



County of Los Angeles Department of Public Works Building and Safety Division

ATTACHMENT A

BEST MANAGEMENT PRACTICES FOR CONSTRUCTION ACTIVITIES*

Storm Water Pollution Control Requirements for Construction Activities Minimum Water Quality Protection Requirements for All Development Construction **Projects/Certification Statement**

The following is intended minimum notes or as an attachment for construction and grading plans and represent the minimum standards of good housekeeping which must be implemented on all construction sites regardless of size. (Applies to all permits)

- Eroded sediments and other pollutants must be retained on site and may not be transported from the site via sheetflow, swales, area drains, natural drainage courses or wind.
- Stockpiles of earth and other construction related materials must be protected from being transported from the site by the forces of wind or water.
- Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and are not to contaminate the soil and surface waters. All approved storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of in a proper manner. Spills may not be washed into the drainage system.
- Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained at the project site.
- Excess or waste concrete may not be washed into the public way or any other drainage system. Provisions shall be made to retain concrete wastes on site until they can be disposed of as solid
- Trash and construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and dispersal by wind.
- Sediments and other materials may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way. Accidental depositions must be swept up immediately and may not be washed down by rain or
- Any slopes with disturbed soils or denuded of vegetation must be stabilized so as to inhibit erosion by wind and water.

As the project owner or authorized agent of the owner, I have read and understand the requirements listed above, necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will comply with these requirements.

☐ Other:

(Owner or authorized agent of the owner)

(Owner or authorized agent of the owner)

* The above Best Management Practices are detailed in the California Storm Water Best Management Practices Handbook, March 1993

FREN ABRATIQUE, P.E.

JAVIER NUNEZ VICE-PRESIDENT

VAN AMBATIELOS

PEDRO BIRBA

MARSHA L. BROWN

CITY OF LOS ANGELES





201 NORTH FIGUEROA STREE LOS ANGELES CA 90012 ANDREW A. ADELMAN, P.E. RAYMOND CHAN EXECUTIVE OFFICER

GEOLOGY AND SOILS REPORT APPROVAL LETTER

July 12, 2006 Log # 54341 SOILS/GEOLOGY FILE - 2

Valentine Stewart 4431/2 S. Curson Ave. Los Angeles, CA 90036

TRACT: 8183 LOT:

LOCATION: 8633 Hollywood Blvd CURRENT DATE(S) OF REPORT REPORT/LETTER(S) DOCUMENT PREPARED BY Addendum Report 06/06/2006 The J. Byer Group Oversized Doc.

PREVIOUS REFERENCE REPORT DATE(S) OF REPORT/LETTER(S) DOCUMENT PREPARED BY JB 20049-C Geology/Soils Report 03/30/2005 The J. Byer Group Addendum Report 07/05/2005 LADBS Approval Letter 09/12/2005

The above current referenced report providing additional recommendations for the proposed residence and associated retaining walls has been reviewed by the Grading Division of the Department of Building and Safety. The Department previously approved report for the construction of a four level residence and retaining walls up to 44 feet in height. According to the reports, physical relief on the site is 75 feet with slope gradients as steep as ½:1. The bedrock underlying the site is granite. According to the current report, it is now proposed to construct 2 stacked retaining walls 10 feet in height with a 5.2 feet separation.

The project will be subject to the requirements of the Retaining Walls in Hillside Areas, Ordinance No. 176, 445 (effective 03/09/2005) which places limitations on the number of retaining walls detached from the building planned in hillside areas and on the individual/cumulative wall heights. A copy of the ordinance may be obtained from the City Planning web site at http://cityplanning.lacity.org.

The current referenced report is conditionally approved and a permit may be obtained provided additional conditions listed below are followed:

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

(Note: Numbers in parenthesis () refer to applicable sections of the 2002 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

- Retaining walls proposed after 03/09/2005 shall comply with the height restrictions defined
- The geologist and soils engineer shall review and approve the detailed plans prior to issuance of any permits. This approval shall be by signature on the plans which clearly indicates that the geologist and soils engineer have reviewed the plans prepared by the design engineer and that the plans include the recommendations contained in their reports.

