

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN CODE
2022 REDONDO BEACH MUNICIPAL CODE

DEFERRED SUBMITTALS:

- FIRE SPRINKLERS (FS) UNDER SEPARATE SUBMITTAL AND PERMIT.
SOLAR PHOTOVOLTAIC SYSTEM UNDER SEPARATE SUBMITTAL AND PERMIT.
Deferred submittals shall be reviewed by architect or engineer of record prior to submittal to the building official.

Table with 3 columns: Element, Quantity, Area/Volume. Includes items like 10, 17, 20, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

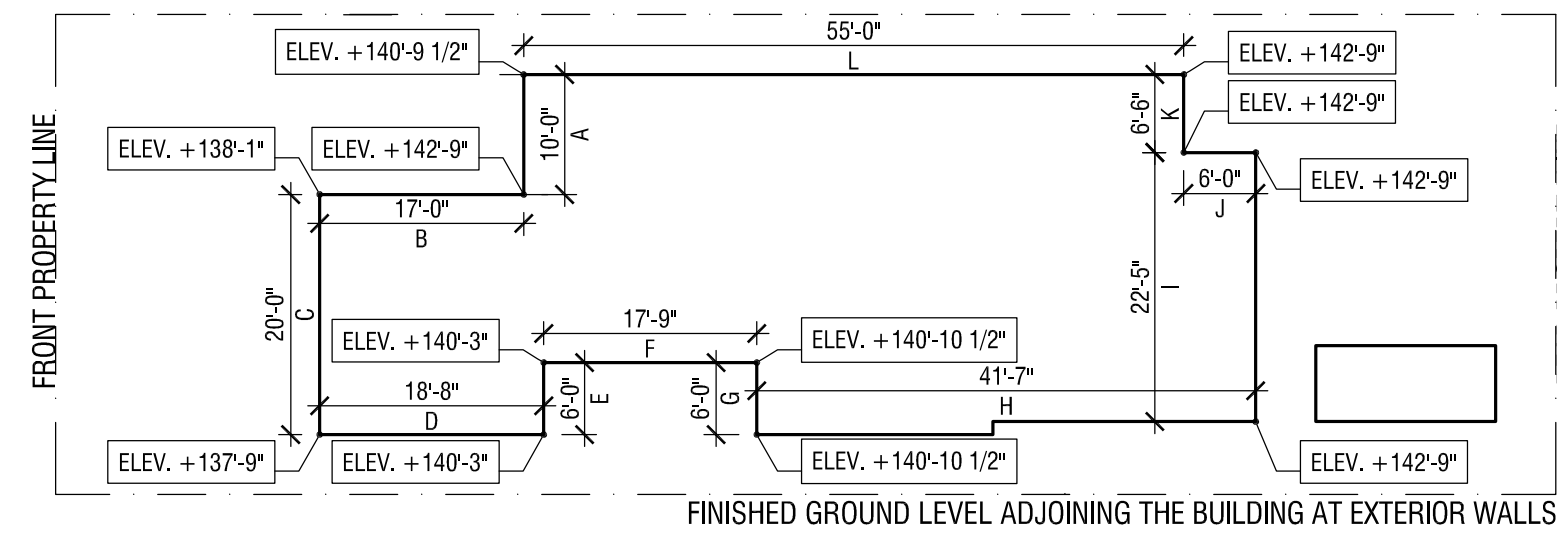


Table for GRADE PLANE CALCULATION (CBC 202, BASEMENT AND STORY ABOVE GRADE PLANE DEFINITION) showing elements, grade plane, and calculations.



05 GRADE PLANE CALCULATION DIAGRAM SCALE: 1/16"=1'-0"

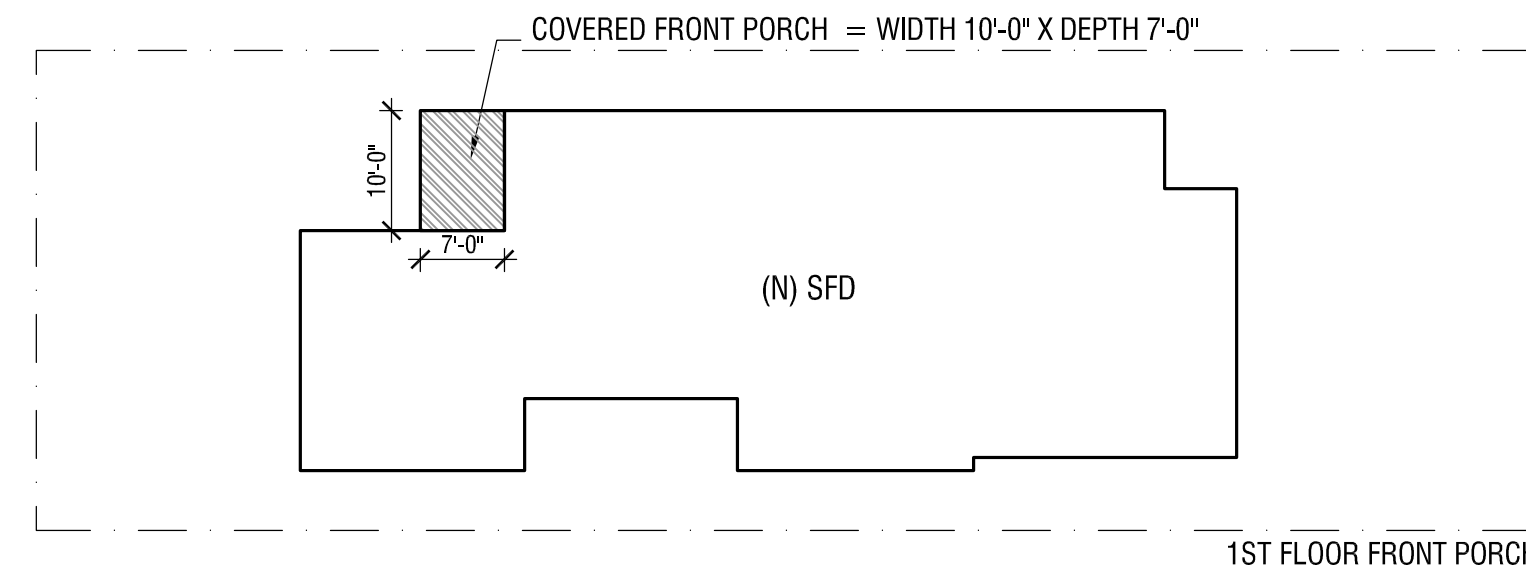
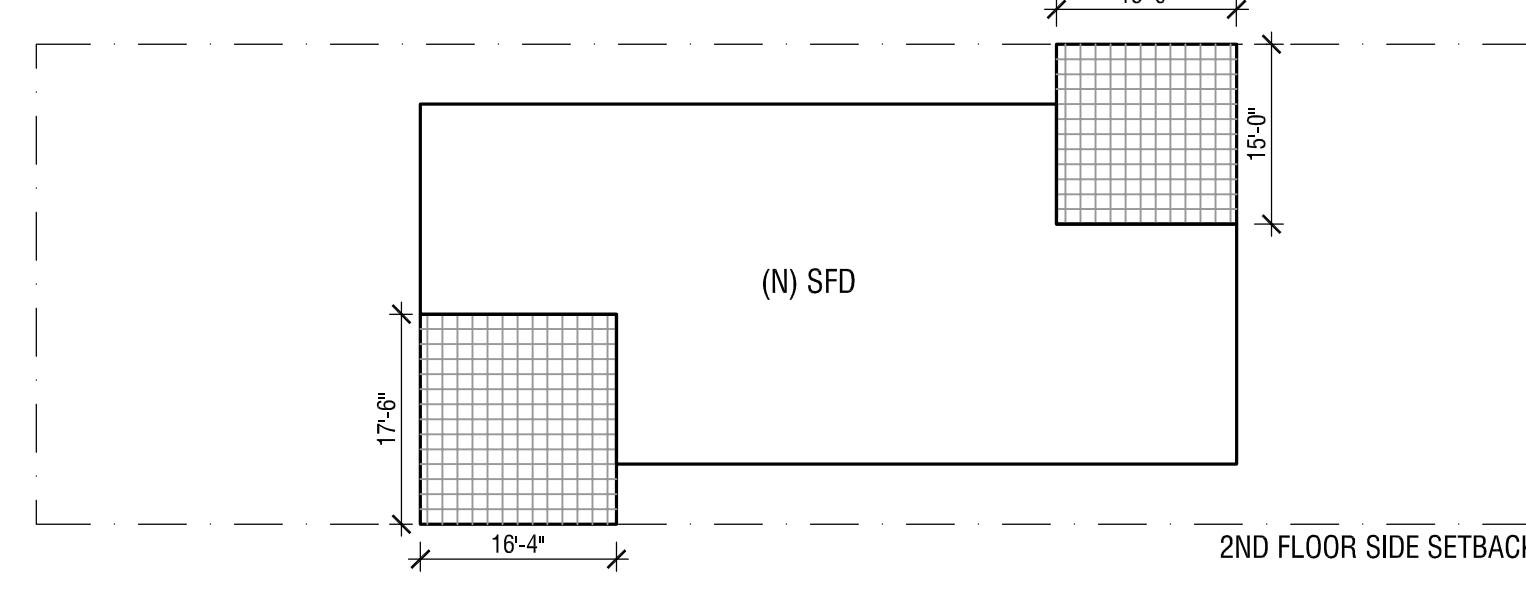


Table for F.A.R. BONUS QUALIFICATION showing index, F.A.R. bonuses desired elements, maximum F.A.R. bonus, and qualified bonus.

04 F.A.R. BONUS CALCULATION DIAGRAM SCALE: 1/16"=1'-0"

Table for F.A.R. GFA CALCULATION showing lot area, F.A.R. requirement, and total qualified bonus area.

03 F.A.R. GFA CALCULATION DIAGRAM SCALE: 1/16"=1'-0"

CITY OF REDONDO BEACH ENGINEERING SERVICES DIVISION

- A. MYLAR COPY OF THE REDONDO TRACT MAP/PARCEL MAP SHALL BE SUBMITTED TO THE CITY ENGINEER...
B. RECORDED COPY OF THE REQUIRED COVENANT/EASEMENT/DEED RESTRICTION SHALL BE SUBMITTED TO THE CITY ENGINEER...
C. ALL EASEMENTS, OIL WELLS, SUBSTRUCTURES, SUPERSTRUCTURES, LANDSCAPE, HARDSCAPE, UTILITY HOLES, UTILITY BOXES, UTILITY VENTS, UTILITY VALVES, UTILITY CABINETS, UTILITY OVERHEAD LINES AND WATER HYDRANTS ARE SHOWN ON THIS SITE PLAN...
D. CONTRACTOR, AT ITS SOLE COST, SHALL ENSURE THAT PERMITTED WORK WILL NOT CREATE POTENTIAL FLOODING OF NEIGHBORING IMPROVEMENTS...
E. CONTRACTOR SHALL NOTIFY CITY ENGINEERING SERVICES DIVISION 48 HOURS PRIOR TO COMMENCING ANY WORK IN PUBLIC RIGHT OF WAY...
F. WORK IN PUBLIC RIGHT OF WAY SHALL COMPLY WITH THE LATEST EDITION OF APWA STANDARD PLANS AND SPECIFICATIONS...
G. WORK IN PUBLIC RIGHT OF WAY SHALL BE PERFORMED BY LICENSED CONTRACTORS...
H. CONTRACTOR SHALL MAINTAIN CONSTRUCTION PERMITS AND AN APPROVED SET OF PLANS ON SITE AT ALL TIMES...
I. PRIOR TO ISSUANCE OF THE BUILDING ENGINEERING PERMIT, CONTRACTOR MUST PROVIDE PROOF OF INSURANCE...
J. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, DAMAGED SIDEWALK, DRIVEWAYS, CURB, GUTTER AND PAVEMENT TO THE SATISFACTION OF THE CITY ENGINEER...
K. CONTRACT NEW RESIDENTIAL CONCRETE DRIVEWAY TYPE WHERE NOTED ON SITE PLAN...
L. CONTRACT NEW CONCRETE SIDEWALK WHERE NOTED ON SITE PLAN...
M. CONTRACT NEW CONCRETE CURB AND GUTTER WHERE NOTED ON SITE PLAN...
N. CONTRACT NEW FULL-DEPTH ASPHALT CONCRETE PAVEMENT WHERE NOTED ON SITE PLAN...
O. NEW SEWER LATERAL SHALL BE CONNECTED TO MAIN SEWER LINE WITHIN PROPERTY FRONTAGE...
P. NEW PUBLIC OR QUASIPUBLIC FACILITIES SHALL BE LOCATED IN PUBLIC PARKWAY...
Q. TRAFFIC DELINEATION SHALL BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES...
R. COMMERCIAL VEHICLES TRAILER, EQUIPMENT OR CONSTRUCTION MATERIALS, AND HAVING UNLADEN WEIGHT AS DEFINED IN SECTION 660 OF CVC OR 6,000 POUNDS OR MORE OR HAVING MANUFACTURERS GROSS WEIGHT RATING AS DEFINED IN SECTION 390 OF CVC OR 10,000 POUNDS OR MORE SHALL USE DESIGNATED TRUCK ROUTE TO COMMUTE TO PROJECT SITE...

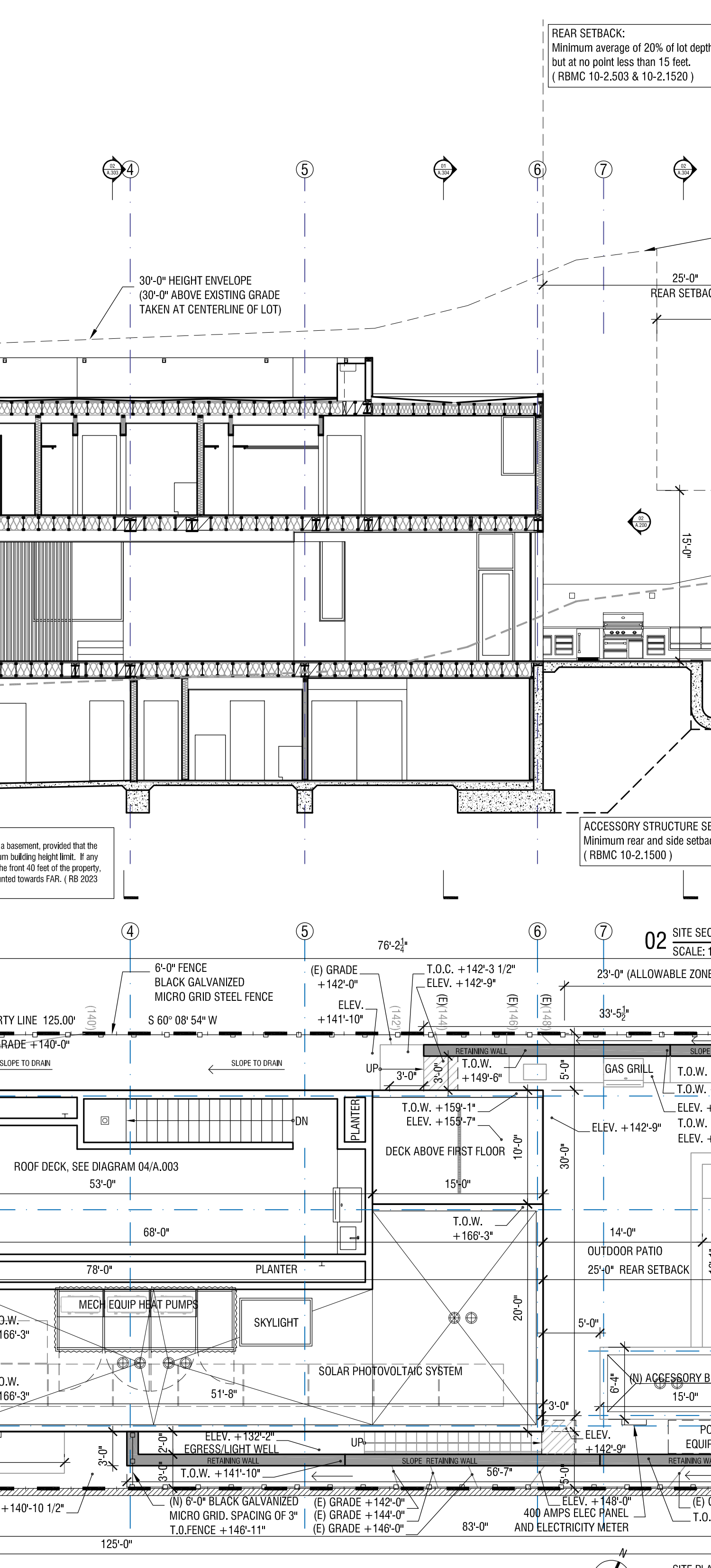
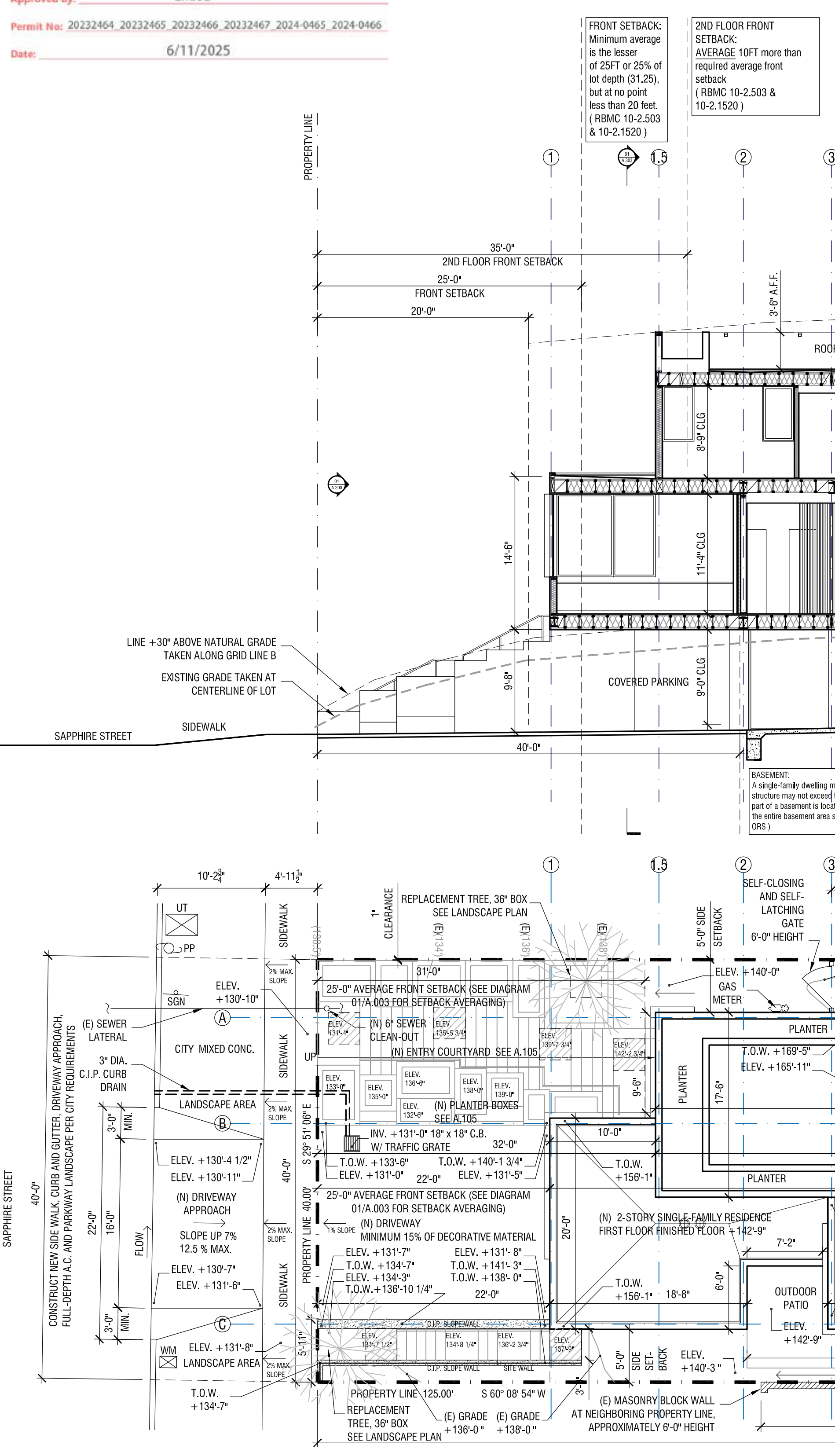
- S. PUBLIC WORKS INSPECTOR SHALL INSPECT ALL STREET IMPROVEMENTS...
T. CONTRACTOR SHALL ARRANGE FOR PUBLIC WORKS INSPECTION 24 HOURS IN ADVANCE...
U. CONTRACTOR SHALL SUBMIT CONSTRUCTION REPORTS AND CONCRETE/ASPHALT CLASS CERTIFICATES TO THE ENGINEERING SERVICES DIVISION...
V. DUST CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER...
W. NOISE CONTROL SHALL BE ENFORCED TO THE SATISFACTION OF THE CITY ENGINEER...
X. PUBLIC RIGHT OF WAY SHALL BE KEPT CLEAR AND CLEAN TO THE SATISFACTION OF THE CITY ENGINEER...
Y. CONTRACTOR SHALL LOCATE AND PROTECT IN PLACE EXISTING UTILITIES AT ITS SOLE COST...
Z. CONTRACTOR SHALL LOCATE AND PROTECT IN PLACE EXISTING SURVEY POINTS AT ITS SOLE COST...
AA. CONTRACTOR SHALL REPLACE AT ITS SOLE COST, REMOVED/DAMAGED TREES/LANDSCAPING WITHIN PUBLIC RIGHT OF WAY TO THE SATISFACTION OF THE CITY ENGINEER...

PERMIT ISSUED CITY OF REDONDO BEACH BUILDING AND SAFETY DIVISION

A PRINTED SET OF APPROVED PLANS AND SPECIFICATIONS... APPROVED BY: LM/JB

PERMIT ISSUED CITY OF REDONDO BEACH BUILDING AND SAFETY DIVISION

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DRAWING INDEX CONTINUATION

Table listing drawing titles and scales, including items like GRADING PLAN, MECHANICAL NOTES, ELECTRICAL NOTES, PLUMBING SCHEDULE, etc.

DRAWING INDEX

Table listing drawing titles and scales, including items like DRAWING INDEX, GENERAL NOTES, ZONING DIAGRAMS, etc.

PROJECT DATA

PROJECT DESCRIPTION: DEMOLITION OF (E) 1-STORY SINGLE FAMILY RESIDENCE... PROJECT ADDRESS: REDONDO BEACH SW 125 FT OF LOT 4 BK 127... LEGAL DESCRIPTION: REDONDO BEACH SW 125 FT OF LOT 4 BK 127...

Table showing building area per zoning, building area, and lot size area.

Table showing symbols legend for reference lines, window numbers, door numbers, etc.



VO RESIDENCE

OWNER: ELIZA & DEAN VO

ARCHITECT:

AARON NEUBERT ARCHITECTS, INC.

STRUCTURAL ENGINEER:

CRAIG PHILLIPS ENGINEERING AND DESIGN, INC.

MEP ENGINEER:

NAB CONSULTING ENGINEERS

CIVIL ENGINEER:

PETER SHIRLEY PE INC.

GEOLOGY AND SOILS:

IRVING GEOTECHNICAL INC.

SURVEYOR:

WRIGHT MAPPING, INC.

REVISION:

DATE: COMMENT:

ISSUE:

REVISION: DATE: COMMENT:

SEISMIC DESIGN CATEGORY:

FLOOD ZONE: NOISE ZONE INFORMATION: OCCUPANCY: ZONING: CONSTRUCTION TYPE: NUMBER OF UNITS: NUMBER OF STORES: FIRE SPRINKLERS:

BUILDING AREA PER ZONING:

BUILDING AREA: LOT SIZE AREA: OUTDOOR LIVING SPACE: PARKING: REQUIRED VEHICLES: BUILDING HEIGHT:

SYMBOLS LEGEND:

East-West Reference Line, Window Number, Door Number, North-South Reference Line, Detail, Elevation, Section, Room Name, Wall Type, Material Tag.

DATE:

APRIL 4, 2025 SCALE: AS NOTED DRAWN BY: NLA, JK

DRAWING TITLE:

DRAWING INDEX PROJECT DATA ZONING DIAGRAMS SITE PLAN & SECTION

DATE:

APRIL 4, 2025 SCALE: AS NOTED DRAWN BY: NLA, JK

DRAWING TITLE:

DRAWING INDEX PROJECT DATA ZONING DIAGRAMS SITE PLAN & SECTION

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DATE:

APRIL 4, 2025 SCALE: AS NOTED DRAWN BY: NLA, JK

DRAWING TITLE:

DRAWING INDEX PROJECT DATA ZONING DIAGRAMS SITE PLAN & SECTION

DATE:

APRIL 4, 2025 SCALE: AS NOTED DRAWN BY: NLA, JK



PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
A PRINTED set of APPROVED Plans and specifications reviewed for code compliance shall be kept on the job site and available to the inspector at the time of inspection. It is unlawful to alter approved plans without obtaining permission from the City of Redondo Beach. Approved plans shall not be construed as an approval of a violation of this code or City Ordinance. Work shall remain accessible and exposed for inspection purposes. The City of Redondo Beach shall be liable for expense entailed in the removal of any materials as required to allow inspection.

Approved by: LMJB
Permit No. 20232464, 20232465, 20232466, 20232467, 2024-0465, 2024-0466.
Date: 6/11/2025

General Construction Notes:

- Prior to ordering any materials or doing any work, each trade shall verify all measurements at the building and shall be responsible for the correctness of the same. No extra charge or compensation will be allowed on account of differences between actual dimensions and the measurements indicated on the drawings; any discrepancies between the drawings and field conditions which may be found shall be submitted to the Architect for consideration and clarification before proceeding with the work. The contractor shall be responsible for any deviation from the Contract Documents.
- All of the Architect's drawings and construction notes are complementary and shall be read in conjunction with each other. If called for by any work shown or referred to on any one drawing shall be provided as though shown on all drawings.
- The work to be performed consists of furnishing all labor, equipment, tools, transportation, supplies, fees, materials and services in accordance with these notes and drawings, and includes performing all operations necessary to construct and install complete, in satisfactory condition, the various materials and equipment at the locations shown.
- All dimensions to be taken from the face of, or center of stud to center of stud (unless otherwise noted).
- Contractor to field verify all dimensions and elevations for clearances and notify Architect of any discrepancies between Drawings and actual conditions.
- Full size or large scale details or drawings shall govern small scale drawings which they are intended to amplify.
- The standard specifications of the manufacturer for products called for in the drawings and notes are hereby made a part of these drawings. The contractor shall be held to the manufacturer's specifications. The contractor shall submit all product warranties. The contractor will warranty all work as per applicable regulations.
- Plumbing, Electrical and Mechanical work shall be performed by a licensed member of the respective trade.
- All insurance costs and costs associated with permits, inspection and sign-offs shall be the contractor's cost.
- Certificates of insurance are required from the licensed electrician, licensed plumber, and the general contractor for the amounts specified by the contract.
- All contractors, sub-contractors and others working on the project shall submit written copies of their signed copy of the completion of their work.
- The premises and job site shall be maintained in a reasonably neat and orderly condition and kept free from accumulations of waste materials and rubbish during the entire construction period. The contractor shall remove all crates, cartons and other trash from the work areas each day, and shall be held responsible for its proper disposal. The premises shall be protected throughout construction and shall be turned over in spotless and orderly condition. All fixtures and equipment will be left in undamaged, bright, clean and polished condition.
- Construction work will be confined to the areas designated on the drawings and will not create dust, dirt or other inconveniences to other spaces.
- Provide approved job site toilet that is available to anyone involved in construction activities.
- The construction shall not restrict a two-foot clear and unobstructed access to any water or sewerage treatment facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-wireless or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- Nothing shall interfere with the rights, comforts, or conveniences of any neighbors. No construction work, repair work, or other installation involving noise shall be conducted during on city approved work days. The contractor shall be held responsible for any noise complaints. The contractor shall be held responsible for any noise complaints. The contractor shall be held responsible for any noise complaints.
- Nothing shall be hung or shaken from any doors, windows or open terraces, or placed upon the window sills of the building, and nothing shall be swept or thrown, any dirt, debris, or other substance therefrom.
- Provide all temporary and permanent shoring as required in structural drawings.
- All wood floors to be secured as required to prevent cracking. All holes to be patched.
- Provide gutters and downspouts as required.
- Weatherstrip exterior doors from heated spaces.
- Upon completion of project, premises shall be left broom clean, swept free of dirt and dust, all glass to be clean, all stairs and appliances made fully operational. All systems (electrical, plumbing, hvac, etc.) to be made fully operational and balanced. All warranties and manuals of systems reviewed with and given to owner.
- All work shall be subject to final inspection by the Architect.
- A copy of the evaluation report and/or conditions of listing shall be available at the job site.
- Materials delivered to the construction site shall be protected from rain or other sources of moisture.
- Per Operation and Maintenance Manual for any newly installed equipment, appliances, HVAC system, photovoltaic system, electric vehicle chargers, water heating system, landscape irrigation and other major appliances and equipments, shall be provided in the building at the time of final inspection.

