

LA 05

LA 7-108

APPROVED

REVISIONS BY



PLANS APPROVED  
 as required by  
 Case No. **ZA 2006-9083 (2A)**  
 Lourdes Green  
 ZONING ADMINISTRATOR  
 CITY OF LOS ANGELES  
 Date **5-14-08**  
 1 OF 11

COVER SHEET

E. STEWART  
W. HOLLY WOOD BLVD.

LOS ANGELES, 90069 CA.

City of Los Angeles, Department of Building & Safety  
**APPROVED PLANS**

- This perforated set of plans are not approval for construction until the required permit fees are paid and the permit is issued.
- The permit(s) is valid for two years from the date the permit fees are paid.
- Visit <http://www.permitsonline.com> to check the status of this set of plans by entering the 10 digit permit number. Must be at least 14 days before the permit fees have been paid.
- No inspection can be scheduled until the permit is issued.

BY: Larry Lee DATE: 7/11/08  
 Permit No: 06010 1000 03157  
 Application No: 06010 1000 03157

- This set of plans are to be used for construction.
- It is unlawful to alter, change or change from these plans.
- The stamping of the plans shall not be used as a permit or to be an approval of the violation of any provisions of any Ordinance of Law.
- SEPARATE permits are required for BUILDING, ELECTRICAL, PLUMBING, FIRE SPRINKLER, ELEVATOR, HEATING or INSULATION work, unless this permit was issued as a combination permit for a One or Two Family Dwelling pursuant to LAMC Section 91.0107.2.2, and the work by that trade does not require Plan Check.

06010 Dwell.  
 06020 R/W

# STEWART RESIDENCE

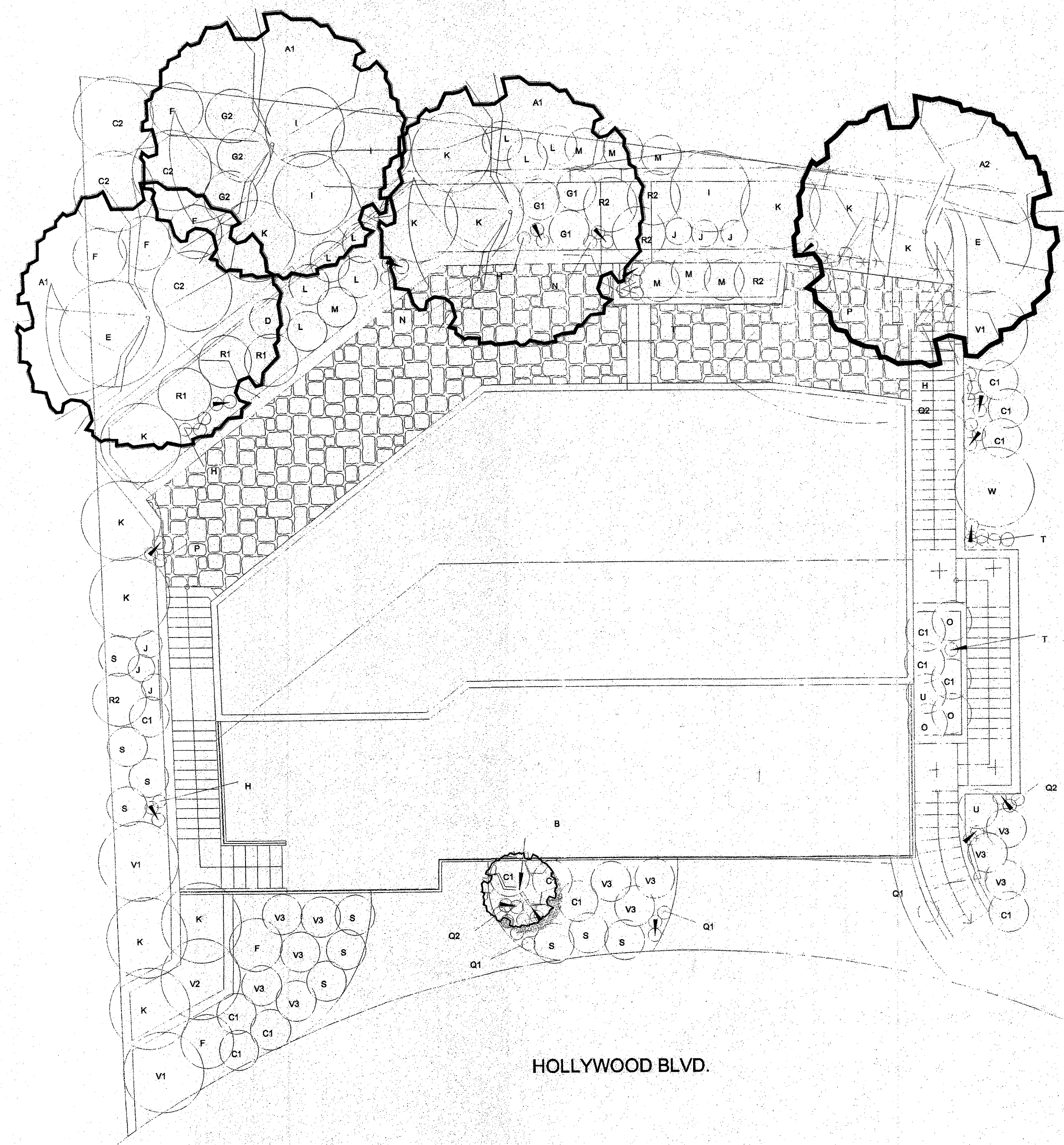
## 8633 W. HOLLY WOOD BLVD.

(P11)

5/07



LA 7-100  
APPROVED



HOLLYWOOD BLVD.

PLANT LEGEND

| SIZE    | QTY. | SYMBOL | NAME   |
|---------|------|--------|--|
| 24" BOX | 3    | A1     | ACACIA STENOPHYLLA - SHOESTRING ACACIA                           |
| 24" BOX | 1    | A2     | ACACIA BAILEYANA - FERNLEAF ACACIA                               |
| 15 GAL. | 1    | B      | ACER PALMATUM 'DISSECTUM RED' - RED CUTLEAF MAPLE                |
| 5 GAL.  | 14   | C1     | BERBERIS THUNBERGII 'CRIMSON PYGMY' - LITTLE GEM BARBERRY        |
| 5 GAL.  | 4    | C2     | BERBERIS THUNBERGII 'ROSY GLOW' - ROSY GLOW BARBERRY             |
| 5 GAL.  | 1    | D      | CARISSA MACROCARPA 'PROSTRATA' - NATAL PLUM                      |
| 5 GAL.  | 2    | E      | CORTADERIA SELLOANA 'PUMILA' - DWARF PAMPAS GRASS                |
| 1 GAL.  | 6    | F      | PENNISETUM SETACEUM 'EATON CANYON' - EATON CANYON FOUNTAIN GRASS |
| 1 GAL.  | 3    | G1     | PHORMIUM 'TOM THUMB' - TOM THUMB FLAX                            |
| 1 GAL.  | 16   | H      | SEDUM MORGANIANUM - DONKEY TAIL                                  |
| 5 GAL.  | 4    | I      | STRELITZIA REGINAE - BIRD OF PARADISE                            |
| 1 GAL.  | 6    | J      | VINCA MINOR - PERIWINKLE   |
| 5 GAL.  | 13   | K      | BOUGAINVILLEA X 'LA JOLLA' - LA JOLLA BOUGAINVILLEA              |
| 5 GAL.  | 8    | L1     | ANIGOZANTHOS FLAVIUS 'RED CROSS' - RED CROSS KANGAROO PAW        |
| 1 GAL.  | 4    | M      | ARTEMESIA 'POWIS CASTLE' - POWIS CASTLE ARTEMESIA                |
| 1 GAL.  | 6    | N      | CERASTIUM TOMENTOSUM - SNOW IN SUMMER                            |
| 1 GAL.  | 3    | O      | CHLOROPHYTUM COMOSUM - SPIDER PLANT                              |
| 1 GAL.  | 10   | P      | FESTUCA 'ELIJAH BLUE' - ELIJAH BLUE FESCUE                       |
| 1 GAL.  | 13   | Q1     | HEUCHERA 'AMETHYST MIST' - AMETHYST MIST CORAL BELLS             |
| 1 GAL.  | 9    | Q2     | HEUCHERA 'BRECKINHAM HYBRIDS' - ALLUM ROOT                       |
| 1 GAL.  | 3    | R1     | SALVIA DARCYI - LIPSTICK RED SAGE                                |
| 1 GAL.  | 10   | S      | SENECIO MANDRALISCAE - SENECIO                                   |
| 5 GAL.  | 3    | G2     | PHORMIUM 'SUNSET' - SUNSET FLAX                                  |
| 1 GAL.  | 5    | R2     | SALVIA FARRINACEA - MEALY BLUE SAGE                              |
| FLAT    | 11   | T      | DICHONDRA MICRANTHA - DICHONDRA                                  |
| 1 GAL.  | 2    | U      | AEONIUM ARBOREUM 'ZWARTHOP' - AEONIUM                            |
| 5 GAL.  | 3    | V1     | AGAVE AMERICANA - CENTURY PLANT                                  |
| 5 GAL.  | 1    | V2     | AGAVE ATTENUATA - FOX TAIL AGAVE                                 |
| 1 GAL.  | 11   | V3     | AGAVE PARRYI V. TRUNCATA - ARTICHOKE AGAVE                       |
| 1 GAL.  | 1    | W1     | ALOE ARBORESCENS - CANDELABRA ALOE                               |

PLANS APPROVED  
as required by  
Case No. 2A-2006-9013 2A  
Lourdes Green 2A0  
ZONING ADMINISTRATOR  
CITY OF LOS ANGELES  
Date: 5-14-08  
11 OF 11

STEWART RESIDENCE  
8633 W. HOLLYWOOD BLVD  
LOS ANGELES CA 90069

PACIFIC OUTDOOR LIVING  
Designed & Drafted by: Lauren Dillon  
Reviewed by: Shyrell Hopwood  
2727 Foothill Blvd  
La Crescenta, CA 91214

Stewart Residence  
8633 W. Hollywood Blvd  
Los Angeles, CA 90069

|             |                 |
|-------------|-----------------|
| SCALE       | 1/8" = 1'-0"    |
| DESIGNED BY | Lauren Dillon   |
| DRAWN BY    | Shyrell Hopwood |
| DATE        | September 2007  |

|             |  |
|-------------|--|
| PROJECT NO. |  |
| SHEET NO.   |  |







MICHAEL LOCARDI  
 CHIEF ZONING ADMINISTRATOR  
 ASSOCIATE ZONING ADMINISTRATOR  
 GARY SCORSE  
 PAUL BRIDGES  
 K. NICOLA BROWN  
 GUY CHANG  
 AMY CHAMBERLAIN  
 LARRY FRIEDMAN  
 LOURDES GREEN  
 LUCY HETTER  
 MICHAEL S. YOUNG

CITY OF LOS ANGELES  
 CALIFORNIA



ANTONIO R. VILLARICOSSA  
 MAYOR

DEPARTMENT OF  
 CITY PLANNING  
 5. CAROLINE K. ACEP  
 DIRECTOR  
 OFFICE OF  
 ZONING ADMINISTRATION  
 20511 Sunset Street, 17th Floor  
 Hollywood, CA 90024  
 (310) 857-3118  
 FAX: (310) 857-3118  
 www.cityofla.org/pla

January 18, 2008

Valentine Stewart (A)(O)(R)  
 443-112 Curson Avenue  
 Los Angeles, CA 90036

Department of Building and Safety

CASE NO. ZA 2006-9083(ZAA)(ZAD)  
 ZONING ADMINISTRATOR'S  
 ADJUSTMENT/DETERMINATION  
 8633 Hollywood Boulevard  
 Hollywood Planning Area  
 Zone : R1-1  
 D. M. : 147B173  
 C. D. : S  
 CEQA : ENV-2006-9084-MND  
 Fish and Game : Exempt  
 Legal Description : Lot 14, Tract 8183

Pursuant to Los Angeles Municipal Code Section 12.28, I hereby **APPROVE**:

a Zoning Administrator's Adjustment from Sections 12.21-C,1(g) of the Municipal Code to permit retaining walls located, respectively, within the front yard to exceed the permitted height for fences and walls of 3-1/2 feet and within the side yard and rear yard to exceed the permitted height of 6 feet; and,

Pursuant to Los Angeles Municipal Code Section 12.24-X,11, I hereby **APPROVE**:

a Zoning Administrator's determination to permit the construction, use and maintenance of a new single-family dwelling with a maximum height of 31 feet 6 inches within 20 feet of the front lot line of the property in lieu of the maximum height of 24 feet otherwise permitted pursuant to Section 12.21-A,17(c)4 of the Municipal Code; and,

Pursuant to Los Angeles Municipal Code Section 12.24-X,26, I hereby **APPROVE**:

a Zoning Administrator's Determination to Permit three retaining walls, which observe a maximum height of 10 feet in lieu of the otherwise permitted maximum of two 10-foot walls or a single 12-foot wall pursuant to Section 12.21-C,3 of the Municipal Code;

upon the following additional terms and conditions:

- All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

CASE NO. ZA 2006-9083(ZAA)(ZAD) PAGE 6

materials/wastes must be taken to an appropriate landfill. Toxic wastes must be discarded at a licensed regulated disposal site.

- Leaks, drips and spills shall be cleaned up immediately to prevent contaminated soil on paved surfaces that can be washed away into the storm drains.
- Pavement shall not be hosed down at material spills. Dry cleanup methods shall be used whenever possible.
- Dumpsters shall be covered and maintained. Place uncovered dumpsters under a roof or cover with tarp or plastic sheeting.
- Where truck traffic is frequent, gravel approaches shall be used to reduce soil compaction and limit the tracking of sediment into streets.
- All vehicle/equipment maintenance, repair, and washing shall be conducted away from storm drains. All major repairs are to be conducted off-site. Drip pans or drop cloths shall be used to catch drips and spills.

f. Haul Routes

- Projects involving the import/export of 1,000 cubic yards or more of dirt shall obtain haul route approval by the Department of Building and Safety.
- The developer shall install appropriate traffic signs around the site to ensure pedestrian and vehicle safety.
- Fences shall be constructed around the site to minimize trespassing, vandalism, short-cut attractions and attractive nuisances.

g. Subsidence:

Prior to the issuance of building or grading permits, the applicant shall submit a geotechnical Report prepared by a registered civil engineer or certified engineering geologist to the written satisfaction of the Department of Building and Safety.

h. Hillside Mitigation Measures

- The applicant shall obtain a haul route approval from the Board of Building and Safety Commissioners for export/import in excess of 1,000 cubic yards.

CASE NO. ZA 2006-9083(ZAA)(ZAD) PAGE 2

development and use of the property, except as such regulations are herein specifically varied or required.

- The use and development of the property shall be in substantial conformance with the plot plan submitted with the application and marked Exhibit "A", except as may be revised as a result of this action.
- The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
- All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
- A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Zoning Administrator and the Department of Building and Safety for purposes of having a building permit issued.
- The project shall comply with all other hillside provisions of Section 12.21-A,17 of the Municipal Code, as applicable, to the satisfaction of the Department of Building and Safety.
- The single-family dwelling shall not exceed 4,162 square feet, including a three-car, attached 791 square-foot garage.
- No deviations from height have been requested or granted herein. The dwelling shall not exceed a height of 45 feet if the slope is greater than 66% pursuant to Section 12.21-A,17(c) of the Municipal Code and as further determined by the Department of Building and Safety. The dwelling shall not exceed a height of 36 feet if the slope is equal to or less than 66% as further determined by the Department of Building and Safety.
- No deviations from parking have been requested or granted herein. The dwelling shall provide a minimum of three parking spaces provided the floor area does not exceed 3,400 square feet pursuant to Section 12.21-A,17(h)(1) of the Municipal Code.
- Prior to any sign-off of plans by the Zoning Administrator**, the applicant shall submit the plot plan for review and approval to the Fire Department. Said Department's approval shall be included in the form of a stamp on the plans submitted to the Zoning Administrator.
- All railings along the dwelling's facade shall be wrought iron and open in appearance so as not to create a solid effect.

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- All haul route hours shall be limited to off-peak hours as determined by the Board of Building and Safety Commissioners.

- The applicant shall provide a staked signage at the site with a minimum of 3-inch lettering containing contact information for the Senior Street Use Inspector (Department of Public Works), the Senior Grading Inspector (LADBS) and the hauling or general contractor.
- The developer shall install appropriate traffic signs around the site to ensure pedestrian and vehicle safety.
- LADBS shall require the applicant and all employees to park their personal vehicles outside of the neighborhood and utilize a developer-sponsored vanpool system for transport to the site.
- LADBS shall stagger haul trucks based upon a specific area's capacity, as determined by the Department of Transportation, and the amount of soil proposed to be hauled to minimize cumulative traffic and congestion impacts.
- The City of Los Angeles Department of Transportation shall recommend to the Building and Safety Commission Office the appropriate size of trucks allowed for hauling, best route of travel, the appropriate number of flag people.
- Trucks having no current hauling activity shall not idle but be turned off.
- The applicant shall be limited to no more than two trucks at any given time within the site's staging area.
- No parking shall be permitted on street during Red Flag Days in compliance with the "Los Angeles Fire Department Red Flag HO Parking" program.
- In order to preserve adequate access for emergency vehicles, all construction material shall be stored on-site and not on the street during hauling operations.
- The applicant shall provide a soils and/or geotechnical report to LADBS (reports needed to be determined by LADBS) for review and approval that shall include measures to mitigate impacts related to grading.
- Fences shall be constructed around the site to minimize trespassing, vandalism, short-cut attractions and attractive nuisances.

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- The retaining wall within the front yard, southerly side yard and rear yard shall not exceed a height of 10 feet.
- Prior to any sign-off of plans by the Zoning Administrator**, a landscape plan shall be prepared and submitted for the retaining walls, designed to completely hide the walls from view in accordance with the provisions of Section 12.21-C,8(b) of the Municipal Code. The plan shall include elevations depicting the planting coverage objectives.
- Prior to the commencement of site excavation and construction activities, the applicant shall notify residents within a 100-foot radius of the project site and provide residents with a written construction schedule.
- The applicant and project construction manager shall identify a contact person and provide a telephone number for any inquiries or complaints from residents regarding construction activities. The phone number shall be provided to all residents within the 100-foot radius and posted on the site so that is readily visible to any interested party.
- The contractor shall establish an off-site staging area for large trucks and any other construction vehicles which cannot be accommodated on the project site in order to control the frequency of construction traffic to the site.
- The project shall comply with all mitigation measures identified in ENV No. 2006-9084-MND as noted below and attached to the file:
  - Aesthetics (Hillside Site Design):
    - Grading shall be kept to a minimum.
    - Natural features, such as prominent knolls or ridge lines shall be preserved.
    - Project shall comply with the City's Hillside Development Guidelines.
  - Aesthetics (Light):
    - Outdoor lighting shall be designed and installed with shielding, so that the light source cannot be seen from adjacent residential properties.
  - Tree Removal
    - Prior to the issuance of a grading permit, a plot plan prepared by a reputable tree expert indicating the location, size, type, and condition of all existing trees on the site shall be submitted for approval by the decision maker and the Urban Forestry Division of the Bureau of Street Services. All trees in the public right-of-way shall be provided per the current Urban Forestry Division standards.

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i. Public Services (Fire):

The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.

j. Public Services (Schools):

The applicant shall pay school fees to the Los Angeles Unified School District to offset the impact of additional student enrollment at schools serving the project area.

- Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Zoning Administrator for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Zoning Administrator for attachment to the subject case file.

OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES - TIME EXTENSION

All terms and conditions of the approval shall be fulfilled before the use may be established. The instant authorization is further conditional upon the privileges being utilized within two years after the effective date of approval and, if such privileges are not utilized or substantial physical construction work is not begun within said time and carried on diligently to completion, the authorization shall terminate and become void. A Zoning Administrator may extend the termination date for one additional period not to exceed one year, if a written request on appropriate forms, accompanied by the applicable fee is filed therefore with a public Office of the Department of City Planning setting forth the reasons for said request and a Zoning Administrator determines that good and reasonable cause exists theretofore.

TRANSFERABILITY

This authorization runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent upon you to advise them regarding the conditions of this grant.

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- The plan shall contain measures recommended by the tree expert for the preservation of as many trees as possible. Mitigation measures such as replacement by a minimum of 24-inch box trees in the parkway and on the site, on a 1:1 basis, shall be required for the unavoidable loss of desirable trees on the site, and to the satisfaction of the Urban Forestry Division of the Bureau of Street Maintenance and the decision maker.
- The genus or genera of the tree(s) shall provide a minimum crown of 30 to 50 feet. Please refer to City of Los Angeles Landscape Ordinance (Ord. No. 170,978), Guidelines K - Vehicular Use Areas.

Note: Removal of all trees in the public right-of-way shall require approval of the Board of Public Works.

d. Seismic:

The design and construction of the project shall conform to the Uniform Building Code seismic standards as approved by the Department of Building and Safety.

e. Erosion/Grading/Short-Term Construction Impacts:

- Air Quality:
  - All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
  - The owner or contractor shall keep the construction area sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust caused by wind.
  - All loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
  - All materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of dust.
  - All clearing, grading, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
  - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.

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The project shall comply with the City of Los Angeles Noise Ordinance Nos. 144,331 and 161,574, and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically infeasible.

- Construction and demolition shall be restricted to the hours of 7 a.m. to 6 p.m. Monday through Friday, and 8 a.m. to 6 p.m. on Saturday.
- Construction and demolition activities shall be scheduled so as to avoid operating several pieces of equipment simultaneously, which causes high noise levels.
- The project contractor shall use power construction equipment with state-of-the-art noise shielding and muffling devices.
- The project shall comply with the Noise Insulation Standards of Title 24 of the California Code Regulations, which insure an acceptable interior noise environment.

3) Grading:

- Excavation and grading activities shall be scheduled during dry weather periods. If grading occurs during the rainy season (October 15 through April 1), construct diversion dikes to channel runoff around the site. Line channels with grass or roughened pavement to reduce runoff velocity.
- Incorporate appropriate erosion control and drainage devices to the satisfaction of the Building and Safety Department. These measures include interceptor terraces, berms, vee-channels, and inlet and outlet structures, as specified by Section 91.7013 of the Building Code, including planting fast-growing annual and perennial grasses in areas where construction is not immediately planned.
- Stockpiles and excavated soil shall be covered with secured tarp or plastic sheeting.