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

CYNTHIA M. RUIZ PRESIDENT DAVID SICKLER VICE PRESIDENT PAULA A. DANIELS PRESIDENT PRO TEMPOR YOLANDA FUENTES COMMISSIONER VALERIE LYNNE SHAW COMMISSIONER CITY OF LOS ANGELES

ANTONIO R. VILLARAIGOSA MAYOR

BUREAU OF ENGINEERING GARY LEE MOORE, P.E. CITY ENGINEER

1149 S. BROADWAY, SUITE 700 LOS ANGELES, CA 90015-2213

July 21, 2006

Valentine Stewart 443 1/2 S. Curson Avenue Los Angeles, CA 90036

Dear Mr. Stewart:

JAMES A. GIBSON EXECUTIVE OFFICER

SUBJECT: 8633 HOLLYWOOD BOULEVARD – WAIVER OF DEDICATION

This correspondence is in response to your request, dated July 11, 2006, that the Bureau of Engineering waive the requirement for a three (3) foot dedication along the frontage of the subject parcel.

Existing Conditions

The subject parcel is located approximately 600 feet southwesterly of the intersection of Queens Road, with a legal description of Tract 8183, Lot 14. Hollywood Boulevard is considered a Substandard Hillside Limited Street with a right-of-way of 30 feet and a roadway of 24 feet. The width of the continuous paved roadway from the subject property to the boundary of the Hillside Ordinance is more than 20-ft wide. There are several parcels along Hollywood Boulevard that are developed with buildings near or adjacent to the existing property line.

The owner has requested that the 3 foot dedication be waived based on the following

 Difficulty and expense due to the required dedication and setback. Similar waiver has been granted to a nearby property.

Per the Hillside Ordinance (LAMC Sect. 12.21.A.17), the Bureau of Engineering must determine the Street Classification, required dedication and any required improvements prior to issuance of a building permit. Per the Hillside Ordinance, the City Engineer shall obtain dedication for public right-of-way for one-half of the width of the street(s) for the full frontage of the lot to Standard Hillside Limited Street dimensions or to a lesser width as determined by the City Engineer.

Based upon the existing conditions, the Bureau of Engineering does not anticipate accomplishing any roadway widening on the subject street within the next twenty years.

The site and existing improvements make strict adherence to the Hillside Ordinance impractical or infeasible. Therefore, the 3 foot dedication requirement on Hollywood Boulevard is waived and will

not be required for approval of the building permit at this time. Additionally, because the street is improved with an existing curb and paved roadway of 24 feet, no improvements

If you have any questions regarding this information, please call Armenia Hernandez of my staff at (213) 482-7045.

Wesley fri Wesley Tanıjıri, P.E. Bureau of Engineering Central District Office Public Counter Manager

WKT:AH:wkt 8633 Hollywood Blvd - Waiver Ltr

cc: Gregg Vandergriff

8633 Hollywood Blvd

- All new graded slopes shall be no steeper than 2:1. (Code Section 91.7010.2 & 91.7011.2)
- All recommendations of the report which are in addition to or more restrictive than the conditions-contained herein shall be incorporated into the plans.
- All nonconforming street cut slopes shall be trim-graded back to a slope gradient no steeper that for retained by a designed retaining wall. (Code Section 91.7010.2)
- Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Department and the Department of Public Works, for any grading work in excess of 200 cu yd. (Code Section
- A grading permit shall be obtained for all structural fill and retaining wall backfill. (106.1.2)
- A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans. Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit. (Code Section
- The geologist and soil engineer shall inspect all excavations to determine that conditions anticipated in the report have been encountered and to provide recommendations for the correction of hazards found during grading. (Code Section 91.7008.3)
- The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the State Construction Safety Orders enforced by the State Division
- of Industrial Safety. (3301.1) Footings adjacent to a descending slope steeper than 3:1 in gradient shall be located a distance of one-third the vertical height of the slope but need not exceed 40 feet measured
- horizontally from the face of the slope. (Code Section 91.1806.5.3) Buildings adjacent to ascending slopes shall be set back from the toe of the slope a level distance equal to one half the vertical height of the slope, but need not exceed 15 feet in accordance with Code Section 91.1806.5.2
- Existing uncertified fill if any shall not be used for support of footings, concrete slabs or new
- 14. All friction pile or caisson drilling and installation shall be performed under the inspection and approval of the Foundation Engineer. (Code Section 91.1807.1)
- 15. All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density (D1556). Placement of gravel in lieu of compacted fill is allowed only if complying with Section 91.7011.3 of the Code.(7011.3)