- Masonry Protection:**
- Flash and counter-flash at all roof to wall conditions.
 - G.I. flash and caulk wood beams projecting form exterior wall or roof surfaces.
 - All exterior finish materials shall be applied over minimum 30# asphalt saturated felt, unless otherwise noted.
 - Flash all exterior openings with approved waterproof building paper to extend at least 3" under the building paper behind the wall covering.
 - Shower and bathtub wall surrounds shall be stone/ite as noted, to a minimum 8"-8" x 12", and shall also extend 4" beyond the face of shower pan or tub.
 - Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a non-absorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R 307.2)

Fire Protection:

- All building materials stored at the construction site and/or inside the building are to be secured in a locked area. Access to all portions of the dwelling to the exterior of the dwelling at the required egress door without requiring travel through a garage. The required egress door shall open directly into a public way or to a yard or court that opens to a public way. (R 311.1)
- At least one door shall be 36" wide by 80" high. Provide minimum 3/2" wide doors on all interior accessible rooms. (R 311.2)
- There shall be a landing or floor on each side of each exterior door. The width of each landing shall be not less than the door served. Landings shall have a dimension of not less than 36 inches measured in the direction of travel. The slope at exterior landings shall not exceed 1/4 unit vertical in 12 units horizontal (2 percent). (R 311.3)
- The entry-level door must open over a landing not more than 1.5' below the threshold. Exception: Providing the door does not swing over the landing. Landing shall be not more than 7.5' below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings. (R 311.3.1)
- On site fire protection equipment (such as extinguisher) will be kept readily available at all times.
- If fire sprinkler system is required, fire sprinkler system shall be approved by Plumbing Division prior to installation.
- In combustible construction, fire blocking shall be provided to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories, and between a top story and the roof space. (R 302.1)
- Enclosed accessible space under stairs shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2 inch gypsum board. (R 302.7)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, when a permit is required for alterations, repairs or additions. (R 314.2)
- Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fire-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. (R 315.2)
- An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back-up and low battery signal (R 314)
- An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which hot-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R 315.3)
- Handrails shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. (R 311.7.8.4)
- Exception: Handrail continuity shall be permitted to be interrupted by a newel post at a turn in a flight with windows, at a landing, or over the lowest tread. (R 311.7.8.4)
- Exception: A valve, turned or starting ceiling shall be allowed to terminate over the lowest tread.
- Guards shall be provided for those portions of open-sided walking surfaces, including floors, stairs, ramps and landings that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Lowest screening shall not be considered as a guard. (R 312.1.1)
- Required guards at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 42 inches (1067 mm) in height as measured vertically above the adjacent walking surface or the line connecting the railings. (R 312.1.2)
- Guards on the open sides of stairs shall have a height of not less than 34 inches (864 mm) measured vertically from a line connecting the railings.
- When the top of the guard serves as a handrail on the open sides of stairs, the top of the guard shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the railings.
- Required guards shall not have openings from the walking surface to the required guard height that allow passage of a sphere 4 inches (102 mm) in diameter. (R 312.1.3)
- The triangular openings at the top of a guard, shall, formed by the riser, tread and bottom rail of a guard, shall not allow passage of a sphere 6 inches (152 mm) in diameter.
- Guards on the open side of stairs shall not have openings that allow passage of a sphere 4 3/8 inches (111 mm) in diameter.
- Exterior stairways shall be provided with an artificial light source located at the top landing of the stairway. Exterior stairways providing access to a basement from the outdoor grade level shall be provided with an artificial light source located at the bottom landing of the stairway. (R 303.8)
- Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal. (R 311.5)

Edits and Stairways:

1. Vents shall NOT be installed on underside of eaves and soffits unless the conditions set forth in Section 706A.3 or R337.8.3 are met. (706A.3, R337.8.3)
2. The exterior wall covering or wall assembly shall comply with one of the following requirements:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. Sawn lumber or glue laminated wood with the smallest minimum nominal dimension of 4 inches (102 mm). Sawn or glue-laminated planks splined, tongue-and-groove, or set close together and well spaced.
 4. Log construction assembly.
 5. Wall assemblies that have been tested in accordance with the test procedures for a 10-minute direct flame contact exposure test set forth in ASTM E2707 with the conditions of acceptance shown in Section 707A.3.1.
 6. Wall assemblies that meet the performance criteria in accordance with the test procedures for a 10-minute direct flame contact exposure test set forth in SFM Standard 12-7A-3. (707A.3)
3. The exposed roof deck on the underside of unenclosed roof eaves shall consist of one of the following:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck.
 4. The exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the roof deck designed for exterior fire exposure including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual. (707A.4)
 5. Handrail ends shall be either Type I or Type II specified in Section 311.7.8.5.
 1. Maximum 4" clear spacing opening between rails.
 6. All interior and exterior stairways shall be illuminated. (R 303.7)
 7. Exterior stairways shall be provided with an artificial light source located at the top landing of the stairway. Exterior stairways providing access to a basement from the outdoor grade level shall be provided with an artificial light source located at the bottom landing of the stairway. (R 303.8)
 8. For glass handrails and guards, the panels and their support system shall be designed to withstand the loads specified in Chapter 16 of CBC. A safety factor of four shall be used. The minimum nominal thickness of the glass shall be 1/4 inch. (CBC 2407)
 9. Provide emergency egress from sleeping rooms and basements. Show details on plans. Minimum 24" clear height, 20" clear width, 3/4" of minimum area (6.0 at grade level) & 44" maximum to sill. (R 310.2.1)
 10. For habitable rooms or basements located below one story above or more than one story below an egress door, the test procedures set forth in ASTM E2957.
 11. Boarded roof eave soffit assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.5)
 12. The exposed underside of enclosed roof eaves having either a boarded roof eave soffit with a horizontal underside, or sloping rafter soffit with an exterior covering applied to the underside of the rafter tails, shall be protected by one of the following:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the rafter tails or soffit including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual.
 4. Boarded roof eave soffit assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.5)
 5. The exposed underside of exterior porch ceilings shall be protected by one of the following:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the ceiling.
 6. The exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the ceiling assembly including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual.
 7. Porch ceiling assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.6)
 8. Porch ceiling assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.6)
 9. Noncombustible material.
 10. Exterior fire-resistant-treated wood.
 11. The floor joists for an approved sewage disposal system. (R 306.3)
 12. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply. (R 306.4)
 13. Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
 14. Appliances in residential garages and in adjacent spaces that open to the garage and are not part of the living space of a dwelling shall be installed so that all burners and burner-ignition devices are located not less than 18 inches (457 mm) above the floor unless listed as flammable vapor ignition resistant. (CMC 305.1)
 15. Water heaters shall be anchored or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at points within the upper one third (1/3) and lower one-third (1/3) of its vertical dimensions. At the lower point, a minimum distance of four(4) inches (102 mm) shall be maintained above the controls with the strapping. (IPC 507.2)
 16. Construction air supplied to fast-burning appliances (water heaters, forced air units, furnaces) located in confined spaces (enclosures, compartments, utility rooms) within unusually tight construction (basement) shall conform to the provisions of (R 315)
 17. The floor rates for all newly installed plumbing fixtures shall comply with the maximum flow rates in (CGC 4.303)
 18. When single-shower fixtures are served by more than one showerhead, the combined flow rate of all the showerheads shall not exceed the maximum allowable flow rate of 1.8 gallons per minute at 80 PSI or the shower shall be designed to only allow one showerhead to be in operation at a time. (CGC 4.303.1,3.2)

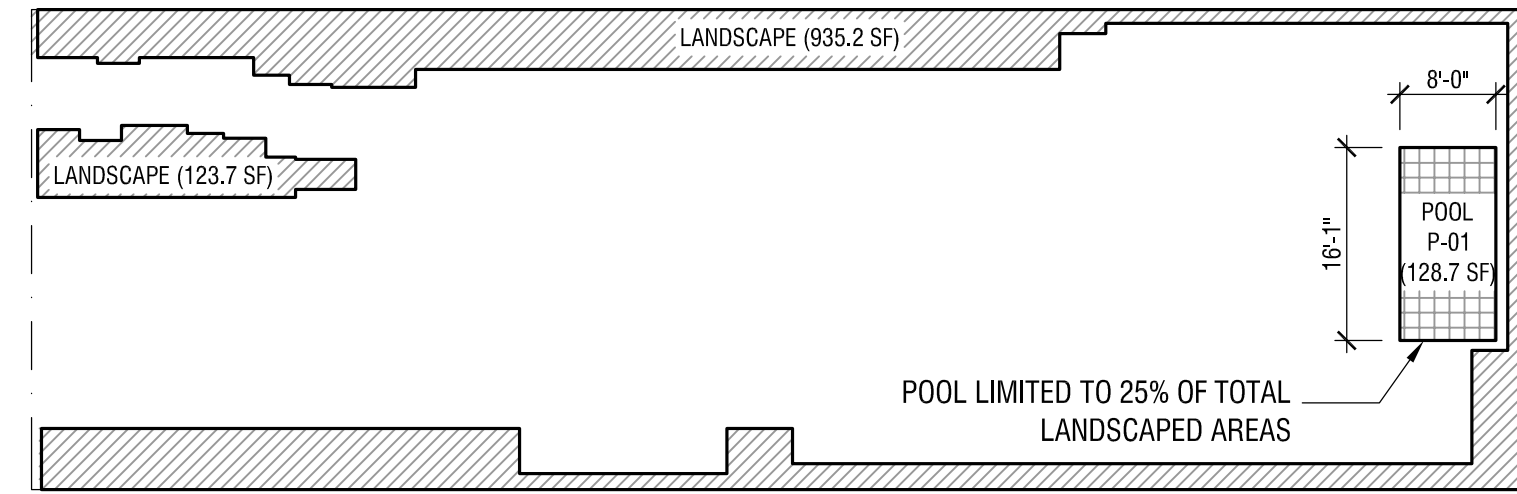
Fire Safety Overlay Zone:

- Vents shall NOT be installed on underside of eaves and soffits unless the conditions set forth in Section 706A.3 or R337.8.3 are met. (706A.3, R337.8.3)
- The exterior wall covering or wall assembly shall comply with one of the following requirements:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. Sawn lumber or glue laminated wood with the smallest minimum nominal dimension of 4 inches (102 mm). Sawn or glue-laminated planks splined, tongue-and-groove, or set close together and well spaced.
 4. Log construction assembly.
 5. Wall assemblies that have been tested in accordance with the test procedures for a 10-minute direct flame contact exposure test set forth in ASTM E2707 with the conditions of acceptance shown in Section 707A.3.1.
 6. Wall assemblies that meet the performance criteria in accordance with the test procedures for a 10-minute direct flame contact exposure test set forth in SFM Standard 12-7A-3. (707A.3)
- The exposed roof deck on the underside of unenclosed roof eaves shall consist of one of the following:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck.
 4. The exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the roof deck designed for exterior fire exposure including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual. (707A.4)
 5. Handrail ends shall be either Type I or Type II specified in Section 311.7.8.5.
 1. Maximum 4" clear spacing opening between rails.
 6. All interior and exterior stairways shall be illuminated. (R 303.7)
 7. Exterior stairways shall be provided with an artificial light source located at the top landing of the stairway. Exterior stairways providing access to a basement from the outdoor grade level shall be provided with an artificial light source located at the bottom landing of the stairway. (R 303.8)
 8. For glass handrails and guards, the panels and their support system shall be designed to withstand the loads specified in Chapter 16 of CBC. A safety factor of four shall be used. The minimum nominal thickness of the glass shall be 1/4 inch. (CBC 2407)
 9. Provide emergency egress from sleeping rooms and basements. Show details on plans. Minimum 24" clear height, 20" clear width, 3/4" of minimum area (6.0 at grade level) & 44" maximum to sill. (R 310.2.1)
 10. For habitable rooms or basements located below one story above or more than one story below an egress door, the test procedures set forth in ASTM E2957.
 11. Boarded roof eave soffit assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.5)
 12. The exposed underside of enclosed roof eaves having either a boarded roof eave soffit with a horizontal underside, or sloping rafter soffit with an exterior covering applied to the underside of the rafter tails, shall be protected by one of the following:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the rafter tails or soffit including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual.
 4. Boarded roof eave soffit assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.5)
 5. The exposed underside of exterior porch ceilings shall be protected by one of the following:
 1. Noncombustible material.
 2. Ignition-resistant material.
 3. One layer of 5/8-inch Type X gypsum sheathing applied behind an exterior covering on the underside of the ceiling.
 6. The exterior portion of a 1-hour fire resistive exterior wall assembly applied to the underside of the ceiling assembly including assemblies using the gypsum panel and sheathing products listed in the Gypsum Association Fire Resistance Design Manual.
 7. Porch ceiling assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.6)
 8. Porch ceiling assemblies with a horizontal underside that meet the performance criteria in Section 707A.10 when tested in accordance with the test procedures set forth in SFM Standard 12-7A-3. (707A.6)
 9. Noncombustible material.
 10. Exterior fire-resistant-treated wood.
 11. The floor joists for an approved sewage disposal system. (R 306.3)
 12. Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply. (R 306.4)
 13. Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
 14. Appliances in residential garages and in adjacent spaces that open to the garage and are not part of the living space of a dwelling shall be installed so that all burners and burner-ignition devices are located not less than 18 inches (457 mm) above the floor unless listed as flammable vapor ignition resistant. (CMC 305.1)
 15. Water heaters shall be anchored or strapped to resist horizontal displacement due to earthquake motion. Strapping shall be at points within the upper one third (1/3) and lower one-third (1/3) of its vertical dimensions. At the lower point, a minimum distance of four(4) inches (102 mm) shall be maintained above the controls with the strapping. (IPC 507.2)
 16. Construction air supplied to fast-burning appliances (water heaters, forced air units, furnaces) located in confined spaces (enclosures, compartments, utility rooms) within unusually tight construction (basement) shall conform to the provisions of (R 315)
 17. The floor rates for all newly installed plumbing fixtures shall comply with the maximum flow rates in (CGC 4.303)
 18. When single-shower fixtures are served by more than one showerhead, the combined flow rate of all the showerheads shall not exceed the maximum allowable flow rate of 1.8 gallons per minute at 80 PSI or the shower shall be designed to only allow one showerhead to be in operation at a time. (CGC 4.303.1,3.2)

Mechanical Notes:

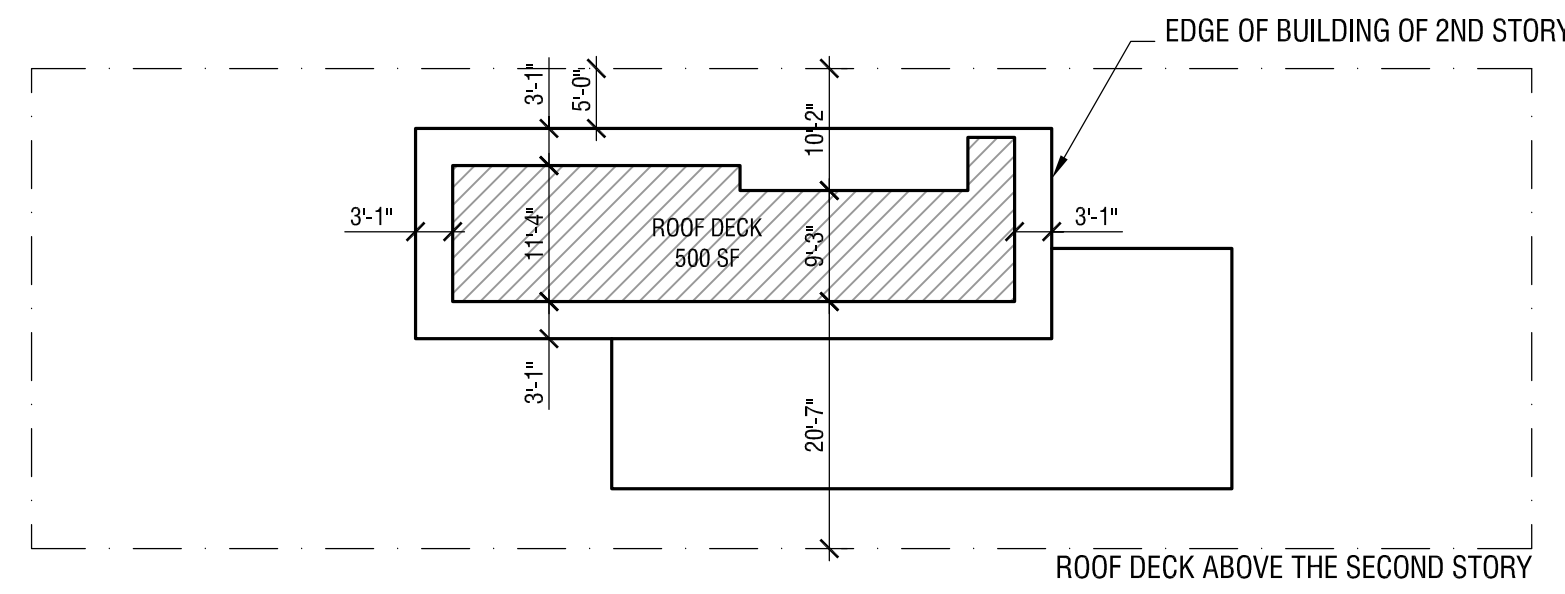
- Check existing mechanical system with reference to work being done. Replace existing equipment and ducts as required.
- Refer to T24 energy notes for heating & air conditioning equipment requirements.
- Mechanical Systems: Fans, ducting and grilles to be design-built with full coordination between the General Contractor and the Architect for sizing and placement of equipment. Fans, devices and equipment shall comply with applicable regulations.
- All duct and other related air distribution component openings shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and venting equipment. (CGSC 4.504.1)
- When a compartment or space for a Type I clothes dryer is provided, the drywall door must open over a landing not more than 1.5' below the threshold. Exception: Providing the door does not swing over the landing. Landing shall be not more than 7.5' below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings. (R 311.3.1)
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- When a compartment or space for a Type I clothes dryer is provided, the drywall door must open over a landing

PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
 A PRINTED set of APPROVED Plans and specifications removed for code compliance shall be kept on the job site and available to the inspector at the time of inspection. It is unlawful to alter approved plans without obtaining permission from the City of Redondo Beach. Approved plans shall not be construed as an approval of a violation of this code or City Ordinances. Work shall remain accessible and exposed for inspection purposes. The City of Redondo Beach shall not be liable for expense entailed in the removal of any materials as required to allow inspection.
 Approved by: LM/JB
 Permit No: 20232464, 20232465, 20232466, 20232467, 2024-0465, 2024-0466
 Date: 6/11/2025



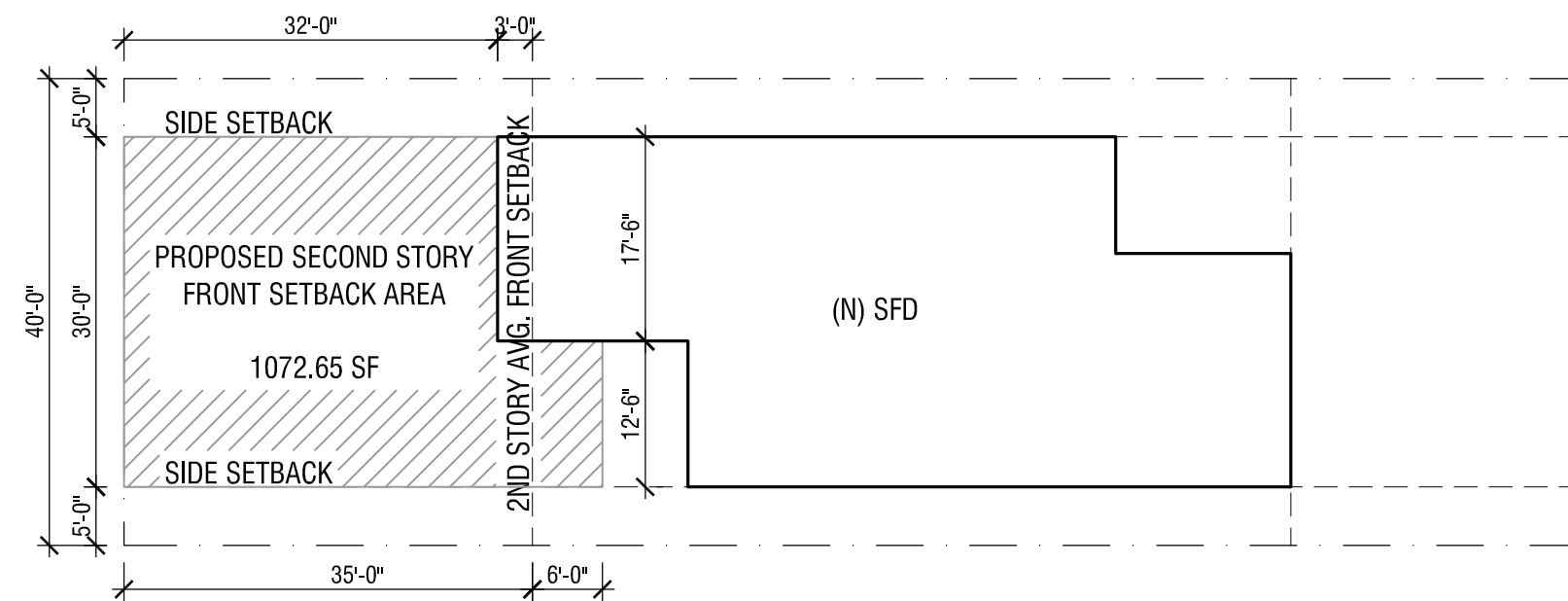
INDEX	ELEMENTS	VALUE	
	TOTAL LANDSCAPE AREA	1087.1 SF (963.4 SF + 123.7 SF)	128.7 SF > 271 SF
	ALLOWED POOL AREA	271 SF (25% OF TOTAL LANDSCAPE)	
	POOL AREA	128.7 SF	QUALIFIED
	POOL / LANDSCAPE AREA RATIO	12% (128.7SF) < 25%	

06 POOL/LANDSCAPE AREA CALCULATION
 SCALE: 1/16"=1'-0"



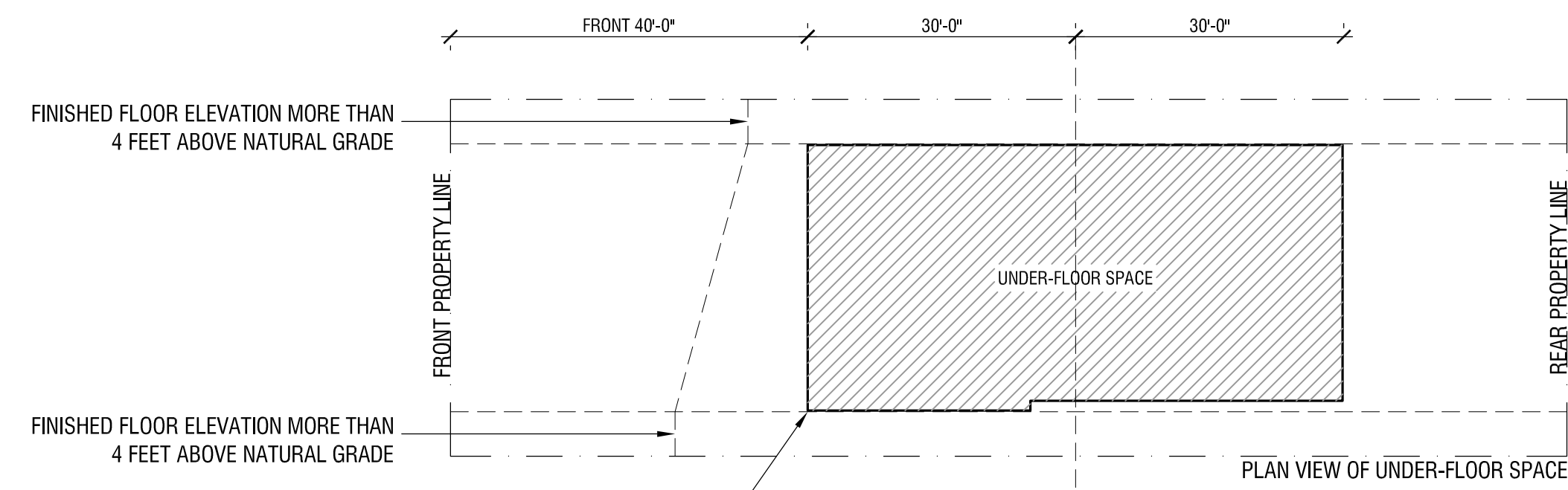
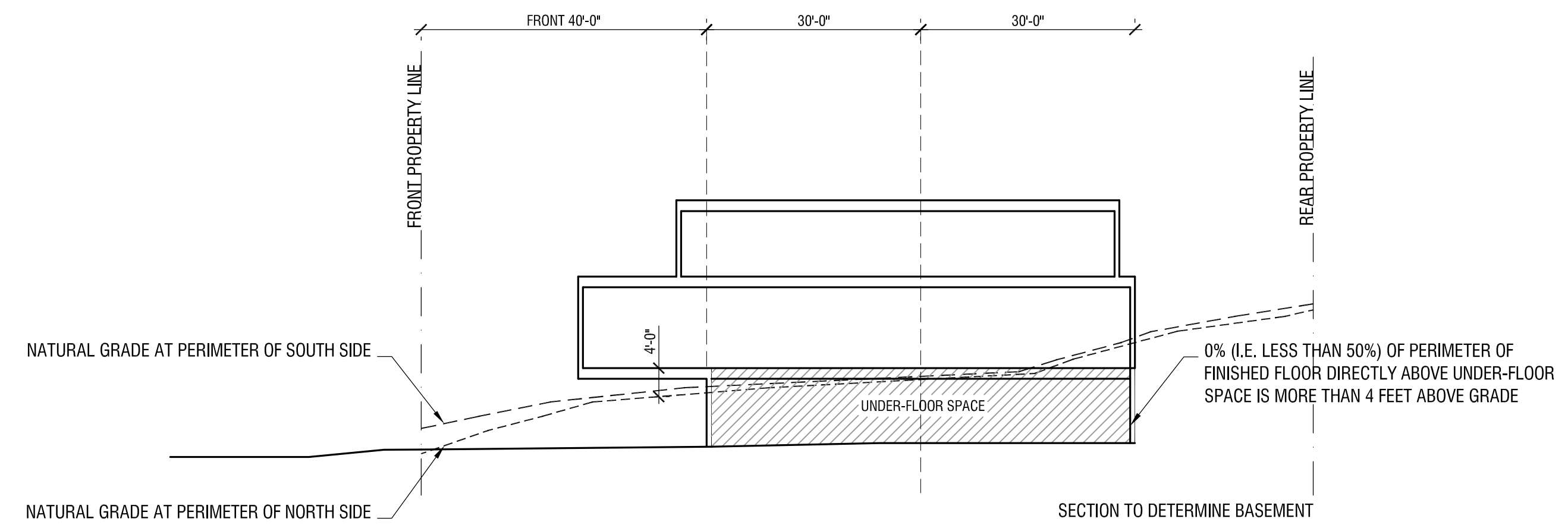
04 ROOF DECK DIAGRAM
 SCALE: 1/16"=1'-0"

Approved
 Redondo Beach Planning Division
 Adrian Friss
 Assistant Planner
 02/11/2025



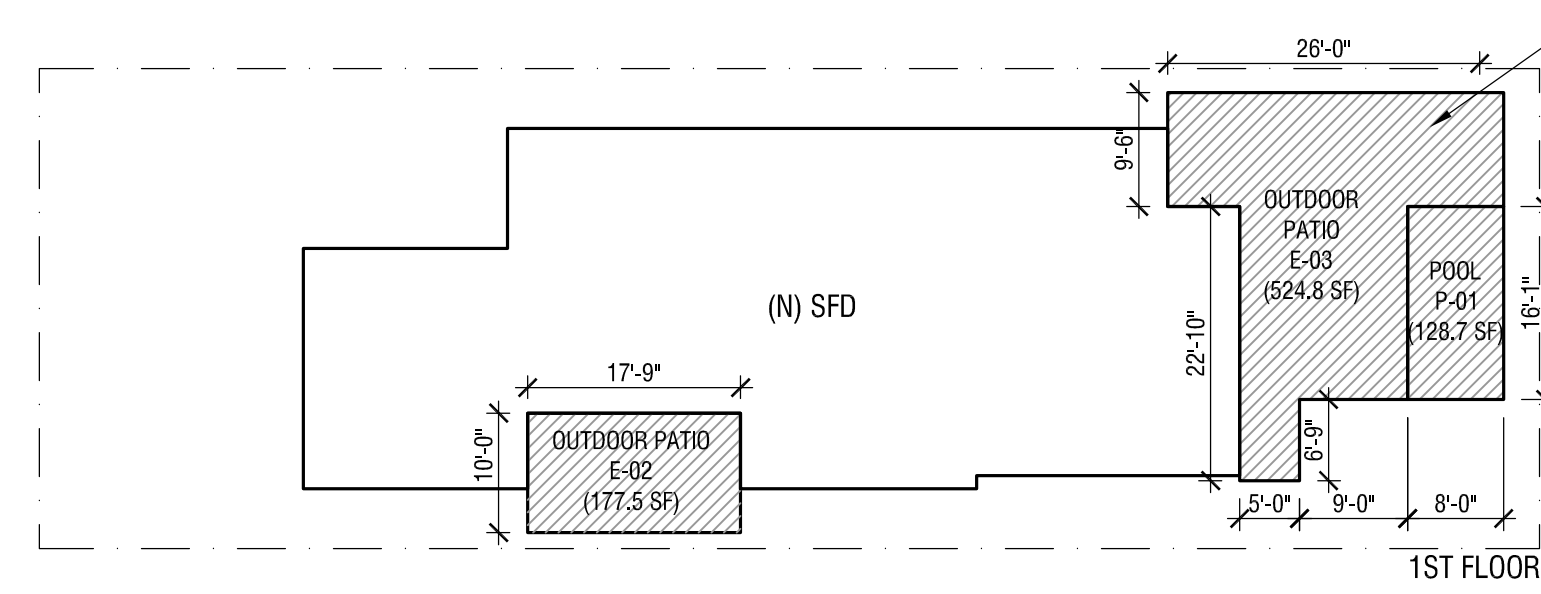
INDEX	ELEMENTS	VALUE	
	2ND STORY FRONT SETBACK REQUIREMENT	40'	
	AVERAGEABLE WIDTH	40' (LOT WIDTH) - 5' (SIDE YARD #1) - 5' (SIDE YARD #2) = 30'	1,072 SF > 1,050 SF (REQUIRED)
	PROPOSED SETBACK AREA	= 30'	
	REQUIRED SETBACK AREA	35' (SETBACK REQUIREMENT) * 30' (AVERAGEABLE WIDTH) = 1,050 SF	QUALIFIED REQUIRED SETBACK
	PROPOSED SETBACK AREA	1,072.65 SF	

02 SECOND STORY FRONT SETBACK DIAGRAM
 SCALE: 1/16"=1'-0"



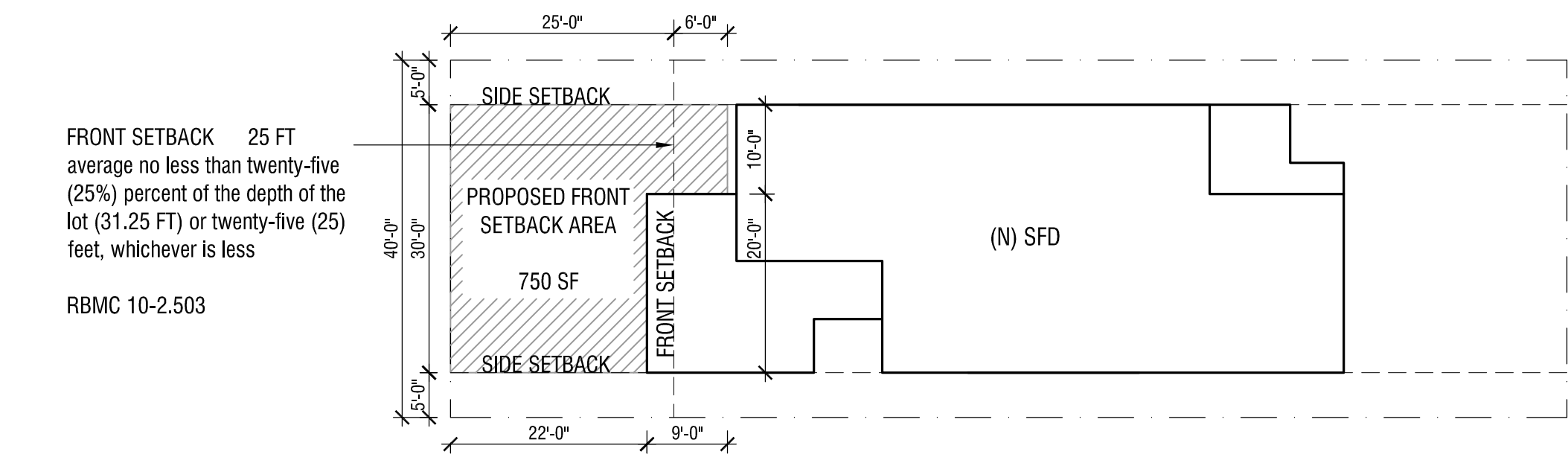
INDEX	ELEMENTS	VALUE	
	UNDER-FLOOR SPACE TO DETERMINE BASEMENT/STORY	0% < 50%	
	PERIMETER OF FINISHED FLOOR DIRECTLY ABOVE UNDER-FLOOR SPACE MORE THAN 4' ABOVE EXISTING GRADE	NONE	UNDER-FLOOR SPACE -BASEMENT
		0	

05 BASEMENT/STORY DETERMINATION
 SCALE: 1/16"=1'-0"



INDEX	ELEMENTS	VALUE	
	OUTDOOR LIVING SPACE REQUIREMENT	minimum of 800 SF	1,662 SF > 800 SF (REQUIRED)
	PROPOSED OUTDOOR LIVING SPACE	177.5 + 524.8 + 128.7 = 831 SF	QUALIFIED REQUIRED
	BONUS	200 %	OUTDOOR LIVING SPACE AREA
	TOTAL	831 SF * 2.00 = 1,662 SF	

03 OUTDOOR LIVING SPACE CALCULATION DIAGRAM
 SCALE: 1/16"=1'-0"



INDEX	ELEMENTS	VALUE	
	FRONT SETBACK REQUIREMENT	31.25' (25% of the depth of the lot) > 25'	
	AVERAGEABLE WIDTH	25'	750 SF = 750 SF (REQUIRED)
	PROPOSED FRONT SETBACK AREA	= 30'	
	REQUIRED SETBACK AREA	25' (SETBACK REQUIREMENT) * 30' (AVERAGEABLE WIDTH) = 750 SF	QUALIFIED REQUIRED FRONT SETBACK
	PROPOSED SETBACK AREA	750 SF	

