 3
1/4" = 1'-0"

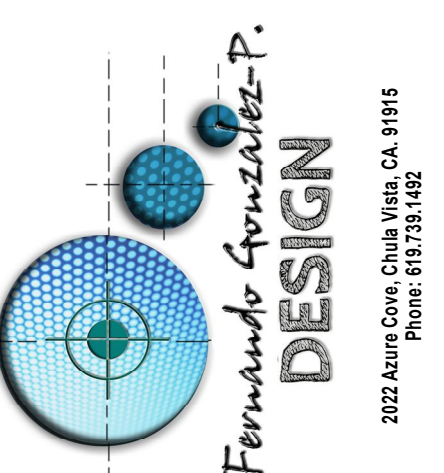


S3 SECTION 3 UNIT 3
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ELEVATION & SECTIONS
KEY NOTES

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ELEVATIONS AND SECTIONS UNIT_3

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