8633 Hollywood Blvd

- Prefabricated drainage composites (Miradrain) (Geotextiles) may be only used in addition to traditionally accepted methods of draining retained earth.
- Prior to the placing of compacted fill, a representative of the consulting Soils Engineer shall inspect and approve the bottom excavations. He shall post a notice on the job site for the City Grading Inspector and the Contractor stating that the soil inspected meets the conditions of the report, but that no fill shall be placed until the City Grading Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be filed with the Department upon completion of the work. The fill shall be placed under the inspection and approval of the Foundation Engineer. A compaction report shall be submitted to the Department upon completion of the compaction. (Code Section 91,7011.3)
- Prior to the pouring of concrete, a representative of the consulting Soil Engineer shall inspect and approve the footing excavations. He shall post a notice on the job site for the City Building Inspector and the Contractor stating that the work so inspected meets the conditions of the report, but that no concrete shall be poured until the City Building Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Department upon completion of the work. (Code Section 91.7008.2)
- 33. The LABC Soil Type underlying the site is $S_{\rm p}$ (1636A)
- 34. The geologist and soil engineer shall inspect the excavations for the footings to determine that they are founded in the recommended strata before calling the Department for footing inspection. (Code Section 91.7008)
- 35. The residence shall be connected to the public sewer system immediately upon its availability. Upon conversion to the public sewage disposal system, the private sewage disposal system shall be abated in a manner acceptable to the Department.
- 31. The seepage pit shall be located in an area recommended by the project geologist and shown on the geologic map and cross-sections, prior to approval of the proposed private sewage
- 32. The seepage pit shall be sealed a minimum vertical distance of 5 feet below the fresh bedrockweathered bedrock contact or soil/fill interface; or at a 25 foot minimum horizontal distance from the fresh-weathered bedrock contact bedrock-soil or bedrock-fill interface, whichever is determined to be the greater distance or depth. Based on the submitted information, the seepage pit shall be sealed at a depth of 10 feet below ground surface. It shall be noted that these values are minimums and site conditions may warrant a greater setback distance or
- 33. The sealing of the seepage pit shall be accomplished by a properly seated concrete ring plug or other method to produce a completely water tight seal within the recommended interval.
- 34. The seepage pit excavation shall be inspected by the project geologist and/or soil engineer to determine that encountered conditions are as anticipated and that proper construction and sealing practices have been followed. The geologist shall submit a final report stating that the seepage pit has been completed in compliance with his recommendations.

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into the design, as recommended.

Temporary unsurcharged excavation in bedrock may be cut vertical up to a height of 10 feet. Portions of the excavations that exceeds this height shall be trimmed to a slope gradient of no steeper than 1:1 or shored, as recommended.

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- 17. Adequate temporary erosion control devices acceptable to the Department, and if applicable the Department of Public Works, shall be provided and maintained during the rainy season.
- (Code Section 91.7013.12) 18. Shoring shall be designed for a minimum EFP of 43 PCF; all surcharge loads shall be included
- 19. The soils engineer shall review and approve the shoring and/or underpinning plans prior to issuance of the permit. (7006.2)
- 20. All graded, brushed or bare slopes shall be planted with low-water consumption, native-type plant varieties recommended by a landscape architect. Suitable arrangements shall be made with the Department with respect to continued maintenance of the recommended plant varieties until they are established as an effective ground cover. (Code Section 91.7012)
- 21. All roof and pad drainage shall be conducted to the street in an acceptable manner. (Code Section 91.7013.10)
- 22. Pile caisson and/or isolated foundation ties are required by Code Section 91.1807.2. Exceptions and modification to this requirement are provided in Information Bulletin P/BC2001-30 previously RGA 2-66.
- 23. Retaining walls shall be designed for a minimum EFP of 43 pcf, as recommended.
- 24. The rear yard retaining walls shall be provided with a minimum freeboard of 2 feet, as
- 25. The recommended equivalent fluid pressure (EFP) for the proposed retaining wall shall apply from the top of the freeboard to the bottom of the wall footing.
- 26. All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted to the street in an acceptable manner and in a non-erosive device.
- 27. All retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soil regort shall be incorporated into the foundation plan which shall be reviewed and approved the soils engineer of record. (7015.5 & 108.9)
- Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector. (7015.5 & 108.9)
- 29. Basement walls and slab shall be waterproofed with an L.A. City approved "Below-grade waterproofing" material with a research report number.