4) General Construction:

- All waste shall be disposed of properly. Use appropriately labeled recycling bins to recycle construction materials including: solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and vegetation. Non recyclable

| REVISIONS | BY |
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LETTERS / DOCUMENTS

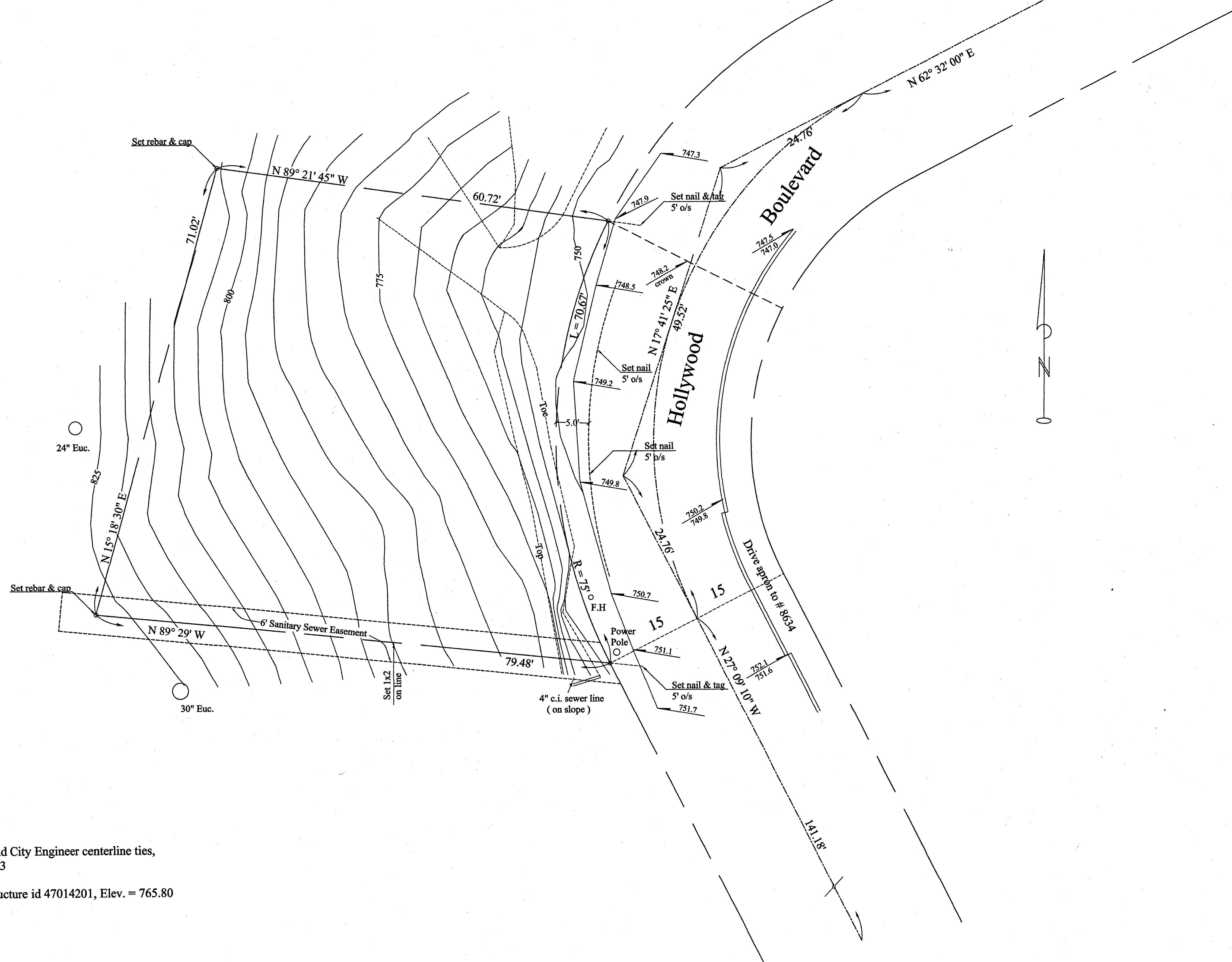
PLANS APPROVED  
 as required by  
 Case No. 2006-9083(ZAA)  
 Lourdes Green  
 ZONING ADMINISTRATOR  
 CITY OF LOS ANGELES  
 Date 5-14-08  
 3 OF 11

MR. VALENTINE STEWART  
 8633 W. HOLLYWOOD BLVD.  
 LOS ANGELES, CA 90069

|       |           |
|-------|-----------|
| Date  | AUG.25/07 |
| Scale |           |
| Drawn |           |
| Job   |           |
| Sheet | A         |
| Of    | Sheets    |



LABS  
 B LA 7-1-04  
 APPROVED 57.08



Boundaries established per found City Engineer centerline ties,  
 Field Book 15405 pages 32 & 33

Datum: Per Sewer manhole, structure id 47014201, Elev. = 765.80

Rich Almack, Land Surveyor  
 21911 Martinez Street  
 Woodland Hills, CA 91364  
 818-703-7141 FAX 703-7198

Survey for:

**Valentine Stewart**

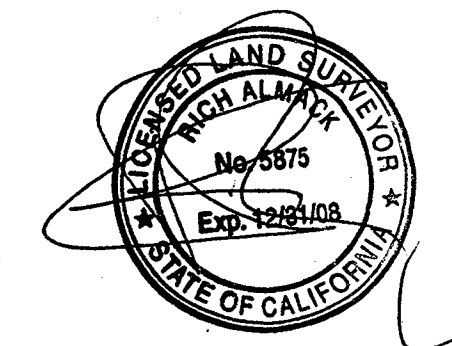
W.O. No. 04088

Scale 1" = 8'

July 19, 2004

Legal Description:

Lot 14  
 Tract No. 8183  
 Map Book 112 Pages 71 & 72  
 Los Angeles, California



Latest 11/07



# GENERAL NOTES :

## GENERAL

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. OBTAIN APPROVAL FROM REAL ESTATE BUSINESS UNIT OF DWP 213-387-0562.
2. OBTAIN PERMITS FROM PUBLIC WORKS FOR ANY PROTECTION FENCE OR CANOPY TO BE LOCATED ON ANY STREET OR PUBLIC AREA. ANY TEMPORARY SHORING OR EXCAVATION THAT REMOVE THE LATERAL SUPPORT FROM A PUBLIC WAY PRIOR TO CONSTRUCTION.
3. FOR SITES WITHIN THE POTENTIAL METHANE ZONE, OBTAIN APPROVAL FROM FIRE DEPARTMENT AND MECHANICAL DIVISION OF THE BUILDING DEPARTMENT FOR INSTALLING A MECHANICAL VENTING SYSTEM.
4. OBTAIN PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO PERMIT ISSUANCE FOR: TRENCHES OR EXCAVATION 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE, OR SCAFFOLDING OR FALSE WORK MORE THAN 3 STORIES OR 28' IN HEIGHT. HSC 17922.5.5
5. WHEN THE ENTRANCE TO THE DWELLING IS MORE THAN 150 FT. AS MEASURED FROM THE EDGE OF AN IMPROVED STREET OR APPROVED FIRE LANE ALONG THE NORMAL ENTRANCE ROADWAY OR APPROVED FIRE LANE ALONG THE NORMAL ENTRANCE ROADWAY OR WALKWAY TO THE FRONT DOOR, OBTAIN CLEARANCE FROM THE HYDRANTS AND ACCESS UNIT OF THE FIRE DEPARTMENT (L.A.M.C. 57.09.03)
6. ANY GRADING PROJECTS INVOLVING MORE THAN 100 CUBIC YARDS OF EXCAVATION AND INVOLVING AN EXCAVATION IN EXCESS OF 5 FEET IN VERTICAL DEPTH AT ITS DEEPEST POINT MEASURED FROM THE ORIGINAL GROUND SURFACE SHALL BE DONE BY A STATE OF CALIFORNIA LICENSED CONTRACTOR WHO IS LICENSED TO PERFORM THE WORK DESCRIBED HEREIN.

## GRADING AND FOUNDATION

1. OBTAIN APPROVAL FROM PUBLIC WORKS AND GRADING DIVISION OF BUILDING AND SAFETY FOR GRADING WORK EXCEEDS 200 CUBIC YARD DURING RAINY SEASON FROM NOV 1 TO APRIL 15 FOR EROSION CONTROL AT JOB SITE PRIOR TO CONSTRUCTION.
2. A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL GRADING AND FOUNDATION EARTHWORK IN HILLSIDE OR NON-HILLSIDE AREAS WHERE SITE EXCEEDS 60,000 SQUARE FOOT; CUT OR FILL SLOPE EXCEEDS 2:1; CUTS EXCEED 40 FEET IN HEIGHT AND WITHIN 20 FEET OF A PROPERTY LINE; FOUNDATION EXCAVATION EXTEND BELOW A 1:1 PLANE FROM PROPERTY LINE; OR PROJECTS INVOLVE UNUSUAL HAZARDS.
3. A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL SHORING WORK, INCLUDING THE SLOT IN THE HILLSIDE OR NON-HILLSIDE AREAS.
4. FLOOD HAZARD AREA - THE LOT IS LOCATED IN AN AREA SUBJECT TO FLOOD.
  - A. A CERTIFICATE OF COMPLIANCE MUST BE FILLED OUT AND SUBMITTED TO THE INSPECTOR CERTIFYING THAT FOUNDATION WAS BUILT AT THE REQUIRED ELEVATION. FLOOD ZONE (A, AR VI-30, AO (AF), A1-30 (FW)) REQUIRE CLEARANCE FROM THE DEPARTMENT OF PUBLIC WORKS, NFIP COORDINATOR, (213) 847-5210.
  - B. SURVEY BY A LICENSED SURVEYOR OR CE IS REQUIRED TO VERIFY ELEVATION OF LOWEST FINISHED FLOOR.
  - C. COMPLETED (ELEVATION/FLOOD PROOFING) CERTIFICATE (ATTACHED) SHALL BE GIVEN TO THE INSPECTOR. IF MISPLACED, THE CERTIFICATE CAN BE DOWNLOADED FROM THE INTERNET AT [HTTP://WWW.FEMA.GOV/LIBRARY/RELVINST.HTM](http://www.fema.gov/library/relvinst.htm)
5. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET. 7013.9
6. PIPE SYSTEMS MUST HAVE CLEAN OUT ACCESS AT: 1) EVERY HORIZONTAL BEND 2) EVERY 50' FOR ONE OR TWO FAMILY BUILDING SITES OR 100' FOR ALL OTHERS. PROVIDE CLEAN OUT LOCATIONS AND DETAIL ON PLANS.
7. MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 20% (GRADE DETAILS AND TRANSITION SLOPES REQUIRED WHERE SLOPE EXCEEDS 12 1/2%. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%. 12215(a).g)
8. IF SOIL IS FOUND TO BE EXPANSIVE, THE FOOTINGS MUST MEET THE FOLLOWING MINIMUM REQUIREMENTS: 1804.4
  - A. DEPTH OF FOOTINGS BELOW THE NATURAL AND FINISH GRADES SHALL NOT BE LESS THAN 24 INCHES FOR EXTERIOR AND 18 INCHES FOR INTERIOR FOOTINGS.
  - B. EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE SUPPORTED ON CONTINUOUS FOOTINGS.
  - C. FOOTINGS SHALL BE REINFORCED WITH MINIMUM FOUR #4 INCH DIAMETER DEFORMED REINFORCING BARS. TWO BARS SHALL BE PLACED 4 INCHES OF THE BOTTOM OF THE FOOTING AND TWO BARS WITHIN 4 INCHES OF THE FOOTINGS.
  - D. THE SOIL BELOW AN INTERIOR CONCRETE SLAB SHALL BE SATURATED WITH MOISTURE TO A DEPTH OF 18 INCHES PRIOR TO PLACING THE CONCRETE.
  - E. CONCRETE FLOOR SLABS ON GRADE SHALL BE PLACED ON A 4" FILL OF COARSE AGGREGATE MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST ON A THREE AND HALF INCH THICK AND SHALL BE REINFORCED WITH #4 REBARS AT 18 INCH OFF CENTER BOTH DIRECTIONS.
9. CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED WITH FC GREATER THAN 2500PSI.
10. CONCRETE SLABS ON GRADE ON EXPANSIVE SOIL, COMPACTED FILL OR SLOPES OVER A:10 SHALL BE PLACED ON A 4-INCH FILL OF COARSE AGGREGATE OR ON A 2" SAND BED COVERED MOISTURE BARRIER COVERED MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST 3-1/2 INCHES THICK AND SHALL BE REINFORCED WITH #4 BARS SPACED AT INTERVALS NOT EXCEEDING 16 INCHES EACH WAY. 1804.4
11. ALL FOUNDATION SILLS SHALL BE PRESSURE TREATED, OR FOUNDATION GRADE REDWOOD 91.306.4
12. PROVIDE APPROVED DAMP-PROOFING FOR ALL WALLS BELOW GRADE THAT ENCLOSE HABITABLE OR NON-HABITABLE SPACE. 91.1402.4
13. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1/150 OF UNDER FLOOR AREA AND NOT THAN MINIMUM 18" X 24" UNDER FLOOR ACCESS OPENING. 91.2306.3
14. A CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" EARTH OR 2" ABOVE PAVED AREA. 91.2506.5
15. ALL HOLD-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.\* 2315.5.6

## SPECIAL HAZARDS

1. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A MOUNTAIN FIRE DISTRICT OR FIRE BUFFER ZONE.
2. FOR STRUCTURES IN A HIGH WIND AREA, PROVIDE THE FOLLOWING:
  - A. 30# FELT UNDERLAYMENT ATTACHED TO THE ROOF DECK WITH 1" HEADED NAILS, OR NAILS OR NAILS DRIVEN THRU TIN CAPS.
  - B. DESIGN GLASS THICKNESS PER T-24

## C. ANCHOR POSTS WITH 2 1/2" BOLTS

- D. DESIGN ROOF OVERHANG FOR 15 PSF UPLIFT OR AS REQUIRED ON T 16-H WHICHEVER IS RESTRICTIVE.
3. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, RAZOR RIBBON, FENCE, CABLE, OR OTHER OBSTRUCTIONS SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE. LAMC 57.12.02
4. PRE-FAB FIREPLACES REQUIRE MANUFACTURER, MODEL, AND UNDERWRITER LABORATORIES CERTIFICATION (OR ICBO). TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING 10'. 91.3102.3.6
5. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBEQUE WHICH USES FUEL BURNING MATERIAL.\* (L.A.M.C. 57.20.25)
6. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.\* (PER ORDINANCE 171.874-FOR WORK OVER \$10,000.00)
7. THE INDOOR STORAGE OF COMBUSTIBLE MATERIALS SHALL BE REGULATED IN RELATION TO ARRANGEMENT, LOCATION, SIZE OF AREAS, HEIGHT, SEPARATIONS, AND HOUSEKEEPING. LAMC 57.57.03
8. PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL METERS, REGULATORS, AND PIPING FOR HAZARDOUS MATERIAL THAT ARE EXPOSED TO VEHICULAR DAMAGE. LAMC 57.20.07
9. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2405.4 AT THESE LOCATIONS:
  - A. INGRESS AND EGRESS DOORS, PANELS IN SLIDING OR SWINGING DOORS, DOORS AND ENCLOSURES FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE) 91.1115B.9.8; IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE; IN WALL ENCLOSING STAIRWAY LANDING
10. PROVIDE PLANTER BOX DETAIL. SHOW A 2" AIR SPACE FROM WALL TO PLANTER. 91.2306.8

## FIRE PROTECTION:

1. DRAFT STOPPING SHALL BE PROVIDED:
  - A. WITHIN A CONCEALED FLOOR - CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION (1000 SQ FT & 80' MAX. BETWEEN DRAFT STOPS) 91.708.3.1.1.1 CI - 91.708.3.1.1
  - B. ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION. 91.708.3.1.2 (3000 SQ FT & 80' MAX)
  - C. ABOVE AND IN LINE WITH WALLS SEPARATING TENANT SPACES FROM EACH OTHER AND FROM OTHER USES. 91.709.3
2. UNPROTECTED OPENINGS ARE PROHIBITED IN ENVELOPE PROTECTION TYPE (RATED) CEILINGS. ALL DUCT OPENINGS REQUIRE FIRE DAMPERS AND ARE LIMITED IN AREA TO 100 SQUARE INCH IN ANY 100 SQUARE FOOT OF CEILING. ACCESS OPENINGS REQUIRE ONE HOUR FIRE RATED ASSEMBLIES WITH CLOSING DEVICES APPROVED BY THE DEPARTMENT. 91.710.2
3. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 91.310.9.1.3.4
  - A. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED IN A) ABOVE.
  - B. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED IN A) ABOVE.
  - C. PROVIDE SMOKE DETECTORS AT THE TOP OF COMMON STAIRWELLS SERVING TWO OR MORE TENANTS. (HEARTH AND SAFETY CODE 13113.7)
4. SPRINKLER SYSTEM IS REQUIRED FOR A FOUR-STORY, TYPE V BUILDING. 91.508. (IF REQUIRED, TO BE APPROVED BY PLUMBING DIVISION OF THE BUILDING DEPARTMENT PRIOR TO INSTALLATION)
5. FIRE EXTINGUISHERS: LOCATION TO BE APPROVED BY FIRE/BUILDING INSPECTOR.
  - A. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A 10BC WITHIN 75 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION. LAMC 57.140.10

## INTERIOR:

1. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE - 91.807.1.3, 91.2406.4(5), 91.1115B.9.8, 7, 8
2. DIMENSION ON PLANS THE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENT AND 24 IN. CLEARANCE IN FRONT OF WATER CLOSET FOR BATHROOM. 91.2904
3. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ONLY LOW CONSUMPTION WATER CLOSETS SHALL BE PROVIDED.
4. WATER HEATER MUST BE STRAPPED TO WALL. SEC. 507.3, UPC
5. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN.-24" CLEAR HT. 20" CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA & 44" MAX TO SILL. 91.310.4
6. REQUIRED CEILING HEIGHT IS 7'-6" MIN., 7'-0" MIN. IN KITCHEN, HALLS AND BATHROOMS. 91.310.6.1
7. A WET BAR IS PERMITTED PROVIDED IT HAS NO MORE THAN 10 SQ. FT. OF COUNTER SURFACE AREA AND NO HOT WATER, GARBAGE DISPOSAL, 220 V. ELECTRICAL OR GAS OUTLET. ZA 90-0080(ZA)
8. OUTLETS ALONG WALL, COUNTER SPACE, ISLAND AND PENINSULAR COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 49". 210-92 LACEC
9. EXIT DOORWAYS SHALL BE NOT LESS THAN 36" IN WIDTH AND 6'-8" IN HEIGHT. PROJECTIONS, INCLUDING PANIC HARDWARE, SHALL NOT REDUCE THE OPENING TO LESS THAN A CLEAR WIDTH OR THA32". 91.1004.16 THE DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LANDING SHALL BE NOT MORE THAN 6" BELOW THE THRESHOLD. 91.1003.3.1.8
10. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT 91.6304.1
11. ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS REQUIRES ONE-HOUR FIRE-RESISTIVE CONSTRUCTION ON ENCLOSED SIDE. 91.1003.3.3.9 (SUCH AS 5# TYPE X, GYP. BRD.)
12. SHOW THE FOLLOWING STAIRWAY DETAILS:
  - A. 8" RISE & MIN. 9" RUN. 91.1003.3.3.3
  - B. MIN. 6 FT 8 IN. VERTICAL HEADROOM AT TREAD NOSING. 91.1003.3.3.4
  - C. MIN. 36" CLEAR WIDTH. 91.1003.3.3.2
  - D. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING. 91.1003.3.3.6
  - E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4" NOR MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. 91.1003.3.3.8
  - F. HANDRAIL EXTENSIONS OF MIN. 12" BEYOND TOP AND BOTTOM RISERS WHEN SERVING MORE THAN ONE UNIT. 91.1003.3.3.8
  - G. LESS THAN 4" CLEAR SPACING BETWEEN INTERMEDIATE RAILS. 91.509.3
13. GLASS SKYLIGHT SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHT SHALL COMPLY WITH 91.2603.7.1

13. GLASS SKYLIGHT SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHT SHALL COMPLY WITH 91.2603.7.1
14. PROVIDE WINDOW WELLS (WITH FIXED LADDER) AT EMERGENCY EGRESS WINDOWS BELOW GRADE. 91.310.4
15. PROVIDE ACCESS TO THE BOTTOM OF COURT FOR CLEANING PURPOSES. 91.1203.4.3
16. COURT MORE THAN TWO STORIES IN HEIGHT SHALL BE PROVIDED WITH A HORIZONTAL AIR INTAKE WITH A MINIMUM AREA OF 10 SQUARE FT. 91.123.4.3
17. ATTIC (WITH OVER 30" HEADROOM) MUST HAVE ACCESS OPENING (22"X30" MIN). 91.1505.1
18. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SQ.FT. OF ATTIC AREA) IS REQUIRED. 91.1505.3
19. EAVES OVER REQUIRED WINDOWS SHALL BE NOT LESS THAN 30" FROM THE SIDE OR REAR PROPERTY LINES. 91.1204
20. GARAGE SHALL NOT OPEN DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES. 91.312.4
21. THE GARAGE/CARPORIT FLOOR SURFACE SHALL BE OF NONCOMBUSTIBLE OR ASPHALTIC PAVING MATERIALS. THE MINIMUM THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THAN 3-1/2 INCHES. 91.312.5
22. EXTERIOR WALLS OF A DETACHED CARPORT OR GARAGE (U-1 OCCUPANCY) LESS THAN 3' FROM A PROPERTY LINE MUST BE ONE-HOUR CONSTRUCTION WITHOUT OPENINGS.

## SECURITY REQUIREMENTS:

- ### GENERAL:
1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 91.6708
  2. SCREENS, BARRICADES, OR FENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. 91.6707

### DOORS:

3. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION. 91.6709.1 - DOORSTOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB. 91.6709.4
4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. 91.6708
5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 91.6709.5, 91.6709.7
6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES. 91.6709.2).
7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG. DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". 91.6709.2
8. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL NOT BE SEPARATED BY MORE THAN 8 INCHES.
9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1/4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN. IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8 INCHES AND 3 INCHES IN WIDTH. 91.6709.1 ITEM 2
10. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 91.6710
11. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6717.1
12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. 91.6711
13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. 91.6712

### GLAZING:

14. IN B,F,M AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN. SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS, OR GRILLES. 91.6714
15. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLES HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. 91.6713

### WINDOWS:

16. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN ENTRY. 91.6715.3
17. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B,F,M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CROSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS. 91.6715.2
18. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 91.6715.1

19. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6717.2
20. ANY RELEASE FOR METAL BARS, GRILLES, CRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLES, CRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. 91.6715.4

### OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS:

21. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. 91.6716

### GRADING INSPECTION REPORT NOTES:

1. ALL FOOTINGS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL PER CODE.
2. COMPLY WITH THE PROVISIONS OF SECTION 91.1804 FOR EXPANSIVE SOIL CONDITIONS.
3. IN THE EVENT EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.
4. BUILDING SHALL BE LOCATED CLEAR OF THE TOE OF ALL SLOPES WHICH EXCEEDS A GRADIENT OF 3 HORIZONTAL OR 1 VERTICAL AS PER SECTION 91.1606.5.2
5. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM. DRAINAGE TO BE SHOWN ON THE PLANS.

### BUILDING PERMIT CORRECTION NOTES:

1. A SEPARATE PERMIT IS REQUIRED FOR (GRADING) (DEMOLITION) (RETAINING WALLS) (SWIMMING POOL) (BLOCK WALL). 91.106.1
2. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ.IN. FOR EACH 10 SQ.FT. OF ATTICE AREA) IS REQUIRED.
3. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2406.4
  - A. INGRESS AND EGRESS DOORS
  - B. PANELS IN SLIDING OR SWINGING DOORS
  - C. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALLS ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
  - D. IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE.
  - E. IN WALL ENCLOSING STAIRWAY LANDING.
4. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 91.310.9.1.3.4
  - A. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.
  - B. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED IN A) ABOVE.
5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FULE GAS PIPING.\* (PER ORDINANCE 171.874-FOR WORK OVER \$10,000)
6. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NOW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADPTED FOR LOW WATER CONSUMPTION.
7. NOTE: A WET WEATHER EROSION CONTROL PLAN (WWECP), UTILIZING SEDIMENT AND EROSION CONTROL BMPs, FOR PROJECTS THAT WILL LEAVE DISTURB SOIL DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15) IS REQUIRED. THE WWECP MUST BE PREPARED, FOR PROJECTS THAT HAVE ALREADY BROKEN GROUND, NOT LESS THAN 30 DAYS PRIOR TO THE BEGINNING OF EACH RAINY SEASON DURING WHICH SOIL WILL BE DISTURBED, AND IMPLEMENTED THROUGHOUT THE ENTIRE RAINY SEASON. A COPY OF THE WWECP SHALL BE KEPT ON THE PROJECT SITE AT ALL TIMES BEGINNING 30 DAYS PRIOR TO THE START OF THE RAINY SEASON THROUGH THE END OF THE RAINY SEASON. FOR PROJECTS THAT WILL BEGIN CONSTRUCTION DURING THE RAINY SEASON, THE WWECP MUST BE AVAILABLE 30 DAYS BEFORE CONSTRUCTION COMMENCES. THE WWECP MUST BE SUBMITTED TO THE BUREAU OF ENGINEERING, PUBLIC WORKS FOR REVIEW AND APPROVAL. THE WWECP IS NOT A REQUIREMENT FOR THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
8. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 5 INCHES (127mm)

## SHEET INDEX

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| A3       | FIRST FLOOR PLAN         |
| A4       | SECOND FLOOR PLAN        |
| A5       | THIRD FLOOR PLAN         |
| A6       | FOURTH FLOOR PLAN        |
| A7       | ROOF PLAN                |
| A8       | SEC. "A" & "B"           |
| A9       | SEC. "C" & "D"           |
| A9.1     | SEC. "E", "F", "G" & "H" |
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REVISIONS BY

GENERAL NOTES

MR. VALENTINE STEWART  
8633 W. HOLLYWOOD BLVD.  
LOS ANGELES, CA.