01 FRONT SETBACK DIAGRAM
 SCALE: 1/16"=1'-0"



VO RESIDENCE

OWNER: ELZA & DEAN VO
 607 SAPPHIRE STREET
 REDONDO BEACH, CA 90277
 P. 909.364.1981

ARCHITECT: AARON NEUBERT ARCHITECTS, INC.
 2814 ROMANA AVENUE, SUITE ONE
 LOS ANGELES, CALIFORNIA 90025
 P. 323.853.4700 F. 323.853.8000
 AARON NEUBERT C.A.P. C-20605

STRUCTURAL ENGINEER: CRAIG PHILLIPS ENGINEERING AND DESIGN, INC.
 2725 VICTORIA AVENUE
 LOS ANGELES, CALIFORNIA 90025
 P. 323.853.4700 F. 323.853.8000
 CRAIG PHILLIPS C.A.P. C-48673

MEP ENGINEER: NAB CONSULTING ENGINEERS
 2060 VICTORIA BLVD.
 WOODLAND HILLS, CALIFORNIA 91364
 P. 310.877.2388

CIVIL ENGINEER: PETER SHIRLEY PE INC.
 4600 CHURCH AVENUE
 CALVERLEY, CALIFORNIA 90230
 P. 310.298.4239

GEOLOGY AND SOILS: IRVINE GEOTECHNICAL INC.
 104 N. BERRY AVENUE, SUITE 112
 PASADENA, CALIFORNIA 91107
 P. 626.444.8141 F. 626.444.8284

SURVEYOR: WRIGHT MAPPING, INC.
 8416 LINDORA STREET
 DOMINO, CALIFORNIA 90212
 P. 909.867.2788

REVISION: DATE: COMMENT:
 ISSUE:



Project No: 2030
SAPPHIRE
 607 SAPPHIRE STREET
 REDONDO BEACH, CA 90277

DRAWING TITLE:
ZONING DIAGRAMS

DATE: NOVEMBER 8, 2024
 SCALE: 1/16"=1'-0"
 DRAWN BY: NLA, JK

Approved
City of Redondo Beach
Building Division
04/17/2025

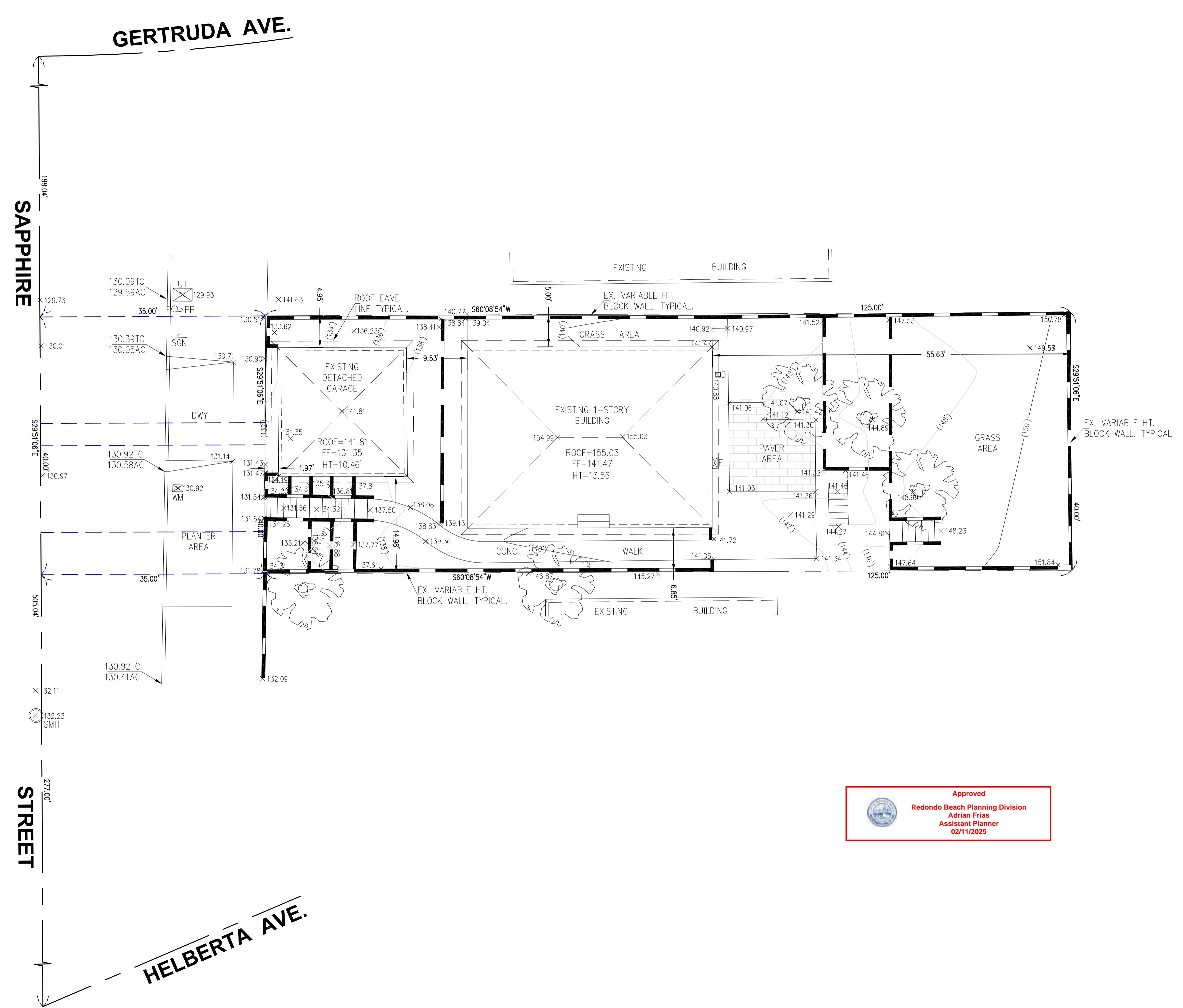
PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
 A PRINTED set of APPROVED plans and specifications reviewed for code compliance shall be kept on the job site and available to the inspector at the time of inspection. It is unlawful to alter approved plans without obtaining permission from the City of Redondo Beach. Approved plans shall not be construed as an approval of a violation of this code or City Ordinances. Work shall remain accessible and exposed for inspection purposes. The City of Redondo Beach shall not be liable for expense entailed in the removal of any materials as required to allow inspection.
 Approved by: LM/JB
 Permit No: 20232464, 20232465, 20232466, 20232467, 2024-0465, 2024-0466
 Date: 6/11/2025



VO RESIDENCE
 OWNER: ELIZA & DEAN VO
 607 SAPPHIRE STREET
 REDONDO BEACH, CA 90277
 P. 909.564.1961
 ARCHITECT: AARON NEUBERT ARCHITECTS, INC.
 2814 ROMANA AVENUE, SUITE ONE
 LOS ANGELES, CALIFORNIA 90025
 P. 323.953.4700 F. 323.953.8000
 AARON NEUBERT CAP C-20605
 STRUCTURAL ENGINEER: CRAIG PHILLIPS ENGINEERING AND DESIGN, INC.
 2725 VESPER AVENUE
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 P. 310.425.2100 F. 310.425.9900
 CRAIG PHILLIPS CAP C-68673
 MEP ENGINEER: NAB CONSULTING ENGINEERS
 2060 VICTORIA BLVD.
 WOODLAND HILLS, CALIFORNIA 91364
 P. 310.877.2338
 CIVIL ENGINEER: PETER SHIRLEY PE INC.
 4000 DUNES AVENUE
 CALVERLEY, CALIFORNIA 90230
 P. 510.288.4239
 PETER SHIRLEY CAP C-70500
 GEOLOGY AND SOILS: IRVINE GEOTECHNICAL INC.
 104 S. BISHOP AVENUE, SUITE 112
 PASADENA, CALIFORNIA 91107
 P. 626.544.8541 F. 626.544.8284
 SURVEYOR: WRIGHT MAPPING, INC.
 8419 LYNDORA STREET
 DOWNEY, CALIFORNIA 90242
 P. 562.857.2768

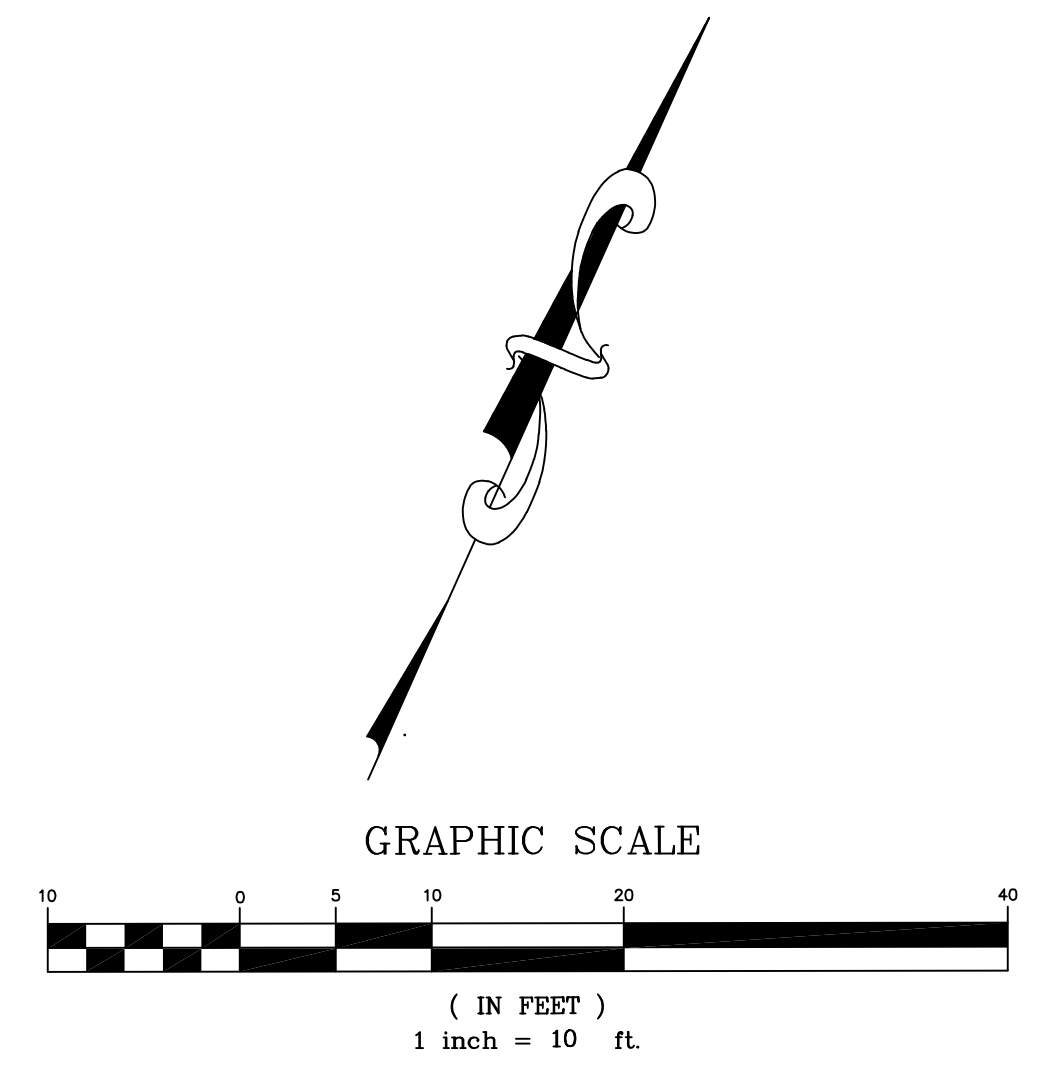
- LEGEND**
- ===== EXISTING STRUCTURE
 - ===== EXISTING WALL AS NOTED
 - - - - - EXISTING FENCE AS NOTED
 - _____ FINISHED SURFACE LINE
 - ⊕ - - - - CENTERLINE
 - ⊕ - - - - PROPERTY LINE
 - (98) - - - - EXISTING CONTOUR ELEV.
 - AC ASPHALT CONCRETE
 - TYP. TYPICAL
 - GM GAS METER
 - SGN STREET SIGN
 - RD ROOF DRAIN
 - UT UTILITY
 - SCE SO CAL. EDISON UTILITY
 - PP POWER POLE
 - ICB IRRIGATION CONTROL BOX
 - WM WATER METER
 - FG FINISHED GRADE
 - HT HEIGHT
 - EL ELECTRICAL UTILITY
 - EX EXISTING
 - GW GUY WIRE
 - PP POWER POLE
 - FH FIRE HYDRANT
 - x105.50 EXISTING ELEVATION
 - ⊗ EXISTING UTILITY AS NOTED
 - ◻ EXISTING CONCRETE AREA
 - 🌳 EXISTING TREE

TOPOGRAPHIC SURVEY EXHIBIT
607 SAPPHIRE STREET
REDONDO BEACH, CA. 90077



Approved
 Redondo Beach Planning Division
 Adrian Fries
 Assistant Planner
 02/11/2025

BENCHMARK
 BM NUMBER: QY10262
 FD, DPW BM, TAG IN E. CB, 5FT N/O BCR, @ NE.
 COR. OF ESPLANADE & SAPPHIRE ST. @ C.B.
 DATUM: NAVD-88 (2013)
 ELEVATION: 58.896 FT.
LEGAL DESCRIPTION
 POR. LOT 4 OF THE TOWNSHIP OF REDONDO BEACH, IN THE CITY OF REDONDO BEACH, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN M.R. 39, PAGE 1-17 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.
 APN: 7507-001-004



SURVEYED BY: WRIGHT MAPPING, INC. 8419 LYNDORA STREET DOWNEY, CA. 90242 PH: 562-857-2768	 JACOB R. WRIGHT		TOPOGRAPHIC SURVEY EXHIBIT	JOB NO: LA22-0514
			SITE ADDRESS: 607 SAPPHIRE STREET REDONDO BEACH, CA. APN: 7507-001-004	DATE: 06/21/22 SHEET 1 OF 1
SCALE: 1"=10' DRAWN BY: D.P. CHECKED BY: J.R.W.			CITY OF REDONDO BEACH	



Project No: 2020
SAPPHIRE
 607 SAPPHIRE STREET
 REDONDO BEACH, CA 90277
 DRAWING TITLE:
EXISTING SITE SURVEY

DATE: NOVEMBER 8, 2024
 SCALE: AS NOTED
 DRAWN BY: ---

01 EXISTING SITE SURVEY
 SCALE: AS NOTED

Approved
City of Redondo Beach
Building Division
04/17/2025

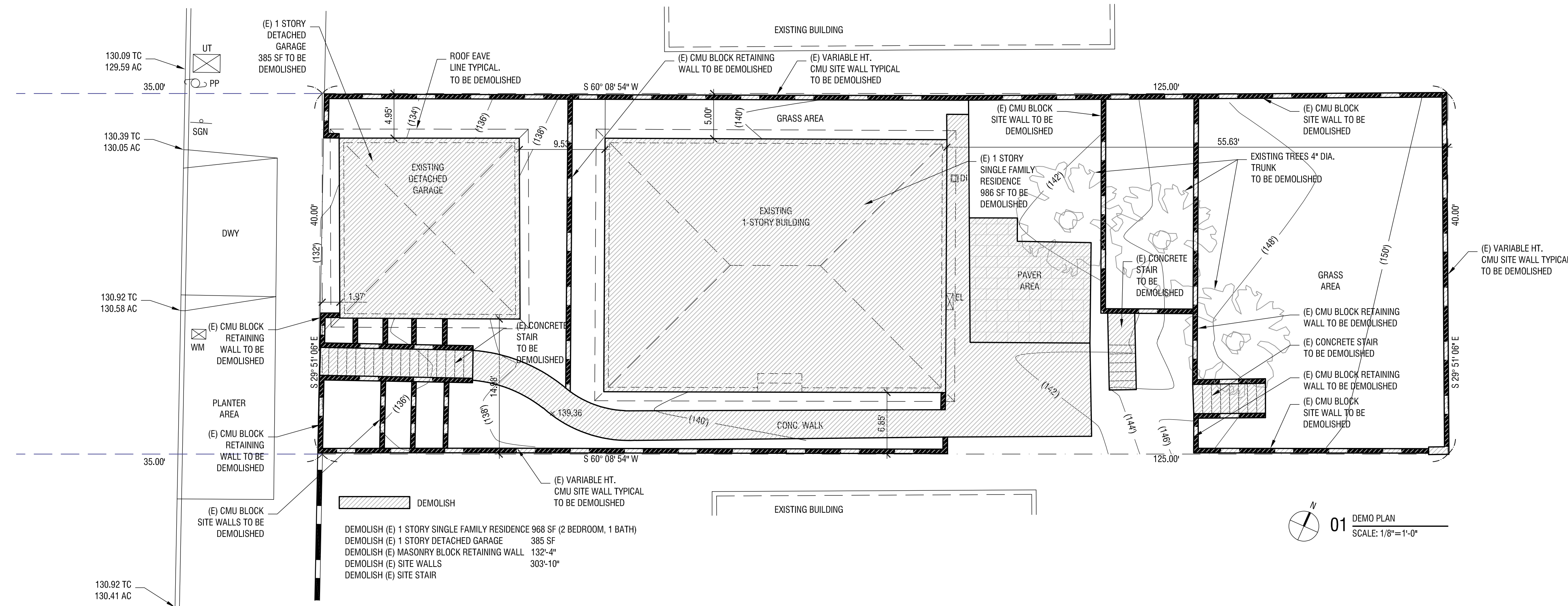
PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
 A PRINTED set of APPROVED Plans and specifications reviewed for code compliance shall be kept on the job site and available to the inspector at the time of inspection. It is unlawful to alter approved plans without obtaining permission from the City of Redondo Beach. Approved plans shall not be construed as an approval of a violation of this code or City Ordinances. Work shall remain accessible and exposed for inspection purposes. The City of Redondo Beach shall not be liable for expense entailed in the removal of any materials as required to allow inspection.
 Approved by: LM/JB
 Permit No: 20232461, 20232465, 20232466, 20232467, 2024-0465, 2024-0466
 Date: 6/11/2025

Approved
Redondo Beach Planning Division
Adrian Friss
Assistant Planner
02/11/2025



- DEMOLITION NOTES**
1. ANY PERSON, FIRM OR CORPORATION DESIRING TO DEMOLISH, DISMANTLE OR TEAR DOWN ANY HOUSE, BUILDING, STRUCTURE OR PORTION THEREOF EXCEEDING FIFTY (50%) PERCENT OF THE TOTAL OF THE FLOOR AREAS, AND/OR CEILING AREAS, AND/OR LINEAL FOOTAGE OF THE INTERIOR AND EXTERIOR WALLS OF THE EXISTING HOUSE, BUILDING OR STRUCTURE WITHIN THE CITY OR MOVE THE SAME WITHIN OR OUTSIDE THE CITY LIMITS, SHALL, BEFORE PROCEEDING WITH SUCH WORK, FILE AN APPLICATION WITH THE CHIEF BUILDING OFFICIAL OF THE CITY FOR A DEMOLITION PERMIT SO TO DO, FOR ALL ADDITIONS AND REMODELS THE APPLICANT SHALL SUBMIT A PLAN IDENTIFYING THE AREAS AND WALLS THAT COVERINGS OR FRAMING IS TO BE REMOVED. (RDMC 9-17.01)
 2. THE DEMOLITION OF A HISTORIC LANDMARK, STRUCTURE IN A HISTORIC DISTRICT, OR POTENTIAL HISTORIC RESOURCES AS DESCRIBED BY TITLE 10, CHAPTER 4 IS CONSIDERED TO BE A DISCRETIONARY PERMIT AND SUBJECT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) AND PERMIT STREAMLINING ACT. THEREFORE, A DEMOLITION PERMIT SHALL NOT BE ISSUED BY THE BUILDING DIVISION UNTIL THE REQUIREMENTS OF TITLE 10, CHAPTER 4, ARTICLES 4 AND 5 HAVE BEEN MET. (RDMC 9-17.02)
 3. EFFECTIVE DATE OF DEMOLITION PERMIT ISSUANCE FOR STRUCTURES FIFTY (50) OR MORE YEARS OLD, NO PERMIT SHALL BE ISSUED FOR FOURTEEN (14) DAYS FOLLOWING THE DATE OF THE APPLICATION FOR A DEMOLITION PERMIT FILED WITH THE CITY (EFFECTIVE DATE). (RDMC 9-17.03)
 4. FOR STRUCTURES LESS THAN FIFTY (50) YEARS OLD, AND/OR A DETACHED GARAGE, CARPORT, OR STORAGE SHED LESS THAN 200 SQUARE FEET OF FLOOR AREA, PERMITS MAY BE ISSUED WHEN ALL REQUIREMENTS FOR DEMOLITION PERMITS SPECIFIED BY THE BUILDING DIVISION ARE MET (EFFECTIVE DATE). (RDMC 9-17.03)
 5. FOR STRUCTURES FIFTY (50) OR MORE YEARS OLD, IMMEDIATELY UPON THE FILING OF THE APPLICATION FOR A PERMIT UNDER RDMC 9-17.01, THE CHIEF BUILDING OFFICIAL SHALL NOTIFY IN WRITING THE PRESIDENT OF THE HISTORICAL SOCIETY AND THE CHAIRPERSON OF THE PRESERVATION COMMISSION OF THE ADDRESS OF THE BUILDING OR STRUCTURE SUBJECT TO THE PERMIT, THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE LEGAL OWNERS AS IT APPEARS ON THE APPLICATION FOR THE PERMIT AND THE EFFECTIVE DATE OF THE PERMIT. (RDMC 9-17.04)
 6. ANY PERMIT ISSUED UNDER RDMC 9-17 IS FURTHER CONDITIONED UPON COMPLETION OF THE WORK OF MOVING OR DEMOLITION, DISMANTLING, TEARING DOWN AND CLEANING OF THE SITE WITHIN A PERIOD OF NINETY (90) DAYS FROM THE EFFECTIVE DATE OF THE PERMIT, WHICH PERIOD MAY BE EXTENDED BY THE CHIEF BUILDING OFFICIAL UPON GOOD CAUSE SHOWN, FOR SUCH ADDITIONAL PERIOD AS MAY BE REASONABLY REQUIRED TO CARRY OUT THE PERMIT. (RDMC 9-17.05)
 7. NOTWITHSTANDING ANYTHING TO THE CONTRARY IN RDMC 9-17, THE CHIEF BUILDING OFFICIAL IS NOT REQUIRED TO DELAY ISSUANCE OF THE PERMIT PURSUANT TO RDMC 9-17.03 OR TO GIVE THE NOTICE PROVIDED FOR IN RDMC 9-17.04 IF HE/SH SHE DETERMINES THAT AN EMERGENCY EXISTS, OR THAT UNDER EXISTING CIRCUMSTANCES NOTICE IS IMPRACTICAL, INFEASIBLE, OR NOT APPROPRIATE. (RDMC 9-17.06)
 8. IT IS UNLAWFUL FOR ANY PERSON, FIRM OR CORPORATION TO ERECT, CONSTRUCT, ENLARGE, ALTER, REPAIR, MOVE, IMPROVE, REMOVE, CONVERT OR DEMOLISH, EQUIP, USE, OCCUPY OR MAINTAIN ANY BUILDING OR STRUCTURE OR CAUSE OR PERMIT THE SAME TO BE DONE IN VIOLATION OF THE RDMC. THE PENALTY FOR ANY VIOLATION, UPON THE CONVICTION OF ANY VIOLATION, SHALL BE A FINE OF NOT MORE THAN \$1,000.00 OR IMPRISONMENT IN A COUNTY JAIL FOR A PERIOD NOT EXCEEDING SIX (6) MONTHS, OR BOTH SUCH FINE AND IMPRISONMENT. (RDMC 9-17.07)
 9. CONSTRUCTION SITE NOTIFICATION IS REQUIRED FOR DEMOLITIONS PER RDMC 9-1.28. THE CONTRACTOR OR OWNER IS REQUIRED TO SEND BY CERTIFIED MAIL, A NOTIFICATION LETTER TO ALL THE APARTMENT UNITS, CONDOMINIUMS OR HOUSE ADDRESSES LOCATED ON THE TEN (10) ADJACENT PROPERTIES TO THE SITE. PROOF OF PAID CERTIFIED MAIL, NOTIFICATION LETTER ARE REQUIRED TO BE SUBMITTED TO THE BUILDING AND SAFETY DIVISION FOURTEEN (14) DAYS PRIOR TO COMMENCING ANY DEMOLITION WORK. THE BUILDING AND SAFETY DIVISION WILL PROVIDE A LIST OF ALL THE APARTMENT UNITS, CONDOMINIUMS, OR HOUSE ADDRESSES LOCATED ON THE TEN (10) ADJACENT PROPERTIES THE CONTRACTOR OR OWNER IS REQUIRED TO NOTIFY. FURTHER INSTRUCTIONS FOR NOTIFICATION ARE REQUIRED BY RDMC 9-1.28.
 10. EVERY HOLDER OF A DEMOLITION PERMIT AND/OR BUILDING PERMIT SHALL COMPLETELY ENCLOSE BY FENCING THE SITE PRIOR TO THE START OF DEMOLITION OR CONSTRUCTION.
 11. THE WORK OF DEMOLISHING ANY BUILDING SHALL NOT BE COMMENCED UNTIL PEDESTRIAN PROTECTION IS IN PLACE. IF ANY WORK IS TO BE PERFORMED ON ANY BUILDING OR STRUCTURE ADJACENT TO A PUBLIC RIGHT-OF-WAY, PROVIDE A CONSTRUCTION FENCE AND OR CANOPY AS REQUIRED BY CHAPTER 33 OF THE CBC.
 12. BARRICADES, PROTECTION FENCES, AND PROTECTION CANOPIES SHALL BE PROVIDED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 3306 OF THE CBC. AN 8-FOOT HIGH CHAIN LINK FENCE MUST BE PROVIDED TO PREVENT UNAUTHORIZED ENTRY TO THE VACANT LOT AFTER DEMOLITION.
 13. ALL REQUIRED PROTECTION DEVICES (FENCES, CANOPIES, ETC) MUST BE IN PLACE AND INSPECTED AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO STARTING ANY DEMOLITION WORK.
 14. A PRE-INSPECTION PERFORMED BY A BUILDING INSPECTOR AT THE SITE OF THE PROPOSED DEMOLITION MAY BE REQUIRED BEFORE A DEMOLITION PERMIT MAY BE ISSUED. A SEPARATE PRE-INSPECTION MAY BE REQUIRED FOR EACH BUILDING TO BE DEMOLISHED.

14. IF EXCAVATING, THE CONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT PRIOR TO ANY EXCAVATION (USA 1-800-22-1533).
15. THE SCOPE OF DEMOLITION AND REMOVAL WORK SHALL NOT BE LIMITED BY THESE DRAWINGS, BUT SHALL INCLUDE ANY AND ALL WORK NECESSARY TO FACILITATE NEW CONSTRUCTION.
16. THE DEMOLITION CONTRACTOR SHALL COORDINATE DEMOLITION WORK WITH ANY NEW CONSTRUCTION AS SHOWN ON THE DRAWINGS. THE DEMOLITION CONTRACTOR SHALL REPORT ANY CONFLICTS TO THE OWNER/BUILDER BEFORE DEMOLITION BEGINS.
17. THE DEMOLITION CONTRACTOR SHALL COORDINATE THE SEQUENCE OF DEMOLITION WORK WITH NEW CONSTRUCTION.
18. DEMOLITION WORK SHALL BE DONE ONLY DURING PERMITTED HOURS AS ESTABLISHED IN THE JURISDICTION IN WHICH THE WORK IS BEING PERFORMED.
19. EXTREME CARE IS TO BE EXERCISED WITH ALL MATERIALS AT THE PROJECT JOB SITE. THE CONTRACTOR SHALL PROTECT AREAS ADJACENT TO REQUIRED DEMOLITION WORK. ANY DAMAGE TO OTHER AREAS OR DEMOLITION WORK THAT IS NOT REQUIRED FOR NEW CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
20. THE DEMOLITION CONTRACTOR IS TO MAINTAIN AND PROTECT EXISTING UTILITY SERVICES, EXISTING UTILITIES TO REMAIN AND/OR OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION, PROVISION OF TEMPORARY SERVICES AND RESTORATION OF SERVICES.
21. ALL DEMOLITION WORK INDICATED SHALL BE CAREFULLY CUT AND REMOVED IN ORDER TO MINIMIZE DISRUPTION AND ANY DAMAGE TO OTHER WORK.
22. SHOULD A DANGEROUS CONDITION DEVELOP DURING THE DEMOLITION OF A STRUCTURE, THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY BARRICADE THE DANGEROUS AREA, NOTIFY THE DEPARTMENT OF BUILDING AND SAFETY AND TAKE IMMEDIATE STEPS TO MINIMIZE THE HAZARD, NO FURTHER DEMOLITION WORK SHALL BE DONE UNTIL APPROVAL TO PROCEED IS GIVEN BY THE DEPARTMENT OF BUILDING AND SAFETY.
23. NO STRUCTURAL MEMBER IN ANY STORY SHALL BE DEMOLISHED OR REMOVED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED. EXCEPTIONS: A) TWO STORY TYPE V BUILDINGS OF WOOD-FRAME CONSTRUCTION. B) TWO STORY BUILDINGS OF ANY TYPE, PROVIDED NO FIRST STORY STRUCTURAL MEMBER IS REMOVED BEFORE ALL OF ITS SUPPORTED LOAD IS REMOVED.
24. ALL DEBRIS SHALL BE WET AT TIME OF HANDLING TO PREVENT DUST.
25. FREE-FALL DUMPING OVER THE EXTERIOR WALL OF A BUILDING WILL NOT BE PERMITTED FROM A HEIGHT GREATER THAN 25 FEET.
26. ALL BASEMENT FILL SHALL BE CLEAN AND UNIFORM.
27. STORAGE OF MATERIALS ON FLOORS SHALL NOT EXCEED PSF (POUNDS PER SQUARE FOOT) LIVE LOAD AS DESIGNATED BY THE DEPARTMENT OF BUILDING AND SAFETY.
28. ALL DEBRIS FROM THE DEMOLITION PROCESS SHALL BE REMOVED FROM THE SITE TO AN APPROVED DUMP AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE NOTED.
29. THE DEMOLITION CONTRACTOR SHOULD REFER TO ANY MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS/SPECIFICATIONS FOR ADDITIONAL INFORMATION ON THE DEMOLITION OF THE EXISTING BUILDING(S).
30. THE DEMOLITION CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL AND PLUMBING CONTRACTOR FOR THE SAFE DISCONNECTION OF SERVICES PRIOR TO DEMOLITION.
31. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORAGE OF ANY ITEMS TO BE RELOCATED.
32. THE DEMOLITION CONTRACTOR SHALL SALVAGE ANY ITEMS AT THE REQUEST OF THE OWNER. ALL ITEMS ARE THE PROPERTY OF THE OWNER.
33. IF ASBESTOS IS DISCOVERED IN THE EXISTING MATERIALS TO BE DEMOLISHED, THEN ASBESTOS MUST BE REMOVED IN ACCORDANCE WITH APPLICABLE CITY, COUNTY, STATE AND FEDERAL GUIDELINES OR REQUIREMENTS.