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- All conditions of approval in the Department letter dated 09/12/2006 (log # 49406) shall
- The stacked retaining walls shall be designed such that piles for the upper wall shall derive all bearing and passive resistance below a 1:1 plane projected upward from the bottom of the
- The proposed temporary shoring piles shall be designed for a minimum EFP of 43 pcf, as recommended.

Migusta Emma NEGISTI GIRMAY Engineering Geologist Associate II

> NHG/PC:nhg/pc Log # 54341 (213)482-0480

cc: The J. Byer Group, Inc. LA District Office

> PLANS APPROVED Casa No. ZA 2006 - 9083 (ZAA) (ZAO) Lourdes Green ZONING ADMINISTRATOR CITY OF LOS ANGELES Date 5-14-08 2 OF 11

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AN EQUAL EMPLOYMENT OPPORTUNITY EMPLOYER

ANTONIO R. VILLARAIGOSA

S. GAIL GOLDBERG, AICP DIRECTOR OFFICE OF ZONING ADMINISTRATION 200 N. Spring Street, 7th Floor Los Angeles, CA 90012 www.lacity.org/PLN

January 16, 2008

Valentine Stewart (A)(O)(R) 443-1/2 Curson Avenue Los Angeles, CA 90036

Hollywood Planning Area Zone : R1-1 Department of Building and Safety

D. M. : 147B173 C. D. : 5 CEQA : ENV-2006-9084-MND Fish and Game : Exempt

Pursuant to Los Angeles Municipal Code Section 12.28, I hereby APPROVE:

a Zoning Administrator's Adjustment from Sections 12.21-C,1(g) of the Municipal Code to permit retaining walls located, respectively, within the front yard to exceed the permitted height for fences and walls of 3-1/2 feet and within the side yard and rear yard to exceed the permitted height of 6 feet; and,

Pursuant to Los Angeles Municipal Code Section 12.24-X,11, I hereby APPROVE:

Pursuant to Los Angeles Municipal Code Section 12.24-X,26, I hereby APPROVE:

a Zoning Administrator's Determination to permit three retaining walls, which observe a maximum height of 10 feet in lieu of the otherwise permitted maximum of

upon the following additional terms and conditions:

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

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materials/wastes must be taken to an appropriate landfill. Toxic wastes must be discarded at a licensed regulated

- prevent contaminated soil on paved surfaces that can be washed away into the storm drains.
- cleanup methods shall be used whenever possible.
- Dumpsters shall be covered and maintained. Place uncovered
- to reduce soil compaction and limit the tracking of sediment
- be conducted off-site. Drip pans or drop cloths shall be used to catch drips and spills.
- 1) Projects involving the import/export of 1,000 cubic yards or more of
- 2) The developer shall install appropriate traffic signs around the site to
- Fences shall be constructed around the site to minimize trespassing, vandalism, short-cut attractions and attractive nuisances.

Prior to the issuance of building or grading permits, the applicant shall submit a geotechnical Report prepared by a registered civil engineer or certified engineering geologist to the written satisfaction of the Department of Building

- h. Hillside Mitigation Measures

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development and use of the property, except as such regulations are herein

specifically varied or required.