Date MAR. 20 / 07

Scale

Drawn

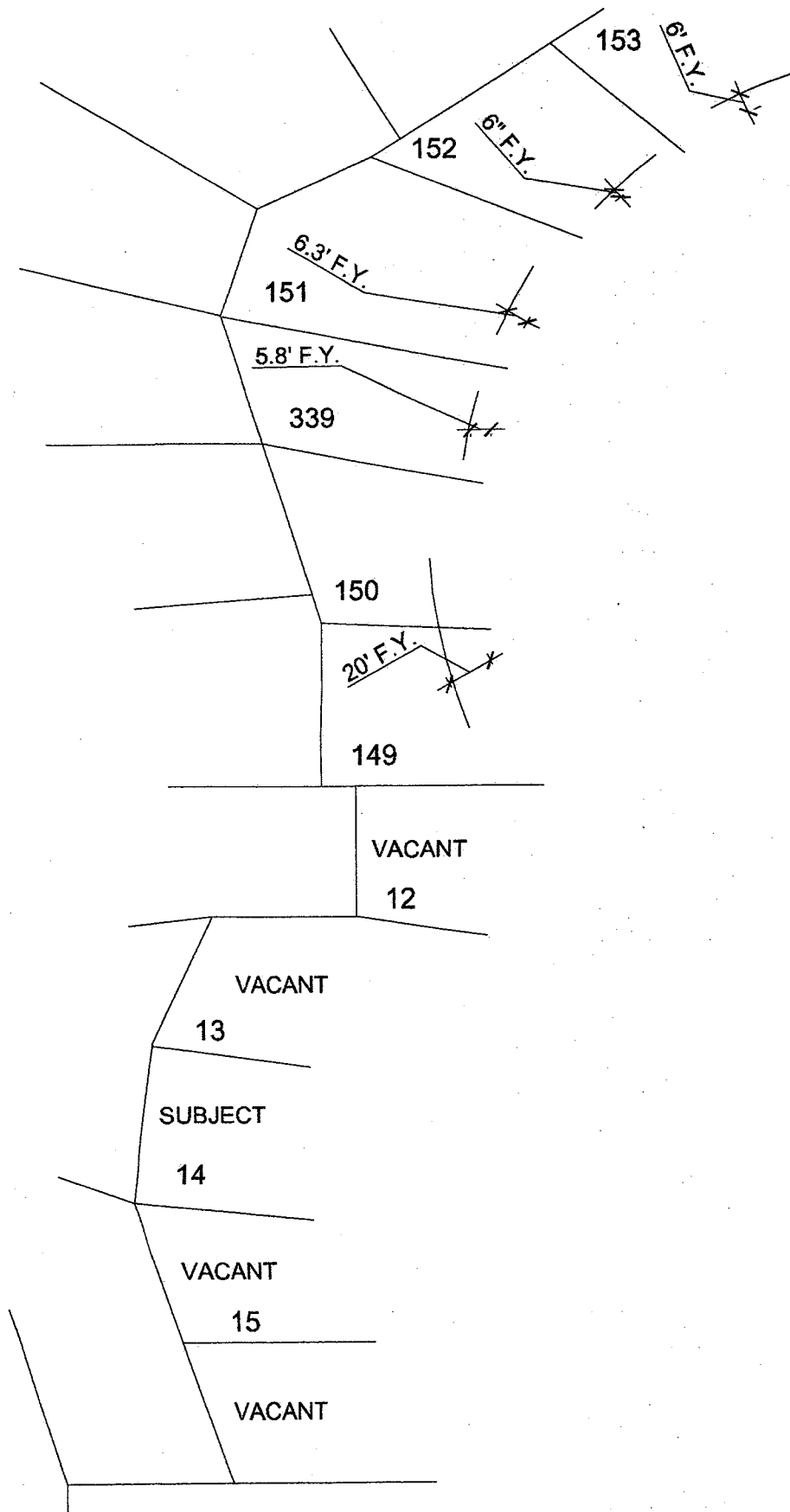
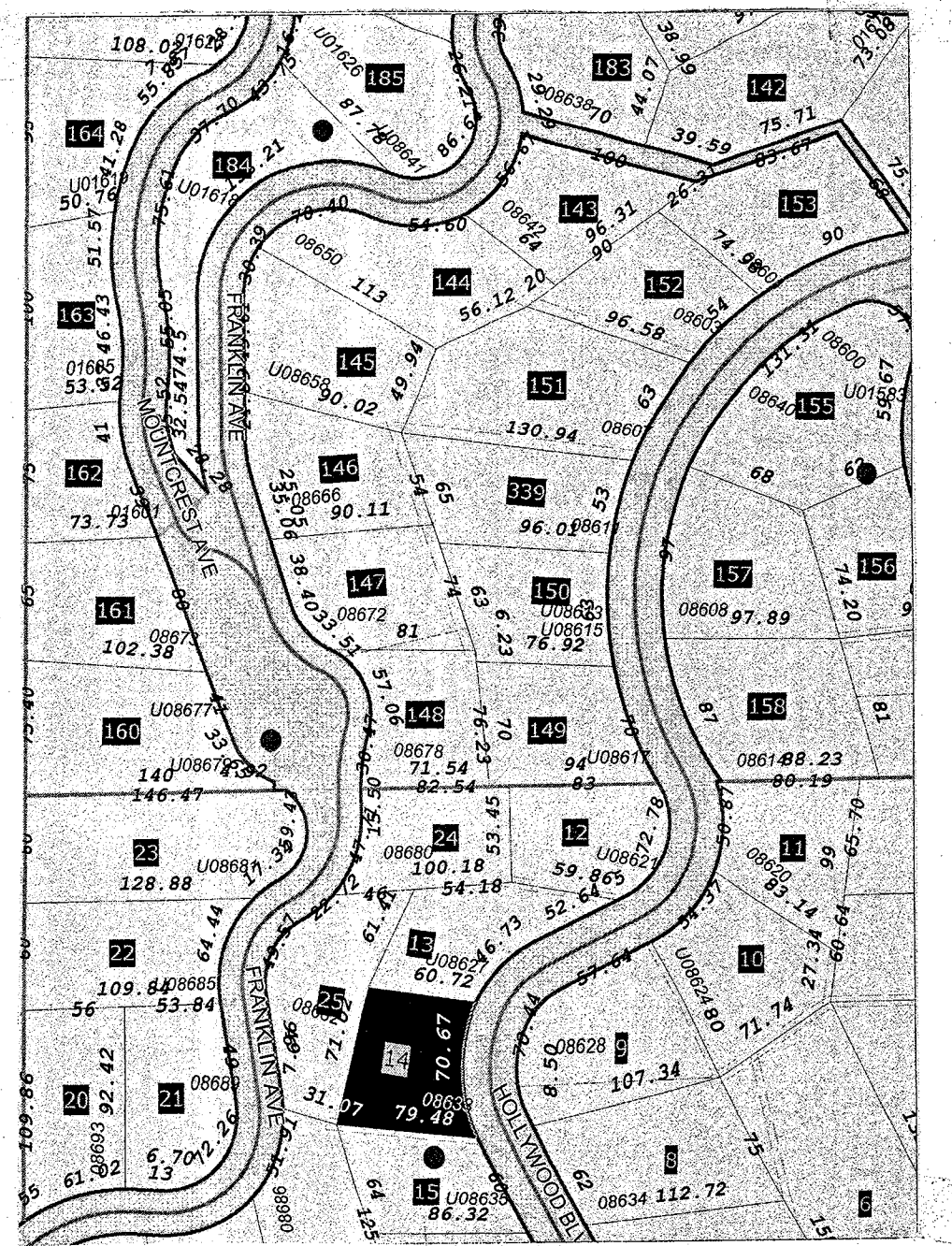
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Of Sheets



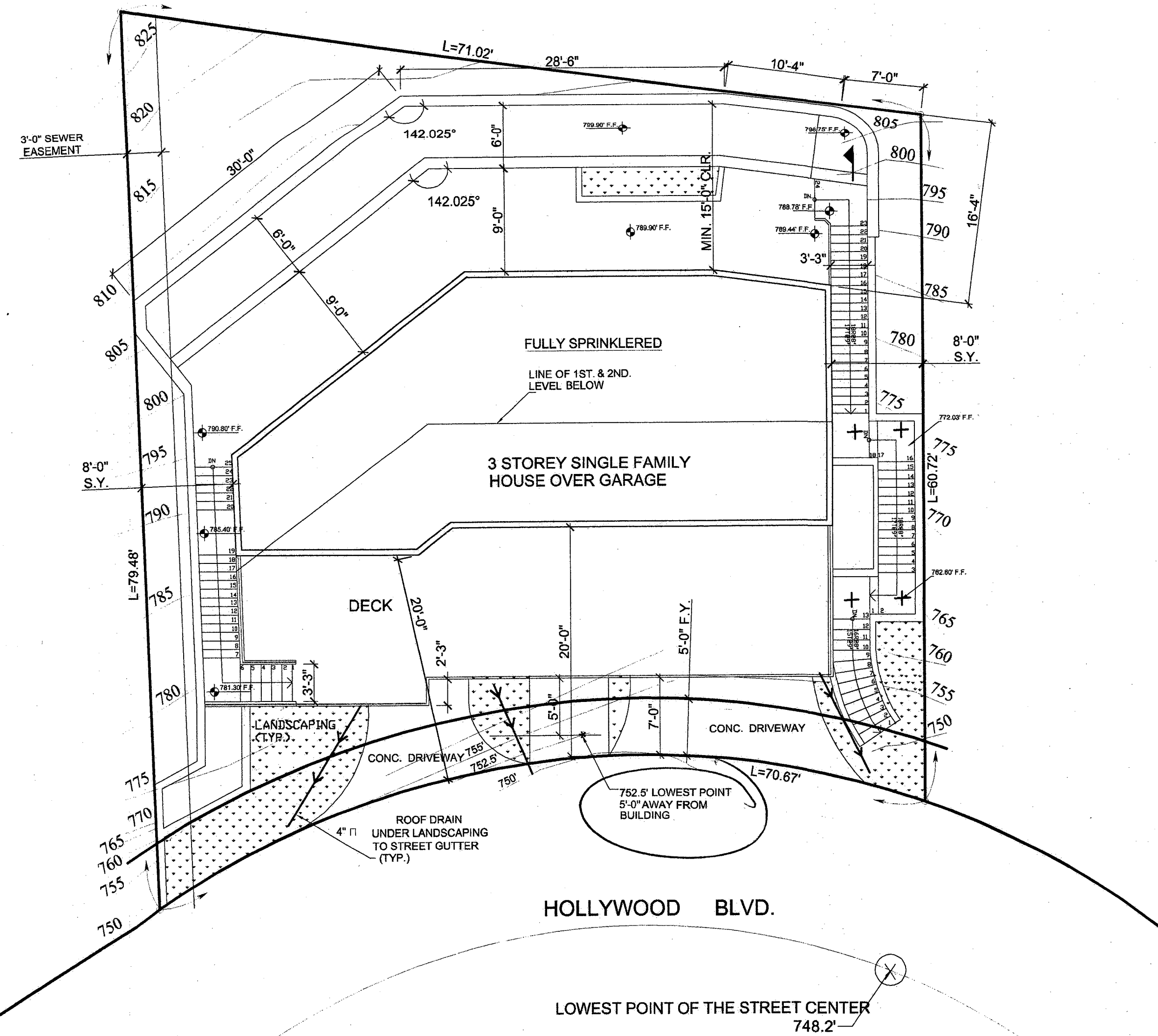


TOTAL FRONTAGE OF THE LOTS 149 - 153 and 339  
 $90+54+63+53+63+70+72.78+(46.73+52.6)+70.67+60+64.36+95.15 = 932.51$  L.F.T.  
 FRONTAGE OF LOTS WITH FRONT YARDS VARYING NO MORE THAN 10"  
 FROM EACH OTHER: LOTS 153+152+151+339 =  $90+54+63+53 = 260$   
 $260 / 932.51 = 0.28 < 1/4$  OF TOTAL FRONTAGE  
 ACCORDING TO ABOVE CALCULATION THE PROJECT FRONT YARD  
 WILL BE 5' PER HILLSIDE ORDINANCE.

**PROJECT DATA**  
 ADDRESS: 8633 W. HOLLYWOOD BLVD.  
 LEGAL DESCRIPTION:  
 LOT 14, TRACT 8183  
 BLOCK: NONE  
 MB 112 - 71/72  
 THOMAS-BROS PAG. 5922, GRID J5  
 ZONING: R-1  
 TYPE OF CONSTRUCTION: SINGLE FAMILY HOME

**SQUARE FOOTAGE**  
 FIRST FLOOR (GARAGE): 791.2 SQ. FT.  
 FIRST FLOOR (LIVING AREA): 243.0 SQ. FT. } 1034.2 SQ. FT.  
 SECOND FLOOR: 1034.3 SQ. FT.  
 THIRD FLOOR: 1046.9 SQ. FT.  
 FORTH FLOOR: 1046.9 SQ. FT.  
 TOTAL LIVING AREA: 3,371.1 SQ. FT.  
 TOTAL BUILDING AREA: 4,162.3 SQ. FT.  
 No. OF BEDROOMS: 3  
 No. OF PARKING SPACES: 3

LA 7-108  
 APPROVED  
 NORTH



**PLOT PLAN**  
 SC. 1/8" = 1'-0"

PLANS APPROVED  
 as required by  
 Case No. 2A-1006-0083 (2AA)  
 Lourdes Green (2A0)  
 ZONING ADMINISTRATOR  
 CITY OF LOS ANGELES  
 Date: 5-14-08  
 4 OF 11

HYDRANTS AND ACCESS  
 LOS ANGELES FIRE DEPARTMENT  
 APPROVED  
 HILLARIE PEAKS  
 FIRE CHIEF

ACCESS AND HYDRANTS  
 LOS ANGELES FIRE DEPARTMENT  
 Approved: W. T. Barnette  
 Fire Chief  
 Date: 5/8/08  
 Hydrants & access only

BY: *[Signature]* 11-18-10

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PLOT PLAN

MR. VALENTINE STEWART  
 8633 W. HOLLYWOOD BLVD.  
 LOS ANGELES, 90069 CA

|       |           |
|-------|-----------|
| Date  | AUG.25/07 |
| Scale |           |
| Drawn |           |
| Job   |           |
| Sheet | A2        |
| Of    | Sheets    |







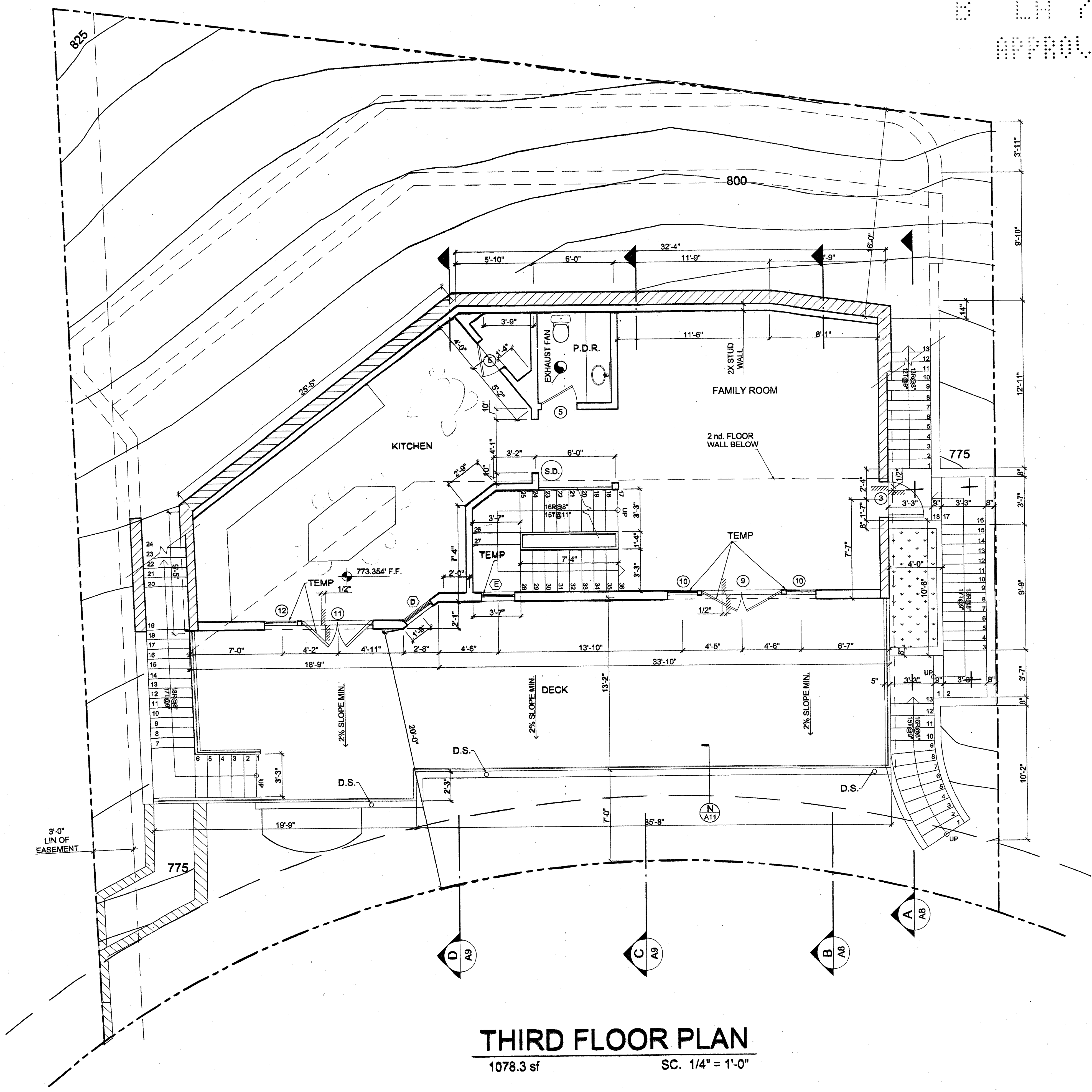


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LA 005  
 B LA 7-108  
 APPROVED



S.D. = HARD WIRE SMOKE DETECTOR  
 W/BATTERY BACKUP & LOW BATTERY SIGNAL,  
 SD SHALL SOUND AND ALARM IN ALL SLEEPING  
 AREAS



PLANS APPROVED  
 as required by  
 Case No. **2A 2006-9083 2AP**  
 Lourdes Green  
 ZONING ADMINISTRATOR  
 CITY OF LOS ANGELES  
 Date **5-19-08**

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**THIRD FLOOR PLAN**  
 1078.3 sf SC. 1/4" = 1'-0"

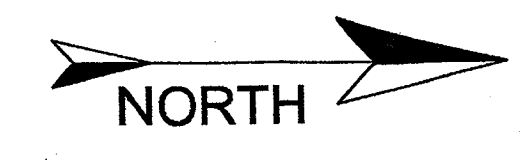
THIRD FLOOR PLAN

MR. VALENTINE STEWART  
 8633 W. HOLLYWOOD BLVD.  
 LOS ANGELES, CA

|       |              |
|-------|--------------|
| Date  | MAR. 20 / 07 |
| Scale |              |
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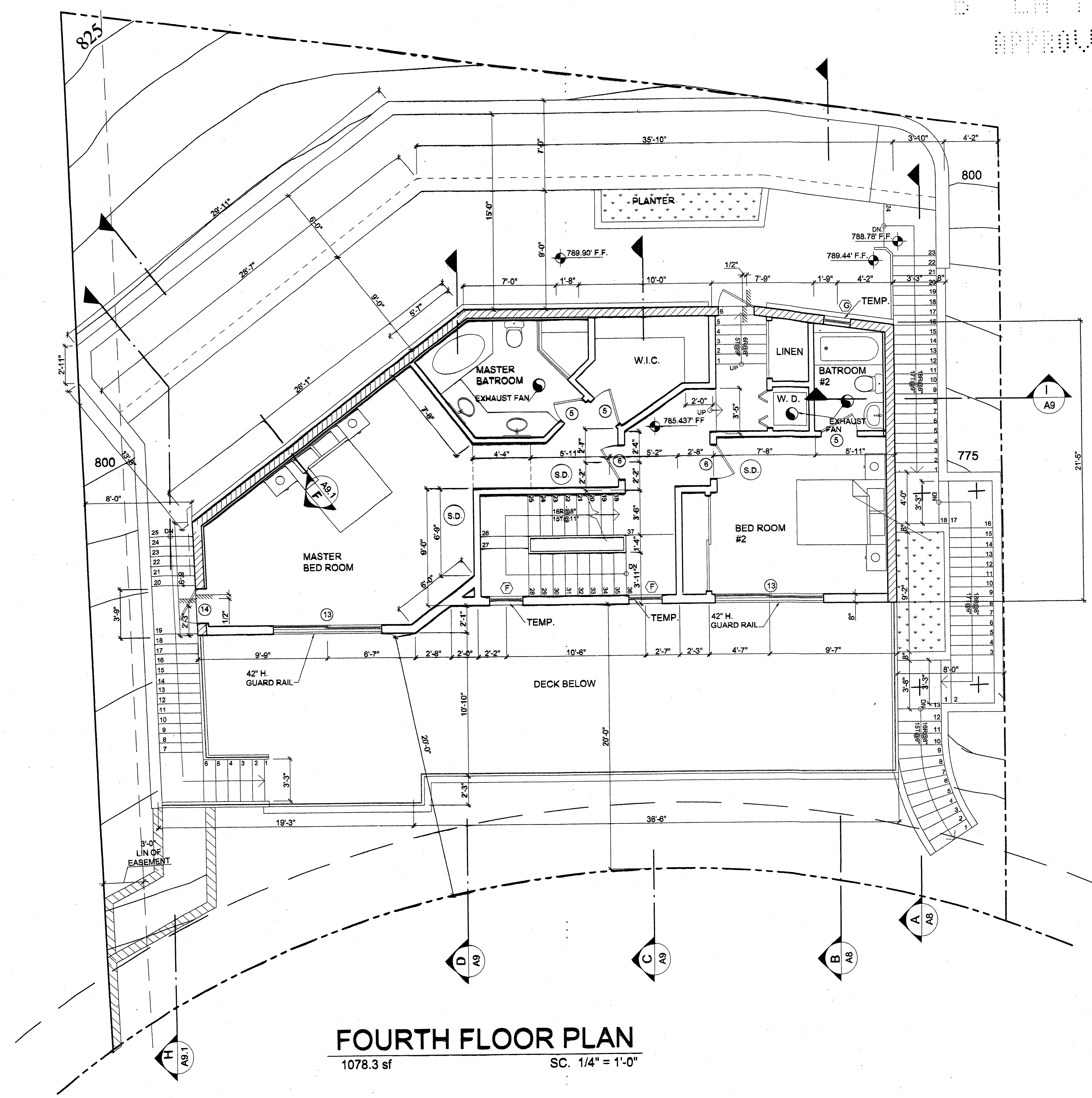


LAB 80  
 B LA 7-1 08  
 APPROVED



S.D. = HARD WIRE SMOKE DETECTOR  
 W/BATTERY BACKUP & LOW BATTERY SIGNAL  
 SD SHALL SOUND AND ALARM IN ALL SLEEPING  
 AREAS

8" CONC. BLOCK WALL:



PLANS APPROVED  
 as required by  
 Case No. 22-2006-9083 2AA  
 Lourdes Green 2A0  
 ZONING ADMINISTRATOR  
 CITY OF LOS ANGELES  
 Date 5-14-08  
 8 OF 11

**FOURTH FLOOR PLAN**  
 1078.3 sf SC. 1/4" = 1'-0"

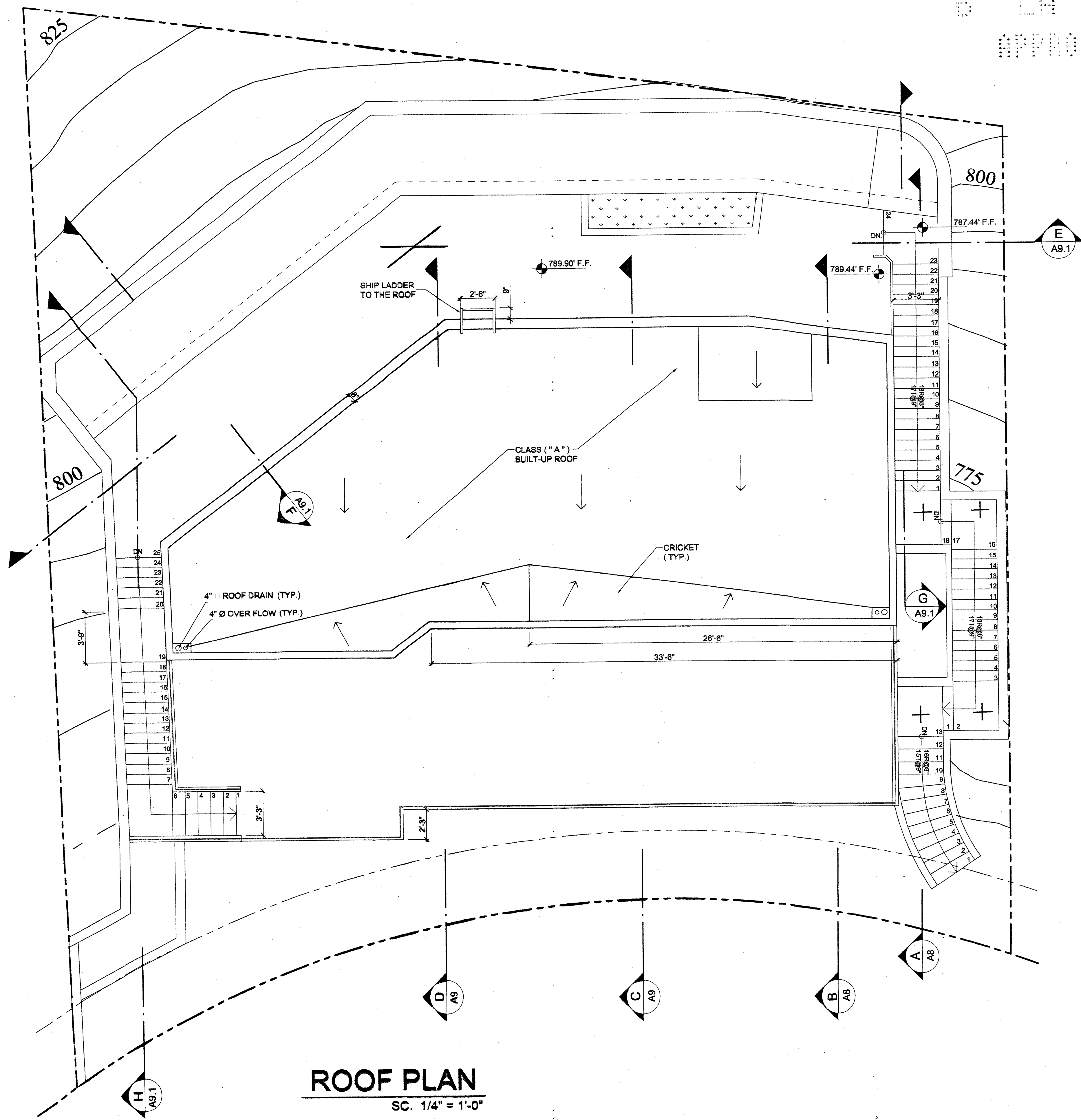
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FOURTH FLOOR PLAN

MR. VALENTINE STEWART  
 8633 W. HOLLYWOOD BLVD.  
 LOS ANGELES, CA.

|       |              |
|-------|--------------|
| Date  | AUG. 25 / 07 |
| Scale |              |
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LA 7-108  
APPROVED



**ROOF PLAN**  
SC. 1/4" = 1'-0"

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ROOF PLAN

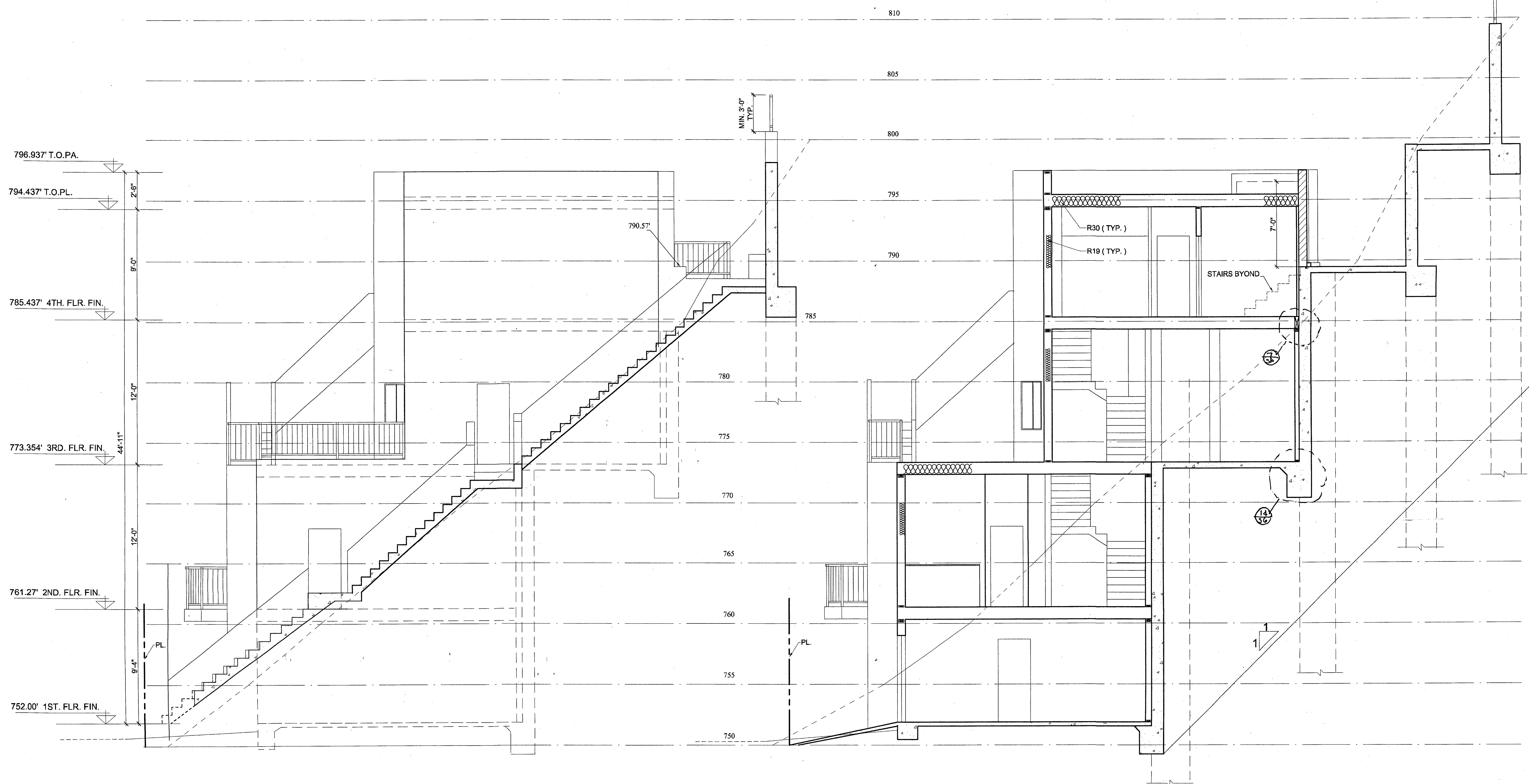
MR. VALENTINE STEWART  
8633 W. HOLLYWOOD BLVD.  
LOS ANGELES, CA.