VO RESIDENCE

OWNER: **ELZA & DEAN VO**
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 REDONDO BEACH, CA 90277
 P. 909.364.1961

ARCHITECT:

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 AARON.NEUBERT@CAH.C20063

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 CRAIG.PHILLIPS@CAH.C20063

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 4650 DUNBAR AVENUE
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GEOLOGY AND SOILS:

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 P. 626.444.8741 F. 626.444.8284

SURVEYOR:

WRIGHT MAPPING, INC.
 8416 LINCOLN AVE. SUITE 200
 DOWNEY, CALIFORNIA 90241
 P. 562.887.0788

REVISION: DATE: COMMENT:

ISSUE:

SEAL:



Project No. 2309
SAPPHIRE
 607 SAPPHIRE STREET
 REDONDO BEACH, CA 90277

DRAWING TITLE:

DEMOLITION PLAN

DATE: **NOVEMBER 8, 2024**

SCALE: **AS NOTED**

DRAWN BY: -



VO RESIDENCE

OWNER: ELZA & DEAN VO
607 SAPPHIRE STREET
REDONDO BEACH, CA 90277
P. 303.964.1961

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AARON NEUBERT C.A.P. C-20605

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CRAIG PHILLIPS C.A.P. C-48673

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CIVIL ENGINEER: PETER SHIRLEY PE INC.
4400 DUNES AVENUE
CULVER CITY, CALIFORNIA 90230
P. 310.289.4239

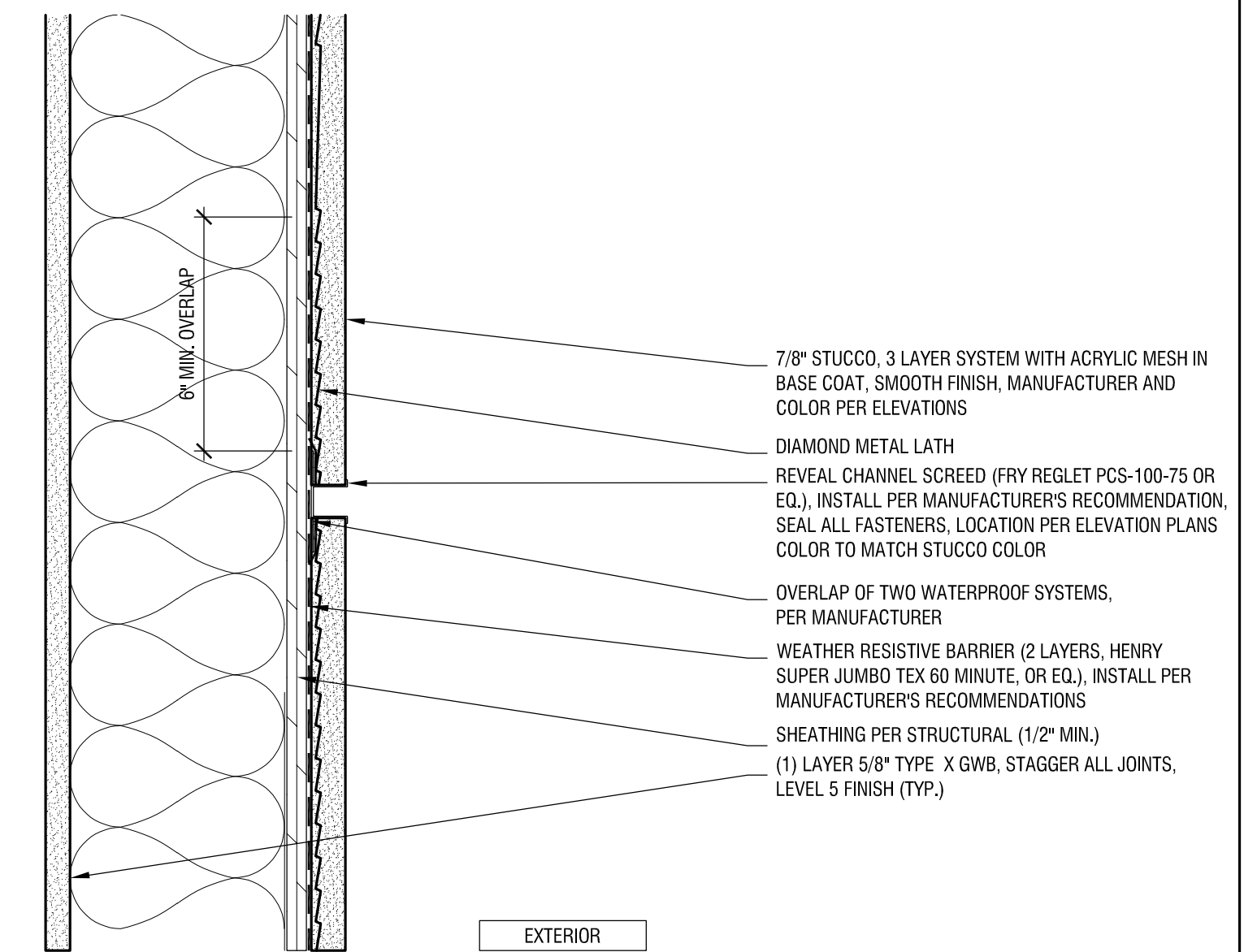
PETER SHIRLEY C.A.P. C-75580

GEOLOGY AND SOILS: IRVINE GEOTECHNICAL INC.
104 N. BISHOP AVENUE, SUITE 112
PASADENA, CALIFORNIA 91107
P. 626.794.0541 F. 626.794.0534

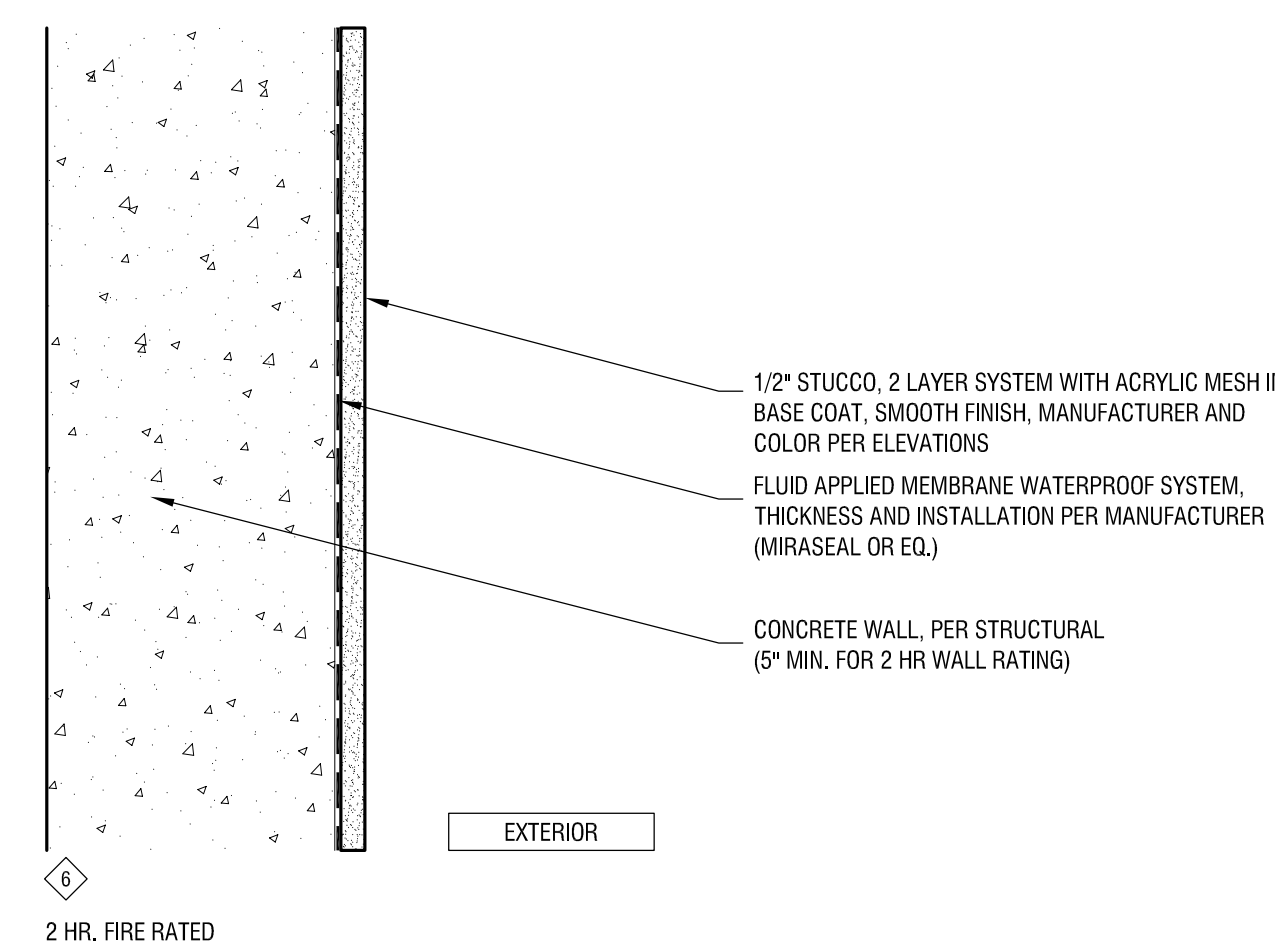
SURVEYOR: WRIGHT MAPPING, INC.
8416 LINDORA STREET
DOWNEY, CALIFORNIA 90242
P. 562.827.5786

Approved
City of Redondo Beach
Building Division
04/17/2025

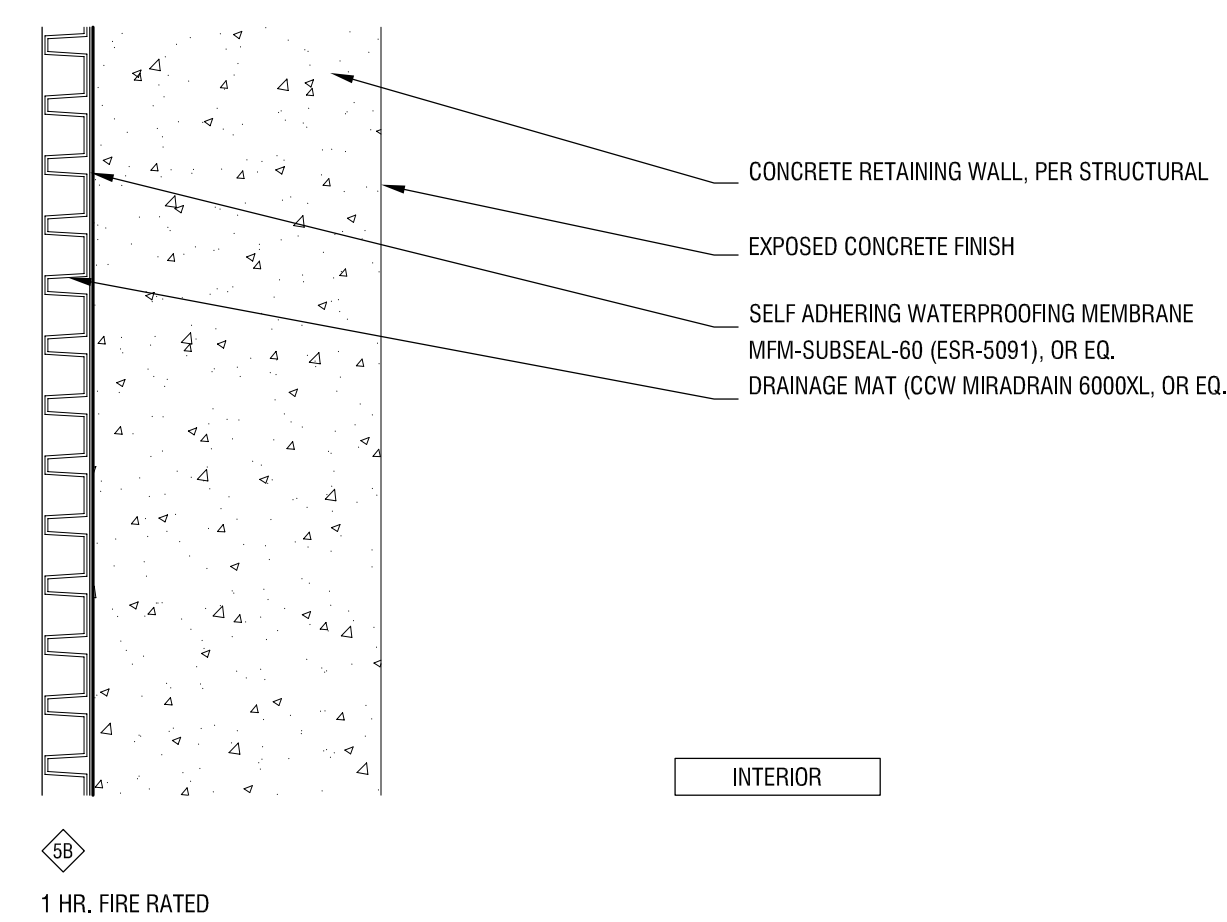
PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
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Approved by: LM/JS
Permit No: 20232464_20232465_20232466_20232467_2024-0465_2024-0466
Date: 6/11/2025



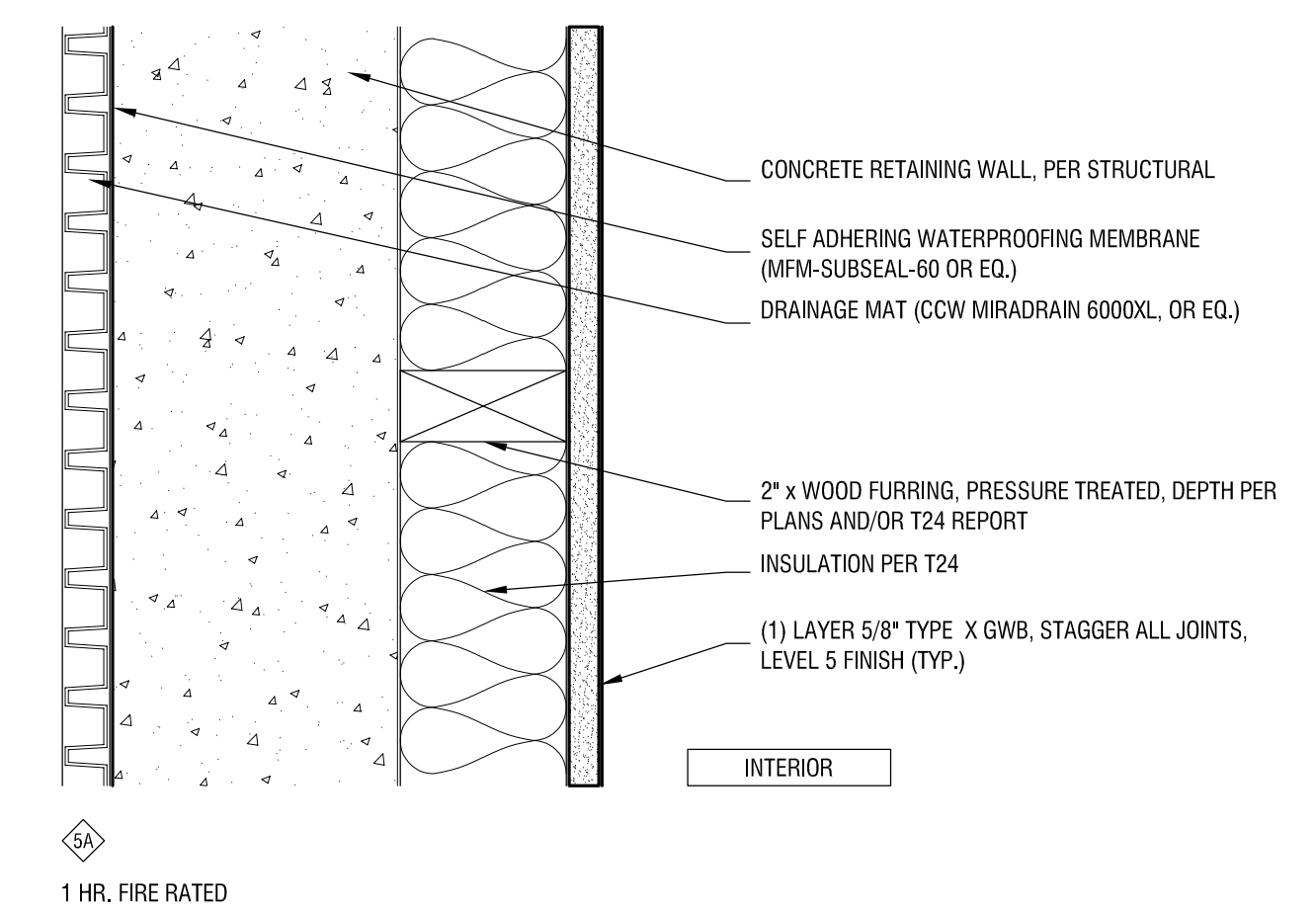
07 STUCCO CONTROL JOINT
SCALE: 3/8"=1'-0"



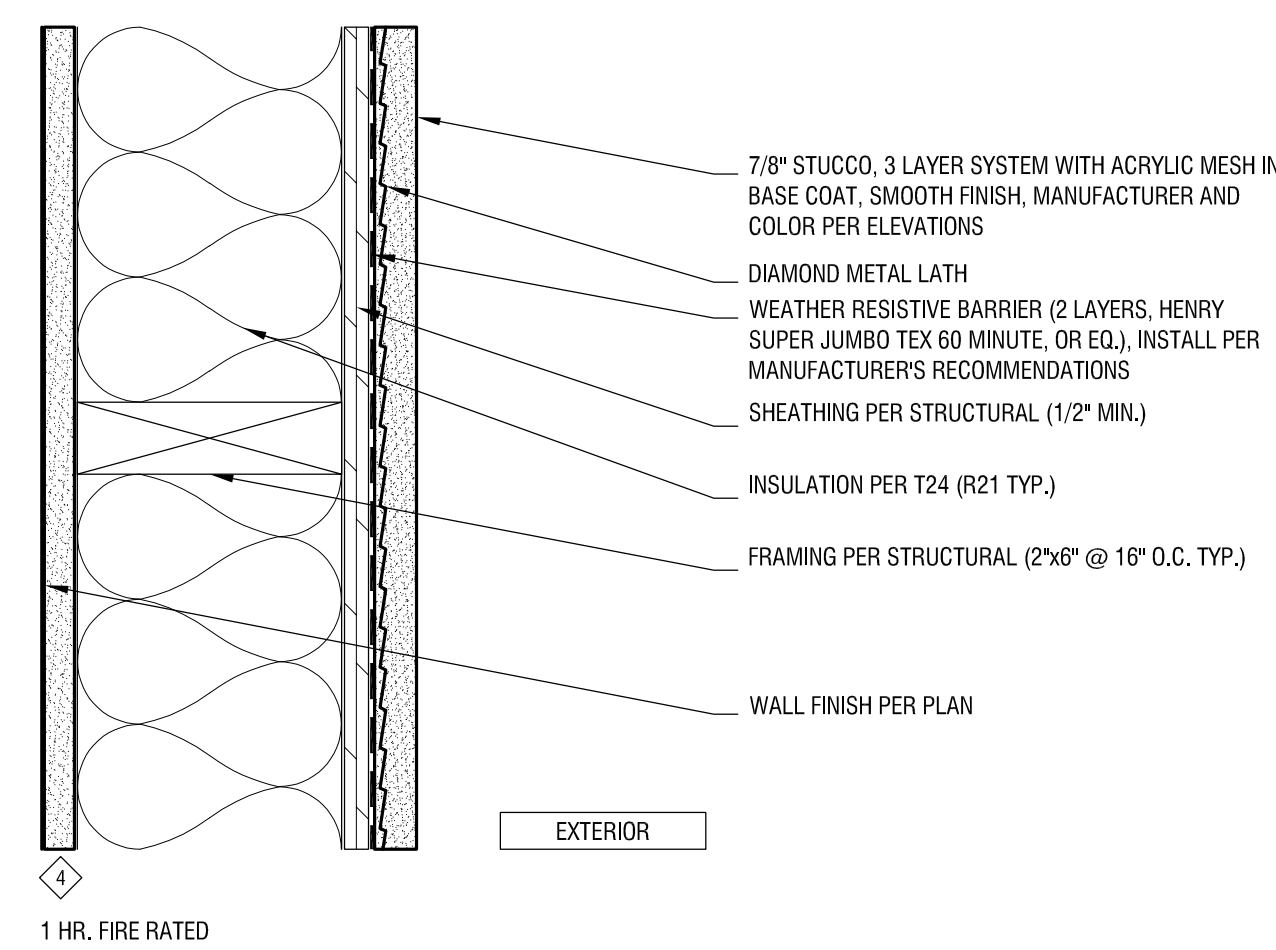
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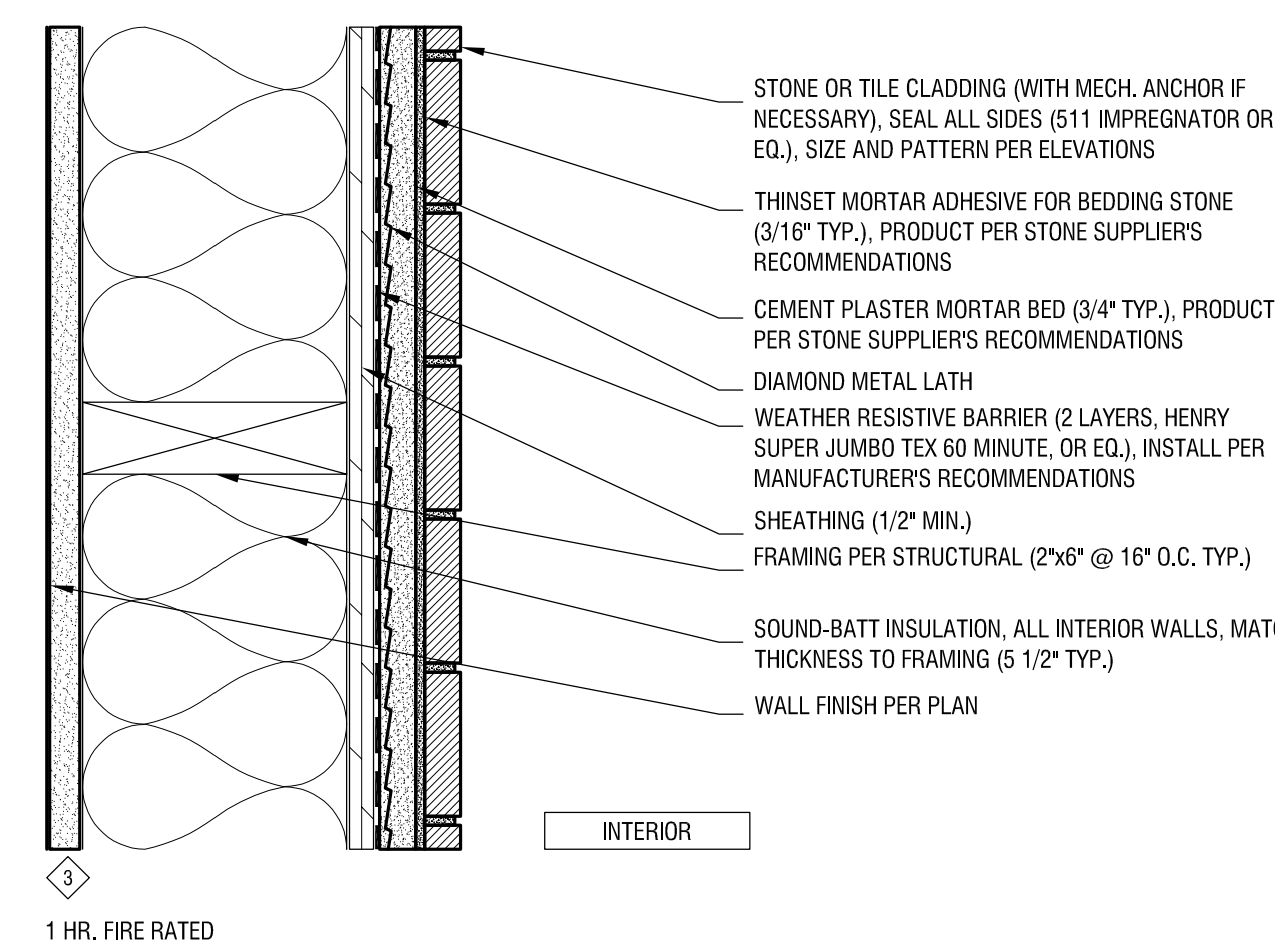
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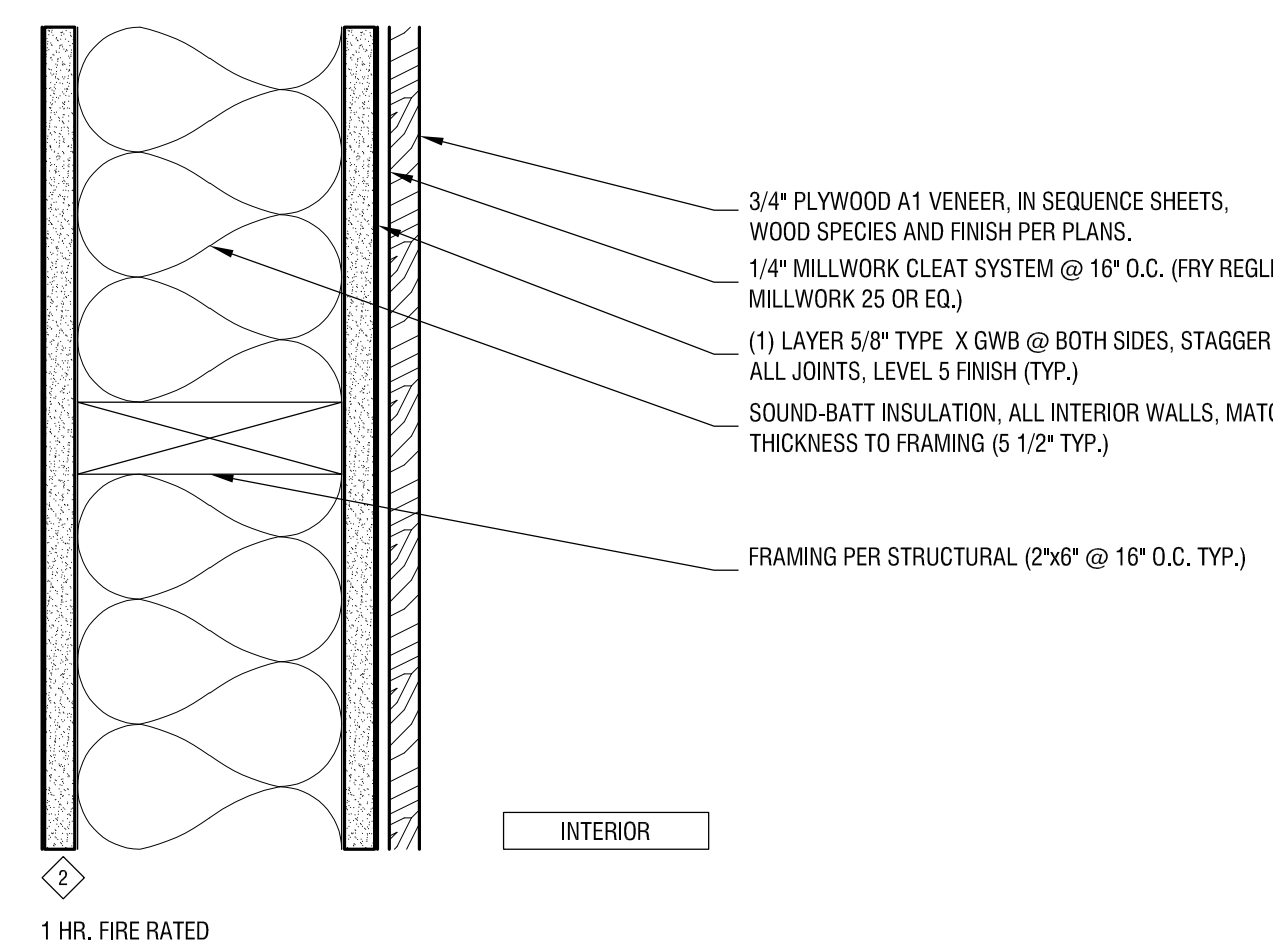
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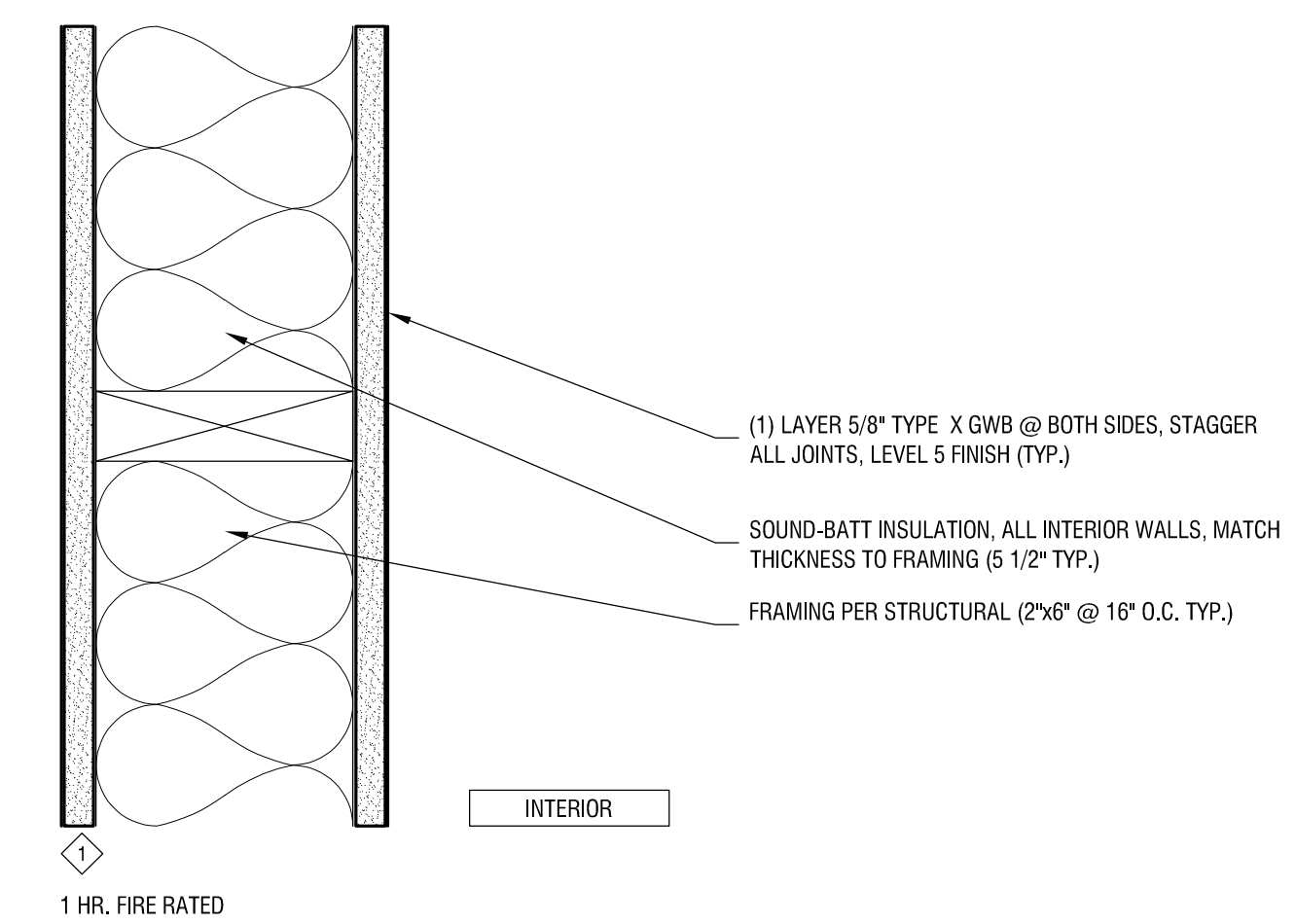
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SCALE: 3/8"=1'-0"



03 INTERIOR PARTITION - TYPE 3
SCALE: 3/8"=1'-0"



02 INTERIOR PARTITION - TYPE 2
SCALE: 3/8"=1'-0"



01 INTERIOR PARTITION - TYPE 1
SCALE: 3/8"=1'-0"

REVISION: DATE: COMMENT:

ISSUE:

SEAL:



Project No: 2020
SAPPHIRE
607 SAPPHIRE STREET
REDONDO BEACH, CA 90277

DRAWING TITLE:
TYPICAL DETAILS
WALL TYPE

DATE: NOVEMBER 8, 2024

SCALE: AS NOTED

DRAWN BY: -



VO RESIDENCE

OWNER: ELZA & DEAN VO
607 SAPPHERE STREET
REDONDO BEACH, CA 90277
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ARCHITECT: AARON NEUBERT ARCHITECTS, INC.
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GEOLOGY AND SOILS: IRVINE GEOTECHNICAL INC.
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SURVEYOR: WRIGHT MAPPING, INC.
8416 LINDEN AVE STREET
DOWNEY, CALIFORNIA 90228
P. 562.887.2788