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- The use and development of the property shall be in substantial conformance with the plot plan submitted with the application and marked Exhibit "A", except as may be revised as a result of this action.
- 3. The authorized use shall be conducted at all times with due regard for the character of the surrounding district, and the right is reserved to the Zoning Administrator to impose additional corrective Conditions, if, in the Administrator's opinion, such Conditions are proven necessary for the protection of persons in the neighborhood or occupants of adjacent property.
- 4. All graffiti on the site shall be removed or painted over to match the color of the surface to which it is applied within 24 hours of its occurrence.
- 5. A copy of the first page of this grant and all Conditions and/or any subsequent appeal of this grant and its resultant Conditions and/or letters of clarification shall be printed on the building plans submitted to the Zoning Administrator and the Department of Building and Safety for purposes of having a building permit issued.
- The project shall comply with all other hillside provisions of Section 12.21-A,17 of the Municipal Code, as applicable, to the satisfaction of the Department of Building
- 7. The single-family dwelling shall not exceed 4,162 square feet, including a three-car, attached 791 square-foot garage.
- No deviations from height have been requested or granted herein. The dwelling shall not exceed a height of 45 feet if the slope is greater than 66% pursuant to Section 12.21-A.17(c) of the Municipal Code and as further determined by the Department of Building and Safety. The dwelling shall not exceed a height of 36 feet if the slope is equal to or less than 66% as further determined by the Department of Building and Safety.
- 9. No deviations from parking have been requested or granted herein. The dwelling shall provide a minimum of three parking spaces provided the floor area does not exceed 3,400 square feet pursuant to Section 12.21-A,17(h)(1) of the Municipal
- 10. Prior to any sign-off of plans by the Zoning Administrator, the applicant shall submit the plot plan for review and approval to the Fire Department. Said Department's approval shall be included in the form of a stamp on the plans submitted to the Zoning Administrator.
- 11. All railings along the dwelling's facade shall be wrought iron and open in appearance so as not to create a solid effect.

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- 3) The applicant shall provide a staked signage at the site with a minimum of 3-inch lettering containing contact information for the Senior Street Use Inspector (Department of Public Works), the Senior Grading Inspector (LADBS) and the hauling or general contractor.
- ensure pedestrian and vehicle safety.
- 5) LADBS shall require the applicant and all employees to park their sponsored vanpool system for transport to the site.
- 6) LADBS shall stagger haul trucks based upon a specific area's capacity, as determined by the Department of Transportation, and the amount of soil proposed to be hauled to minimize cumulative traffic and congestion impacts.
- appropriate size of trucks allowed for hauling, best route of travel, the appropriate number of flag people.
- 8) Trucks having no current hauling activity shall not idle but be turned
- 10) No parking shall be permitted on street during Red Flag Days in compliance with the "Los Angeles Fire Department Red Flag HO Parking" program.
- construction material shall be stored on-site and not on the street during hauling operations.
- 12) The applicant shall provide a soils and/or geotechnical report to LADBS (reports needed to be determined by LADBS) for review and approval that shall include measures to mitigate impacts related to
- 13) Fences shall be constructed around the site to minimize trespassing,

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residents with a written construction schedule.

control the frequency of construction traffic to the site.

1) Grading shall be kept to a minimum.

9084-MND as noted below and attached to the file:

a. Aesthetics (Hillside Site Design):

exceed a height of 10 feet.

12. The retaining wall within the front yard, southerly side yard and rear yard shall not

13. Prior to any sign-off of plans by the Zoning Administrator, a landscape plan

14. Prior to the commencement of site excavation and construction activities, the

15. The applicant and project construction manager shall identify a contact person and

16. The contractor shall establish an off-site staging area for large trucks and any other

17. The project shall comply with all mitigation measures identified in ENV No. 2006-

shall be prepared and submitted for the retaining walls, designed to completely hide

the walls from view in accordance with the provisions of Section 12.21-C,8(b) of the

Municipal Code. The plan shall include <u>elevations</u> depicting the planting coverage

applicant shall notify residents within a 100-foot radius of the project site and provide

provide a telephone number for any inquiries or complaints from residents regarding

construction activities. The phone number shall be provided to all residents within

the 100-foot radius and posted on the site so that is readily visible to any interested

construction vehicles which cannot be accommodated on the project site in order to

Natural features, such as prominent knolls or ridge lines shall be

3) Project shall comply with the City's Hillside Development Guidelines.