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1003  
 B LA 7-108  
 APPROVED

CONC. WALL : PER PLAN  
 8" CONC. BLOCK WALL:



**SEC. " A "** ( NORTH ELEVATION )  
 SC. 1/4" = 1'-0"

**SEC. " B "**  
 SC. 1/4" = 1'-0"

LAND APPROVED  
 as required by  
 Case No. 2A 2006-9083 2AA  
 Lourdes Green 2A0  
 ZONING ADMINISTRATOR  
 CITY OF LOS ANGELES  
 Date 5-14-08  
 9 OF 11

| REVISIONS | B |
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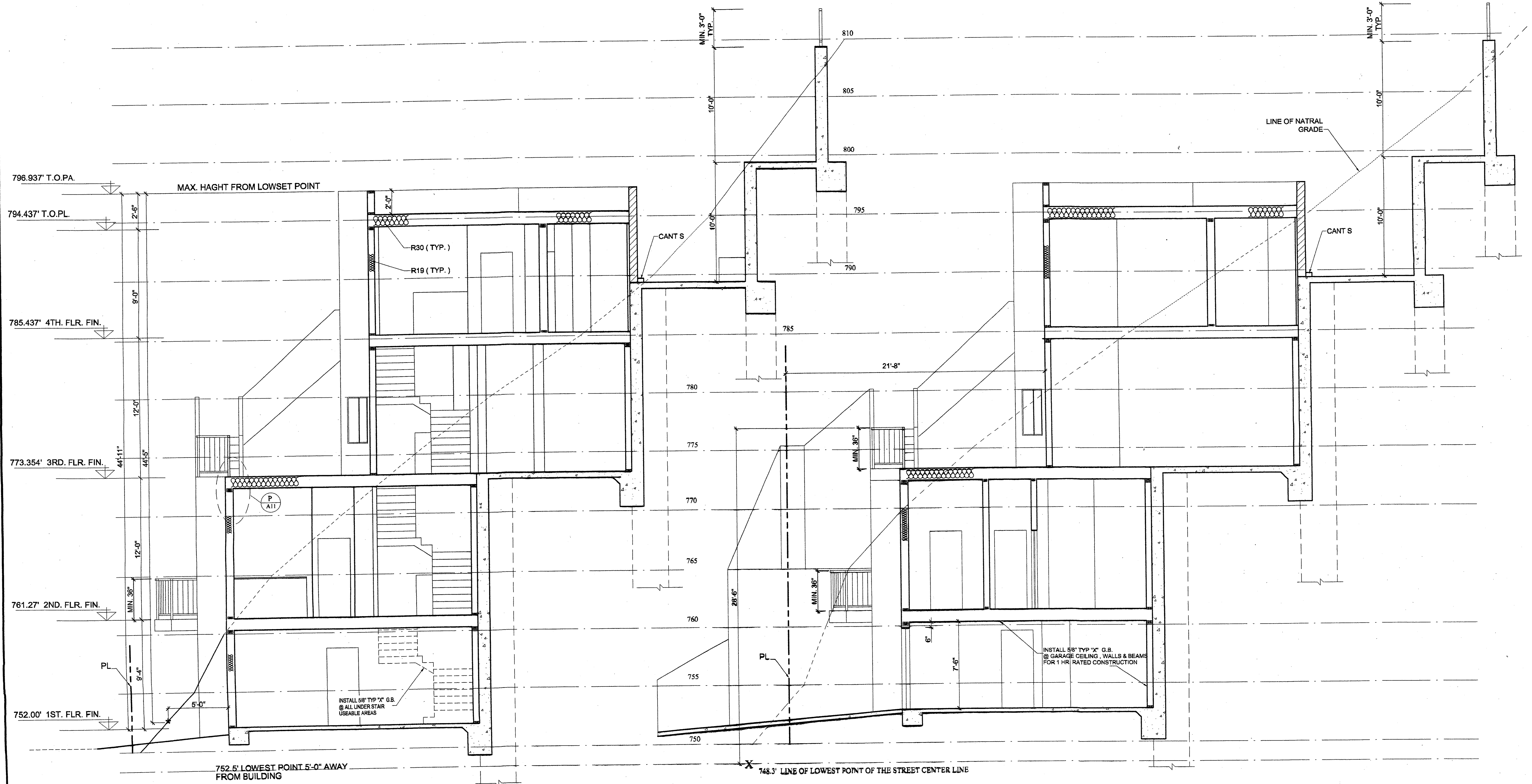
SEC. " A " & " B "

MR. VALENTINE STEWART  
 8633 W. HOLLYWOOD BLVD.  
 LOS ANGELES, CA.

Date AUG. 25 / 07  
 Scale  
 Drawn  
 Job  
 Sheet **A8**  
 Of Sheets

LABB  
 B LA 7-108  
 APPROVED

CONC. WALL: PER PLAN  
 8" CONC. BLOCK WALL:



**SEC. " C "**  
 SC. 1/4" = 1'-0"

**SEC. " D "**  
 SC. 1/4" = 1'-0"

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SEC. " C " & " D "

MR. VALENTINE STEWART  
 8633 W. HOLLYWOOD BLVD.  
 LOS ANGELES, CA.

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| Date  | AUG. 25 / 07 |
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LA 05  
 B LA 7-100  
 APPROVED

Outdoor lighting shall be designed and installed with shielding, so that the light source cannot be seen from adjacent residential properties.

795.437' ROOF FIN.  
 785.437' 4TH. FLR. FIN.  
 773.354' 3RD. FLR. FIN.  
 761.27' 2ND. FLR. FIN.  
 752.00' 1ST. FLR. FIN.



WEST ELEVATION  
 SC. 1/4" = 1'-0"

PLANS APPROVED  
 as required by  
 Case No. 20206-9083 2AA  
 Lourdes Green 2A0  
 ZONING ADMINISTRATOR  
 CITY OF LOS ANGELES  
 Date 5-14-08

10 of 11

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WEST ELEVATION

MR. VALENTINE STEWART  
 8633 W. HOLLYWOOD BLVD.  
 LOS ANGELES, CA.

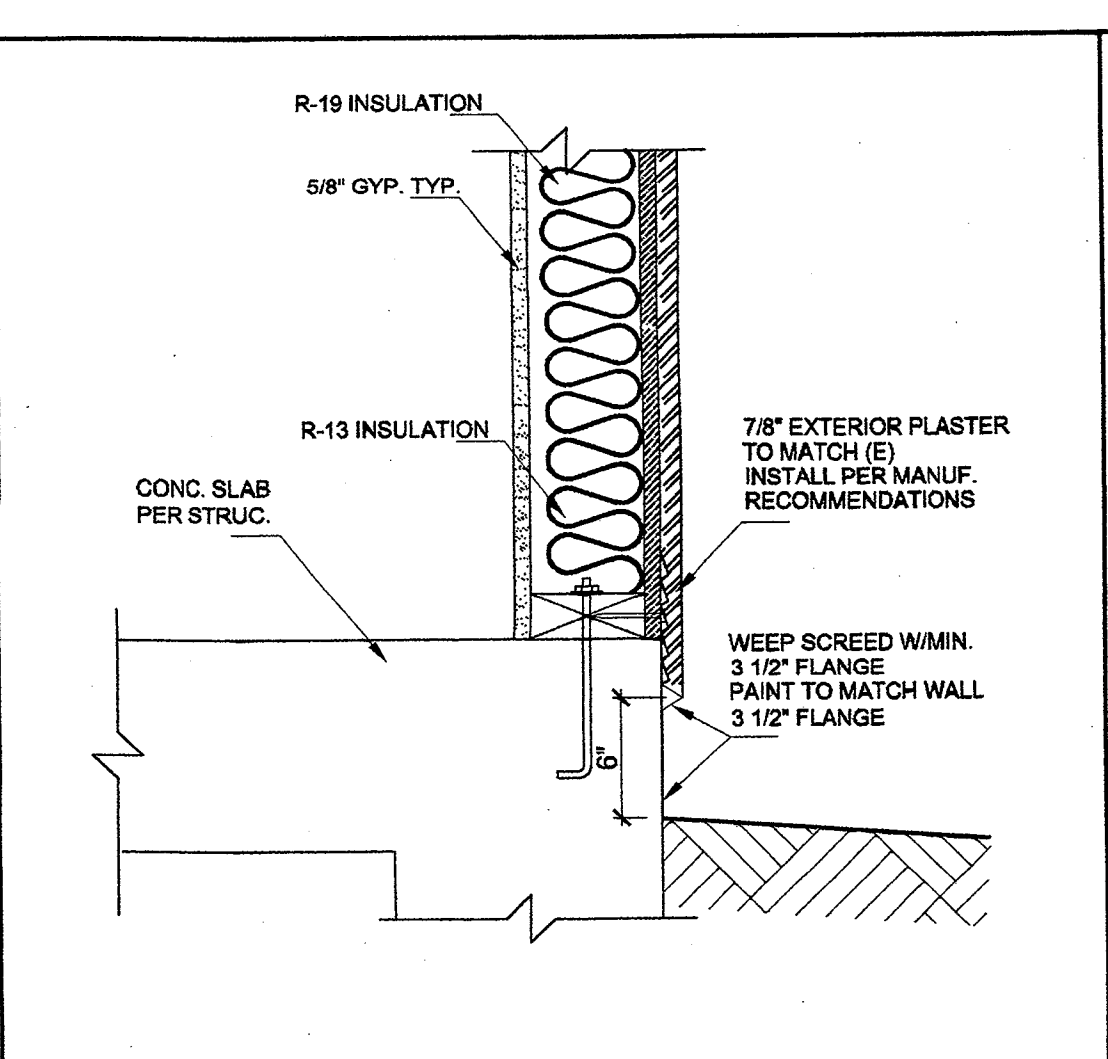
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| Date  | MAR. 20 / 07 |
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| Of    | Sheets       |

**DOOR SCHEDULE**

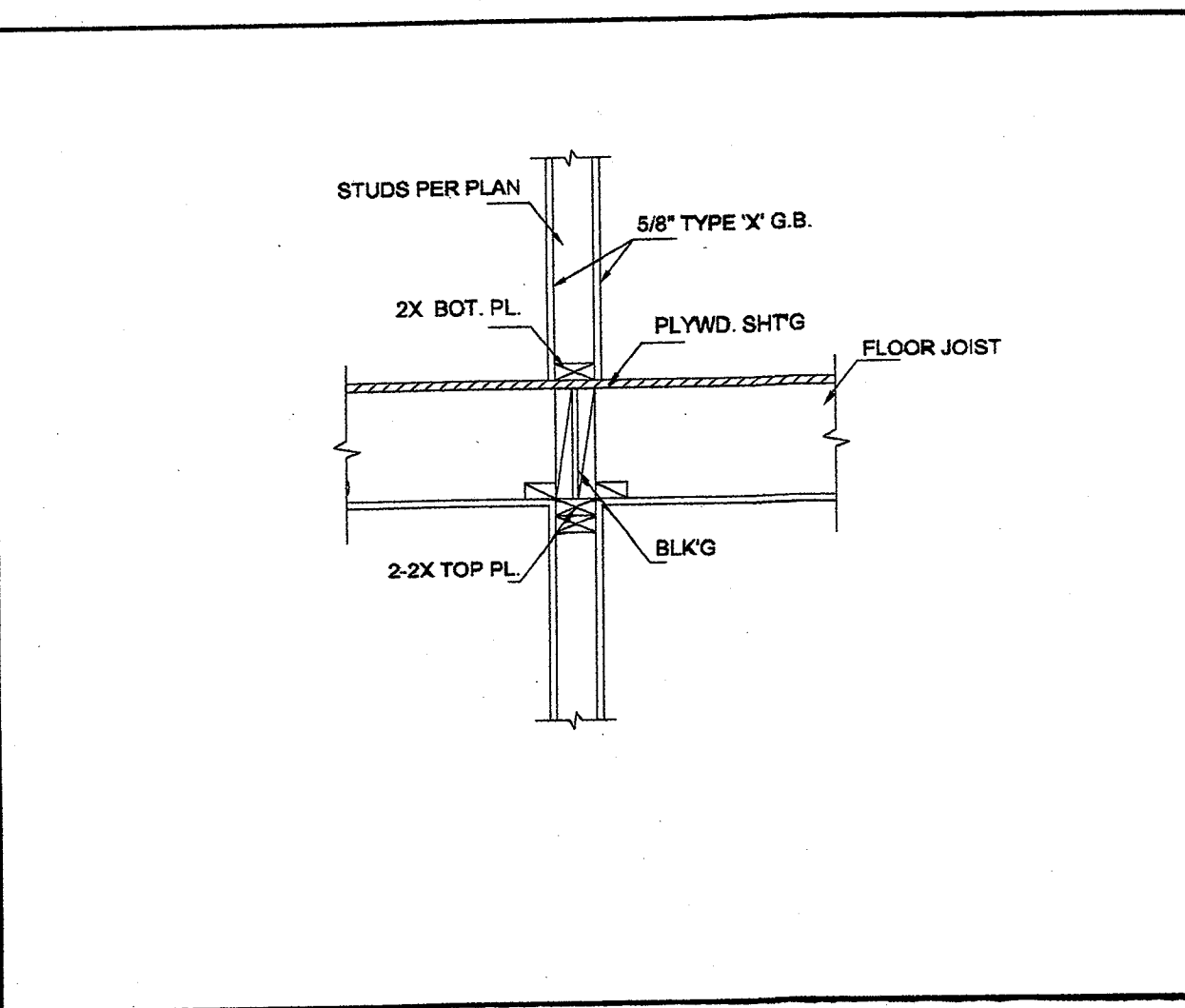
| SYM. | SIZE (WXH)        | TYPE    | THK    | FIN.  | GLAZING | DOOR MAT.  | FRAM. MAT. | CORE | REMARK                  |
|------|-------------------|---------|--------|-------|---------|------------|------------|------|-------------------------|
| ①    | 2-(3'-0" X 7'-6") | SWING.  | 1 3/4" | STAIN | DBL.    | WOOD GALSS | WOOD       | S.C. | TEMP.                   |
| ②    | (2'-8" X 6'-8")   | SWING.  | 1 3/4" | STAIN | -       | WOOD       | WOOD       | S.C. | 20 MINUTES SELF CLOSING |
| ③    | (2'-8" X 6'-8")   | SWING.  | 1 3/4" | STAIN | -       | WOOD       | WOOD       | S.C. |                         |
| ④    | 2-(3'-0" X 8'-0") | SWING.  | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑤    | (2'-8" X 6'-8")   | SWING.  | 1 3/4" | STAIN | -       | WOOD       | WOOD       | S.C. |                         |
| ⑥    | (2'-8" X 6'-8")   | SWING.  | 1 3/4" | STAIN | -       | WOOD       | WOOD       | S.C. |                         |
| ⑦    | 2-(3'-0" X 8'-0") | SWING.  | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑧    | (2'-8" X 8'-0")   | FIXED   | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑨    | 2-(3'-0" X 8'-0") | SWING.  | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑩    | (2'-8" X 8'-0")   | FIXED   | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑪    | 2-(2'-8" X 8'-0") | SWING.  | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑫    | (2'-8" X 8'-0")   | FIXED   | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑬    | (8'-0" X 8'-0")   | SLIDING | 1 3/4" | STAIN | DBL.    | GALSS      | WOOD       | S.C. | TEMP.                   |
| ⑭    | (2'-8" X 8'-0")   | SWING.  | 1 3/4" | STAIN | -       | WOOD       | WOOD       | S.C. |                         |
| ⑮    | (16'-0" X 7'-6")  |         | 1 3/4" | STAIN | -       | WOOD       | WOOD       | S.C. | GARAGE DOOR             |
| ⑯    | (8'-0" X 7'-0")   |         | 1 3/4" | STAIN | -       | WOOD       | WOOD       | S.C. | GARAGE DOOR             |

**WINDOW SCHEDULE**

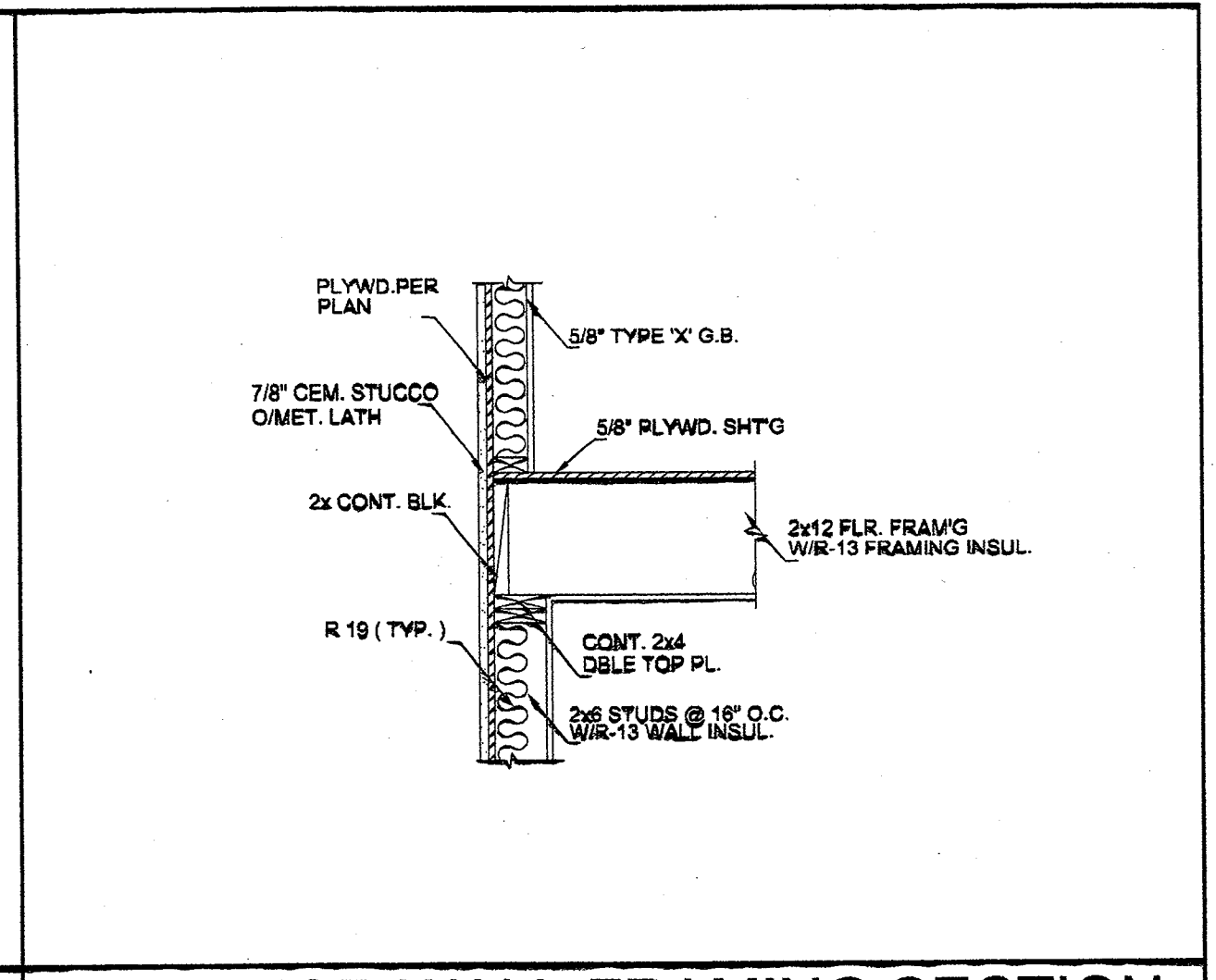
| SYM. | SIZE (WXH)     | TYPE    | THK    | FIN.  | GLAZING | WIND. | FRAME | REMARK |
|------|----------------|---------|--------|-------|---------|-------|-------|--------|
| A    | 3'-6" X 3'-6"  | SLIDING | 1 3/4" | STAIN | DBL.    | WOOD  | WOOD  |        |
| B    | 3'-6" X 5'-10" | FIXED   | 1 3/4" | STAIN | DBL.    | WOOD  | WOOD  | TEMP.  |
| C    | 6'-0" X 4'-6"  | SLIDING | 1 3/4" | STAIN | DBL.    | WOOD  | WOOD  |        |
| D    | 2'-6" X 4'-6"  | SWING.  | 1 3/4" | STAIN | DBL.    | WOOD  | WOOD  | TEMP.  |
| E    | 2'-6" X 3'-0"  | SWING.  | 1 3/4" | STAIN | DBL.    | WOOD  | WOOD  | TEMP.  |
| F    | 2'-6" X 4'-6"  | SWING.  | 1 3/4" | STAIN | DBL.    | WOOD  | WOOD  | TEMP.  |
| G    | 2'-0" X 3'-0"  | SWING.  | 1 3/4" | STAIN | DBL.    | WOOD  | WOOD  | TEMP.  |