REVISION: DATE: COMMENT:

ISSUE:

SCALE:

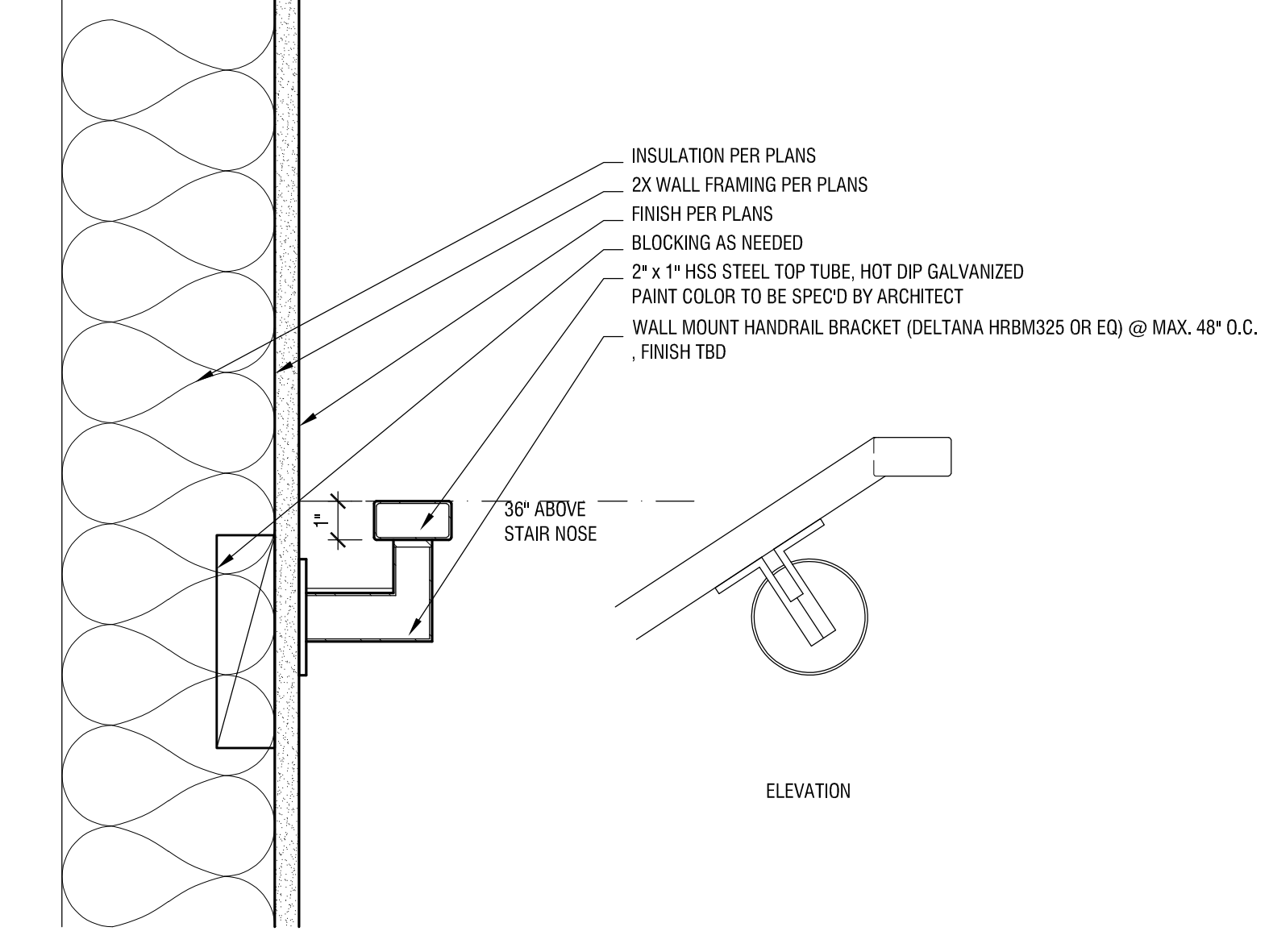
Project No. 2009
SAPPHERE
607 SAPPHERE STREET
REDONDO BEACH, CA 90277

DRAWING TITLE: TYPICAL DETAILS

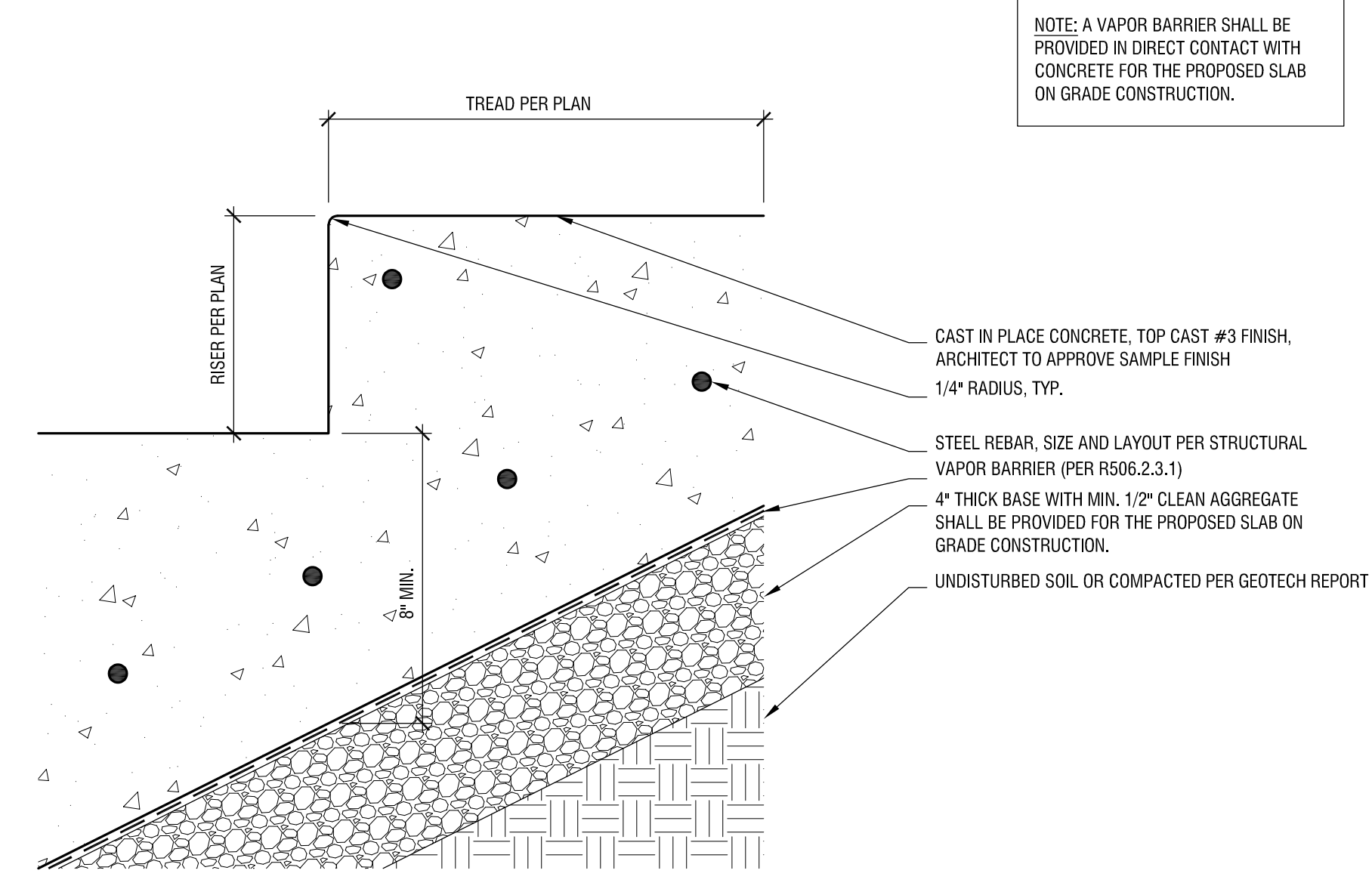
DATE: NOVEMBER 8, 2024
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DRAWN BY: ---

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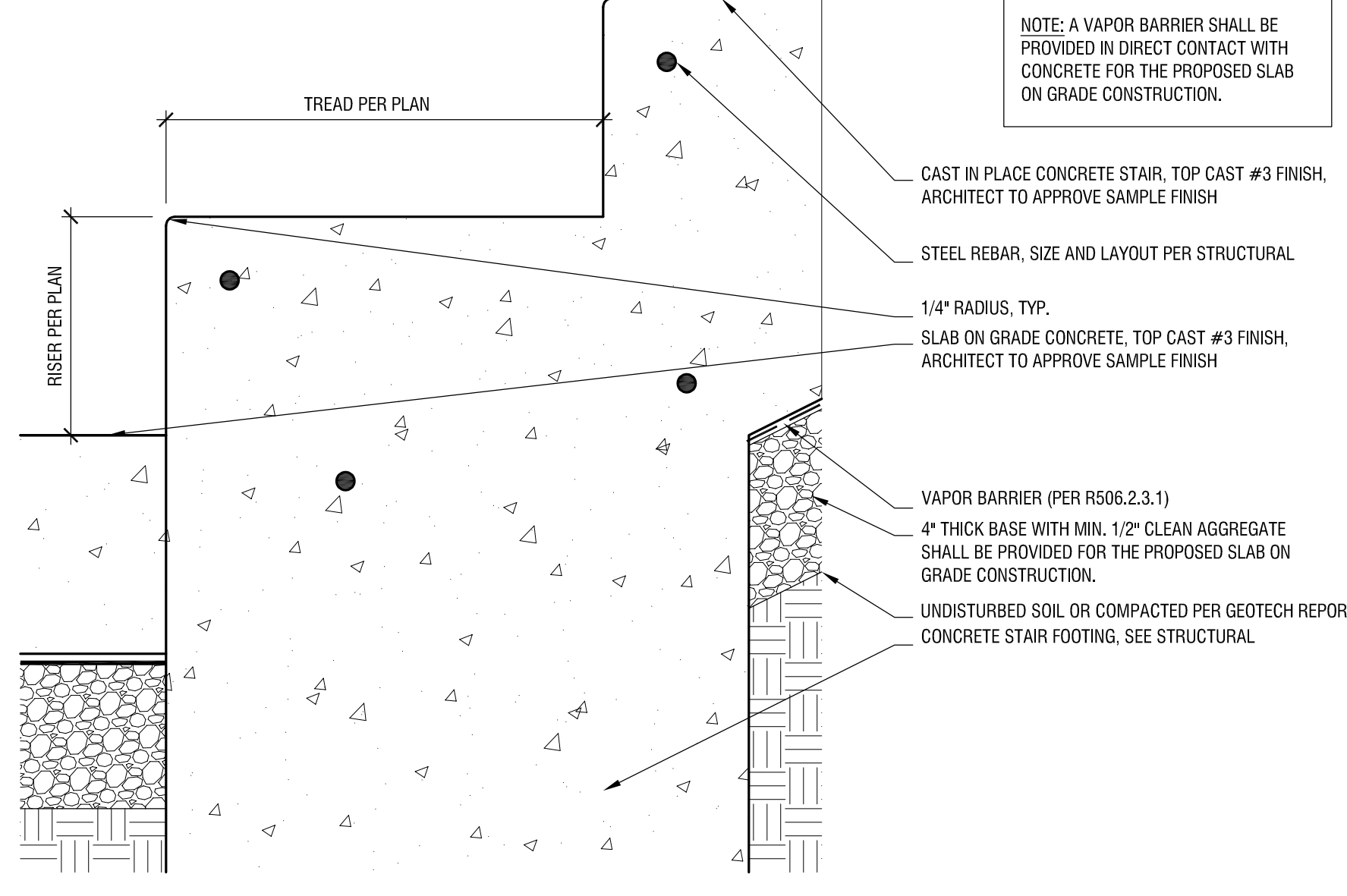
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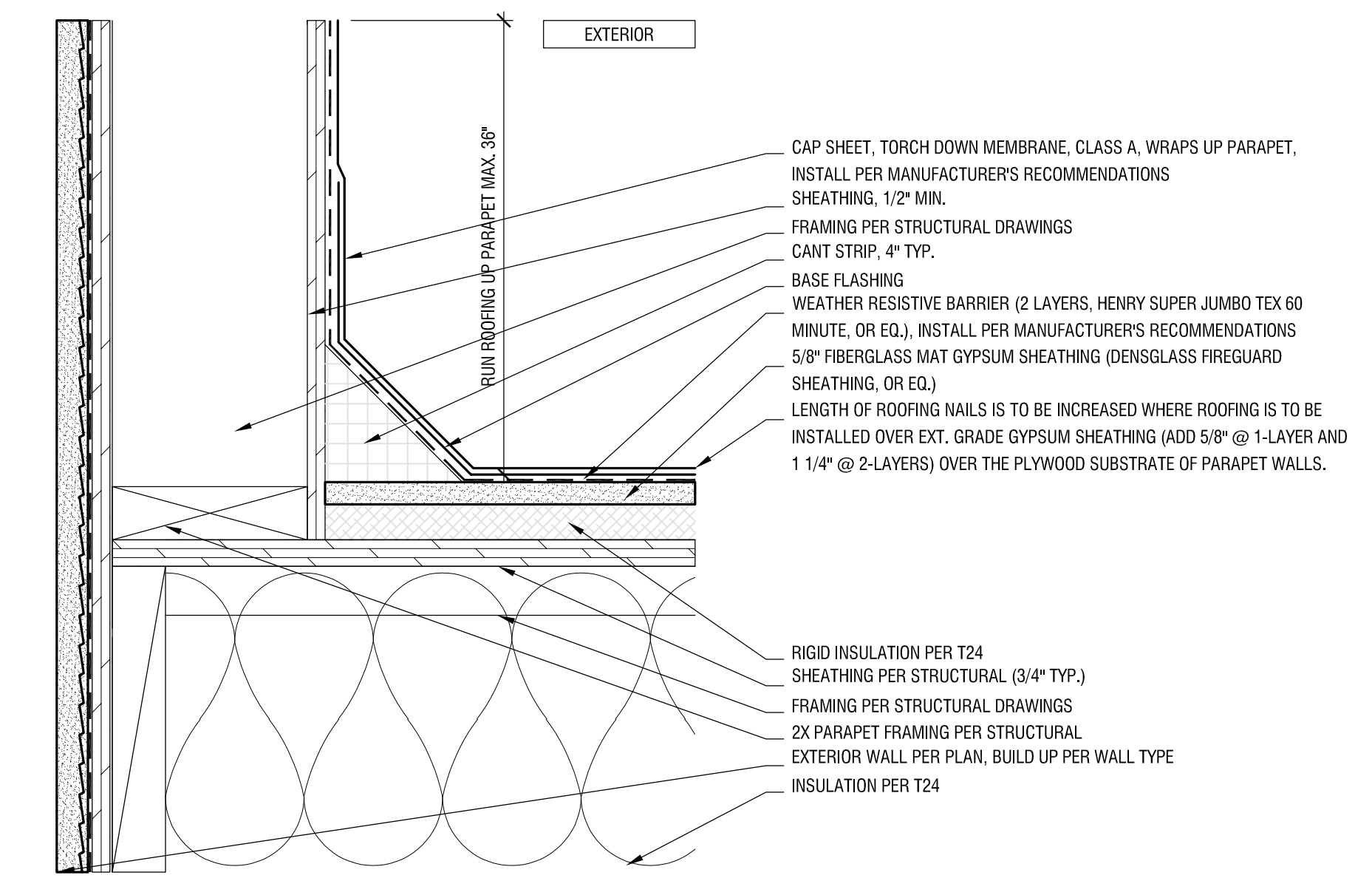
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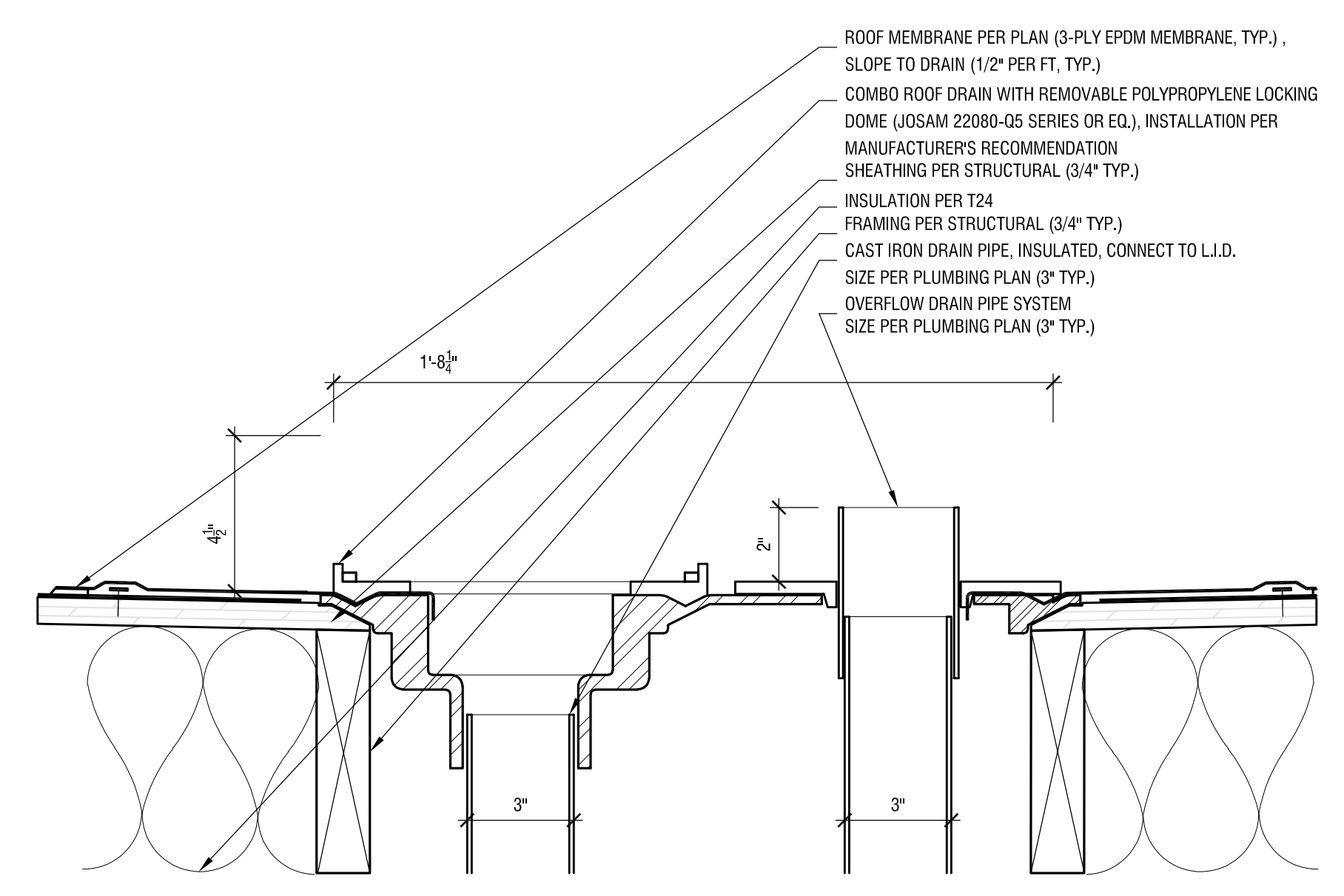
10 CONCRETE STAIR RISER DETAIL
SCALE: 3/4"=1'-0"



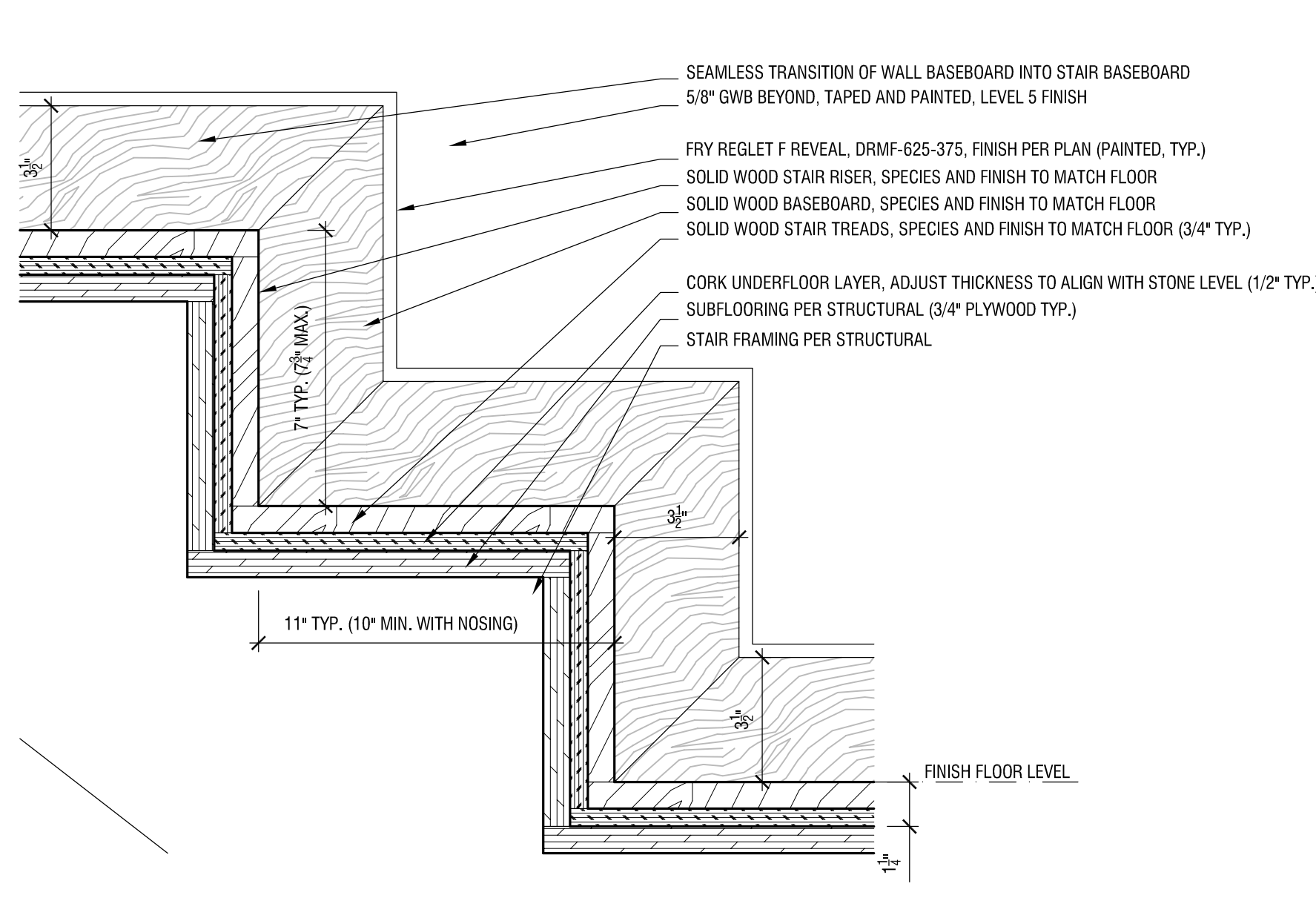
11 CONCRETE STAIR DETAIL AT SLAB ON GRADE
SCALE: 3/4"=1'-0"



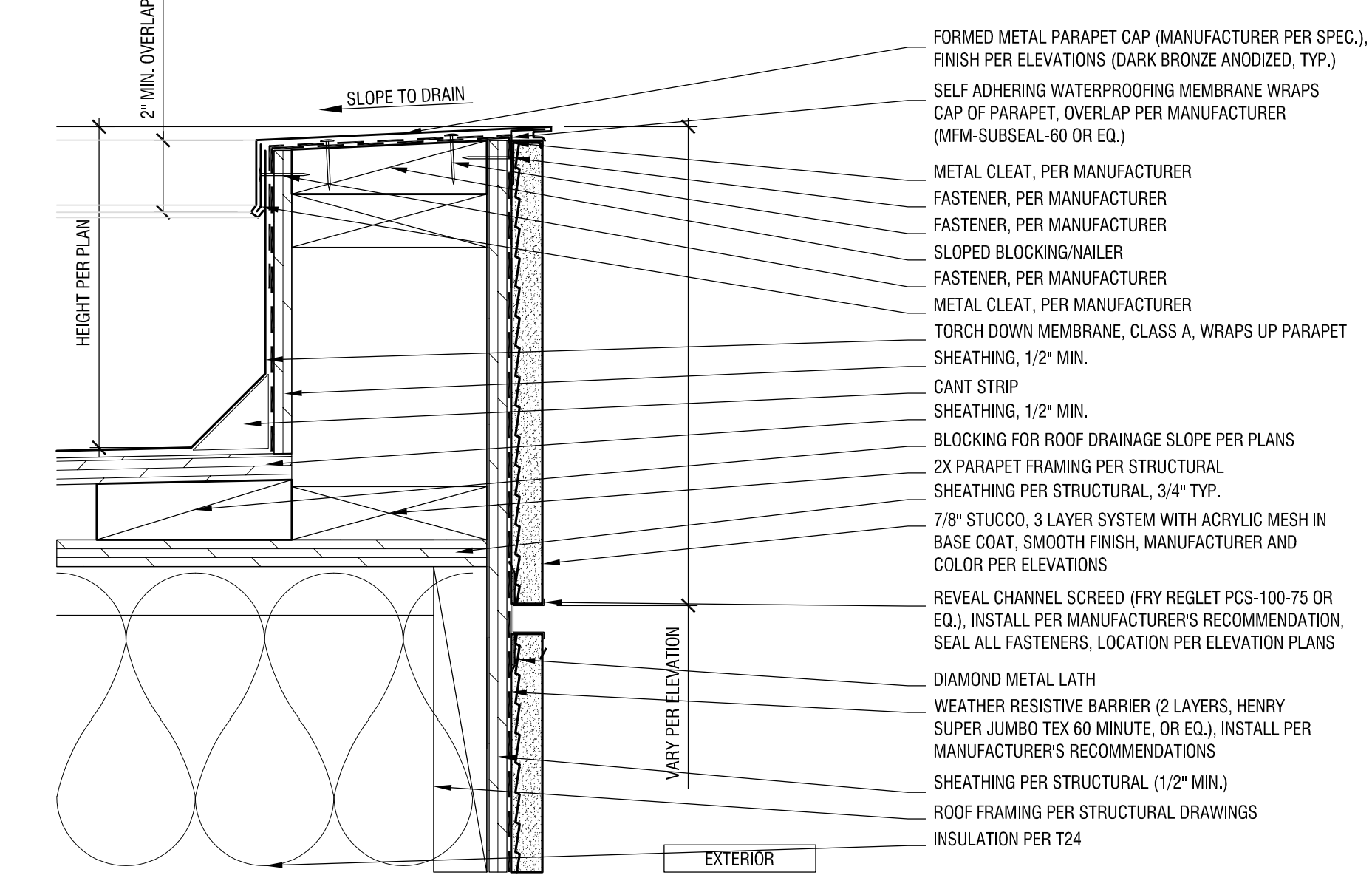
06 ROOF FLASHING AT PARAPET
SCALE: 3/4"=1'-0"



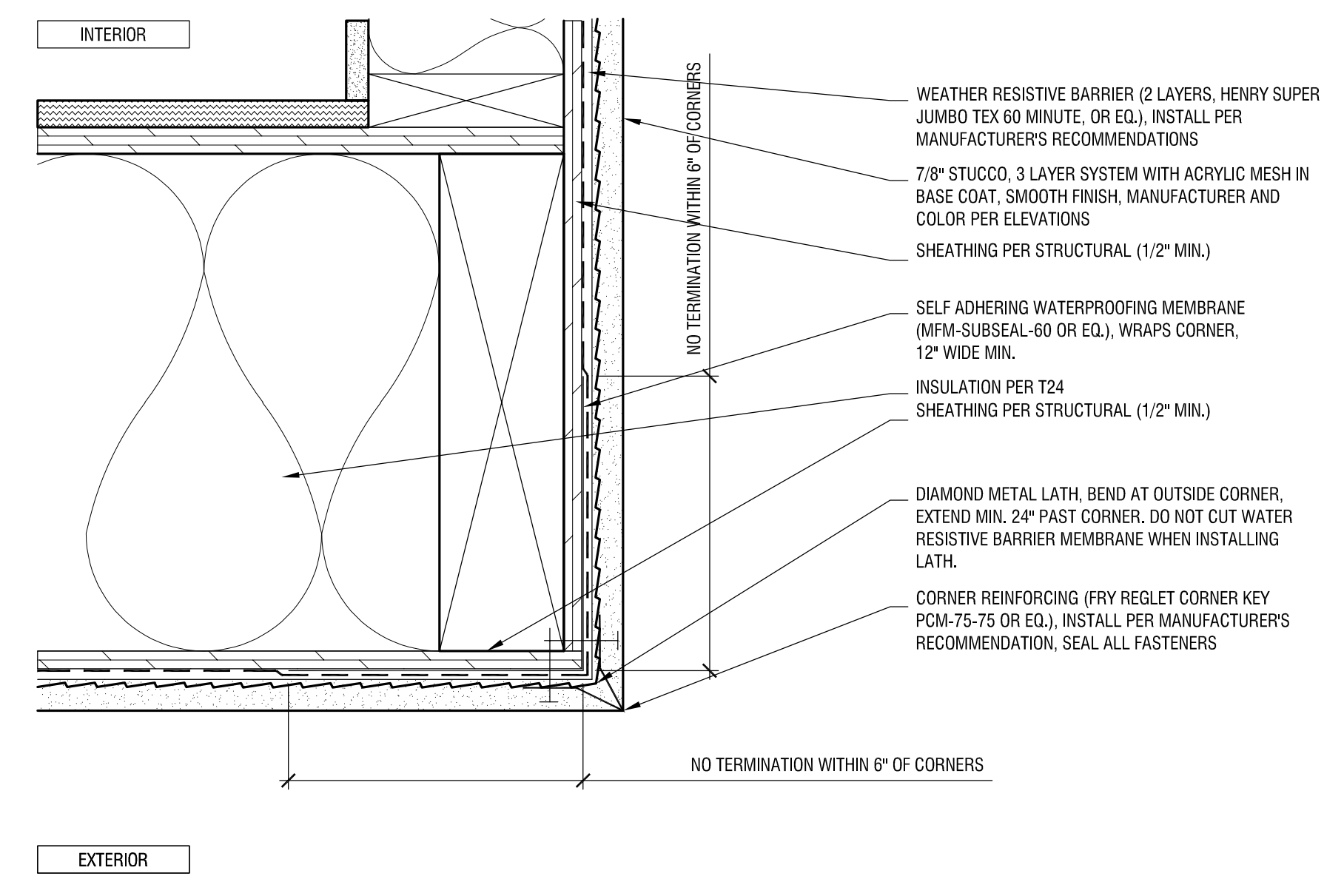
07 ROOF DRAIN DETAIL
SCALE: 3/4"=1'-0"