Outdoor lighting shall be designed and installed with shielding, so that the

1) Prior to the issuance of a grading permit, a plot plan prepared by a

reputable tree expert indicating the location, size, type, and condition

of all existing trees on the site shall be submitted for approval by the

decision maker and the Urban Forestry Division of the Bureau of

Street Services. All trees in the public right-of-way shall be provided

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light source cannot be seen from adjacent residential properties.

per the current Urban Forestry Division standards.

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 - 2) The plan shall contain measures recommended by the tree expert for the preservation of as many trees as possible. Mitigation measures such as replacement by a minimum of 24-inch box trees in the parkway and on the site, on a 1:1 basis, shall be required for the unavoidable loss of desirable trees on the site, and to the satisfaction of the Urban Forestry Division of the Bureau of Street Maintenance
 - 3) The genus or genera of the tree(s) shall provide a minimum crown of 30 to 50 feet. Please refer to City of Los Angeles Landscape
 - Ordinance (Ord. No. 170,978), Guidelines K Vehicular Use Areas.

Note: Removal of all trees in the public right-of-way shall require approval of the Board of Public Works.

Seismic:

The design and construction of the project shall conform to the Uniform Building Code seismic standards as approved by the Department of Building

e. Erosion/Grading/Short-Term Construction Impacts:

and the decision maker.

- 1) Air Quality:
 - a) All unpaved demolition and construction areas shall be wetted at least twice daily during excavation and construction, and temporary dust covers shall be used to reduce dust emissions and meet SCAQMD District Rule 403. Wetting could reduce fugitive dust by as much as 50 percent.
 - b) The owner or contractor shall keep the construction area sufficiently dampened to control dust caused by grading and hauling, and at all times provide reasonable control of dust
 - c) All loads shall be secured by trimming, watering or other appropriate means to prevent spillage and dust.
 - d) All materials transported off-site shall be either sufficiently watered or securely covered to prevent excessive amount of
 - e) All clearing, grading, earth moving, or excavation activities shall be discontinued during periods of high winds (i.e., greater than 15 mph), so as to prevent excessive amounts of dust.
 - General contractors shall maintain and operate construction equipment so as to minimize exhaust emissions.

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- The project shall comply with the City of Los Angeles Noise Ordinance Nos. 144,331 and 161,574, and any subsequent ordinances, which prohibit the emission or creation of noise beyond certain levels at adjacent uses unless technically
- Construction and demolition shall be restricted to the hours of 7 a.m. to 6 p.m. Monday through Friday, and 8 a.m. to 6 p.m. on Saturday.
- Construction and demolition activities shall be scheduled so as to avoid operating several pieces of equipment simultaneously, which causes high noise levels.
- The project contractor shall use power construction equipment with state-of-the-art noise shielding and muffling devices.
- The project shall comply with the Noise Insulation Standards of Title 24 of the California Code Regulations, which insure an acceptable interior noise environment.

Grading:

- Excavation and grading activities shall be scheduled during dry weather periods. If grading occurs during the rainy season (October 15 through April 1), construct diversion dikes to channel runoff around the site. Line channels with grass or roughened pavement to reduce runoff velocity.
- Incorporate appropriate erosion control and drainage devices to the satisfaction of the Building and Safety Department. These measures include interceptor terraces, berms, veechannels, and inlet and outlet structures, as specified by Section 91.7013 of the Building Code, including planting fastgrowing annual and perennial grasses in areas where construction is not immediately planned.
- Stockpiles and excavated soil shall be covered with secured tarp or plastic sheeting.
- 4) General Construction:
 - a) All waste shall be disposed of properly. Use appropriately labeled recycling bins to recycle construction materials including: solvents, water-based paints, vehicle fluids, broken asphalt and concrete; wood, and vegetation. Non recyclable

Lourdes Green ZONING ADMINISTRATOR CITY OF LOS ANGELES

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CITY OF LOS ANGELES

CASE NO. ZA 2006-9083(ZAA)(ZAD) ZONING ADMINISTRATOR'S ADJUSTMENT/DETERMINATION 8633 Hollywood Boulevard

Legal Description: Lot 14, Tract 8183

a Zoning Administrator's determination to permit the construction, use and maintenance of a new single-family dwelling with a maximum height of 31 feet 6 inches within 20 feet of the front lot line of the property in lieu of the maximum height of 24 feet otherwise permitted pursuant to Section 12.21-A,17(c)4 of the Municipal

two 10-foot walls or a single 12-foot wall pursuant to Section 12.21-C,8 of the Municipal Code;