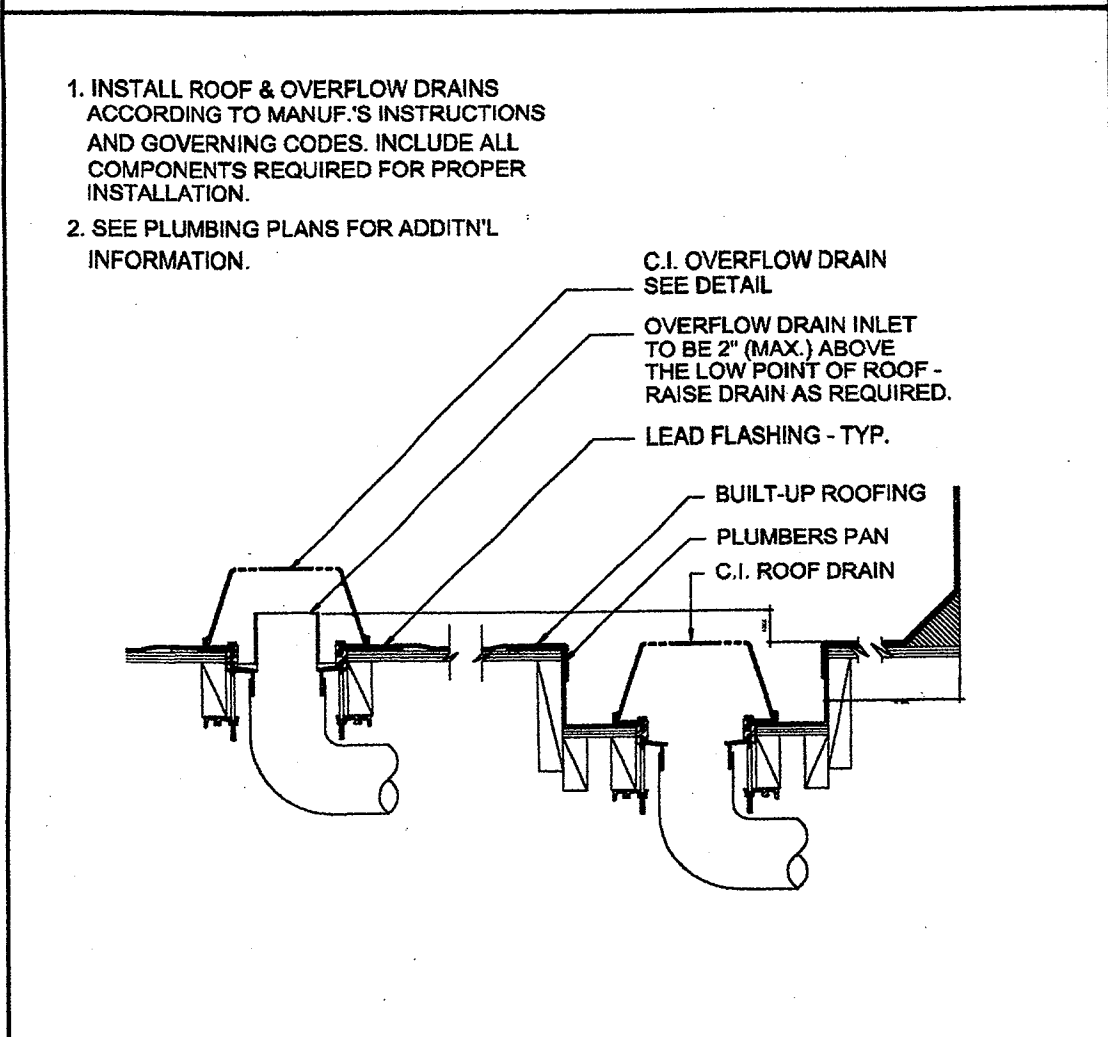
WEEP SCREED



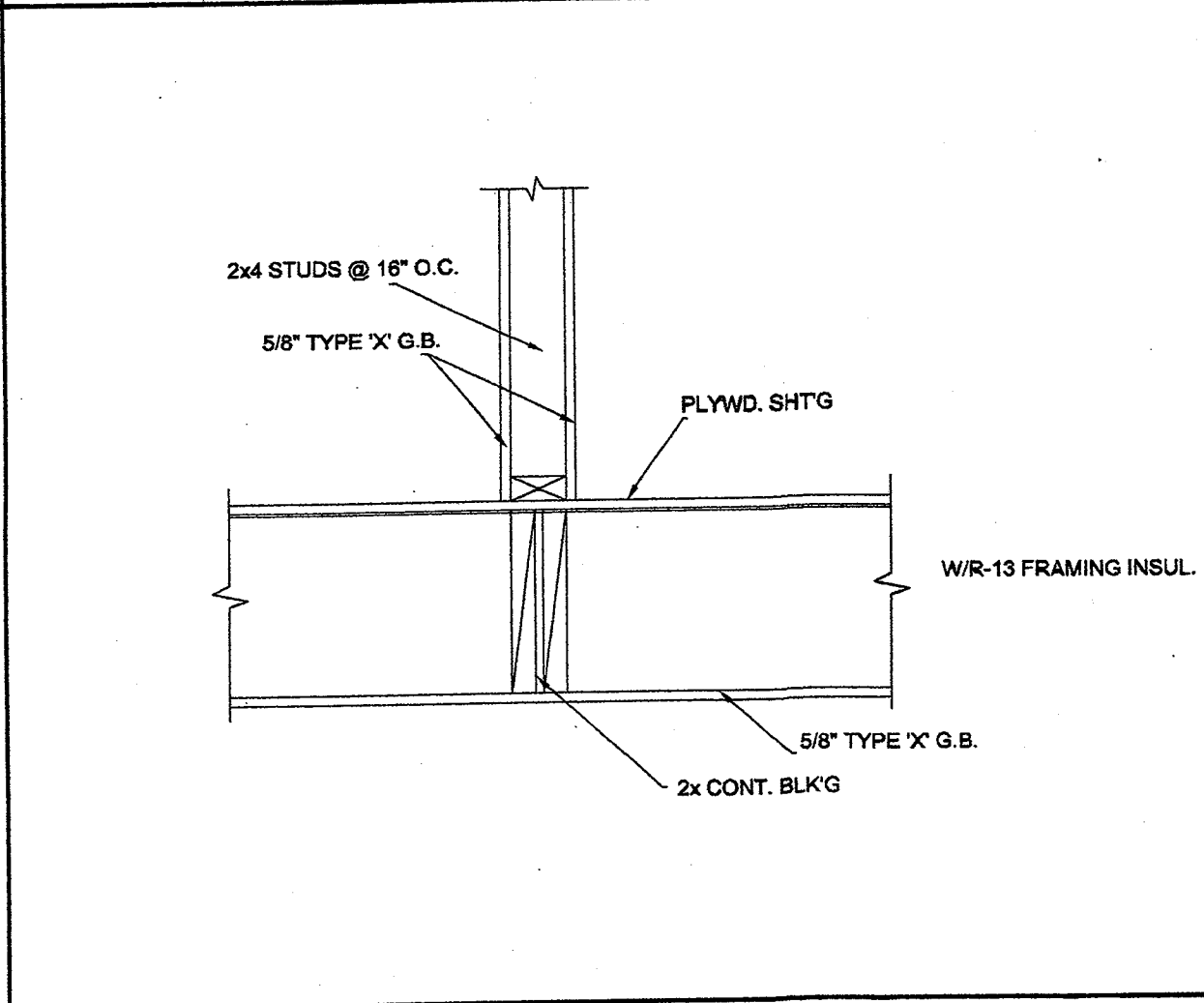
INTERIOR WALL FRAM'G SEC.



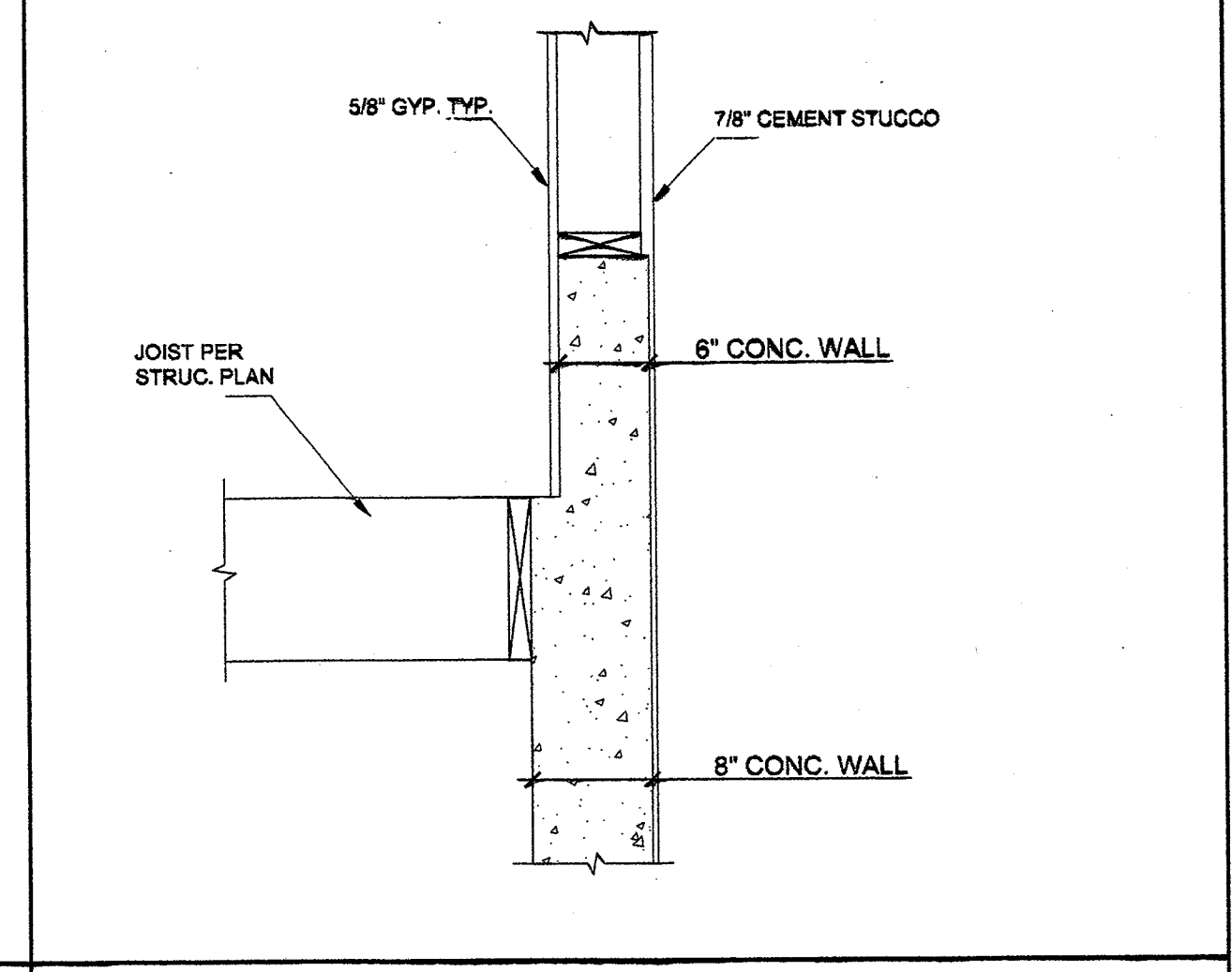
EXTERIOR WALL FRAMING SECTION



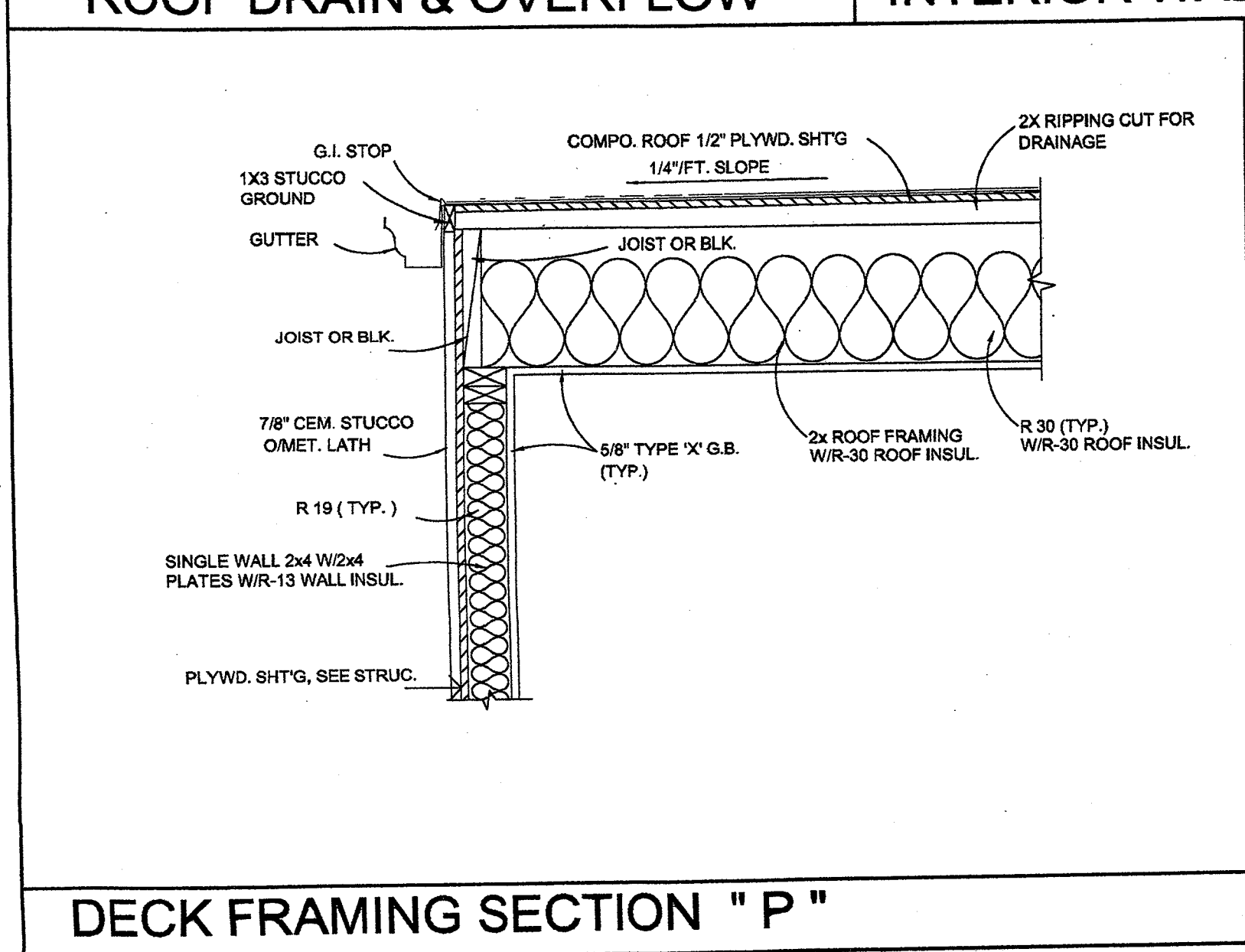
ROOF DRAIN & OVERFLOW



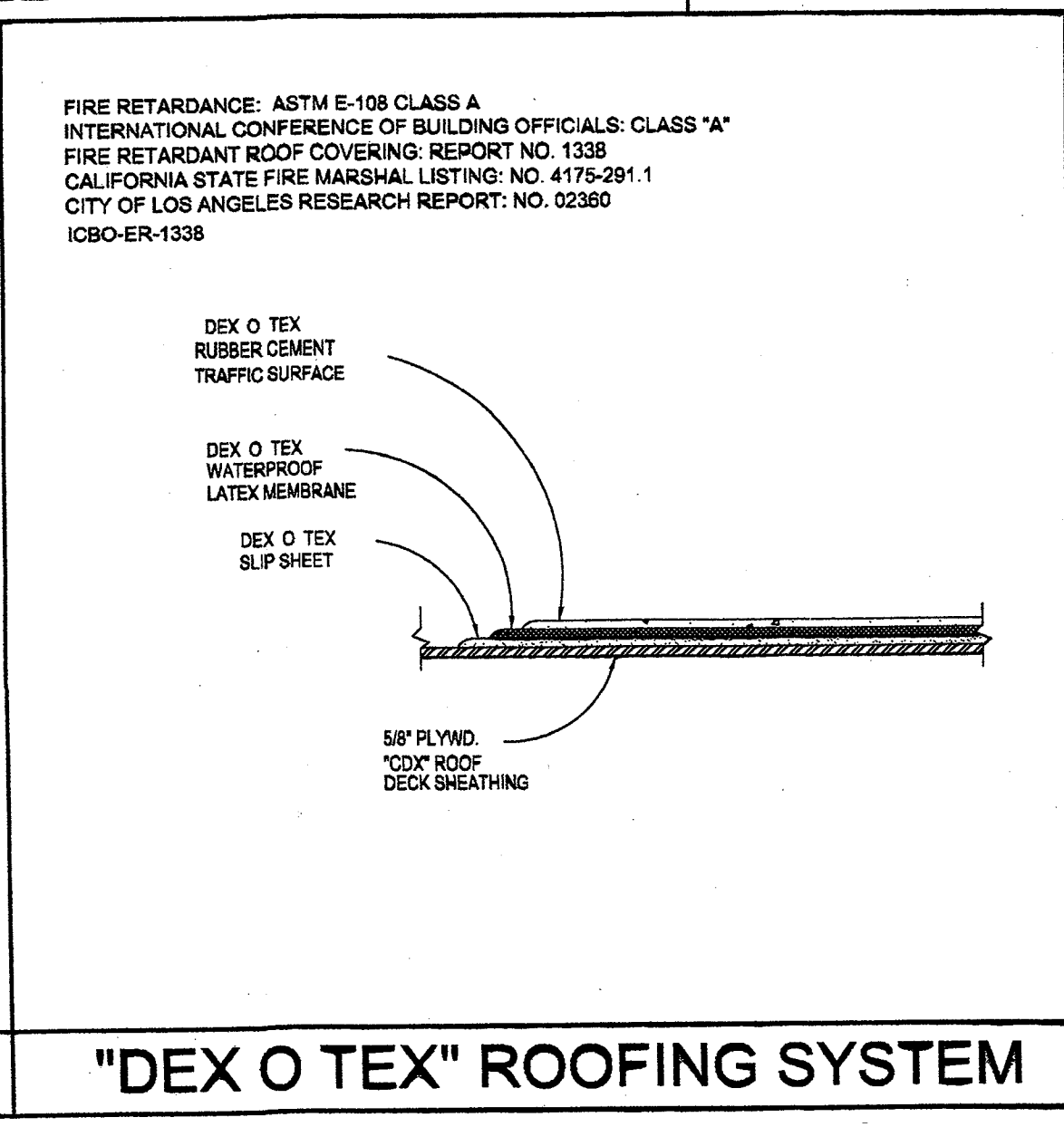
INTERIOR WALL FRAMING SECTION



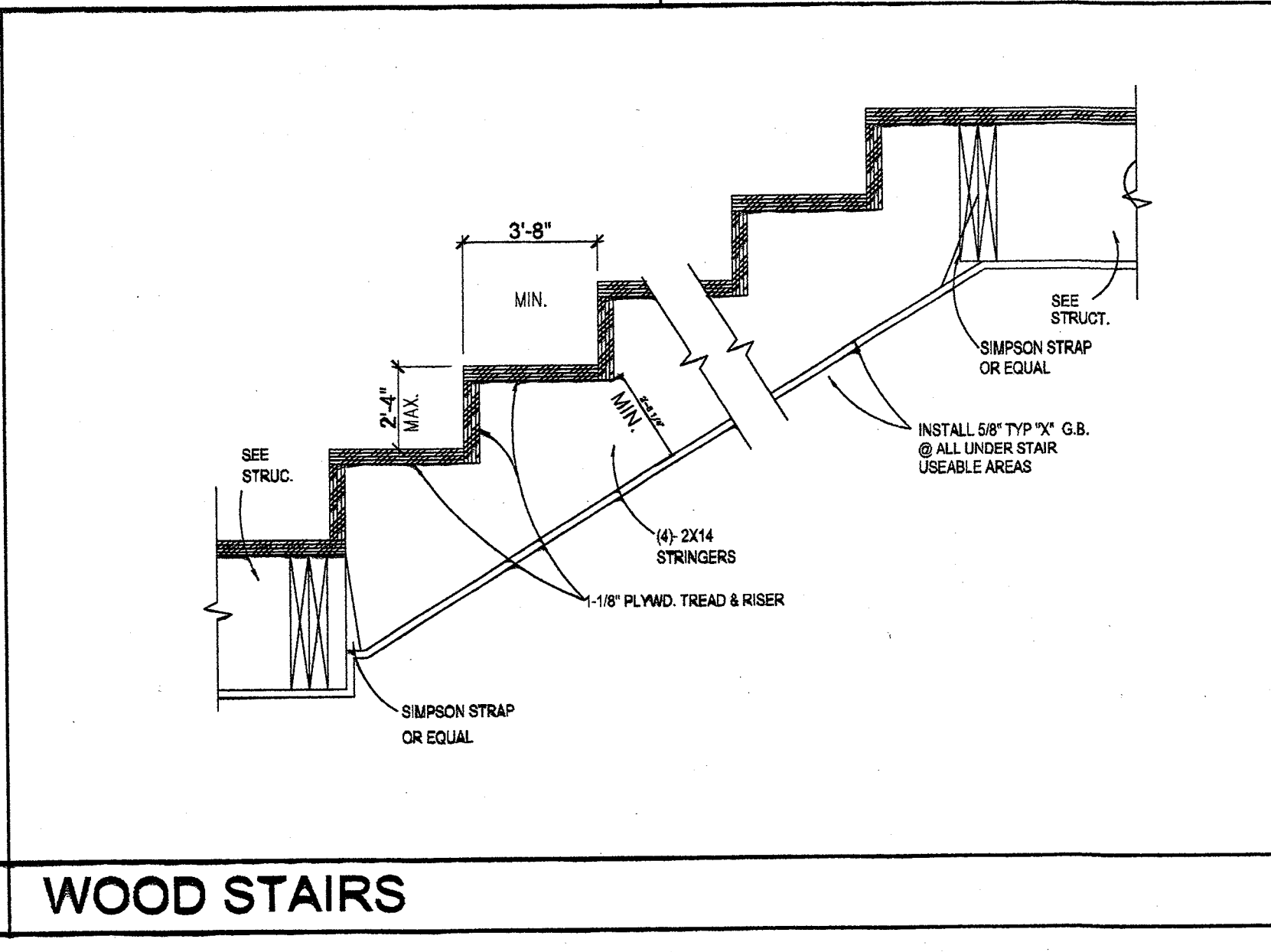
" M "



DECK FRAMING SECTION " P "



"DEX O TEX" ROOFING SYSTEM



WOOD STAIRS

DOOR AND WINDOW SCHEDULE

MR. VALENTINE STEWART  
8633 W. HOLLYWOOD BLVD.  
LOS ANGELES, CA.



Certificate Of Compliance : Residential (Part 1 of 4) CF-1R

Mr. Valentine Stewart, 8633 W. Hollywood Blvd. Date: 8/22/2006
Project Title: 8633 W. HOLLYWOOD BLVD Los Angeles
Documentation Author: Farahmand Consultant Engineering (310) 204-0473
Energy/Env: 9 Field Check/9/8

Table with 3 columns: Design, Proposed Design, Compliance. Rows include Space Heating, Space Cooling, Fans, Domestic Hot Water, Pumps.

Percent better than Standard: 0.3%
BUILDING COMPLIES - NO HERS VERIFICATION REQUIRED

Building Type: Single Family
Building Front Orientation: (F) 90 deg
Fuel Type: Natural Gas

Penetration: Area: 436 sq ft, Avg. U: 0.08, Avg. SHGC: 0.85
Number of Stories: 3

Table with 10 columns: Zone Name, Floor Area, Volume, Units, Zone Type, Thermostat Type, Vent, Area. Includes zones like 2-ton Package.

Run Initiation Time: 08/22/06 11:47:18 Run Code: 1158272488
User Number: 6199 Job Number: 200619 Page: 1 of 9

Certificate Of Compliance : Residential (Part 2 of 4) CF-1R

Mr. Valentine Stewart, 8633 W. Hollywood Blvd. Date: 8/22/2006
Project Title: 8633 W. HOLLYWOOD BLVD Los Angeles

Table with 10 columns: #, Type, Area, U-Factor, SHGC, Azim, Tilt, Cond. Stat., Glazing Type, Location/Comments. Lists window and door details.

1. Indicate source either from NFRC or Table 115A. 2. Indicate source either from NFRC or Table 115B.

Table with 10 columns: #, Exterior Shade Type, SHGC, Window, Overhang, Left Fin, Right Fin. Lists shading devices like sun screens.

Table with 6 columns: Type, Area, Thick, Heat, Inside, Condition, Location/Comments. Lists thermal mass for high mass design.

Table with 6 columns: Type, Length, R-Val, Insulation, Location, Condition, Location/Comments. Lists perimeter losses.

Run Initiation Time: 08/22/06 11:47:18 Run Code: 1158272488
User Number: 6199 Job Number: 200619 Page: 1 of 9

Certificate Of Compliance : Residential (Part 3 of 4) CF-1R

Mr. Valentine Stewart, 8633 W. Hollywood Blvd. Date: 8/22/2006
Project Title: 8633 W. HOLLYWOOD BLVD Los Angeles

Table with 10 columns: Location, Heating Type, Minimum Eff, Cooling Type, Minimum Eff, Condition Status, Thermostat Type. Lists HVAC systems.

Table with 6 columns: Location, Heating, Cooling, Duct Location, Duct R-Value, Condition Status, Ducts Tested?. Lists HVAC distribution.

Table with 4 columns: System Name, Pipe Length, Pipe Diameter, Insul. Thick. Lists hydronic piping.

Table with 10 columns: System Name, Water Heater Type, Distribution, # in Syst, Rated Input, Tank Cap, Condition Status, Energy Factor, Standby Loss, Tank Insul. R-Value. Lists water heating systems.

1. For small gas storage (rated input <= 75000 Btu/h), electric resistance and heat pump water heaters, list energy factor. For large gas storage water heaters (rated input > 75000 Btu/h), list Rated Input, Recovery Efficiency and Standby Loss.

COMPLIANCE STATEMENT
This certificate of compliance lists the building features and specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations...
Run Initiation Time: 08/22/06 11:47:18 Run Code: 1158272488
User Number: 6199 Job Number: 200619 Page: 1 of 9

Certificate Of Compliance : Residential (Part 4 of 4) CF-1R

Mr. Valentine Stewart, 8633 W. Hollywood Blvd. Date: 8/22/2006
Project Title: 8633 W. HOLLYWOOD BLVD Los Angeles

Special Features and Modeling Assumptions
The local enforcement agency should pay special attention to the items specified in this checklist. These items require special written justification and documentation...