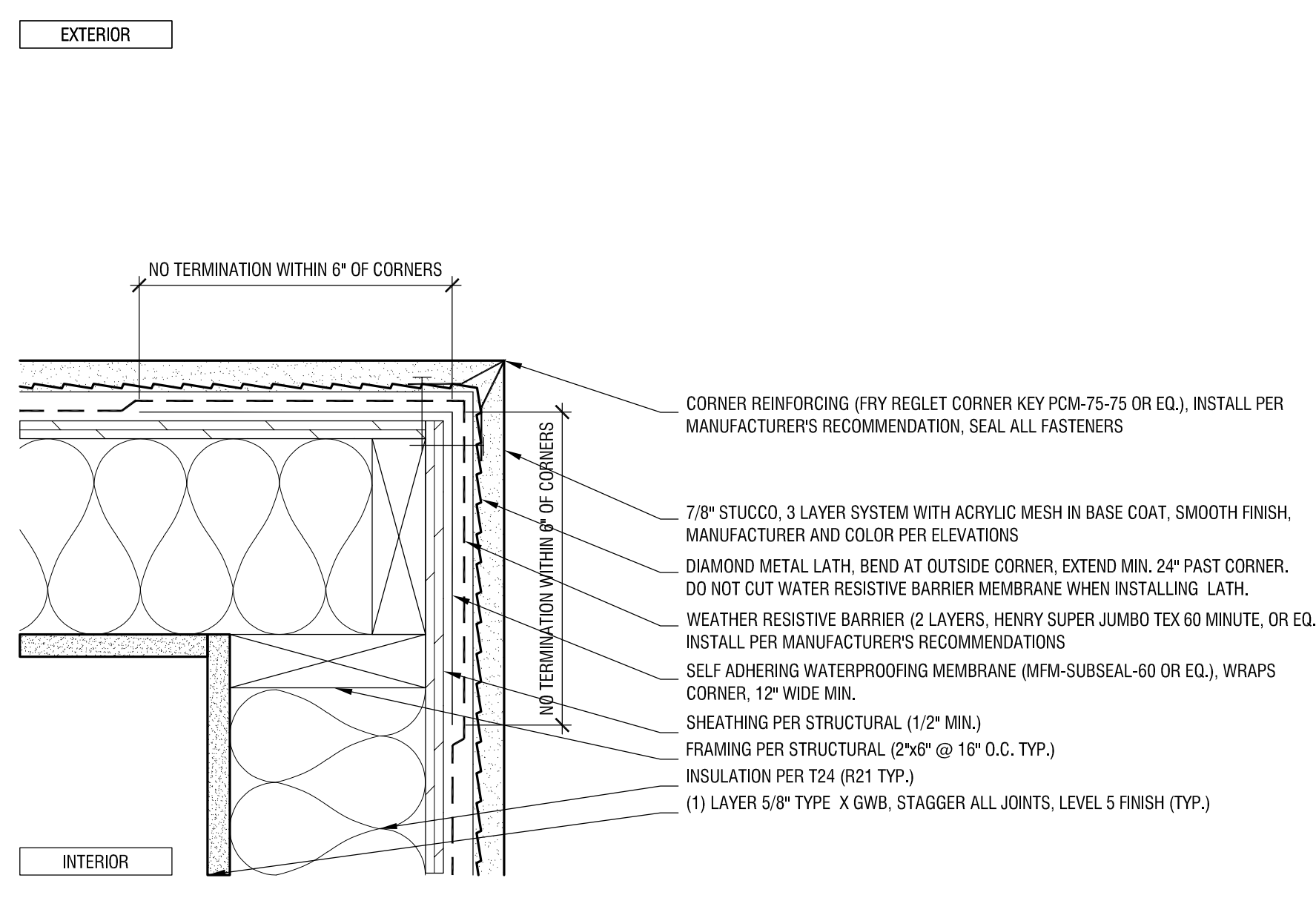
08 FLUSH BASEBOARD STAIR DETAIL
SCALE: 3/4"=1'-0"



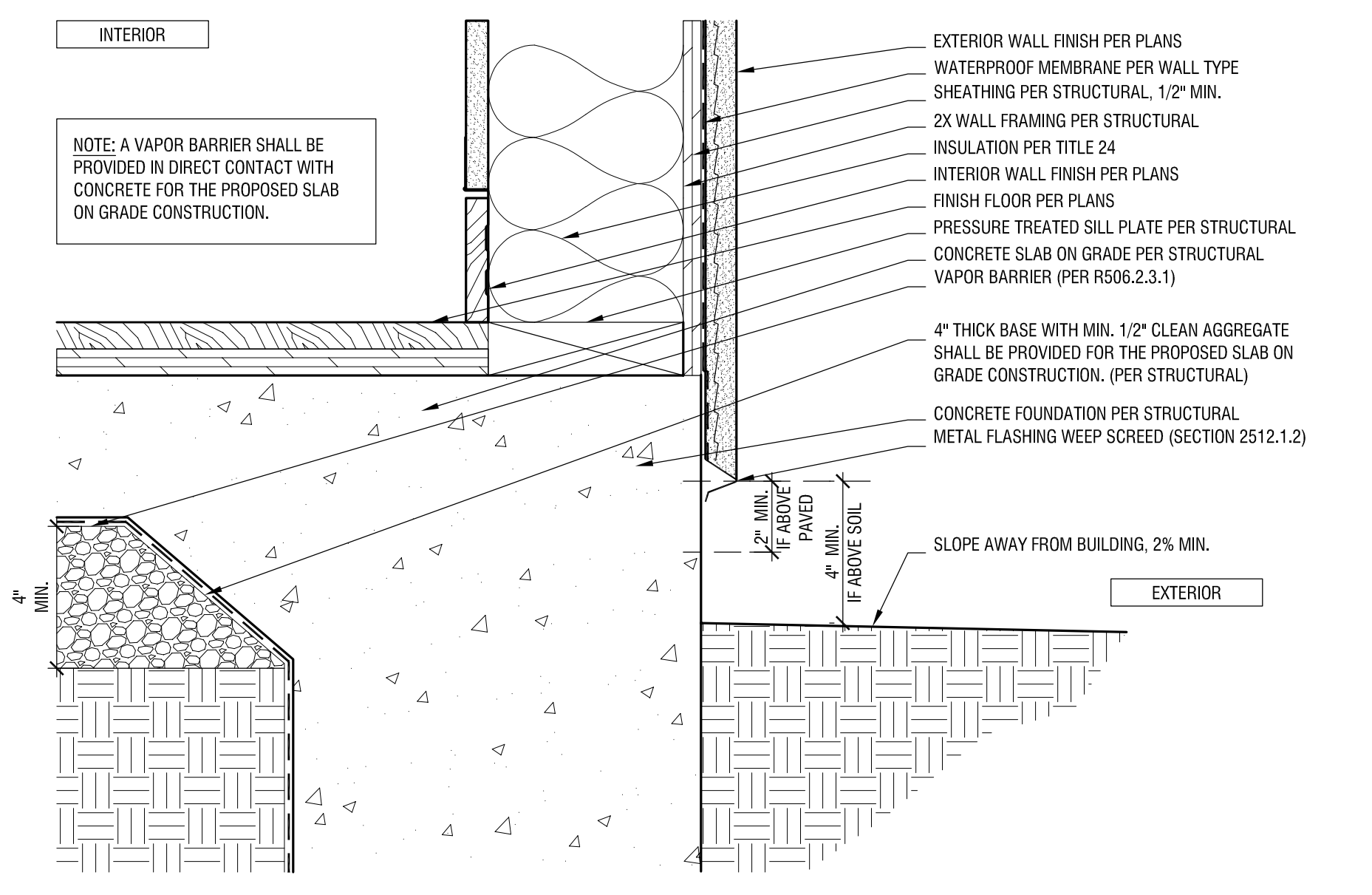
03 ROOF PARAPET DETAIL AT STUCCO
SCALE: 3/4"=1'-0"



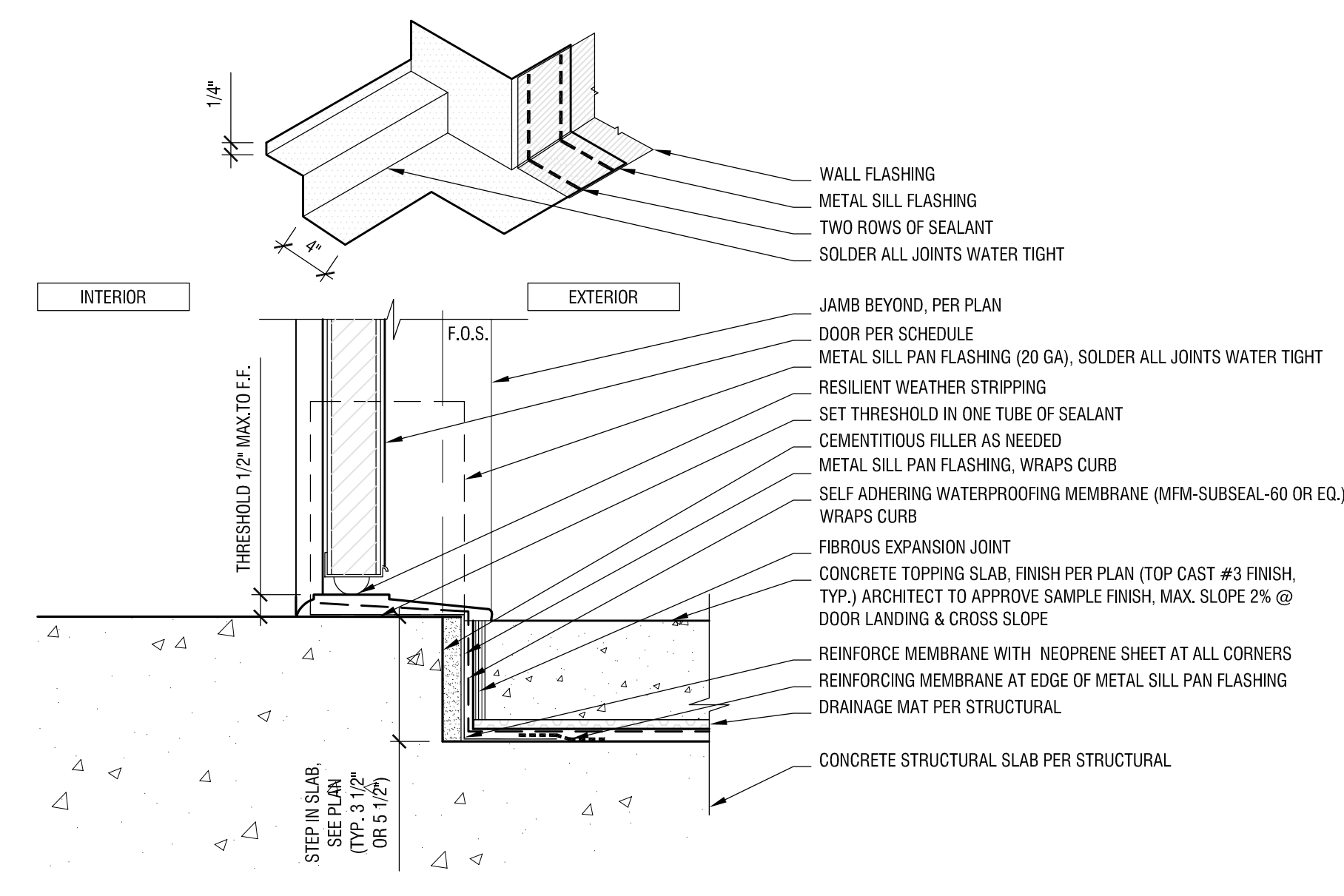
04 STUCCO SOFFIT WITH STUCCO CORNER DETAIL
SCALE: 3/4"=1'-0"



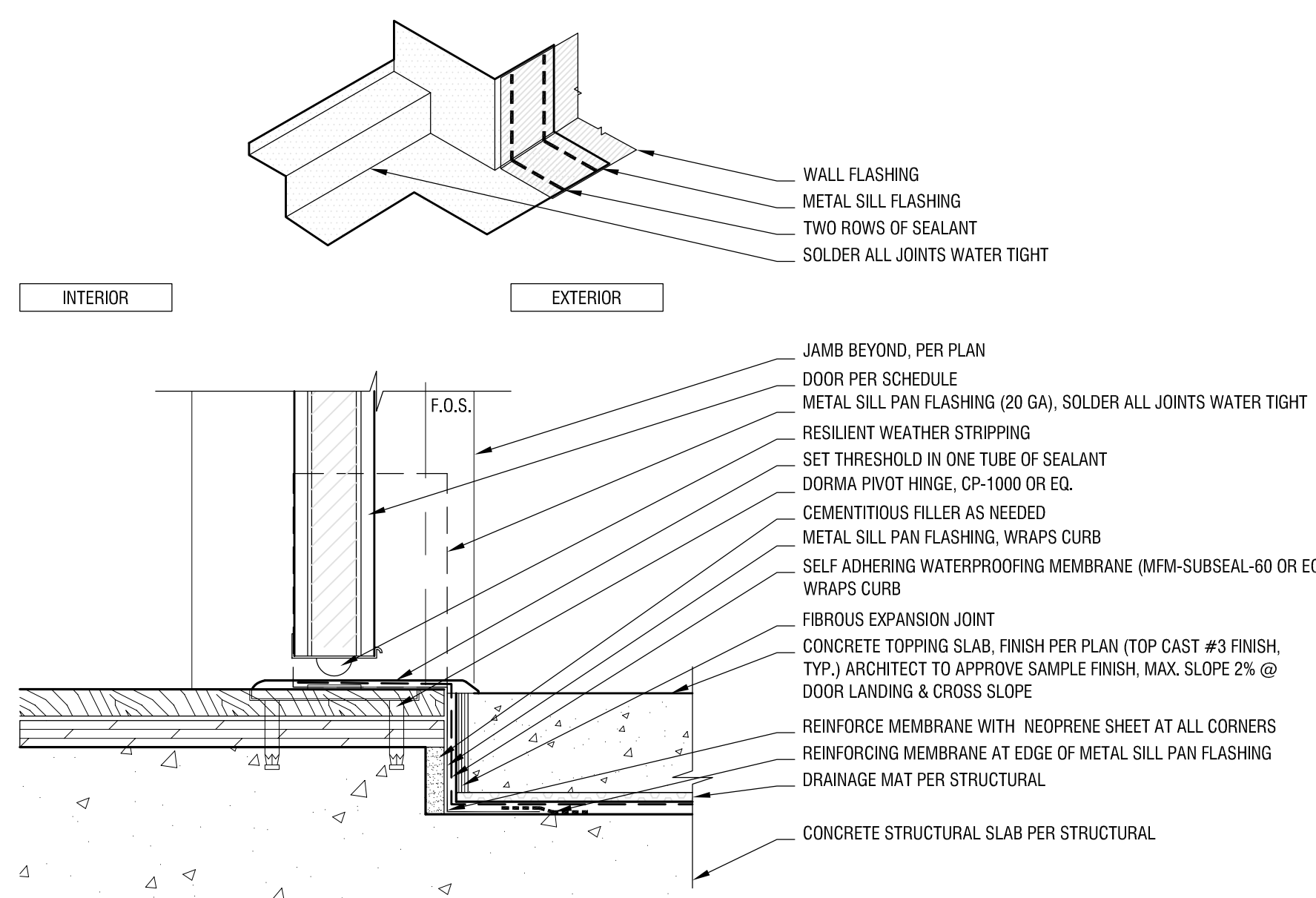
05 STUCCO PLAN DETAIL, OUTSIDE CORNER
SCALE: 3/4"=1'-0"



01 WEEP SCREED DETAIL
SCALE: 3/4"=1'-0"



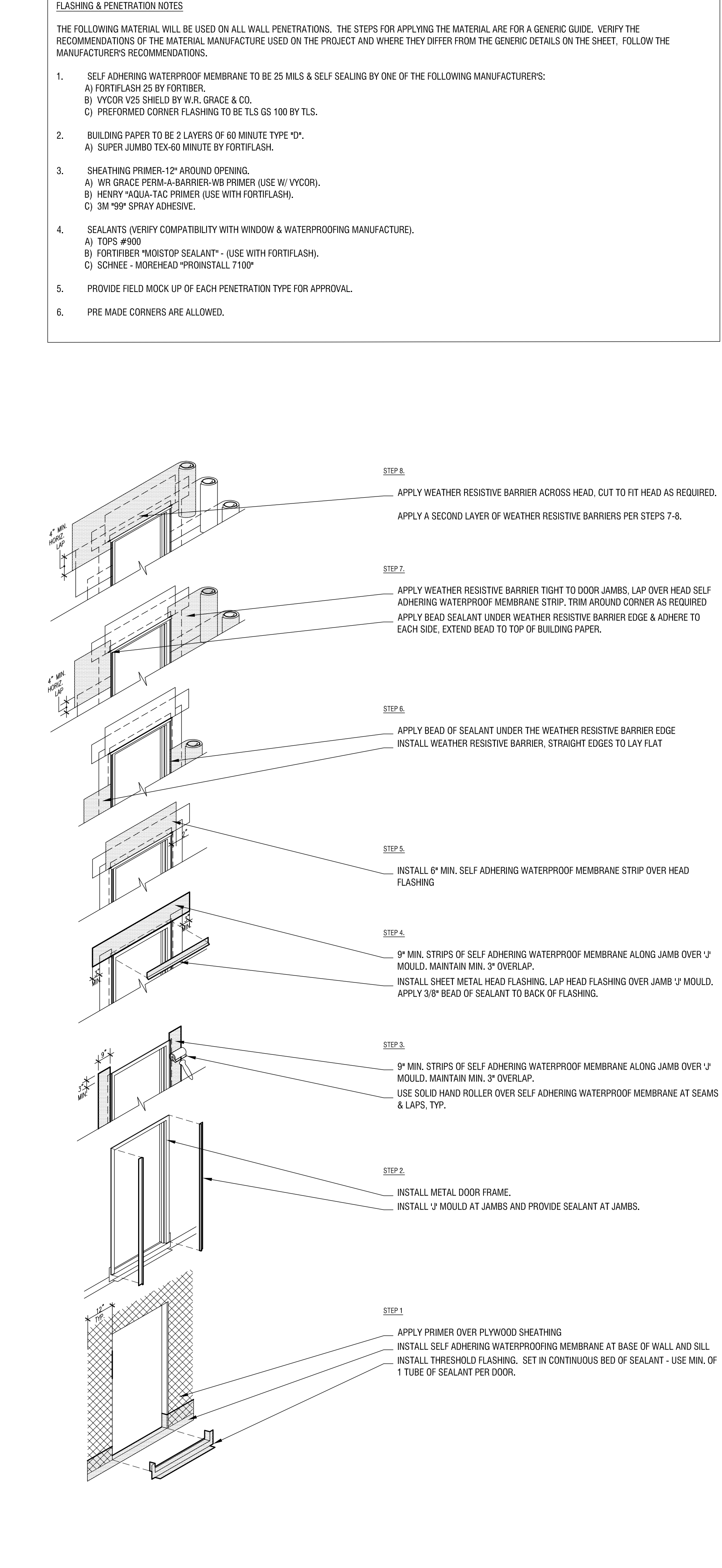
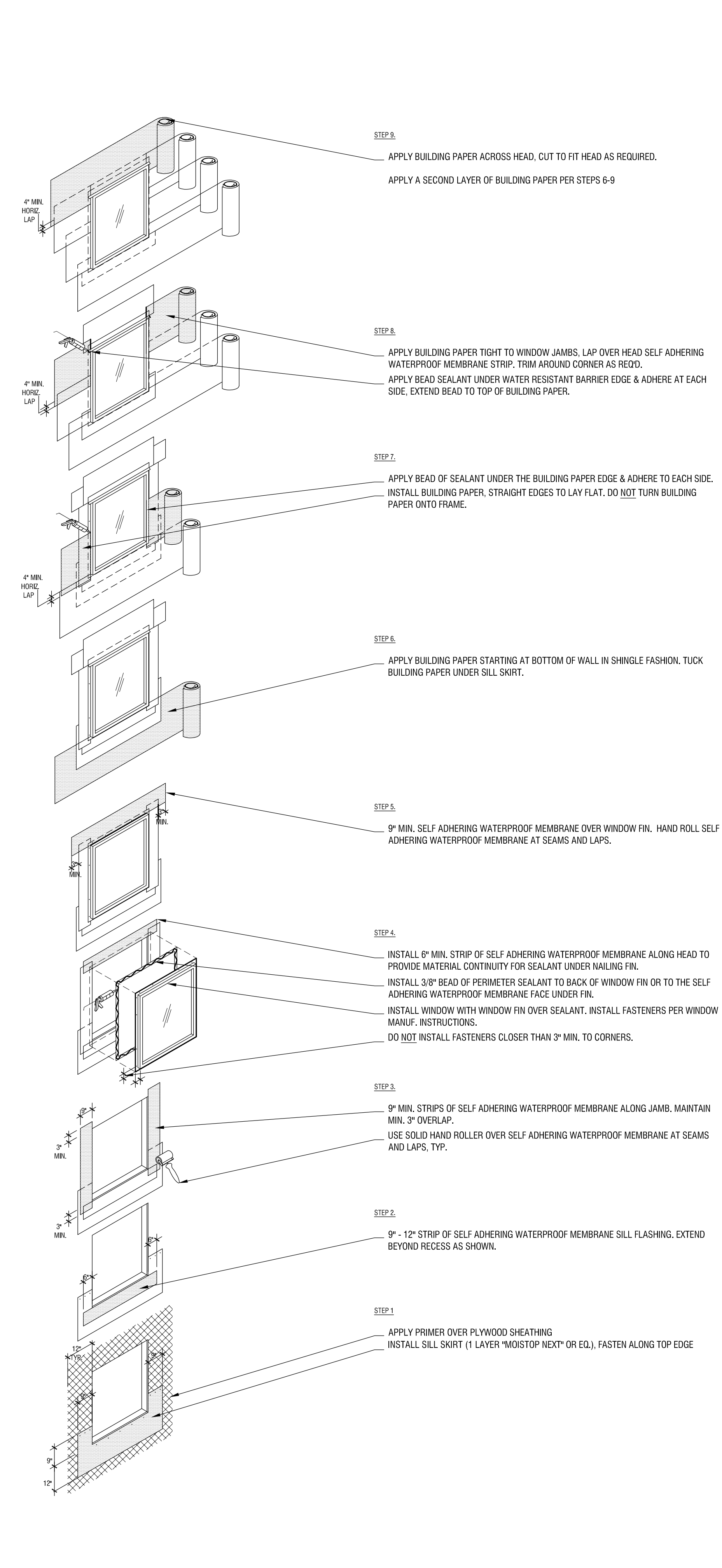
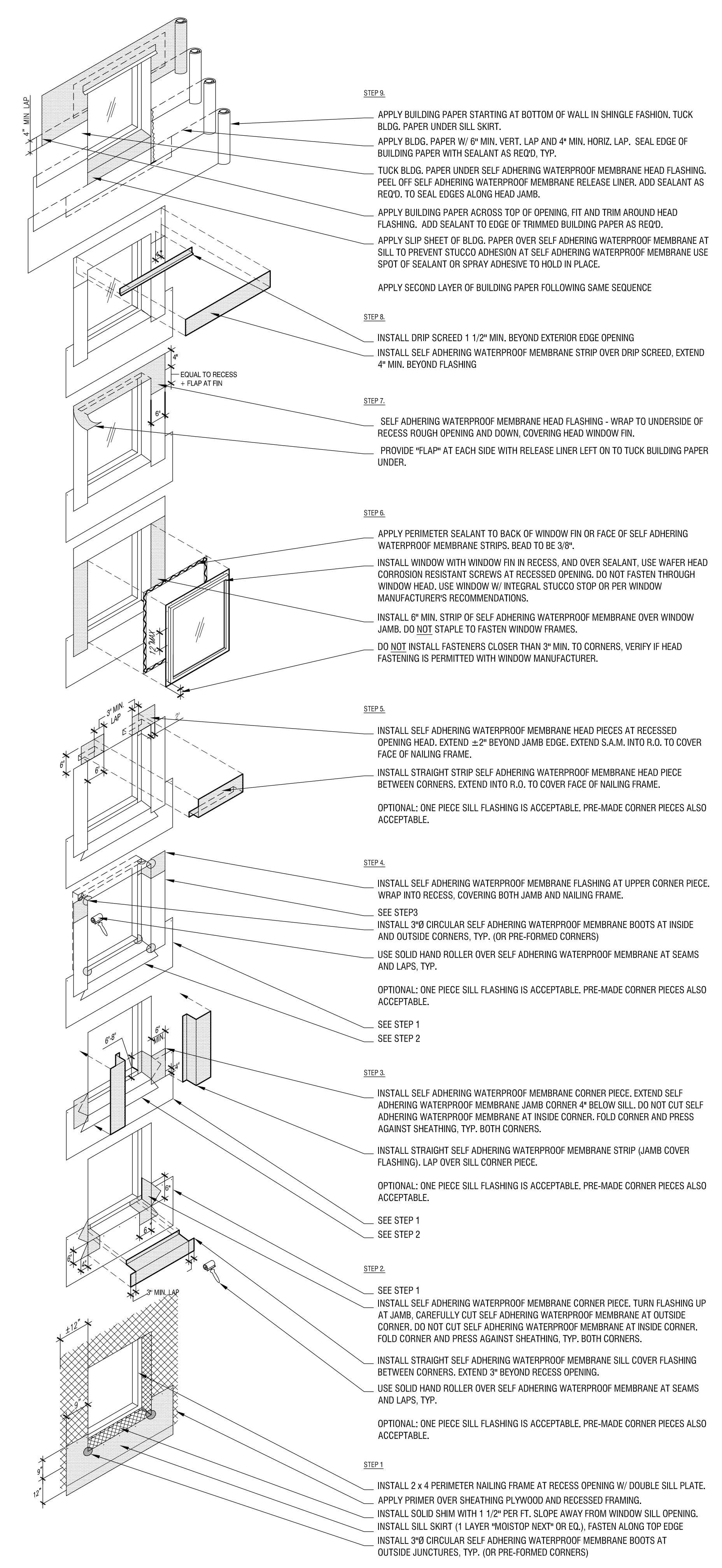
02a DOOR THRESHOLD AT CONCRETE TOPPING SLAB
SCALE: 3/4"=1'-0"



02b DOOR THRESHOLD AT CONCRETE TOPPING SLAB - PIVOT
SCALE: 3/4"=1'-0"

Approved
City of Redondo Beach
Building Division
04/17/2025

PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
A PRINTED set of APPROVED Plans and specifications reviewed for code compliance shall be kept on the job site and available to the inspector at the time of inspection. It is unlawful to alter approved plans without obtaining permission from the City of Redondo Beach. Approved plans shall not be construed as an approval of a violation of this code or City Ordinances. Work shall remain accessible and exposed for inspection purposes. The City of Redondo Beach shall not be liable for expense entailed in the removal of any materials as required to allow inspection.
Approved by: LMJ/B
Permit No: 20232464, 20232465, 20232466, 20232467, 2024-0465, 2024-0466
Date: 6/11/2025



FLASHING & PENETRATION NOTES
 THE FOLLOWING MATERIAL WILL BE USED ON ALL WALL PENETRATIONS. THE STEPS FOR APPLYING THE MATERIAL ARE FOR A GENERIC GUIDE. VERIFY THE RECOMMENDATIONS OF THE MATERIAL MANUFACTURE USED ON THE PROJECT AND WHERE THEY DIFFER FROM THE GENERIC DETAILS ON THE SHEET, FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.

- SELF ADHERING WATERPROOF MEMBRANE TO BE 25 MILS & SELF SEALING BY ONE OF THE FOLLOWING MANUFACTURERS:
 A) FORTIFLASH 25 BY FORTIBER,
 B) WYCOR V25 SHIELD BY W.R. GRACE & CO.,
 C) PREFORMED CORNER FLASHING TO BE TJS GS 100 BY TJS.
- BUILDING PAPER TO BE 2 LAYERS OF 80 MINUTE TYPE "D".
 A) SUPER JUMBO TEX-60 MINUTE BY FORTIFLASH.
- SHEATHING PRIMER-12" AROUND OPENING.
 A) WIR GRACE FEM-A-BARRIER-WB PRIMER (USE W/ WYCOR),
 B) HENRY "AQUA-TAC PRIMER (USE WITH FORTIFLASH),
 C) 3M "99" SPRAY ADHESIVE.
- SEALANTS VERIFY COMPATIBILITY WITH WINDOW & WATERPROOFING MANUFACTURE,
 A) TOPS #900
 B) FORTIFIBER "MOISTOP SEALANT" - (USE WITH FORTIFLASH),
 C) SCHWEE - MOREHEAD "PROINSTALL 710P"
 5. PROVIDE FIELD MOCK UP OF EACH PENETRATION TYPE FOR APPROVAL.
 6. PRE MADE CORNERS ARE ALLOWED.