All other use, height and area regulations of the Municipal Code and all other applicable government/regulatory agencies shall be strictly complied with in the

- disposal site. b) Leaks, drips and spills shall be cleaned up immediately to
- Pavement shall not be hosed down at material spills. Dry
- dumpsters under a roof or cover with tarp or plastic sheeting. Where truck traffic is frequent, gravel approaches shall be used
- All vehicle/equipment maintenance, repair, and washing shall be conducted away from storm drains. All major repairs are to
- f. Haul Routes
 - dirt shall obtain haul route approval by the Department of Building and
 - ensure pedestrian and vehicle safety.
- Subsidence:
- 1) The applicant shall obtain a haul route approval from the Board of Building and Safety Commissioners for export/import in excess of

- 2) All haul route hours shall be limited to off-peak hours as determined by the Board of Building and Safety Commissioners.
- 4) The developer shall install appropriate traffic signs around the site to
- personal vehicles outside of the neighborhood and utilize a developer-
- 7) The City of Los Angeles Department of Transportation shall recommend to the Building and Safety Commission Office the
- 9) The applicant shall be limited to no more than two trucks at any given time within the site's staging area.
- 11) In order to preserve adequate access for emergency vehicles, all

vandalism, short-cut attractions and attractive nuisances.

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b. Aesthetics (Light):

c. Tree Removal

Public Services (Fire):

The following recommendations of the Fire Department relative to fire safety shall be incorporated into the building plans, which includes the submittal of a plot plan for approval by the Fire Department either prior to the recordation of a final map or the approval of a building permit. The plot plan shall include the following minimum design features: fire lanes, where required, shall be a minimum of 20 feet in width; all structures must be within 300 feet of an approved fire hydrant, and entrances to any dwelling unit or guest room shall not be more than 150 feet in distance in horizontal travel from the edge of the roadway of an improved street or approved fire lane.

Public Services (Schools): The applicant shall pay school fees to the Los Angeles Unified School District to offset the impact of additional student enrollment at schools serving the

18. Prior to the issuance of any permits relative to this matter, a covenant acknowledging and agreeing to comply with all the terms and conditions established herein shall be recorded in the County Recorder's Office. The agreement (standard master covenant and agreement form CP-6770) shall run with the land and shall be binding on any subsequent owners, heirs or assigns. The agreement with the conditions attached must be submitted to the Zoning Administrator for approval before being recorded. After recordation, a certified copy bearing the Recorder's number and date shall be provided to the Zoning Administrator for attachment to the

subject case file. OBSERVANCE OF CONDITIONS - TIME LIMIT - LAPSE OF PRIVILEGES - TIME

All terms and conditions of the approval shall be fulfilled <u>before</u> the use may be established. The instant authorization is further conditional upon the privileges being utilized within two years after the effective date of approval and, if such privileges are not utilized or substantial physical construction work is not begun within said time and carried on diligently to completion, the authorization shall terminate and become void. A Zoning Administrator may extend the termination date for one additional period not to exceed one year, if a written request on appropriate forms, accompanied by the applicable fee is filed therefore with a public Office of the Department of City Planning setting forth the reasons for said request and a Zoning Administrator determines that good and reasonable cause exists