Table with 3 columns: Plan, Field. Lists HVAC system details.

HERS Required Verification
Items in this section require field testing and/or verification by a certified home energy rater under the supervision of a DEC-approved HERS provider...

Table with 3 columns: Plan, Field. Lists HERS required verification items.

Run Initiation Time: 08/22/06 11:47:18 Run Code: 1158272488
User Number: 6199 Job Number: 200619 Page: 6 of 9

Mandatory Measures Summary: Residential (Page 1 of 2) MF-1R

NOTE: Measure numbers in brackets refer to the Standard measures that must be reported on the compliance report card. Non-reportable compliance requirements are those that are not applicable to the building or are not required by the local jurisdiction...

Table with 4 columns: DESCRIPTION, N/A, DESCRIBED, REPORTED. Lists building envelope measures like air sealing, insulation, and windows.

Space Conditioning, Water Heating and Plumbing System Measures

Table with 4 columns: DESCRIPTION, N/A, DESCRIBED, REPORTED. Lists HVAC, water heating, and plumbing measures.

Run Initiation Time: 08/22/06 11:47:18 Run Code: 1158272488
User Number: 6199 Job Number: 200619 Page: 1 of 9

Mandatory Measures Summary: Residential (Page 2 of 2) MF-1R

NOTE: Measure numbers in brackets refer to the Standard measures that must be reported on the compliance report card. Non-reportable compliance requirements are those that are not applicable to the building or are not required by the local jurisdiction...

Table with 4 columns: DESCRIPTION, N/A, DESCRIBED, REPORTED. Lists space conditioning, water heating, and plumbing measures.

Run Initiation Time: 08/22/06 11:47:18 Run Code: 1158272488
User Number: 6199 Job Number: 200619 Page: 2 of 9

REVISIONS BY

ENERGY CALCULATION

MR. VALENTINE STEWART
8633 W. HOLLYWOOD BLVD.
LOS ANGELES, CA.

Date AUG.20/06
Scale
Drawn
Job
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Of Sheets

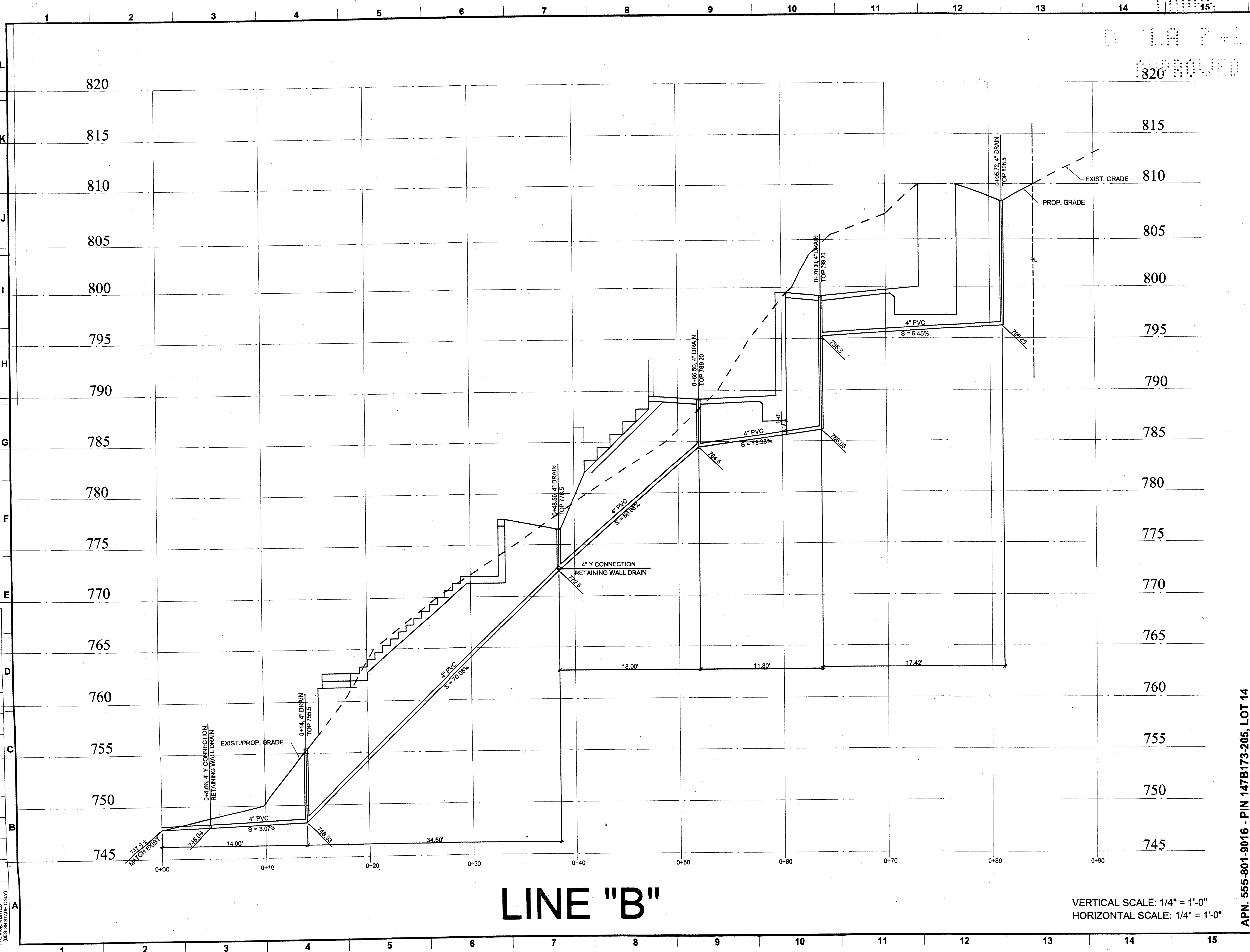








THE CITY OF LOS ANGELES OR ITS OFFICERS OR AGENTS SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ELECTRONIC COPIES OF THIS PLAN SHEET.



# LINE "B"

VERTICAL SCALE: 1/4" = 1'-0"  
HORIZONTAL SCALE: 1/4" = 1'-0"

APN. 555-801-9016 - PIN 147B173-205, LOT 14

ARSALAN NADERI  
1443 TEMPLE HILLS DR.  
LAGUNA BEACH, CA 92651  
(949) 235-5068

PLANS PREPARED BY: ARSALAN NADERI  
DESIGN GROUP

ENGINEER: ARSALAN NADERI  
DESIGNED BY: ARSALAN NADERI  
DRAWN BY: ADAM MONTELL  
CHECKED BY: ARSALAN NADERI  
APPROVED BY:

PROJECT NO. 24-038775.18-00R30, NSVD228, 1885 ADJ  
NAD83, EPOCH 1981.5

SHEET TITLE: STORM DRAIN PROFILE  
PROJECT: MR. VALENTINE STEWART  
ADDRESS: 8633 HOLLYWOOD BLVD.  
HOLLYWOOD HILLS, CA 90069

ACCEPTED BY: GARY LEE MOORE, P.E. CITY ENGINEER  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

PLAN CHECKER: \_\_\_\_\_  
DIVISION / DISTRICT ENGINEER: \_\_\_\_\_

A TO Z ENGINEERING SERVICES  
DESIGN GROUP

ENGINEER: ARSALAN NADERI  
DESIGNED BY: ARSALAN NADERI  
DRAWN BY: ADAM MONTELL  
CHECKED BY: ARSALAN NADERI  
APPROVED BY:

ACCEPTED BY: GARY LEE MOORE, P.E. CITY ENGINEER  
DATE: \_\_\_\_\_  
DATE: \_\_\_\_\_

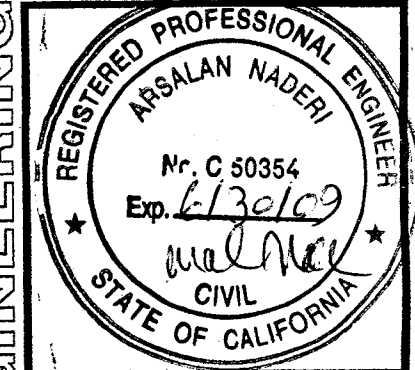
PLAN CHECKER: \_\_\_\_\_  
DIVISION / DISTRICT ENGINEER: \_\_\_\_\_

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DATE: \_\_\_\_\_  
SERIAL NO. \_\_\_\_\_  
INDEX NO. \_\_\_\_\_  
B - PERMITS

APPROVALS: DATE: BY:  
ST. TREES DIV. \_\_\_\_\_  
ST. LIGHTING \_\_\_\_\_  
P.O.T. \_\_\_\_\_

PROJECT NO. \_\_\_\_\_  
DRAWING NO. \_\_\_\_\_  
SHEET 3 OF 3 SHEET 2

REFERENCES: DISTRICT MAP, DRAINAGE MAP, SUPERSEDES PLAN, BASIS, BENCH MARKS, DESCRIPTION

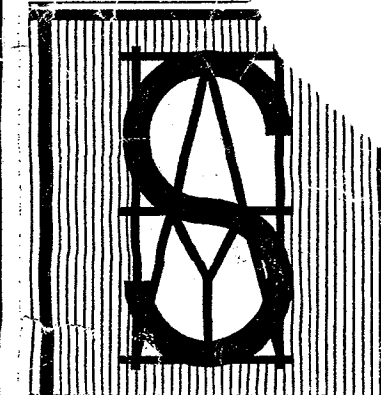
BUREAU OF ENGINEERING

DEPARTMENT OF PUBLIC WORKS

CITY OF LOS ANGELES

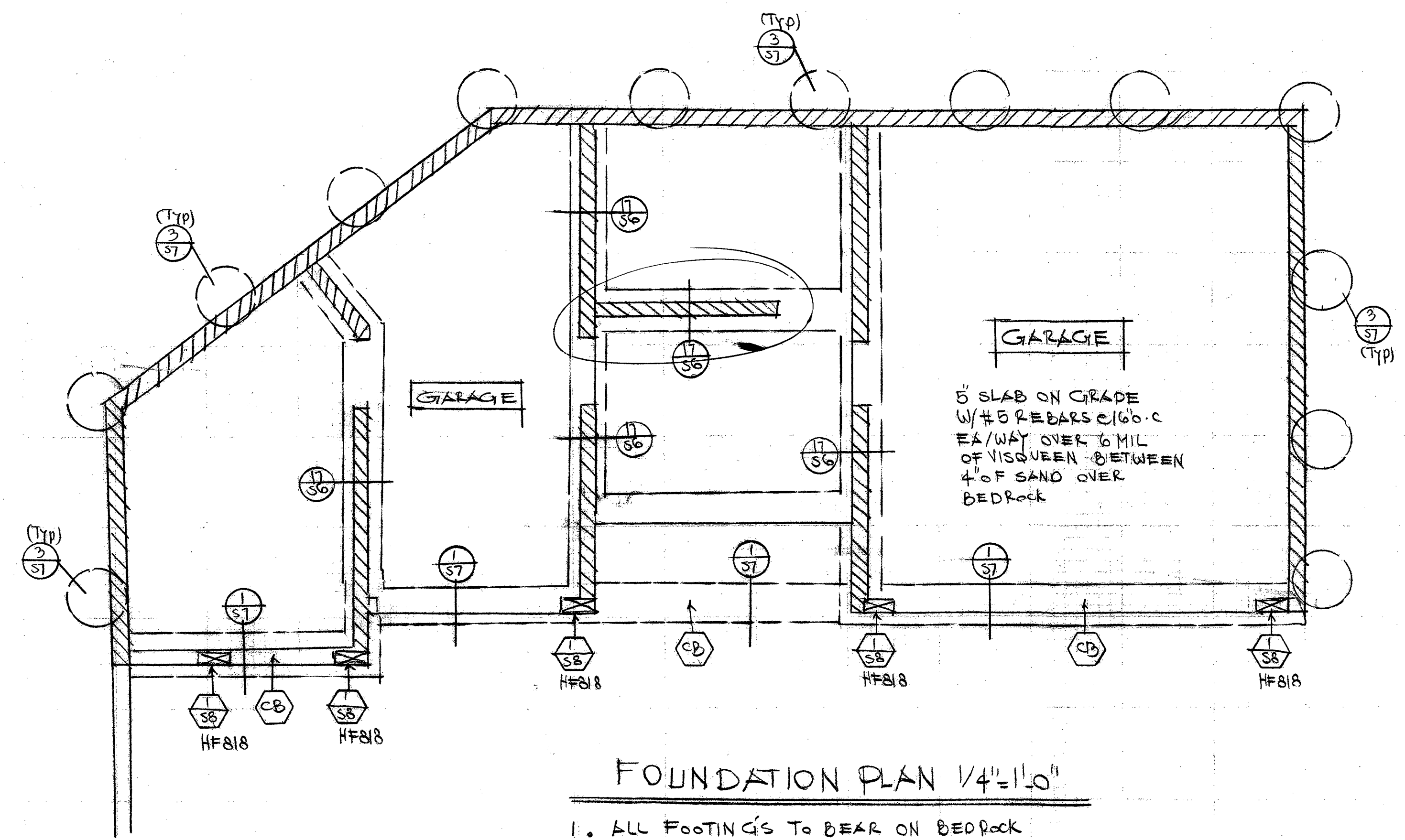


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Structural Design and Consulting  
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15233 Ventura Blvd. Suite. 210  
Sherman Oaks, Ca. 91403-2201  
FAX 818.788.7827

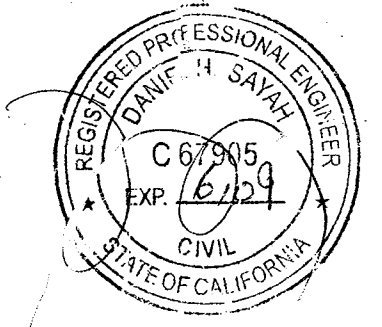
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FOUNDATION PLAN 1/4"=1'-0"

1. ALL FOOTINGS TO BEAR ON BEDROCK
2. SOIL ENGINEER TO INSPECT ALL EXCAVATION'S PRIOR TO PLACING REBARS AND POURING CONC.
3. CONCRETE TO PILES, SLAB & GRADE BMS AND WALLS TO BE 3000 PSI CONTINUOUS DEPUTY INSP. REQ'D
4. ANCHOR BOLTS TO BE 5/8" Q A-B X 12" LONG @ 40" O.C EXCEPT AT SHEAR PANEL U.N.O
5. (CB) INDICATES 16" X 30" GRADE BM, W/ 2# 6 T & B W/ #4 TIES @ 12" O.C U.N.O
6. ALL BOLT HOLES SHALL BE DRILLED 1/32 - 1/16" OVERSIZED.

THESE PLANS HAVE BEEN REVIEWED BY THE J. BYER GROUP, INC. AND CONFORM TO THE GEOTECHNICAL RECOMMENDATIONS CONTAINED IN THE REPORT.  
DATE 6/6/06 3/30/05  
JOB 20049



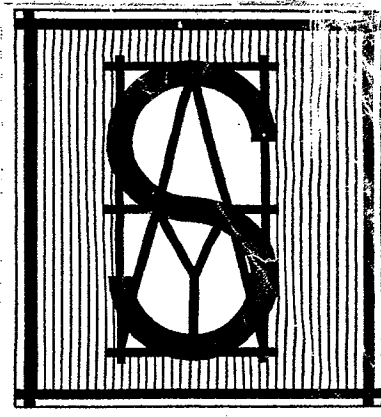
**Stewart Residence**  
New 4-Story Hillside House  
Stewart Residence  
8633 Hollywood Blvd  
Hollywood, Ca 90069

Sheet Contents:  
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Revisions:  
Date: 2006.06.15  
Project No.: S05110  
File Name: S05124  
Sheet No.:

S-1

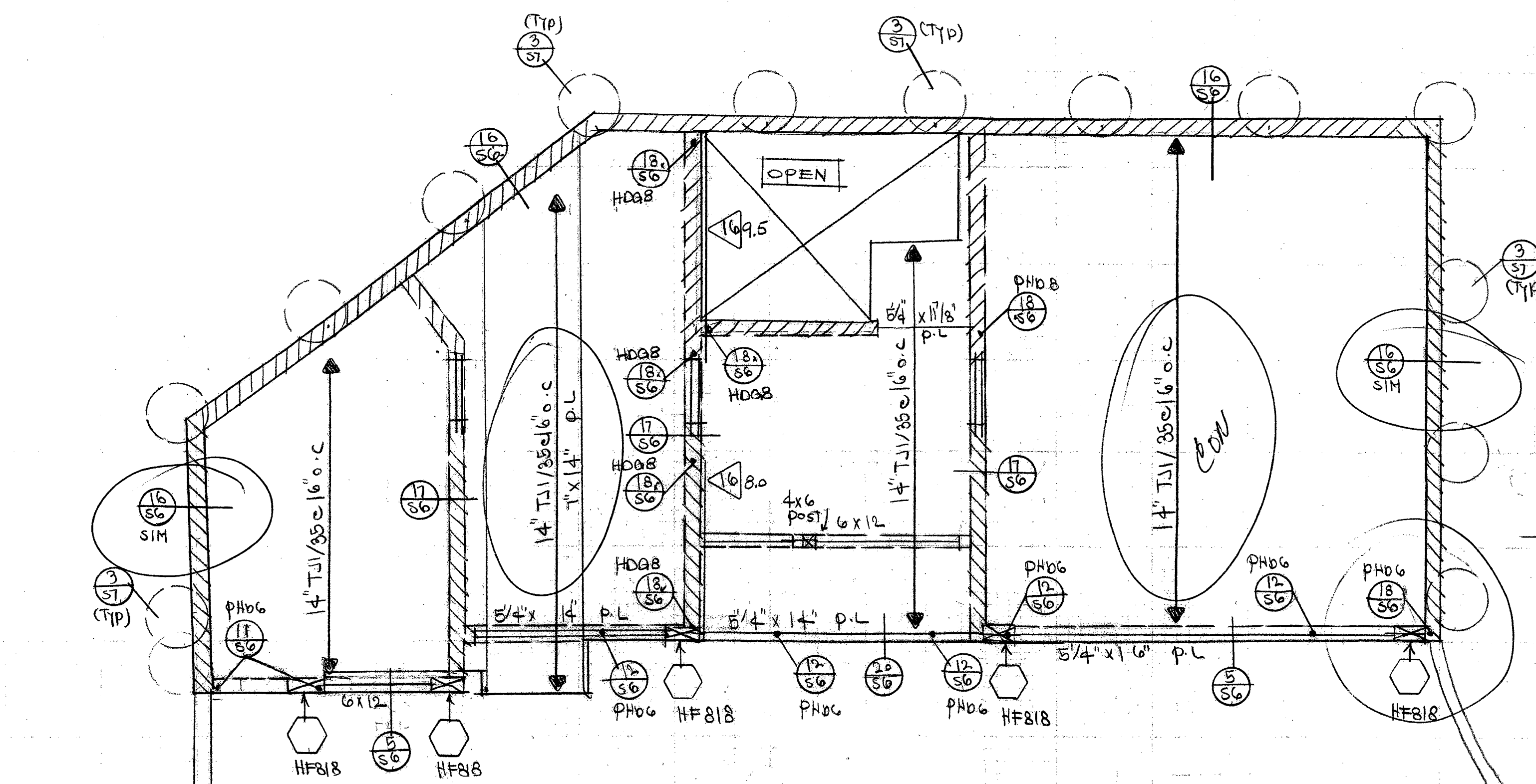
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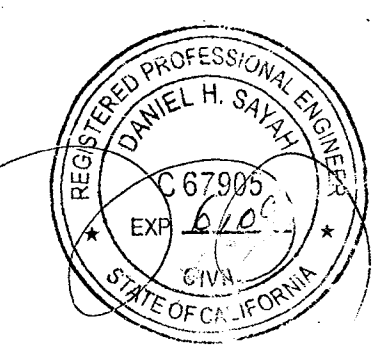
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SECOND FLOOR FRAMING PLAN 1/4"=1'-0"

THESE PLANS HAVE BEEN REVIEWED BY THE  
J. BYER GROUP, INC. AND CONFORM TO THE  
GEOTECHNICAL RECOMMENDATIONS CONTAINED  
IN THE REPORT.  
JB 20049 DATE 6/6/06 3/30/05

*[Signature]*  
12-14-07

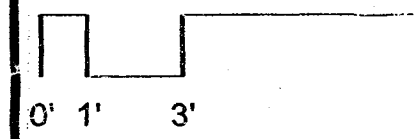


**Stewart Residence**  
New 4-Story Hillside House

Stewart Residence  
8833 Hillwood Blvd  
Hollywood, CA 90069

Sheet Contents:

Scale: 1/4"=1'-0"



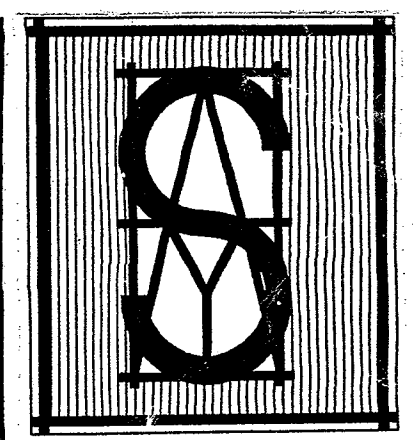
Revisions:

Date: 2006 JUN 06  
Project No.: 20049  
File Name: 316  
Sheet No.:

**S 2**



LA 7-108  
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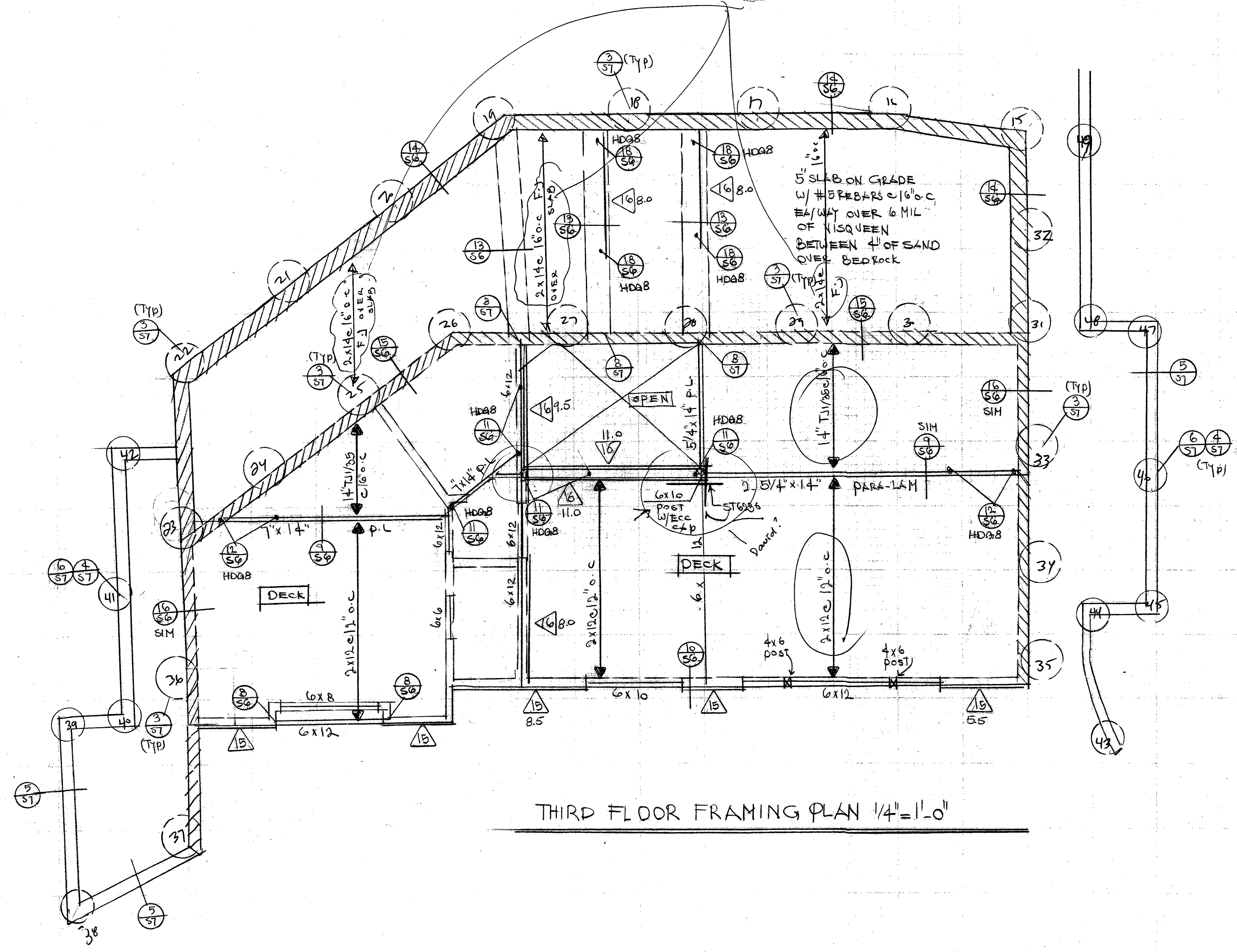
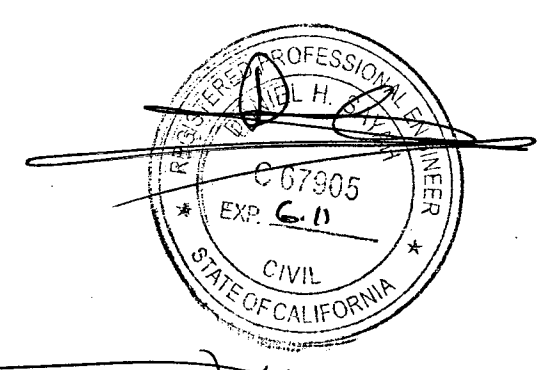
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15233 Ventura Blvd. Suite 210  
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**Stewart Residence**  
New 4-Story Hillside House  
Stewart Residence  
8633 Hollywood Blvd  
Hollywood, Ca 90069