VO RESIDENCE

OWNER: **ELIZA & DEAN VO**
 607 SAPPHIRE STREET
 REDONDO BEACH, CA 90277
 P. 909.364.1961

ARCHITECT: **AARON NEUBERT ARCHITECTS, INC.**
 2814 ROMANA AVENUE, SUITE ONE
 LOS ANGELES, CALIFORNIA 90009
 P. 323.853.4700 F. 323.853.8000
 AARON NEUBERT CPA C-20605

STRUCTURAL ENGINEER: **CRAIG PHILLIPS ENGINEERING AND DESIGN, INC.**
 2725 HERA AVENUE
 LOS ANGELES, CALIFORNIA 90025
 P. 323.852.2107 F. 323.852.9800
 CRAIG PHILLIPS CPA C-68673

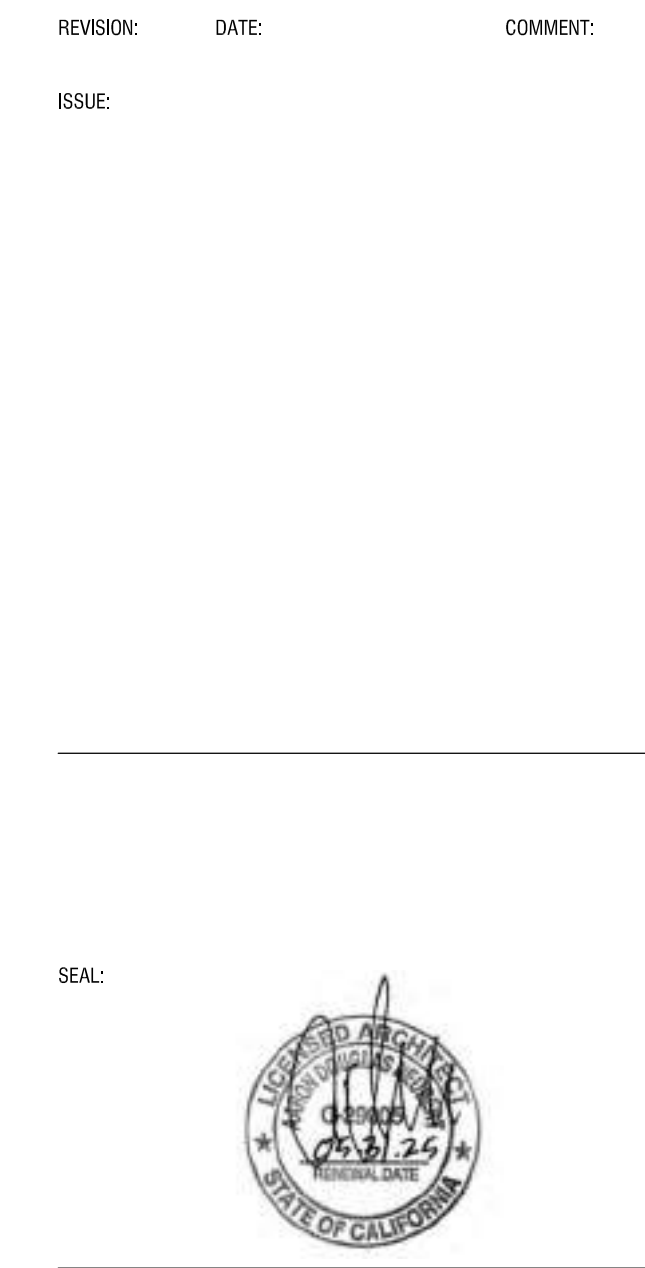
MEP ENGINEER: **NAB CONSULTING ENGINEERS**
 2060 VICTORIA BLVD.
 WOODLAND HILLS, CALIFORNIA 91364
 P. 818.717.2333

CIVIL ENGINEER: **PETER SHIRLEY PE INC.**
 4420 DUNEDIN AVENUE
 CALVERLEY, CALIFORNIA 90230
 P. 510.289.4239

GEOLOGY AND SOILS: **IRVINE GEOTECHNICAL INC.**
 104 S. BISHOP AVENUE, SUITE 112
 PASADENA, CALIFORNIA 91107
 P. 626.844.8841 F. 626.844.2884

SURVEYOR: **WRIGHT MAPPING, INC.**
 8416 LINCOLN STREET
 DOWNEY, CALIFORNIA 90242
 P. 909.587.2786

REVISION: DATE: COMMENT:
 ISSUE:



Project No. 2109
SAPPHIRE
 607 SAPPHIRE STREET
 REDONDO BEACH, CA 90277

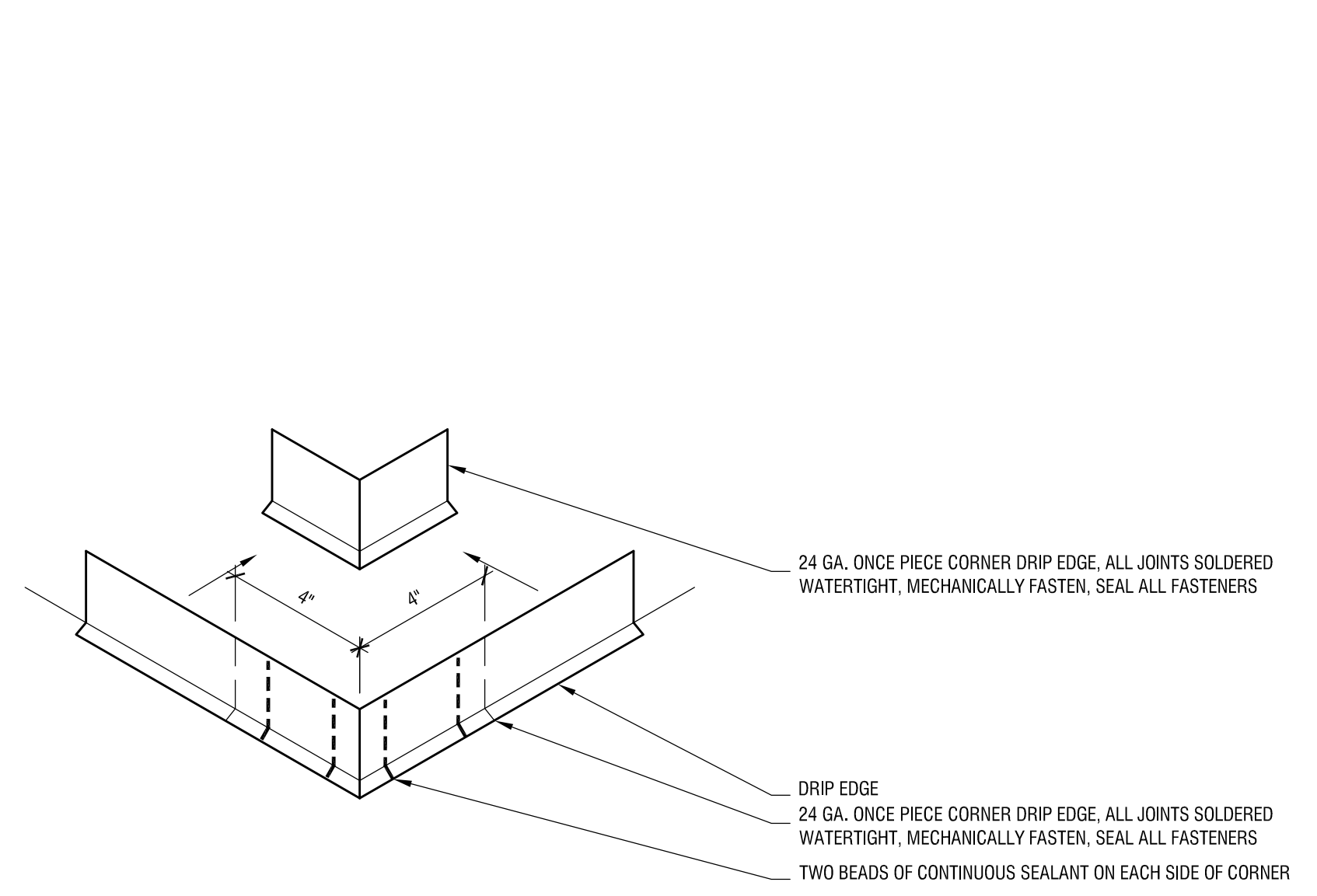
DRAWING TITLE:
TYPICAL DETAILS

DATE: **NOVEMBER 8, 2024**
 SCALE: **AS NOTED**
 DRAWN BY: -

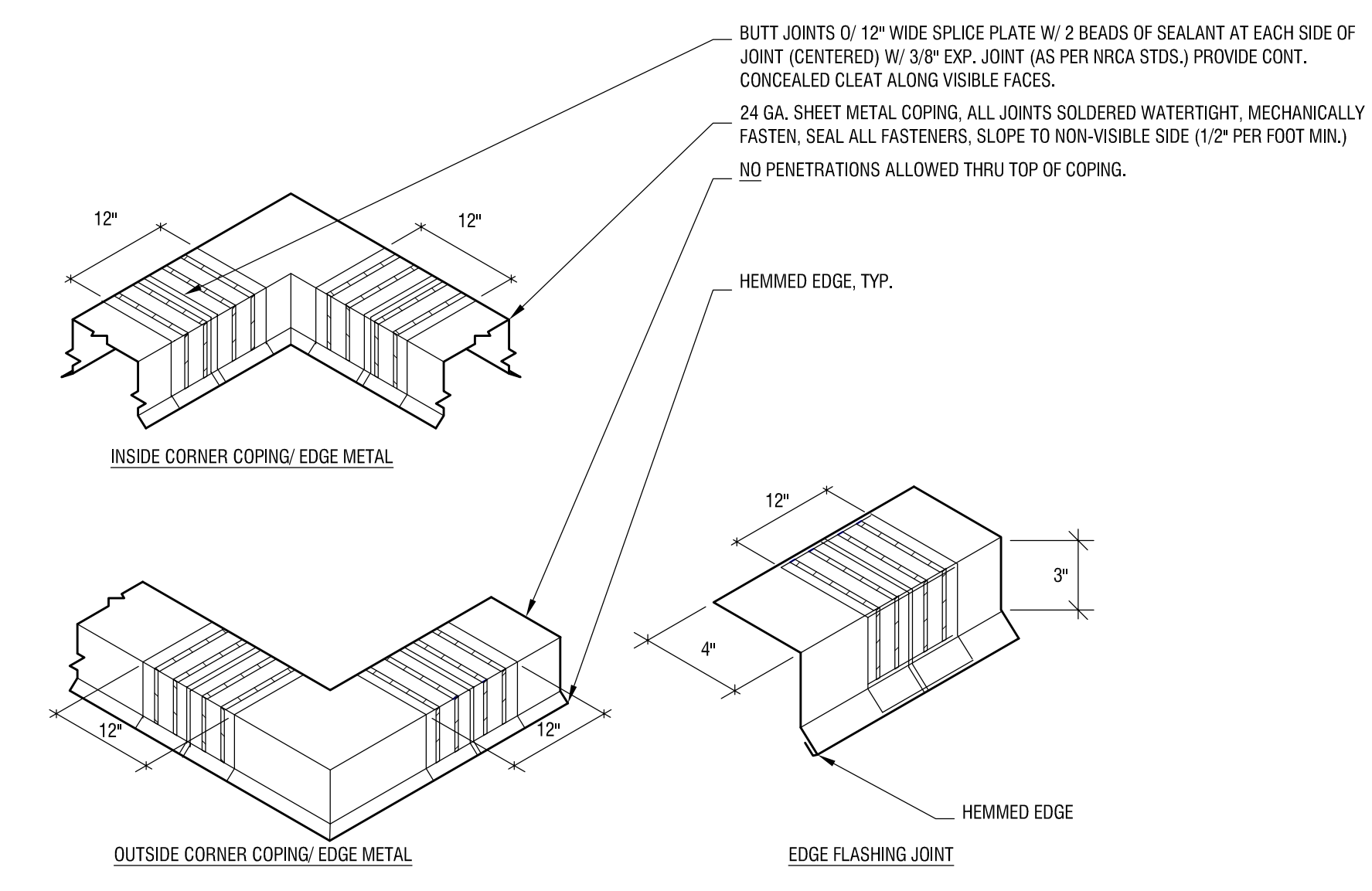


Approved
City of Redondo Beach
Building Division
04/17/2025

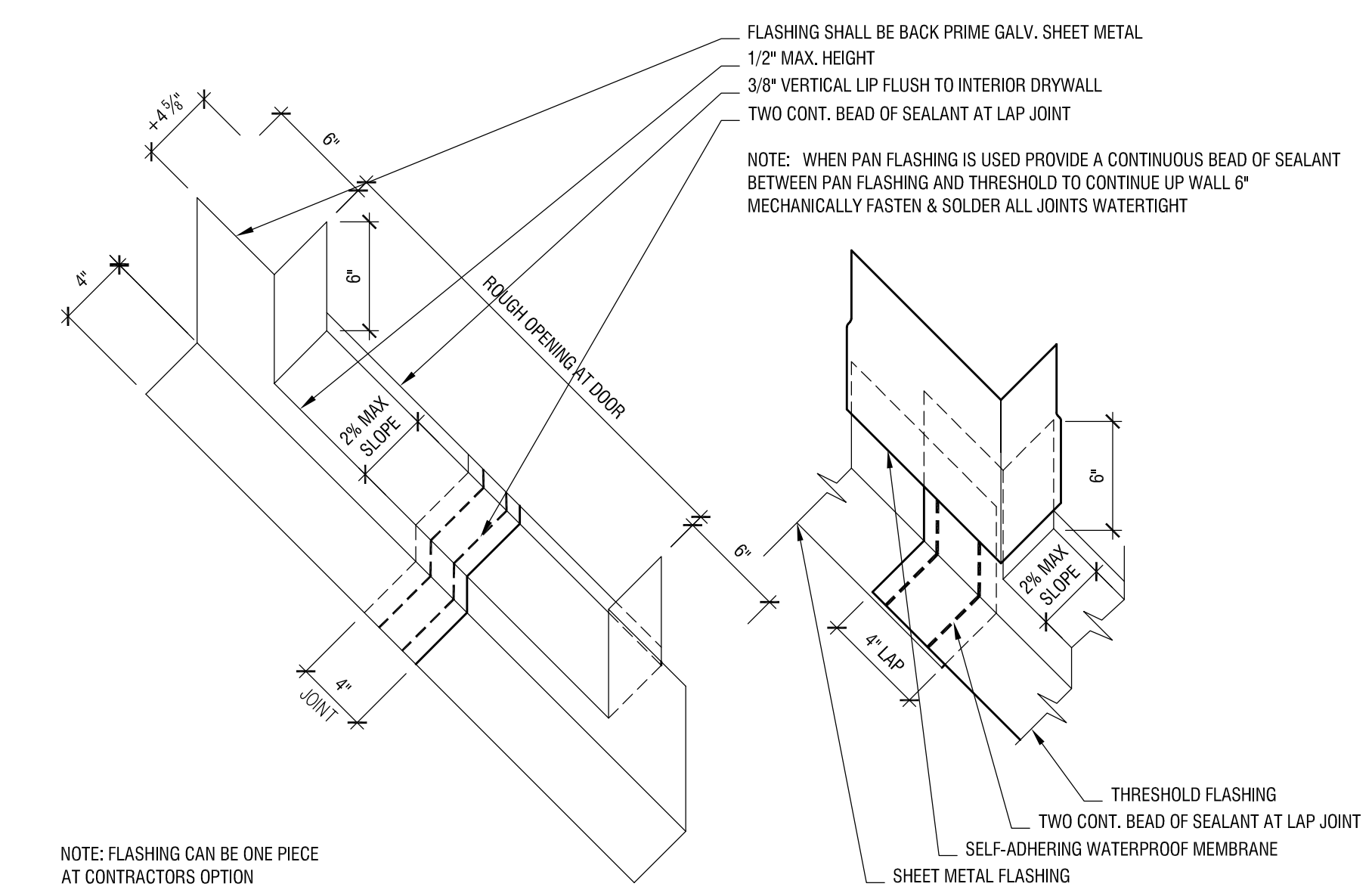
PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
A PRINTED set of APPROVED Plans and specifications reviewed for code compliance shall be kept on the job site and available to the inspector at the time of inspection. It is unlawful to alter approved plans without obtaining permission from the City of Redondo Beach. Approved plans shall not be construed as an approval of a violation of this code or City Ordinances. Work shall remain accessible and exposed for inspection purposes. The City of Redondo Beach shall not be liable for expense entailed in the removal of any materials as required to allow inspection.
Approved by: LM/JB
Permit No: 20232464_20232465_20232466_20232467_2024-0465_2024-0466
Date: 6/11/2025



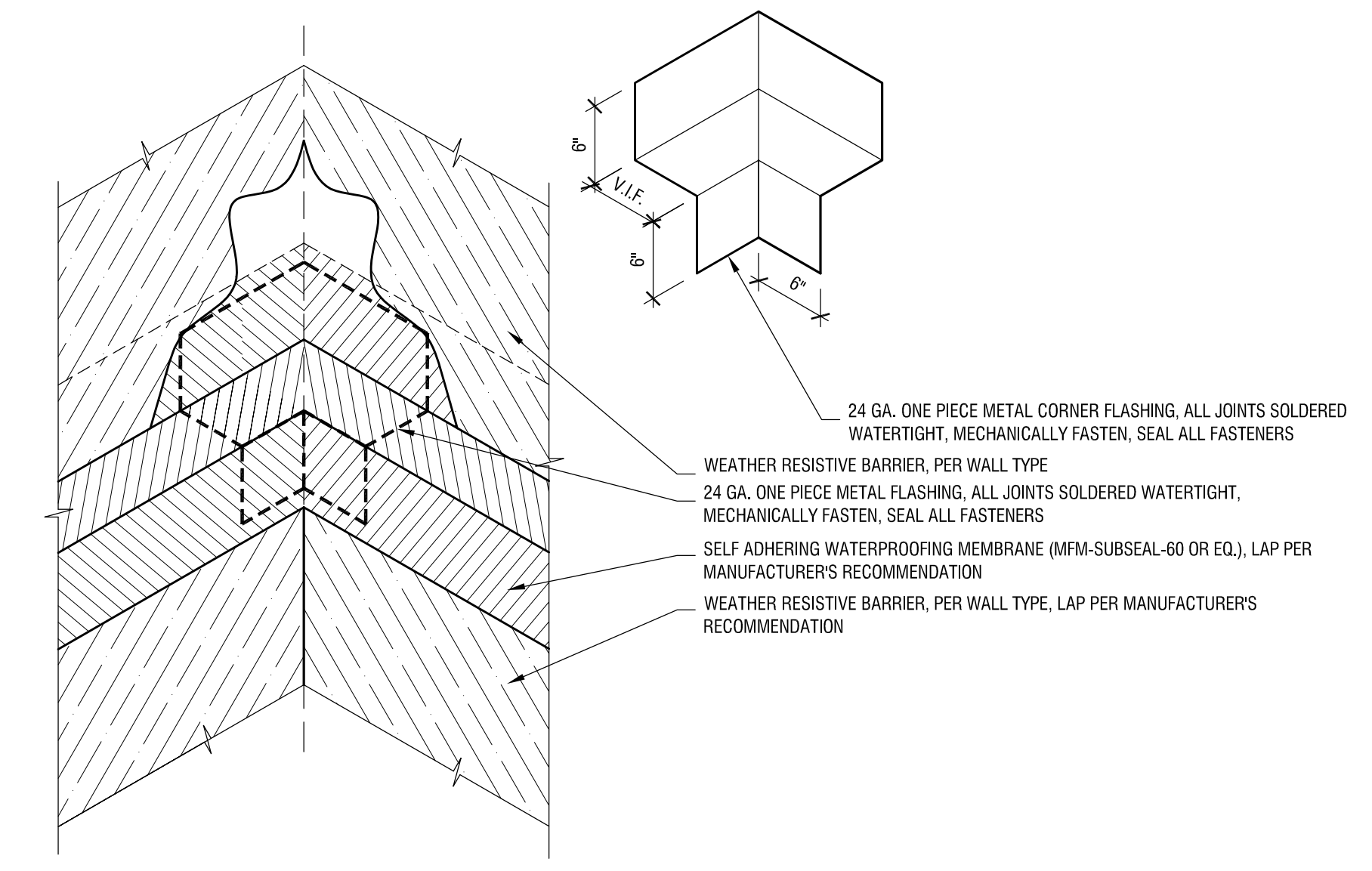
01 METAL DRIP EDGE AT OUTSIDE CORNER
SCALE: N.T.S.



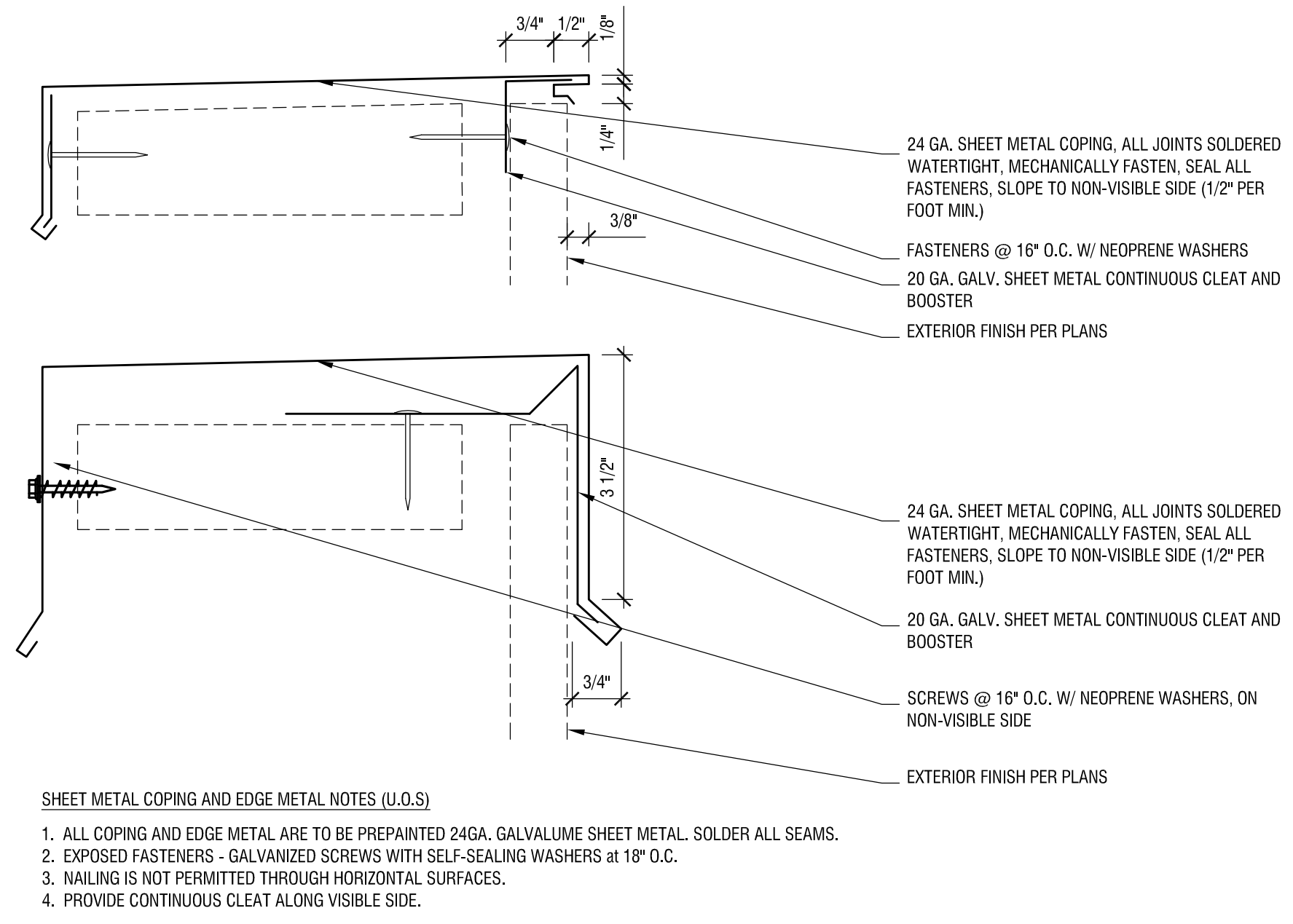
01 SHEET METAL COPING
SCALE: N.T.S.



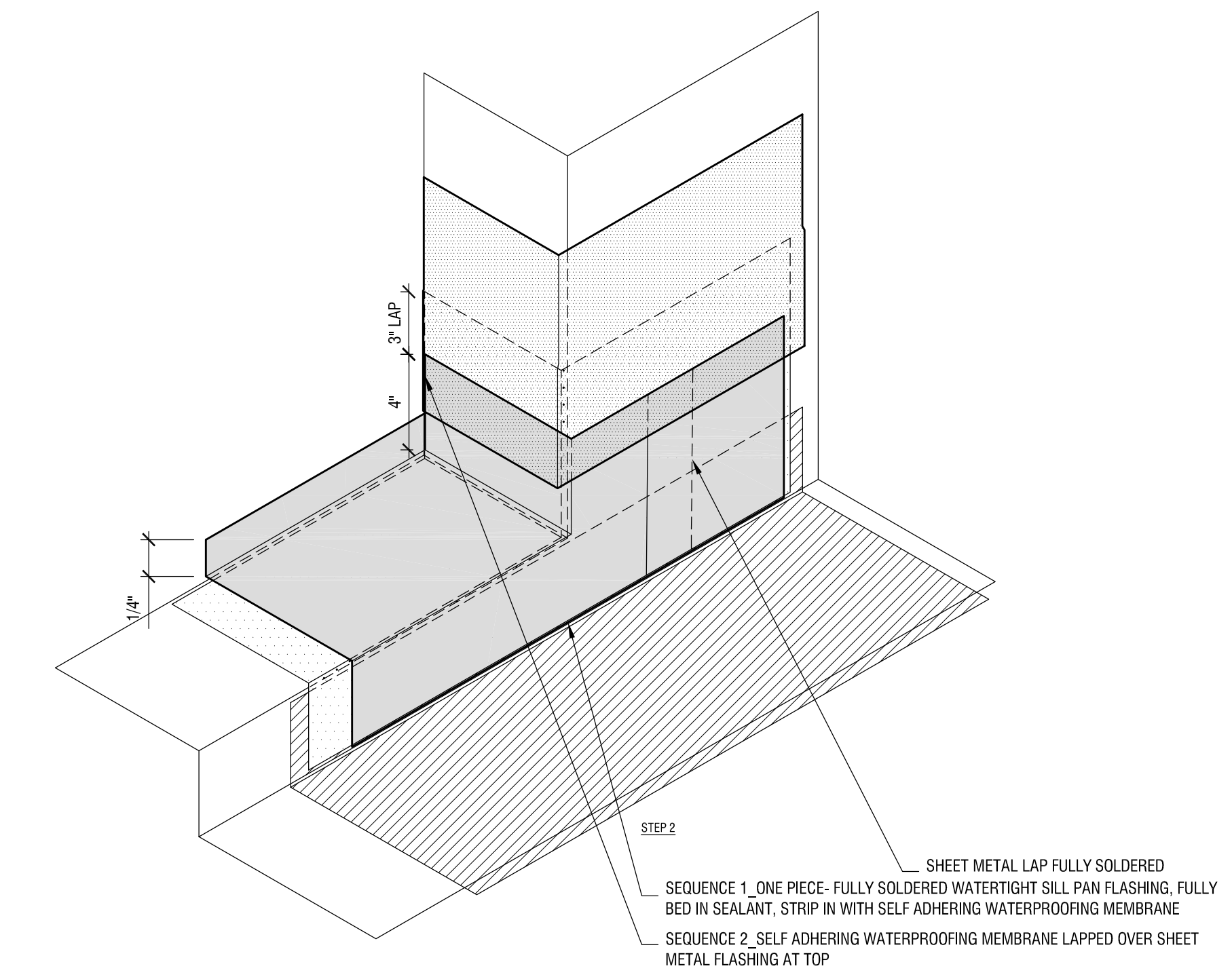
01 TWO PIECE FLASHING AT DOOR THRESHOLD
SCALE: N.T.S.



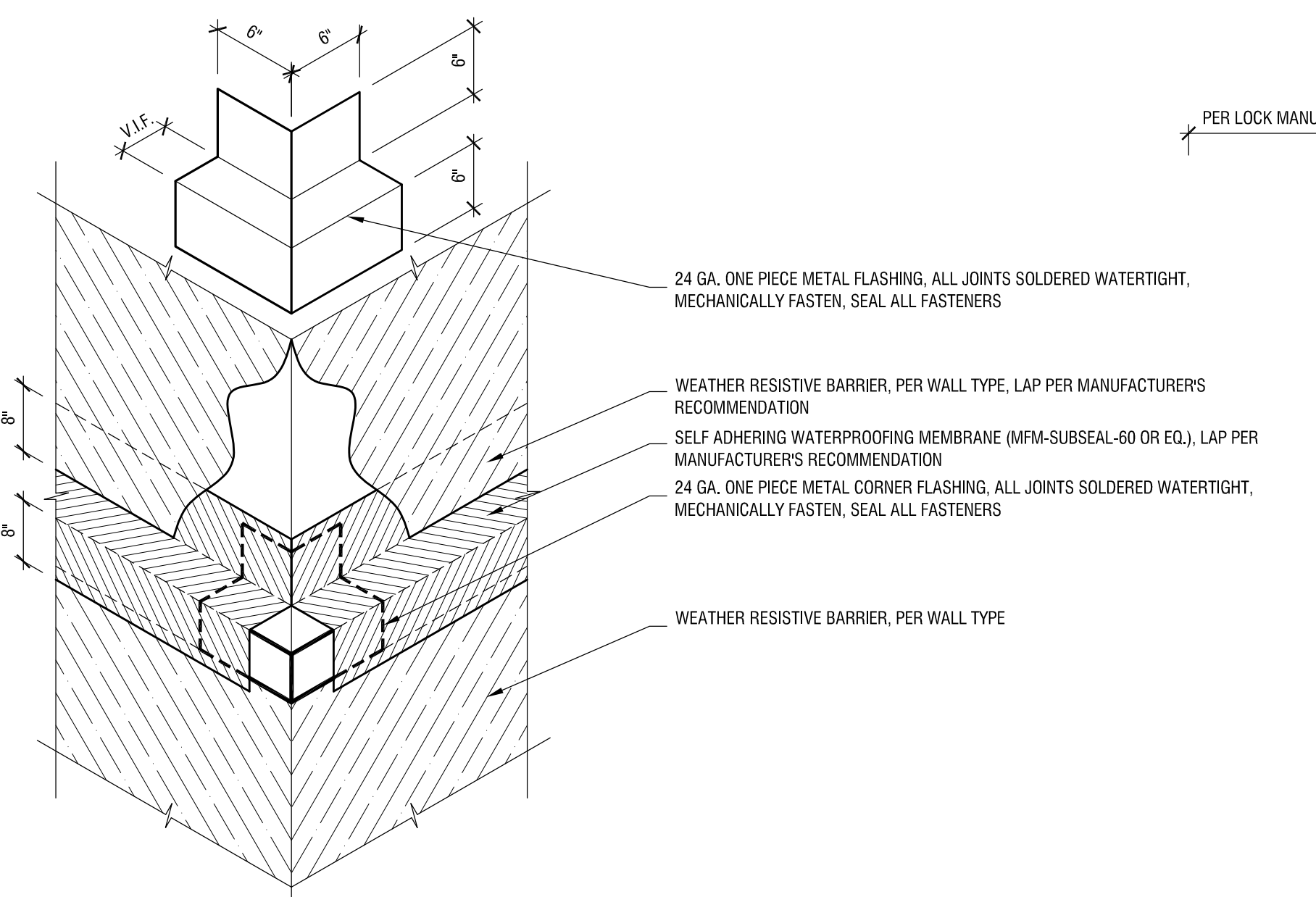
01 CORNER FLASHING - INSIDE CORNER
SCALE: N.T.S.



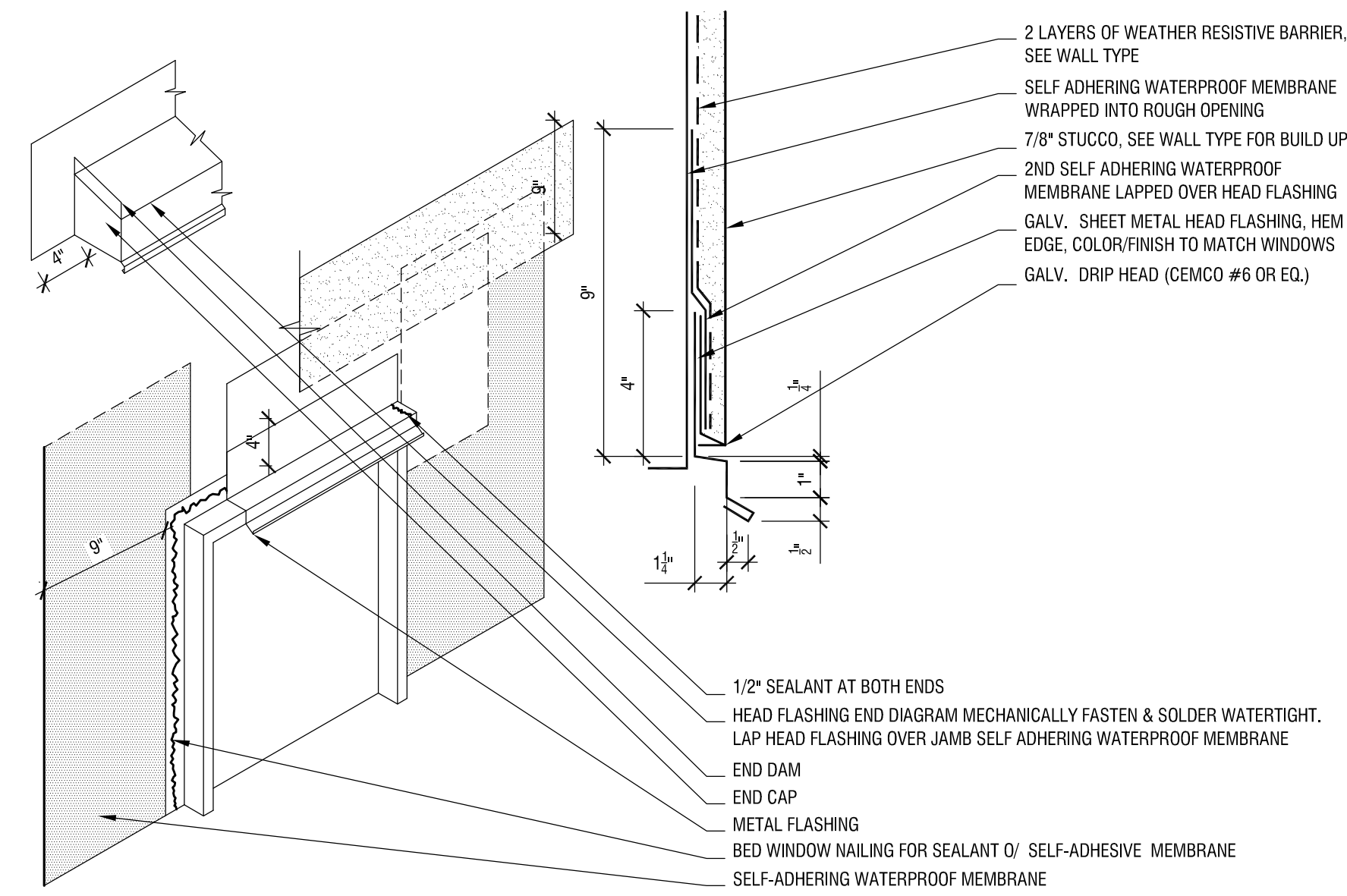
01 SHEET METAL COPING AND EDGE METAL NOTES (I.O.S.)
SCALE: N.T.S.