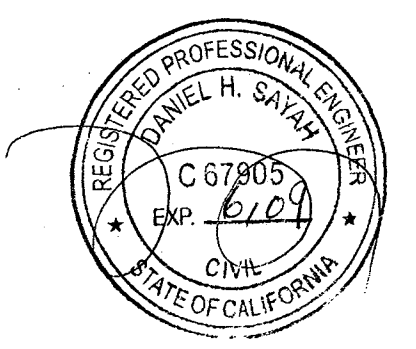
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Date: 2006.06.18  
Project No.: S05  
File Name: S05  
Sheet No.:



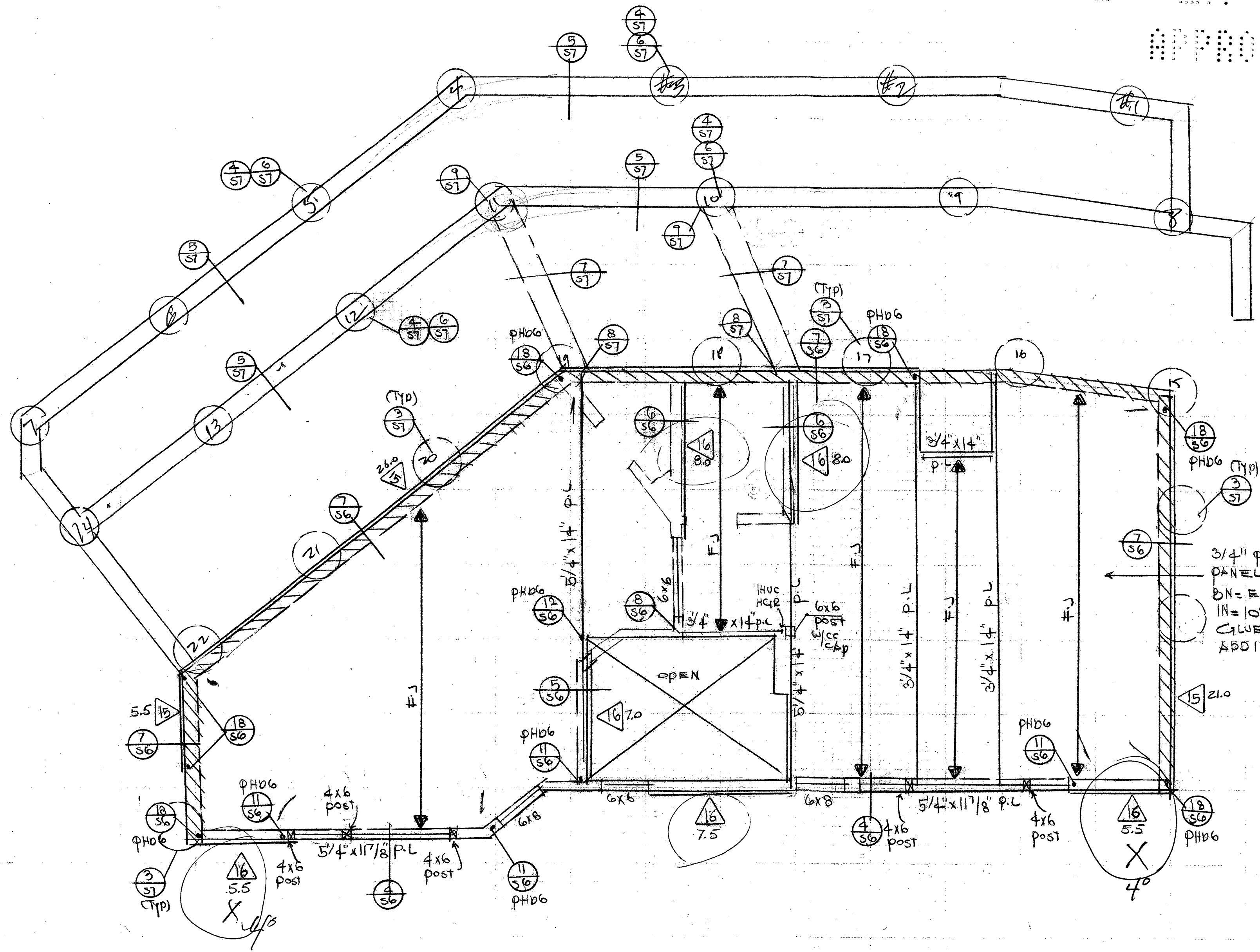
THIRD FLOOR FRAMING PLAN 1/4"=1'-0"

THESE PLANS HAVE BEEN REVIEWED BY THE J. BYER GROUP, INC. AND CONFORM TO THE GEOTECHNICAL RECOMMENDATIONS CONTAINED IN THE REPORT.  
DATE 6/6/06 3/30/05  
DATE 6/12/06 6/21/06  
DATE 12-14-07



S-3

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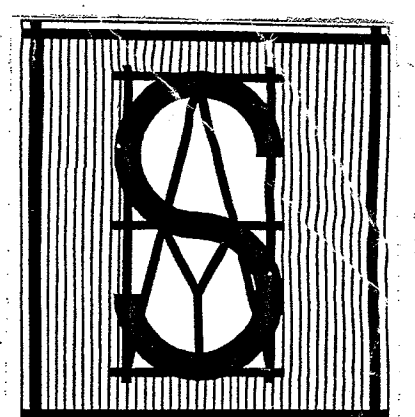
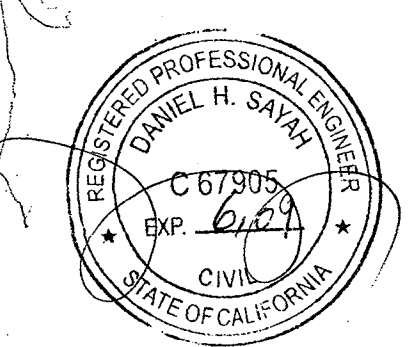


**FOURTH FLOOR FRAMING PLAN 1/4"=1'-0"**

1. FLOOR JOISTS TO BE 14" JLV35 @ 16" o.c UNO

THESE PLANS HAVE BEEN REVIEWED BY THE J. BYER GROUP, INC. AND CONFORM TO THE GEOTECHNICAL RECOMMENDATIONS CONTAINED IN THE REPORT.  
 DATE 4/6/06 3/20/06

*[Signature]*  
 EXP. 12/14/07



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 Sherman Oaks, Ca. 91403-2201  
 FAX 818.788.7827

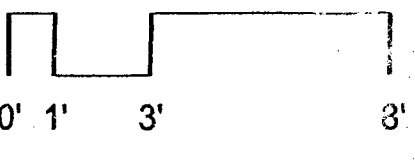
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**Stewart Residence**  
 New 4-Story Hillside House

Stewart Residence  
 8633 Hollywood Blvd  
 Hollywood, Ca 90069

Sheet Contents:

Scale: 1/4"=1'-0"



Revisions:

Date: 2006.08.15

Project No.: S05156

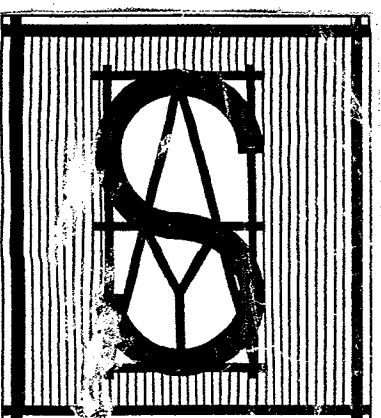
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Sheet No.:

**S-4**

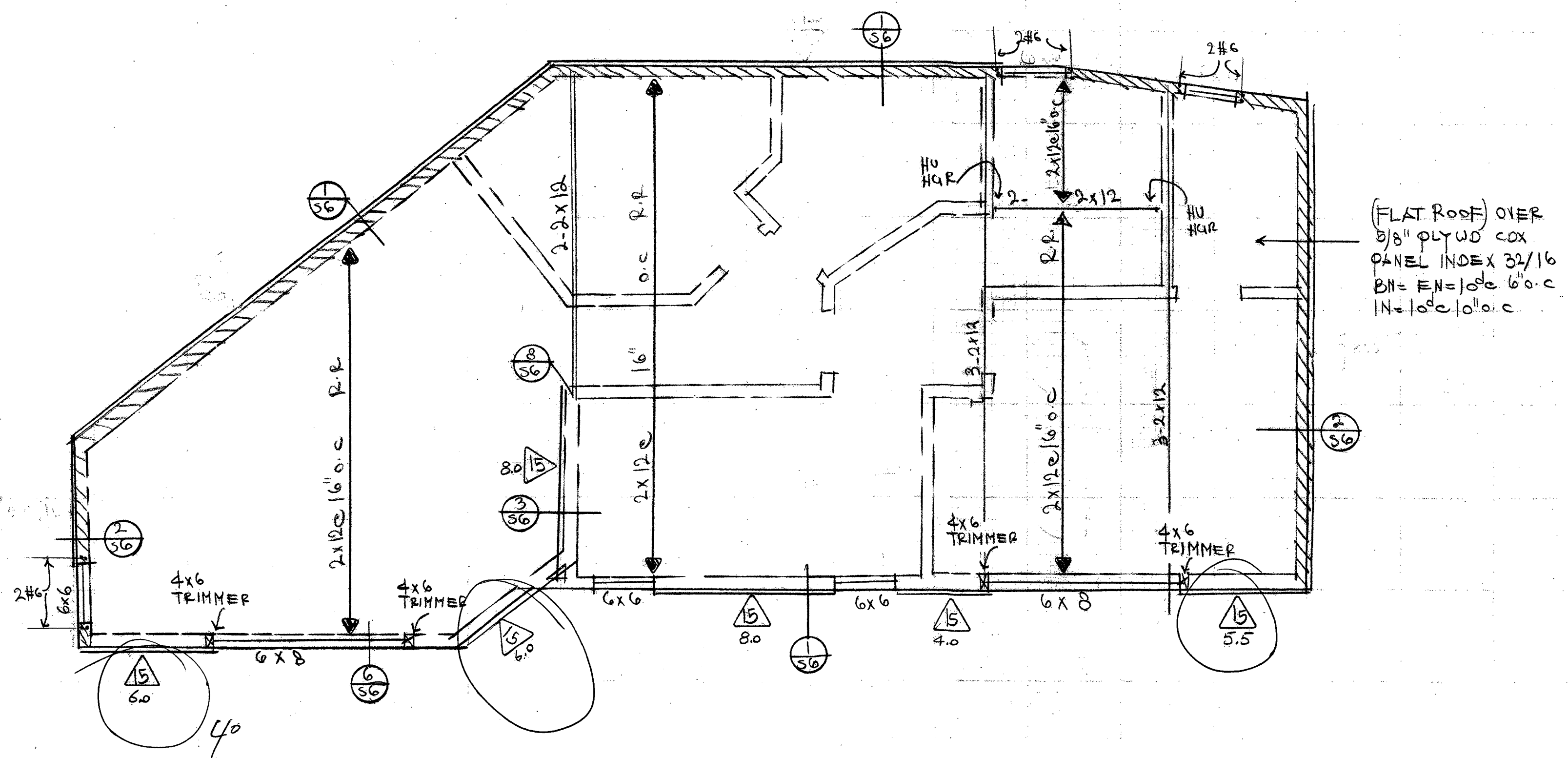


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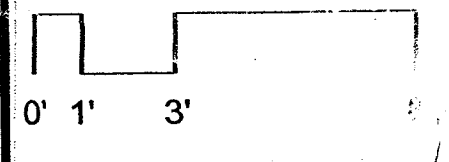


ROOF FRAMING PLAN 1/4"=1'-0"

1. FOR SPLICE AT TOP PLATE SEE DETAIL 19/3-6

Sheet Contents:

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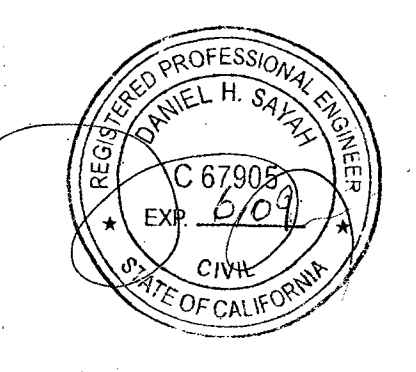
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Date: 2006.08.15

Project No.: 500134

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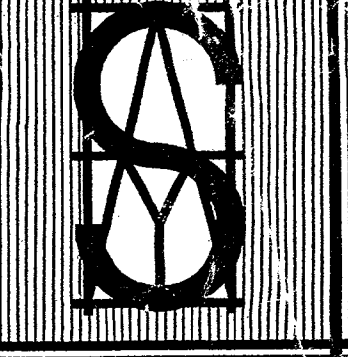


S-5

DRAWING CORP. 700 SO. CLAYMONT ST. SAN MATEO, CA 94402







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**Stewart Residence**  
New 4-Story Hillside House

Stewart Residence  
8833 Hollywood Blvd  
Hollywood, Ca 91619

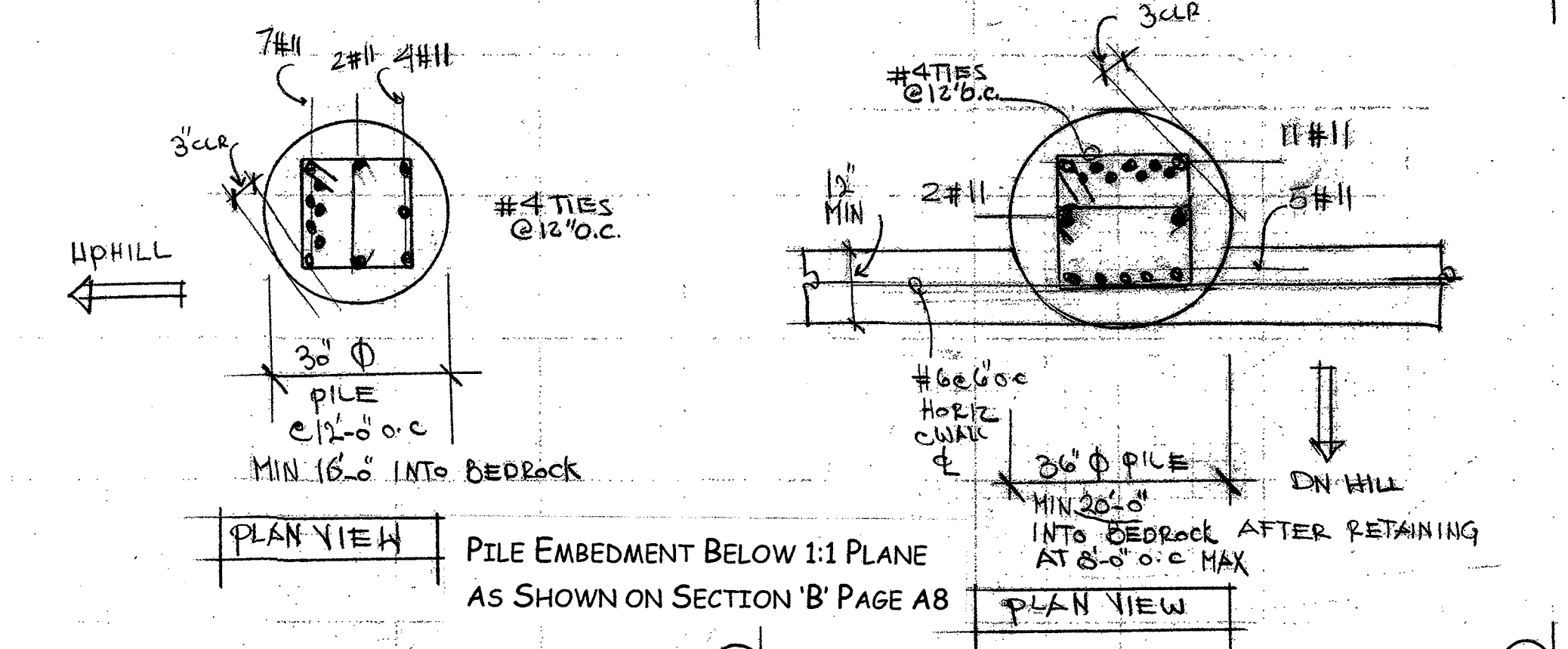
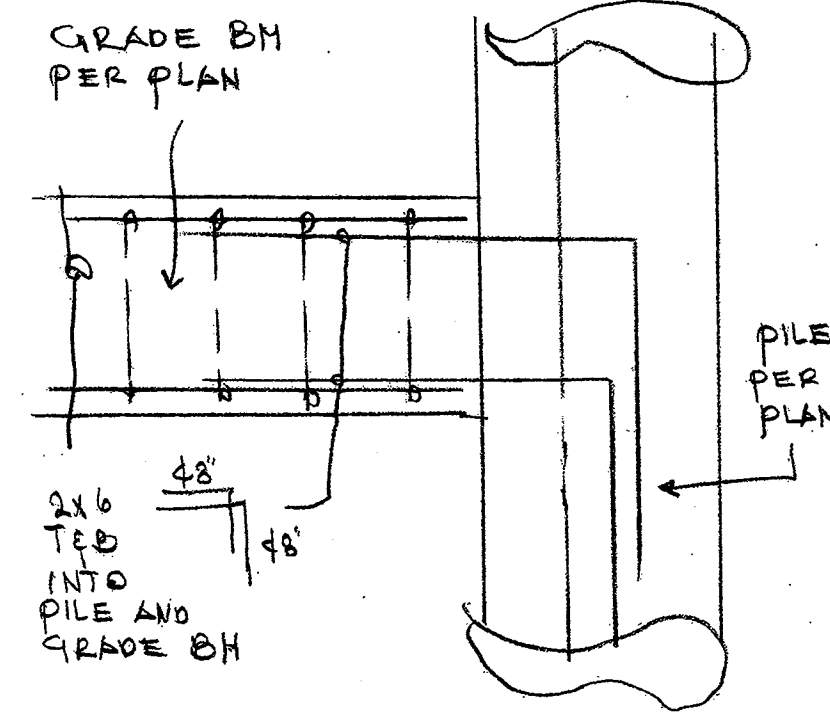
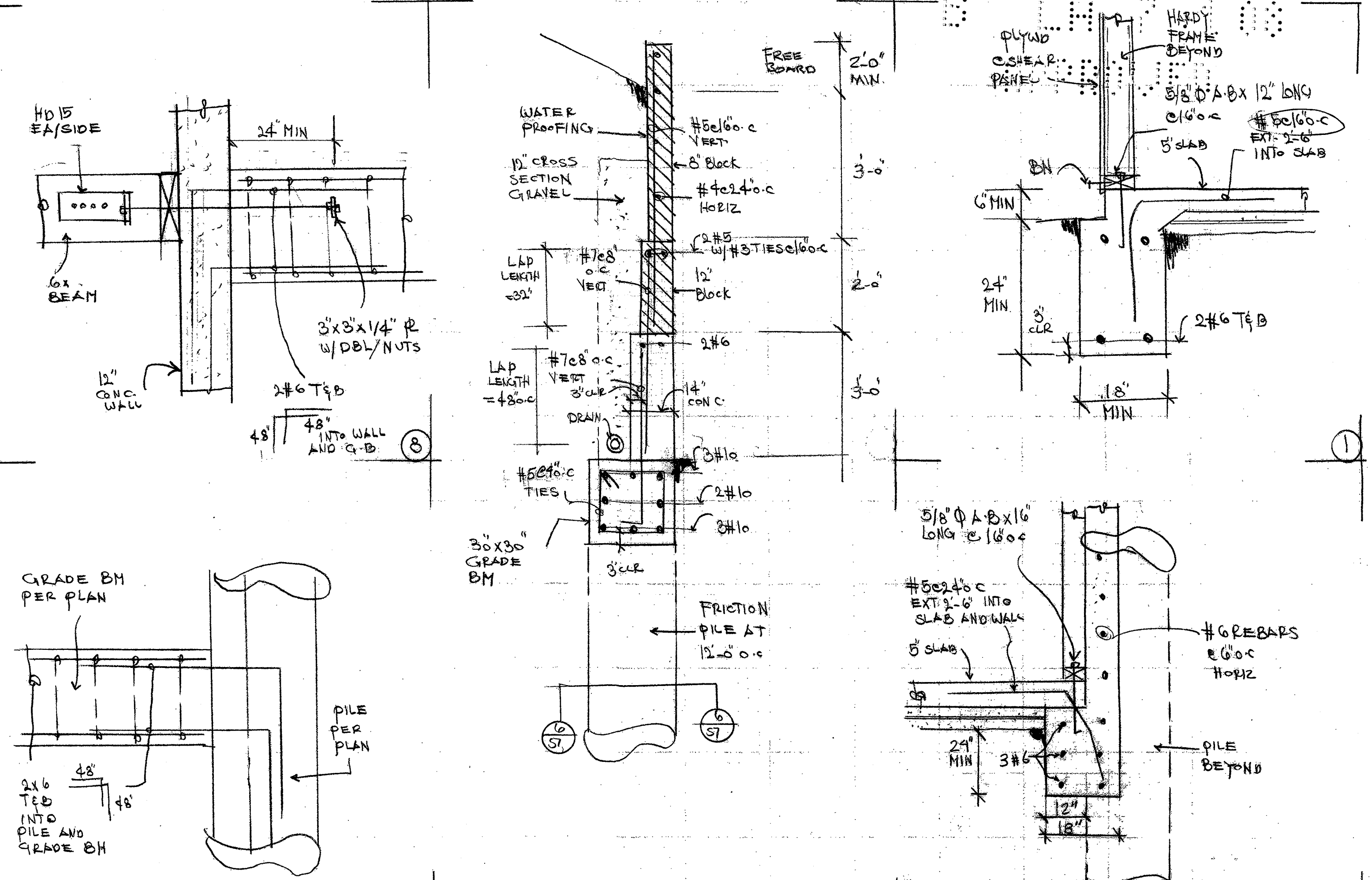
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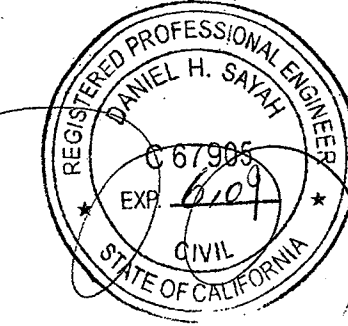
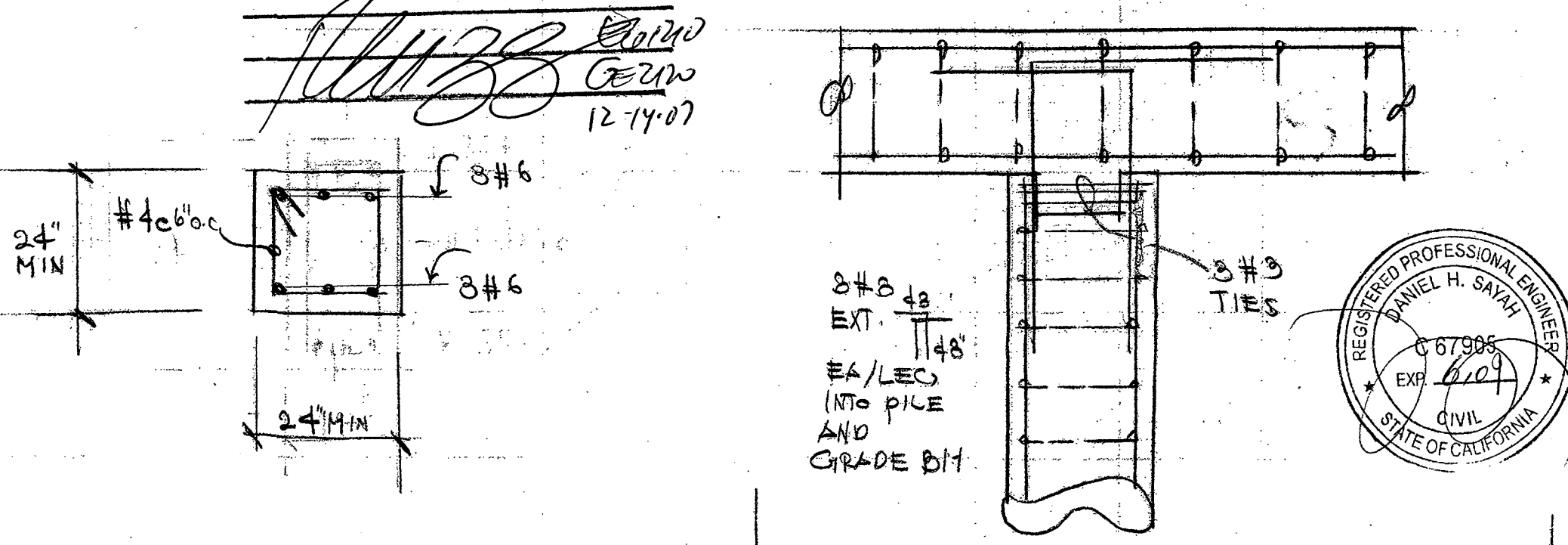
Revisions:

Date: 2006.04.15  
Project No.: 505124  
File Name: 505124\_5  
Sheet No.:

**S-7**



THESE PLANS HAVE BEEN REVIEWED BY THE J. BYER GROUP, INC. AND CONFORM TO THE GEOTECHNICAL RECOMMENDATIONS CONTAINED IN THE REPORT.  
JB 2-0049 DATE 6/6/06 3/20/06



DATE PLOTTED: 2006.04.15 10:00 AM

**STRUCTURAL GENERAL NOTES**

- Contractor to verify field conditions, dimensions, etc. and notify architect of any discrepancies between existing conditions and plans. Structural designs of remodels are based on assumptions of existing conditions, which are to be verified at time of construction. Owner may be liable for additional costs due to field changes.
- Contractor responsible for providing adequate shoring, bracing, and other safety measures. Engineer's services do not extend to or include the review or site observation of the contractor's work or performance. Engineer is not liable for failure of contractor's work to conform to design intent or contract documents.
- Concrete to have 28 day ultimate strength of 2500 psi, except piles, grade beams, and structural slabs to be 3000 psi. continuous deputy inspection required for 3000 psi concrete.
- Rebars per ASTM A615, Grade 60, except #5 and smaller bars may be Grade 40. Lap rebars at corners and intersections.
- Masonry per ASTM C90. f<sub>m</sub> = 1500 psi. Grout all cells below grade and all cells containing rebars. Horizontal bars to be placed in bond beam units. Provide vertical crack control joint at 30' o/c in block walls.
- Masonry: Specify type and f<sub>m</sub> of masonry units. Proportions of Mortar and Grout mixes. When half stresses are used and f<sub>m</sub> is no more than 1500 psi for concrete masonry (2600 psi for clay masonry), a letter of certification from the supplier shall be required at the time of, or prior to, delivery of the materials to the job site to assure the materials comply with Table 21-D section 91.2105.3.4.
- Grout: 1 part cement, 3 parts sand, 1/10 part lime  
Mortar: 1 part cement, 4 1/2 parts aggregate, 1/2 part lime
- Structural steel per ASTM A36, tubes per A501, pipes per A53, Grade B. Welding to be performed in the shop of a licensed and approved fabricator. Field welding, if any, to be performed by a licensed welder (in LA approved by LA building dept.) under continuous deputy inspection. Submit shop drawing for approval.
- Lumber to be Douglas Fir Larch, grade marked, except pressure treated sill plates. Horizontal framing to be #2 grade, except 4x and larger beams and posts to be #1 grade. Framing in contact with concrete or masonry within 6" of earth to be pressure treated. Glu-lam beams per combination 24F-V3 to be supplied by a licensed and approved fabricator. Submit certificate of inspection for approval.
- Plywood per PS1-95. Nailing and placement to be inspected before covering. Oriented strand board (OSB) may be substituted for plywood.
- Unless indicated otherwise, allowable soil bearing assumed to be 1000 psi per UBC table for silty clay
- Plans and specification are not to be reused without authorization of engineer.
- Lag Bolts: Provide lead-hole 70% of threaded shank dia., and full dia. For smooth shank portion. Soap, paraffin or other approved lubricant shall be used on threads. Installation shall be by screwing not hammering. Care shall be taken to avoid over torquing bolt.

**NAILING SCHEDULE (Table 23-II-B-I)**

| CONNECTION   | NAILING (1)                      |
|--|----------------------------------|
| 1. Joist to sill or girder, toenail                                      | 3-8d                             |
| 2. Bridging to joist, toenail each end                                   | 2-8d                             |
| 3. 1" x 6 (25 mm x 152 mm) subfloor or less to each joist, face nail     | 2-8d                             |
| 4. Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist, face nail | 3-8d                             |
| 5. 2" (51 mm) subfloor to joist or girder, blind and face nail           | 2-16d                            |
| 6. Sole plate to joist or blocking, typical face nail                    | 16d at 16" (406 mm) o.c.         |
| 7. Top plate to joist or blocking, at braced wall panels                 | 3-16d per 16" (406 mm)           |
| 8. Stud to sole plate  | 2-16d                            |
| 9. Double studs, face nail   | 4-8d, toenail or 2-16d, end-nail |
| 10. Doubled top plates, typical face nail                                | 16d at 24" (610 mm) o.c.         |
| 11. Double top plates, lap splice  | 8-16d                            |
| 12. Blocking between joists or rafters to top plate, toenail             | 3-8d                             |
| 13. Rim joist to top plate, toenail                                      | 8d at 6" (152 mm) o.c.           |
| 14. Continuous header, two pieces  | 2-16d                            |
| 15. Ceiling joists to plate, toenail                                     | 3-8d                             |
| 16. Continuous header to stud, toenail                                   | 4-8d                             |
| 17. Ceiling joists, laps over partitions, face nail                      | 3-16d                            |
| 18. Ceiling joists, laps over partitions, face nail                      | 3-16d                            |
| 19. Rafter to plate, toenail   | 3-8d                             |
| 20. 1" (25 mm) brace to each stud and plate, face nail                   | 2-8d                             |
| 21. 1" x 8" sheath'g or less to each bearing, face nail                  | 3-8d                             |
| 22. Wider than 1" x 8" sheathing to each bearing, face nail              | 16d at 24" o.c.                  |
| 23. Built-up corner studs  | 20d at 32" o.c. at T & B         |
| 24. Built-up girder and beams  | 2-16d @ ea. bearing              |
| 25. 2" (51 mm) planks  |                                  |
| 26. Wood structural panels and particleboard: (2)                        |                                  |
| Subfloor and wall sheathing (to framing):                                | 6d (3)                           |
| 1/2" (12.7 mm) and less  | 8d (4) or 6d (3)                 |
| 19/32" - 3/4" (15 mm-19 mm)  | 8d (3)                           |
| 7/8" - 1" (22 mm-25 mm)  | 10d (4) or 8d (3)                |
| 1 1/8" - 1 3/4" (29 mm-32 mm)  |                                  |
| Combination subfloor-underlayment (to framing):                          | 6d (3)                           |
| 3/4" (19 mm) and less  | 8d (3)                           |
| 7/8" - 1" (22 mm-25 mm)  | 10d (4) or 8d (3)                |
| 1 1/8" - 1 3/4" (29 mm-32 mm)  | 6d (3)                           |
| 27. Panel siding (to framing): (2)                                       | 8d (3)                           |
| 1/2" (12.7 mm) or less   |                                  |
| 5/8" (16 mm)   | No. 11 ga. (4)                   |
| 28. Fiberglass sheathing:  | 6d (3)                           |
| 1/2" (12.7 mm)   | No. 16 ga. (5)                   |
|  | No. 11 ga. (4)                   |
|  | 8d (3)                           |
| 25/32" (20 mm)   | No. 16 ga. (5)                   |
| 29. Interior paneling  | 4d (3)                           |
| 1/4" (6.5 mm)  | 6d (11)                          |
| 3/8" (9.5 mm)  |                                  |

(1) Common or box nails may be used except where otherwise stated.  
 (2) Nails spaced at 6 inches (152 mm) on center at edges, 12 inches (305 mm) at intermediate supports except 6 inches (152 mm) at all supports where spans are 48 inches (1219 mm) or more.  
 (3) For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Sections 23-3.3.3 and 2315.4. Nails for wall sheathing may be common, box or casing.  
 (4) Common or deformed shank.  
 (5) Common.  
 (6) Deformed shank.  
 (7) Corrosion-resistant siding or casing nails conforming to the requirements of Section 2304.3.  
 (8) Fasteners spaced 3 inches (76 mm) on center at exterior edges and 6 inches (152 mm) on center at intermediate supports.  
 (9) Corrosion-resistant roofing nails with 7/16-inch-diameter (11 mm) head and 1 1/2-inch (38 mm) length for 1/2-inch (12.7 mm) sheathing and 1 3/4-inch (44 mm) length for 25/32-inch (20 mm) sheathing conforming to the requirements of Section 2304.3.  
 (10) Corrosion-resistant staples with nominal 7/16-inch (11 mm) crown and 1 1/8-inch (29 mm) length for 1/2-inch (12.7 mm) sheathing and 1 1/2-inch (38 mm) length for 25/32-inch (20 mm) sheathing conforming to the requirements of Section 2304.3.  
 (11) Panel supports at 16 inches (406 mm) [20 inches (508 mm) if strength axis in the long direction of the panel, unless otherwise marked] Casing or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at intermediate supports.  
 (12) Panel supports at 24 inches (610 mm). Casing or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at intermediate supports.

**SHEAR PANEL SCHEDULE**

- 14 1/2" plywood, structural grade 1, block all edges, BN = EN = 8d @ 4" o.c., IN = 8d @ 12" o.c., sill nailing 20d @ 4" o.c. Sill bolts: 5/8" A.B.'s x 14" long @ 16" o.c. 2x sill. [298 pit] See table 23-11-1-4 w/A.35 @ 16" o.c. Top P.L.
- 15 1/2" plywood, structural grade 1, block all edges, BN = EN = 10d @ 3" o.c., IN = 10d @ 12" o.c., sill nailing 1/2" @ lag bolts x 10" long @ 6" o.c. Sill bolts: 5/8" A.B.'s x 14" long @ 16" o.c. 3x sill and studs at plywood splice. NOTE: Nailing to be staggered for all members receiving edge nailing. [498 pit] w/A.35 @ 12" o.c. Top P.L.
- 16 1/2" plywood, structural grade 1, block all edges, BN = EN = 10d @ 2" o.c., IN = 10d @ 12" o.c., sill nailing 5/8" @ lag bolts x 10" long @ 6" o.c. Sill bolts: 3/4" A.B.'s x 14" long @ 12" o.c. 3x sill and studs at plywood splice. NOTE: Nailing to be staggered for all members receiving edge nailing. [652 pit] w/A.35 @ 8" o.c. Top P.L.

**NOTES**

- Use common nails only, no sinker or box nails.
- Engineering observation required for 15 & 16
- Holddown post holes to be maximum 1/16" oversized, deputy to verify.
- Tighten holddown bolts just before covering.
- Plywood to be 5 ply, nails to be minimum 1/2" from panel edge.
- At sill bolts and holddown bolts use plate washers in place of out washers; 2 1/2" x 2 1/2" x 1/4" for 5/8" bolts, 3" x 3" x 1/4" for 3/4" bolts.

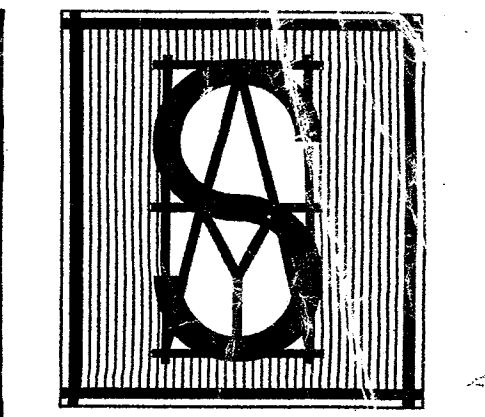
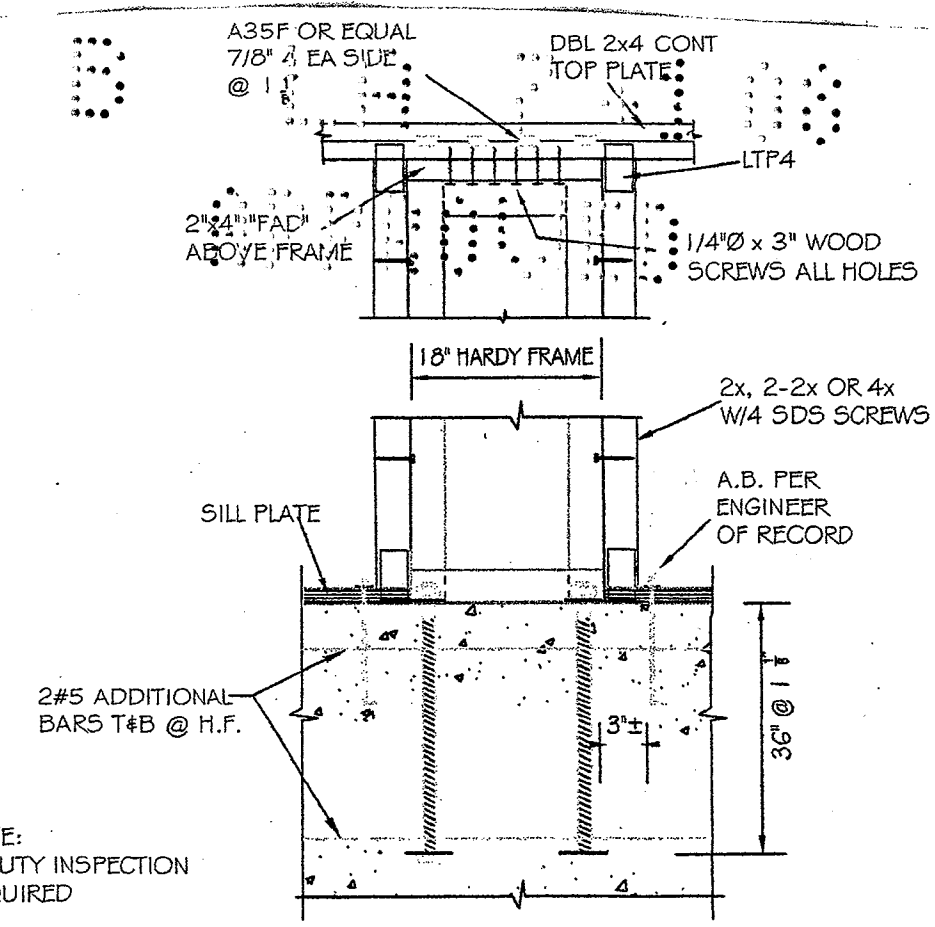
**GENERAL NOTES FOR STRUCTURAL OBSERVATION**

**STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER**

PROJECT ADDRESS: \_\_\_\_\_ PERMIT APPL.: \_\_\_\_\_  
 DESCRIPTION OF WORK: \_\_\_\_\_  
 OWNER: \_\_\_\_\_ ARCHITECT: \_\_\_\_\_ ENGINEER: SAYAH ENGINEERING

| STRUCTURAL OBSERVATION (ONLY CHECKED ITEMS ARE REQUIRED)   |  |   |                                     |
|--|--|---|-------------------------------------|
| FIRM OR INDIVIDUAL TO BE RESPONSIBLE FOR THE STRUCTURAL OBSERVATION:<br>NAME: SAYAH ENG. PHONE: 818.788.7887 CALIF. REGISTRATION: C67905 |  |   |                                     |
| FOUNDATION   | WALL   | FRAMES  | FLOOR                               |
| <input checked="" type="checkbox"/> FOOTING, STEM WALLS, PIERS   | <input checked="" type="checkbox"/> CONCRETE | <input type="checkbox"/> STEEL MOMENT FRAME             | <input type="checkbox"/> CONCRETE   |
| <input type="checkbox"/> MAT FOUNDATION  | <input checked="" type="checkbox"/> MASONRY  | <input type="checkbox"/> STEEL BRACED FRAME             | <input type="checkbox"/> STEEL DECK |
| <input checked="" type="checkbox"/> CAISSON, PILES, GRADE BEAMS  | <input type="checkbox"/> WOOD                | <input type="checkbox"/> CONCRETE MOMENT FRAME          | <input type="checkbox"/> WOOD       |
| <input type="checkbox"/> STEPPING/RETAINING FOUNDATION, HILLSIDE SPECIAL ANCHORS   | <input type="checkbox"/> OTHER               | <input type="checkbox"/> MASONRY WALL FRAME             | <input type="checkbox"/> OTHERS:    |
| <input type="checkbox"/> OTHERS:   |  | <input checked="" type="checkbox"/> OTHERS: HARDY FRAME |                                     |

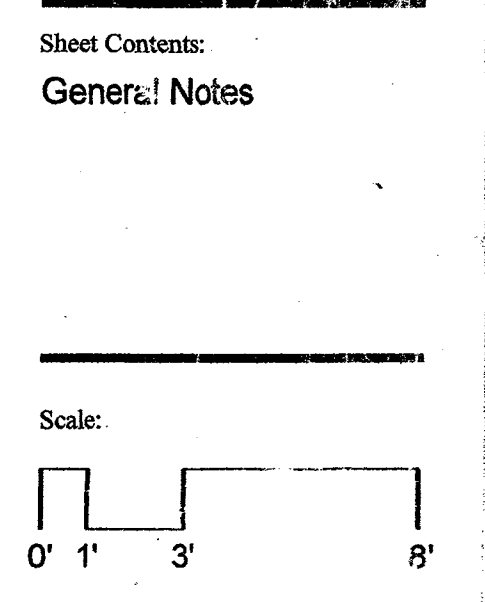
**STRUCTURAL OBSERVATION**  
 1. The owner of the project, declares that the above listed firm or individual is hired by me to be the structural observer.  
 SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (REQUIRED IF THE STRUCTURAL OBSERVER IS DIFFERENT FROM THE ARCHITECT OR ENGINEER OF RECORD)  
 1. The architect or engineer of record for the project, declares that the above listed firm or individual is designated by me to be responsible for the structural observation.  
 SIGNATURE \_\_\_\_\_ LICENSE NO. \_\_\_\_\_ DATE \_\_\_\_\_



**SAYAH ENGINEERING**  
 Structural Design and Consulting  
 TEL 818.788.7887  
 15233 Ventura Blvd., Suite 210  
 Sherman Oaks, Ca. 91403-2201  
 FAX 818.788.7827

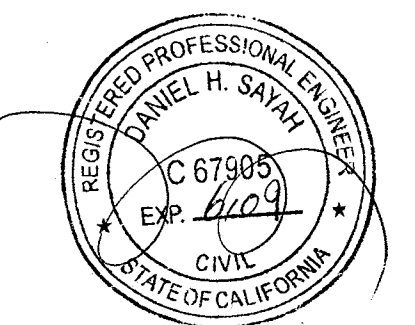
Written dimensions on these drawings shall have precedence over scaled dimensions; contractors shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and ideas, designs and arrangements represented thereby are and shall remain the property of SAYAH ENGINEERING and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of SAYAH ENGINEERING. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

**Stewart Residence**  
 New 4-Story Hillside House  
 Stewart residence  
 8633 Hollywood Blvd  
 Hollywood, Ca 90068



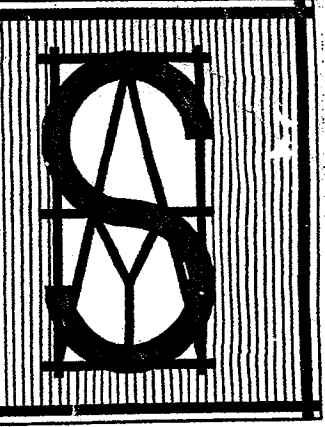
Revisions:

Date: 2006.01.16  
 Project No: SC1104  
 File Name: 5001104  
 Sheet No: \_\_\_\_\_



**S-8**





**SAYAH ENGINEERING**  
Structural Design and Consulting

TEL 818 . 788 . 7887 Suite 210  
Sherman Oaks, Ca. 91403-2201  
FAX 818 . 788 . 7827

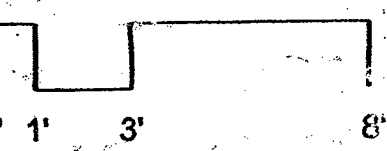
Written dimensions on these drawings shall have precedence over scaled dimension: contractors shall verify, and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and ideas, designs and arrangements represented thereby are and shall remain the property of SAYAH ENGINEERING and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of SAYAH ENGINEERING. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

**Stewart Residence**  
New 4-Story Hillside House

Stewart Residence  
8633 Hollywood Blvd  
Hollywood, Ca 90068

Sheet Contents:

Scale: 1/4"=1'-0"



Revisions:

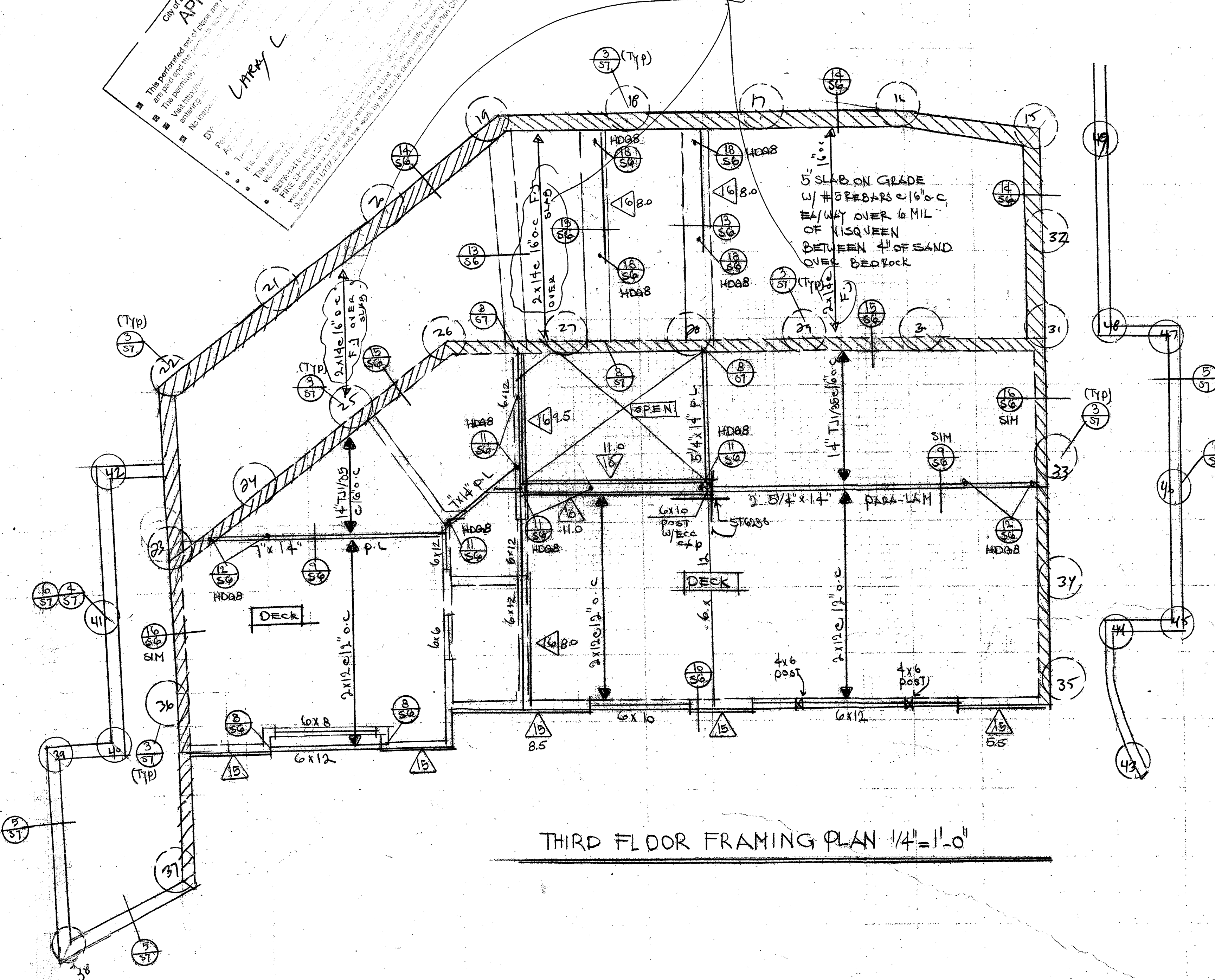
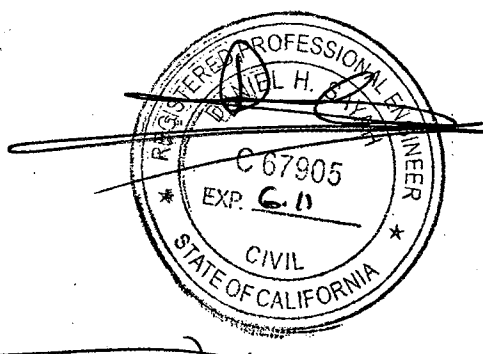
Date: 2006.06.15  
Project No.: S05134  
File Name: S05134  
Sheet No.:

**S-3**

**APPROVED PLANS**  
This professional seal is for use only on drawings of buildings, structures, and other works of engineering, architecture, or surveying prepared by a registered professional engineer, architect, or surveyor in the State of California. It is not to be used on drawings of other works of engineering, architecture, or surveying, or on drawings of other works of engineering, architecture, or surveying prepared by a person who is not a registered professional engineer, architect, or surveyor in the State of California. The seal is to be used only on drawings of buildings, structures, and other works of engineering, architecture, or surveying prepared by a registered professional engineer, architect, or surveyor in the State of California. The seal is to be used only on drawings of buildings, structures, and other works of engineering, architecture, or surveying prepared by a registered professional engineer, architect, or surveyor in the State of California.

*LMR/L*

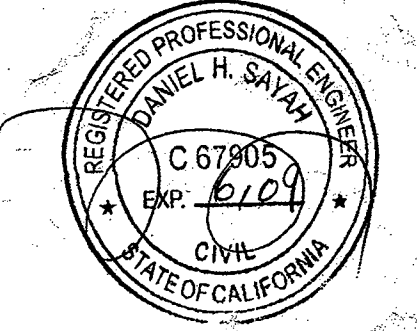
8-12-07



THIRD FLOOR FRAMING PLAN 1/4"=1'-0"

THESE PLANS HAVE BEEN REVIEWED BY THE  
J. BYER GROUP, INC. AND CONFORM TO THE  
GEOTECHNICAL RECOMMENDATIONS CONTAINED  
IN THE REPORT.  
DATE 4/6/06 3/30/05  
20049

*[Signature]* EBL  
GEM  
12-14-07



DAYMARK CORP. 700 S. CLAYBROOK ST. SAN ANTONIO, CA 78204