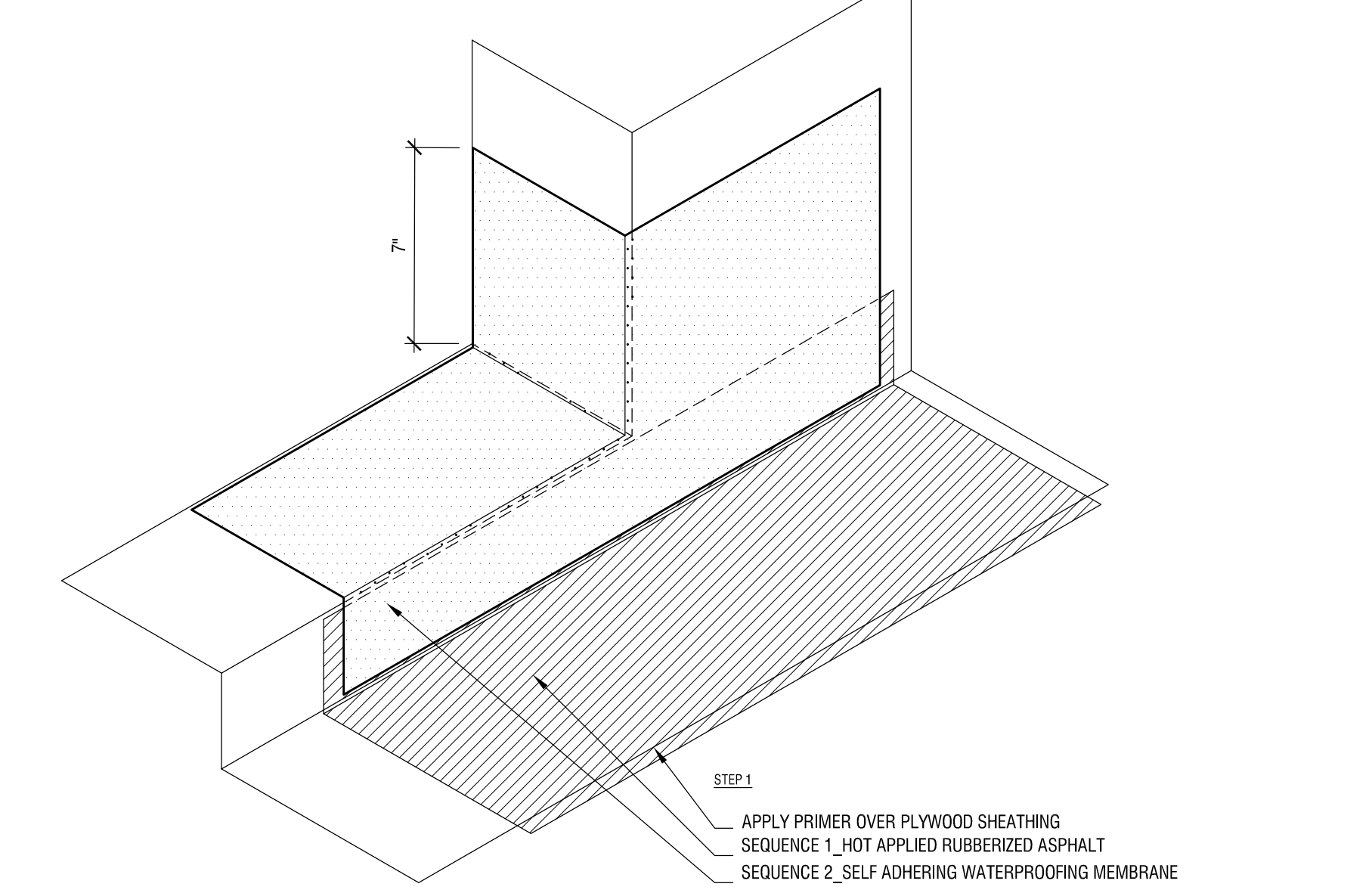
01 SILL PAN FLASHING SEQUENCE
SCALE: N.T.S.



03 CORNER FLASHING - OUTSIDE CORNER
SCALE: N.T.S.



02 SHEET METAL HEAD FLASHING ISOMETRIC
SCALE: N.T.S.



01 SILL PAN FLASHING SEQUENCE
SCALE: N.T.S.



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

Table with 3 columns: Y/N/A RESPON. PARTY, CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL, SECTION 302 MIXED OCCUPANCY BUILDINGS, DIVISION 4.1 PLANNING AND DESIGN, CHAPTER 4 RESIDENTIAL MANDATORY MEASURES, SECTION 4.102 DEFINITIONS, SECTION 4.102.1 DEFINITIONS, SECTION 4.102.2 DEFINITIONS, SECTION 4.102.2.1 FRENCH DRAIN, SECTION 4.102.2.2 WATTLES, SECTION 4.106 SITE DEVELOPMENT, SECTION 4.106.1 GENERAL, SECTION 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION, SECTION 4.106.3 GRADING AND PAVING, SECTION 4.106.4 ELECTRIC VEHICLE (EV) CHARGING FOR NEW CONSTRUCTION.

Table with 3 columns: Y/N/A RESPON. PARTY, 4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities, 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units, 4.106.4.2.2 Multifamily development projects with 20 or more sleeping units or guest rooms, 4.303 INDOOR WATER USE, 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS, 4.303.1.1 Water Closets, 4.303.1.2 Urinals, 4.303.1.3 Showerheads, 4.303.1.3.1 Single Showerhead, 4.303.1.3.2 Multiple showerheads serving one shower, 4.303.1.4 Faucets, 4.303.1.4.1 Residential Lavatory Faucets, 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas, 4.303.1.4.3 Metering Faucets, 4.303.1.4.4 Kitchen Faucets, 4.303.1.4.5 Pre-Rinse spray valves, 4.303.2 SUBMETERS FOR MULTIFAMILY BUILDINGS AND DWELLING UNITS IN MIXED-USED RESIDENTIAL/COMMERCIAL BUILDINGS, 4.303.3 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS, TABLE H-2, TABLE - MAXIMUM FIXTURE WATER USE.

Table with 3 columns: Y/N/A RESPON. PARTY, 4.304 OUTDOOR WATER USE, 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS, 4.304.2 EFFICIENT LANDSCAPE ORDINANCE (MVELO), DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY, 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE, 4.406.1 RODENT PROOFING, 4.406.2 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING, 4.406.2.1 CONSTRUCTION WASTE MANAGEMENT, 4.406.2.2 CONSTRUCTION WASTE MANAGEMENT PLAN, 4.406.2.3 WASTE MANAGEMENT COMPANY, 4.406.2.4 WASTE STREAM REDUCTION ALTERNATIVE (LR), 4.406.2.4.1 WASTE STREAM REDUCTION ALTERNATIVE, 4.406.2.5 DOCUMENTATION, 4.410 BUILDING MAINTENANCE AND OPERATION, 4.410.1 OPERATION AND MAINTENANCE MANUAL, 4.410.2 RECYCLING BY OCCUPANTS, DIVISION 4.5 ENVIRONMENTAL QUALITY, SECTION 4.501 GENERAL, SECTION 4.501.1 Scope, SECTION 4.502 DEFINITIONS, SECTION 4.502.1 DEFINITIONS, SECTION 4.502.2 DEFINITIONS, SECTION 4.502.3 DEFINITIONS, SECTION 4.502.4 DEFINITIONS, SECTION 4.502.5 DEFINITIONS, SECTION 4.502.6 DEFINITIONS, SECTION 4.502.7 DEFINITIONS, SECTION 4.502.8 DEFINITIONS, SECTION 4.502.9 DEFINITIONS, SECTION 4.502.10 DEFINITIONS, SECTION 4.502.11 DEFINITIONS, SECTION 4.502.12 DEFINITIONS, SECTION 4.502.13 DEFINITIONS, SECTION 4.502.14 DEFINITIONS, SECTION 4.502.15 DEFINITIONS, SECTION 4.502.16 DEFINITIONS, SECTION 4.502.17 DEFINITIONS, SECTION 4.502.18 DEFINITIONS, SECTION 4.502.19 DEFINITIONS, SECTION 4.502.20 DEFINITIONS, SECTION 4.502.21 DEFINITIONS, SECTION 4.502.22 DEFINITIONS, SECTION 4.502.23 DEFINITIONS, SECTION 4.502.24 DEFINITIONS, SECTION 4.502.25 DEFINITIONS, SECTION 4.502.26 DEFINITIONS, SECTION 4.502.27 DEFINITIONS, SECTION 4.502.28 DEFINITIONS, SECTION 4.502.29 DEFINITIONS, SECTION 4.502.30 DEFINITIONS, SECTION 4.502.31 DEFINITIONS, SECTION 4.502.32 DEFINITIONS, SECTION 4.502.33 DEFINITIONS, SECTION 4.502.34 DEFINITIONS, SECTION 4.502.35 DEFINITIONS, SECTION 4.502.36 DEFINITIONS, SECTION 4.502.37 DEFINITIONS, SECTION 4.502.38 DEFINITIONS, SECTION 4.502.39 DEFINITIONS, SECTION 4.502.40 DEFINITIONS, SECTION 4.502.41 DEFINITIONS, SECTION 4.502.42 DEFINITIONS, SECTION 4.502.43 DEFINITIONS, SECTION 4.502.44 DEFINITIONS, SECTION 4.502.45 DEFINITIONS, SECTION 4.502.46 DEFINITIONS, SECTION 4.502.47 DEFINITIONS, SECTION 4.502.48 DEFINITIONS, SECTION 4.502.49 DEFINITIONS, SECTION 4.502.50 DEFINITIONS, SECTION 4.502.51 DEFINITIONS, SECTION 4.502.52 DEFINITIONS, SECTION 4.502.53 DEFINITIONS, SECTION 4.502.54 DEFINITIONS, SECTION 4.502.55 DEFINITIONS, SECTION 4.502.56 DEFINITIONS, SECTION 4.502.57 DEFINITIONS, SECTION 4.502.58 DEFINITIONS, SECTION 4.502.59 DEFINITIONS, SECTION 4.502.60 DEFINITIONS, SECTION 4.502.61 DEFINITIONS, SECTION 4.502.62 DEFINITIONS, SECTION 4.502.63 DEFINITIONS, SECTION 4.502.64 DEFINITIONS, SECTION 4.502.65 DEFINITIONS, SECTION 4.502.66 DEFINITIONS, SECTION 4.502.67 DEFINITIONS, SECTION 4.502.68 DEFINITIONS, SECTION 4.502.69 DEFINITIONS, SECTION 4.502.70 DEFINITIONS, SECTION 4.502.71 DEFINITIONS, SECTION 4.502.72 DEFINITIONS, SECTION 4.502.73 DEFINITIONS, SECTION 4.502.74 DEFINITIONS, SECTION 4.502.75 DEFINITIONS, SECTION 4.502.76 DEFINITIONS, SECTION 4.502.77 DEFINITIONS, SECTION 4.502.78 DEFINITIONS, SECTION 4.502.79 DEFINITIONS, SECTION 4.502.80 DEFINITIONS, SECTION 4.502.81 DEFINITIONS, SECTION 4.502.82 DEFINITIONS, SECTION 4.502.83 DEFINITIONS, SECTION 4.502.84 DEFINITIONS, SECTION 4.502.85 DEFINITIONS, SECTION 4.502.86 DEFINITIONS, SECTION 4.502.87 DEFINITIONS, SECTION 4.502.88 DEFINITIONS, SECTION 4.502.89 DEFINITIONS, SECTION 4.502.90 DEFINITIONS, SECTION 4.502.91 DEFINITIONS, SECTION 4.502.92 DEFINITIONS, SECTION 4.502.93 DEFINITIONS, SECTION 4.502.94 DEFINITIONS, SECTION 4.502.95 DEFINITIONS, SECTION 4.502.96 DEFINITIONS, SECTION 4.502.97 DEFINITIONS, SECTION 4.502.98 DEFINITIONS, SECTION 4.502.99 DEFINITIONS, SECTION 4.502.100 DEFINITIONS.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS.



VO RESIDENCE

OWNER: ELIZA & DEAN VO 807 SAPPHIRE STREET REDONDO BEACH, CA 90277 P. 909.364.1961

ARCHITECT: AARON NEUBERT ARCHITECTS, INC. 2014 ROMAÑA AVENUE, SUITE ONE LOS ANGELES, CALIFORNIA 90008 P. 323.953.6700 F. 323.953.6700 AARON NEUBERT CA# 62860

STRUCTURAL ENGINEER: CRAIG PHILLIPS ENGINEERING AND DESIGN, INC. 2725 BELLA AVENUE LOS ANGELES, CALIFORNIA 90008 P. 323.953.6700 F. 323.953.6700 CRAIG PHILLIPS CA# 62863

MEP ENGINEER: NAB CONSULTING ENGINEERS 2066 VENTURA BLVD. GARDEN CITY, CALIFORNIA 92540 P. 951.687.2388

CIVIL ENGINEER: PETER SHIRLEY PE INC. 4620 DORSET AVENUE GARDEN CITY, CALIFORNIA 92540 P. 951.288.4238

GEOLOGY AND SOILS: IRVINE GEOTECHNICAL INC. 105 S. BAY AVENUE, SUITE 117 PASADENA, CALIFORNIA 91107 P. 626.844.7111 F. 626.844.7111

SURVEYOR: WRIGHT MAPPING, INC. 8416 LINCOLN STREET DOMESTIC, CALIFORNIA 92620 P. 951.687.2788

REVISION: DATE: COMMENT: ISUE:

PROJECT NO: 2020 SAPPHIRE 607 SAPPHIRE STREET REDONDO BEACH, CA 90277

DRAWING TITLE: 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET 1 OF 2

DRAWING NO: 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SHEET 1 OF 2

DATE: NOVEMBER 8, 2024 SCALE: AS NOTED DRAWN BY: -

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DATE: NOVEMBER 8, 2024 SCALE: AS NOTED DRAWN BY: -



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y	NA	RESPON. PARTY	DESCRIPTION																																																														
			MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O ₃ /g ROG). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.																																																														
			MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.																																																														
			PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521(a).																																																														
			REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.																																																														
			VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94509(a).																																																														
			4.503 FIREPLACES 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.																																																														
			4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.																																																														
			4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.																																																														
			4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulk used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAND Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507.																																																														
			4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.																																																														
			4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 9, Rule 49.																																																														
			4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: 1. Manufacturer's product specification. 2. Field verification of on-site product containers.																																																														
			TABLE 4.504.1 - ADHESIVE VOC LIMITS: (Less Water and Less Exempt Compounds in Grams per Liter) <table border="1"><thead><tr><th>ARCHITECTURAL APPLICATIONS</th><th>VOC LIMIT</th></tr></thead><tbody><tr><td>INDOOR CARPET ADHESIVES</td><td>50</td></tr><tr><td>CARPET PAD ADHESIVES</td><td>50</td></tr><tr><td>OUTDOOR CARPET ADHESIVES</td><td>150</td></tr><tr><td>WOOD FLOORING ADHESIVES</td><td>100</td></tr><tr><td>RUBBER FLOOR ADHESIVES</td><td>60</td></tr><tr><td>SUBFLOOR ADHESIVES</td><td>50</td></tr><tr><td>CERAMIC TILE ADHESIVES</td><td>65</td></tr><tr><td>VCT & ASPHALT TILE ADHESIVES</td><td>50</td></tr><tr><td>DRYWALL & PANEL ADHESIVES</td><td>50</td></tr><tr><td>COVE BASE ADHESIVES</td><td>50</td></tr><tr><td>MULTIPURPOSE CONSTRUCTION ADHESIVE</td><td>70</td></tr><tr><td>STRUCTURAL GLAZING ADHESIVES</td><td>100</td></tr><tr><td>SINGLE-PLY ROOF MEMBRANE ADHESIVES</td><td>250</td></tr><tr><td>OTHER ADHESIVES NOT LISTED</td><td>50</td></tr><tr><td colspan="2">SPECIALTY APPLICATIONS</td></tr><tr><td>PVC WELDING</td><td>510</td></tr><tr><td>CPVC WELDING</td><td>490</td></tr><tr><td>ABS WELDING</td><td>325</td></tr><tr><td>PLASTIC CEMENT WELDING</td><td>250</td></tr><tr><td>ADHESIVE PRIMER FOR PLASTIC</td><td>550</td></tr><tr><td>CONTACT ADHESIVE</td><td>80</td></tr><tr><td>SPECIAL PURPOSE CONTACT ADHESIVE</td><td>250</td></tr><tr><td>STRUCTURAL WOOD MEMBER ADHESIVE</td><td>140</td></tr><tr><td>TOP & TRIM ADHESIVE</td><td>250</td></tr><tr><td colspan="2">SUBSTRATE SPECIFIC APPLICATIONS</td></tr><tr><td>METAL TO METAL</td><td>30</td></tr><tr><td>PLASTIC FOAMS</td><td>50</td></tr><tr><td>POROUS MATERIAL (EXCEPT WOOD)</td><td>50</td></tr><tr><td>WOOD</td><td>30</td></tr><tr><td>FIBERGLASS</td><td>80</td></tr></tbody></table>	ARCHITECTURAL APPLICATIONS	VOC LIMIT	INDOOR CARPET ADHESIVES	50	CARPET PAD ADHESIVES	50	OUTDOOR CARPET ADHESIVES	150	WOOD FLOORING ADHESIVES	100	RUBBER FLOOR ADHESIVES	60	SUBFLOOR ADHESIVES	50	CERAMIC TILE ADHESIVES	65	VCT & ASPHALT TILE ADHESIVES	50	DRYWALL & PANEL ADHESIVES	50	COVE BASE ADHESIVES	50	MULTIPURPOSE CONSTRUCTION ADHESIVE	70	STRUCTURAL GLAZING ADHESIVES	100	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250	OTHER ADHESIVES NOT LISTED	50	SPECIALTY APPLICATIONS		PVC WELDING	510	CPVC WELDING	490	ABS WELDING	325	PLASTIC CEMENT WELDING	250	ADHESIVE PRIMER FOR PLASTIC	550	CONTACT ADHESIVE	80	SPECIAL PURPOSE CONTACT ADHESIVE	250	STRUCTURAL WOOD MEMBER ADHESIVE	140	TOP & TRIM ADHESIVE	250	SUBSTRATE SPECIFIC APPLICATIONS		METAL TO METAL	30	PLASTIC FOAMS	50	POROUS MATERIAL (EXCEPT WOOD)	50	WOOD	30	FIBERGLASS	80
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			DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDCPP/DEDC/ELHBLIAQ/Pages/VOC.aspx . 4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDCPP/DEDC/ELHBLIAQ/Pages/VOC.aspx . 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350). See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDCPP/DEDC/ELHBLIAQ/Pages/VOC.aspx . 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5. 4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following: 1. Product certifications and specifications. 2. Chain of custody certifications. 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.). 4. Letter grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European E36 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards. 5. Other methods acceptable to the enforcing agency.												
			4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code. 4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section. 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following: 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional. 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified. 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure. 4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in). Notes: 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.												
			4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.												

Y	NA	RESPON. PARTY	DESCRIPTION
			CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency. 702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector: 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency. Notes: 1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency. Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 703 VERIFICATIONS 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.



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REVISION: DATE: COMMENT:

ISSUE:

SCALE:



Project No: 2020
SAPPHIRE
807 SAPPHIRE STREET
REDONDO BEACH, CA 90277

DRAWING TITLE:

2022 CALIFORNIA GREEN
BUILDING STANDARDS CODE
SHEET 2 OF 2

DATE: NOVEMBER 8, 2024

SCALE: AS NOTED

DRAWN BY: -



PERMIT ISSUED CITY OF REDONDO BEACH BUILDING AND SAFETY DIVISION... Approved by: LM/JB Permit No: 20232464, 20232465, 20232466, 20232467, 2024-0465, 2024-0466 Date: 6/11/2025

EVALUATION REPORT Number: 199 Originally Issued: 10/08/2010 Revised: 08/15/2023 Valid Through: 09/30/2024. 6.3 Design and Installation. 7.1 VELUX VS, VSE, VSS, FCM, VCE, VCM, and VCS skylights covered by this report shall be identified with permanent labeling that includes the following information: Manufacturer's name, address, full model number and accessibility code number.

EVALUATION REPORT Number: 199 Originally Issued: 10/08/2010 Revised: 08/15/2023 Valid Through: 09/30/2024. Residential Models Shipped as Complete Kits. Commercial Models Shipped as Separate Subassemblies. 6.3 Design and Installation. 6.4 Tubular Daylighting Devices.

EVALUATION REPORT Number: 199 Originally Issued: 10/08/2010 Revised: 08/15/2023 Valid Through: 09/30/2024. Section N1104.10.3, and IBC Sections CM1.1.1 and RB01.1.3 (NRC 100 and 200), and NRC 300. The ratings are shown in Table 6 of this report. 5.8 CURB MOUNT PLASTIC-GLAZED CIRCULAR UNIT SKYLIGHTS. 6.2 VELUX Sun Tunnel TCC, TCR, TCG, TGF, TGR, TIR, TMR, and TMR Skylights are series of tubular daylighting devices.

EVALUATION REPORT Number: 199 Originally Issued: 10/08/2010 Revised: 08/15/2023 Valid Through: 09/30/2024. 6.2 VELUX FCM, VCE, VCM, and VCS Skylights Description. 6.3 Skylight SkyMax Description. 6.4 Design and Installation. 6.5 Tubular Daylighting Devices.

EVALUATION REPORT Number: 199 Originally Issued: 10/08/2010 Revised: 08/15/2023 Valid Through: 09/30/2024. VELUX AMERICA, LLC. P.O. Box 5901 Greenwood, South Carolina 29648-5901 www.veluxusa.com. DECK MOUNT GLASS-GLAZED UNIT SKYLIGHTS. CURB MOUNT GLASS-GLAZED UNIT SKYLIGHTS. TUBULAR DAYLIGHTING DEVICES. 6.3 Design and Installation. 6.4 Tubular Daylighting Devices.

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Approved
City of Redondo Beach
Building Division
04/17/2025

PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION
A PROHIBITED use of APPROVED Plans and specifications...
Approved by: LM/JB
Permit No: 20232464, 20232465, 20232466, 20232467, 2024-0465, 2024-0466
Date: 6/11/2025

Table with columns for Window Series, Dimensions, U-Factor, SHGC, etc. Includes 'Solar Exposure' note and 'The "performance method" for certification is recommended...' section.

Table with columns for Window Series, Dimensions, U-Factor, SHGC, etc. Includes 'Total Weighted Average' summary and 'The overall product U-Factor combines the center of glass, product frame and edge-of-glass U-Factors...' note.

MANUFACTURER ENERGY REPORT
It is imperative to involve an energy consultant with experience in metal window compliance...
Job Specific Summary
The U-Factor and SHGC values provided in this report comply with NFRC 100 and NFRC 200...

03 WINDOW SPECIFICATION SCALE: NOT TO SCALE

AO Smith COMMERCIAL-GRADE RESIDENTIAL ELECTRIC WATER HEATERS
Model Number, Nominal Capacity, Rated Input, etc. Includes 'GO THE EXTRA MILE' section.

Vortex VTX-DEDPV Dryer Exhaust Duct Power Ventilator
PROTECT YOUR HOME TODAY
As laundry rooms move to more centralized locations...
KEY FEATURES: LED indicator panel, maintains minimum of 1,200 FPM air velocity, etc.

COMMON SPECIFICATIONS
Travel: Maximum 500'
Minimum distance between floors 13"
Sprocket and gear pinion materials aluminum per code
Rated Capacity 3500lbs (1400lbs with ventline)
Equipment: 230 VAC 60Hz controller/motor/pulling assembly, 120VAC car lighting circuit, etc.

MACHINE ROOM DESIGNS AND CONTROLLER SPACE
Machine Room - Hydraulic (HM)
Machine Room - Electric (EM)
Machine Room - Hybrid (HB)
Machine Room - Electric (EM)
Machine Room - Hybrid (HB)

PRE-PLANNING STEPS
Locate a local dealer and plan your elevator together.
Pre-planning considerations:
1. Determine what job depth you can provide.
2. Determine what overhead space you can provide.
3. Determine machine room space and location you can provide.
4. Coordinate with your dealer to go over your system, interior finishes, and signage.

01 ELEVATOR SPECIFICATION SCALE: NOT TO SCALE
SAPPHIRE
607 SAPPYR STREET
REDDONDBEACH, CA 90277
DATE: NOVEMBER 8, 2024
SCALE: AS NOTED
DRAWN BY: -



PERMIT ISSUED
CITY OF REDONDO BEACH
BUILDING AND SAFETY DIVISION

A PRINTED set of APPROVED Plans and specifications reviewed for code compliance shall be kept on the job site and available to the inspector at the time of inspection. It is unlawful to alter approved plans without obtaining permission from the City of Redondo Beach. Approved plans shall not be construed as an approval of a violation of this code or City Ordinances. Work shall remain accessible and exposed for inspection purposes. The City of Redondo Beach shall not be liable for expense entailed in the removal of any materials as required to allow inspection.

Approved by: LM/JB
Permit No: 20232464, 20232465, 20232466, 20232467, 2024-0465, 2024-0466
Date: 6/11/2025

723008 ECUJAN60943 - Decorative Outdoor Gas-Fired Fireplaces (UL Product Q)

UL Product IQ™
EOJA.MH60943 - Decorative Outdoor Gas-fired Fireplaces

Decorative Outdoor Gas-fired Fireplaces

See General Information for Decorative Outdoor Gas-fired Fireplaces

ECOSMART INC.
5675 GREEN VALLEY CIR, UNIT 100
CULVER CITY, CA 90230 USA
Decorative Outdoor Gas-fired Appliances, Model(s) GS17
Outdoor Decorative Gas Appliances, "Crystal Fire", Model(s) CH17
Outdoor Fireplaces, Model(s) ESF 1.8, ESF 1.8, ESF 1.8, GS15
Series "Crystal Fire", Model(s) ESF 1.8, GS15

Last Updated on 2020-03-21

The appearance of a company's name or product in this database does not in itself assure that products so identified have been manufactured under UL's Follow-Up Service. Only those products bearing the UL Mark should be considered to be Certified and covered under UL's Follow-Up Service. Always look for the Mark on the product.

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ecosmart
Pod 30 Specifications

Pod 30 is the smallest in the Pod Series. This smokeless fire provides a warm and inviting outdoor centerpiece to gather around and relax in front of, no matter the season.

Ventilation and Efficiency*

Model Dimensions L x W x H in mm	Compatible Burner	Fuel Capacity	Heats on Average sq. ft. (sq. m)	Thermal Output BTU/hr (kW)	Approx. Burn Time (hours)	Minimum Room Size (sq. ft.) (sq. m)
Over 60" H ² (183" H)	AIR (2.1 GPH)	21.35 GAL/PT (81.2 L)	35,433 BTU/hr, 10.39 kW	7-9 hours	116 sq. ft. (10.81 m ²)	
70" x 70" x 35" (178 x 178 x 89 cm)	Over 30" H ² (302.5 H)	Over 30" H ² (302.5 H)	13.0 GAL/PT (49.3 L)	12,860 BTU/hr, 3.77 kW	8-11 hours	40 sq. ft. (3.72 m ²)
30" x 30" x 13.6" (76.2 x 76.2 x 34.5 cm)	Light Propane Natural Gas	NA	Outdoor Use Only	85,000 BTU/hr, 24.8 kW	8-20 hours Unlimited Use Only	Outdoor Use Only

*With Efficiency Rating™ (EER) Considered

Application: Indoor & Outdoor
Surround Colors: Rustic, Graphite, Stone, Stainless Steel, Black
Burner Covers: Fuel Concrete Burners, Graphite Burners, Stainless Steel
Materials: Fuel Concrete Burners, Graphite Burners, Stainless Steel
Approx. Weight: 30.5kg (66.8lb)
Fuel Type: LP-NAT, BioEthanol, Liquid Propane, Natural Gas

Installation

NOTICE
Minimum of 1" clearance to combustibles all around the fire gas box. The fire gas box is to be used with flexible ducts as specified by the manufacturer.

8" Box Louvered Exhaust Termination
10" Box
12" Box

8" Box Framing
10" Box Framing
12" Box Framing

Installation

Section 4: Finishing

Finishing Around the Fireplace
The following illustrates the suggested finishing method for the Prodigy.

Television Installation
Fireplaces do not require any special clearance to be maintained between a wall-mounted television and the fireplace gas. Check the TV owner's manual for any manufacturer's required clearances.

Mantle and Hearth
Clearances for non-combustible mantels and hearths shall be provided above the top of the glass enclosure. There are no restrictions on depth for mantels. For finish details, please refer to the Prodigy installation manual.

Installation

Single Sided Framing
See-Through Framing

Corner Framing
Panorama Framing

General

Section 1: Product Dimensions

Single sided dimensions
See-through dimensions

INCH	EXHAUST	A	B	C	D	E	F	G	H	I	J	K	L	M
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2
8	23 1/2	12"	18 1/2	18	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2	18 1/2

FLANGE DIMENSIONS
Flanging height is determined and only is determined based on the unit configuration. Flanging height is not to exceed 1/2" additionally, the flange on the top of the product configuration is not to exceed 1/2".

General

PRODIGY SPECIFICATIONS

	PC3**	PC4**	PC5**	PC6**	PC7**	PC8**
MAXIMUM INPUT NATURAL GAS (BTU/Hr)	40,000	50,000	75,000	80,000	100,000	112,000
MAXIMUM INPUT PROPANE (BTU/Hr)	37,000	50,000	64,000	78,000	105,000	120,000
REQUIRED VENT	3"	3"	3"	3"	3"	3"
SIZE OF RANGE	24"	24"	24"	24"	24"	24"
TOTAL EQUIPMENT FREE AREA OF INTAKE (sq. ft.) (sq. m)	10.0 (0.93)	10.0 (0.93)	10.0 (0.93)	10.0 (0.93)	10.0 (0.93)	10.0 (0.93)
VENT	400	500	700	800	1000	1120
ELECTRICAL REQUIREMENTS	208 VAC Single Phase 15 AMP ANSI Z21.50-2019 / CSA 2.23-2019	208 VAC Single Phase 15 AMP ANSI Z21.50-2019 / CSA 2.23-2019	208 VAC Single Phase 15 AMP ANSI Z21.50-2019 / CSA 2.23-2019	208 VAC Single Phase 15 AMP ANSI Z21.50-2019 / CSA 2.23-2019	208 VAC Single Phase 15 AMP ANSI Z21.50-2019 / CSA 2.23-2019	208 VAC Single Phase 15 AMP ANSI Z21.50-2019 / CSA 2.23-2019
CONTROL PANEL MODEL NUMBER	PC3PF1-20-030	PC3PF1-20-030	PC3PF1-20-030	PC3PF1-20-030	PC3PF1-20-030	PC3PF1-20-030
POWER/VENT FLOOR	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10
POWER/VENT WALL	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10
POWER/VENT CEILING	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10	PC3PFV-803-10

Prodigy Code Breakdown

COMPONENT	Code	Height	Width	Depth	Weight
Corner Left	CL	20"	20"	20"	11 lbs
Corner Right	CR	20"	20"	20"	11 lbs
Top	TP	36"	36"	36"	44 lbs
Single Side	SS	26"	36"	36"	44 lbs
See Through	ST	36"	36"	36"	44 lbs

Prodigy Burner and Venting Size

EXHAUST SIZE	PC3**	PC4**	PC5**	PC6**	PC7**	PC8**
3"	3"	3"	3"	3"	3"	3"
4"	4"	4"	4"	4"	4"	4"
5"	5"	5"	5"	5"	5"	5"
6"	6"	6"	6"	6"	6"	6"
7"	7"	7"	7"	7"	7"	7"
8"	8"	8"	8"	8"	8"	8"

Installation & Maintenance Manual

MONTIGO
the art of fireplaces

PRODIGY SERIES INDOOR GAS FIREPLACE
SINGLE SIDED, SEE-THROUGH, CORNER, RIGHT-LEFT & BAY FRAMESLESS LINER FIREPLACE
Natural Gas or Propane Gas

NOTICE
Installer: Leave this manual with the appliance. Customer: Read this manual for future reference.

CAUTION
Installation and venting must be performed by a qualified installer, service agency or the gas fitter.

DANGER
Read and understand this manual, proper installation, adjustment, alteration, service or maintenance can cause serious injury, property damage or even death. For assistance or additional information, consult a qualified installer, service agency or the gas supplier.

WARNING
Do not install or use gas appliances or other flammable vapors and liquids in the vicinity of this or any other appliance. Do not touch any electrical switch, do not use any phone in your building. If you cannot reach your gas supplier, call the fire department. Installation and service must be performed by a qualified installer, service agency or the gas fitter.