TRANSFERABILITY

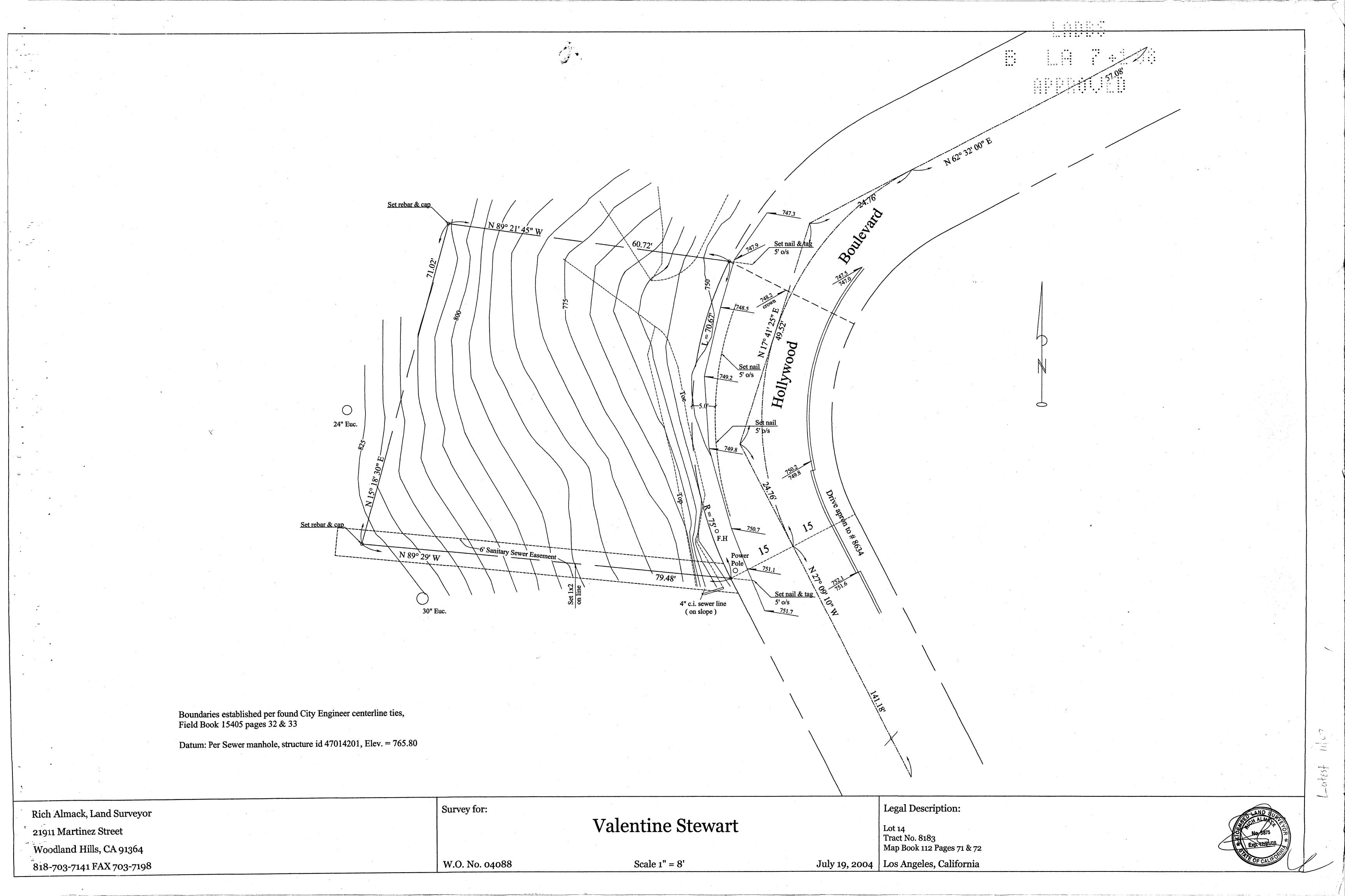
This authorization runs with the land. In the event the property is to be sold, leased, rented or occupied by any person or corporation other than yourself, it is incumbent upon you to advise them regarding the conditions of this grant.

FLANS APPROVED

as required by

Case No. 2A2004-4083 (ZAA)

 $\alpha \circ \Box$ $\Sigma \otimes \Box$



GENERAL NOTES:

GENERAL

- 1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE LOCATION OF THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES." OBTAIN APPROVAL FROM REAL ESTATE BUSINESS UNIT OF DWP 213-367-0562.
- 2. OBTAIN PERMITS FROM PUBLIC WORKS FOR ANY PROTECTION FENCE OR CANOPY TO BE LOCATED ON ANY STREET OR PUBLIC AREA. ANY TEMPORARY SHORING OR EXCAVATION THAT REMOVE THE LATERAL SUPPORT FROM A PUBLIC WAY PRIOR TO CONSTRUCTION.
- 3. FOR SITES WITHIN THE POTENTIAL METHANE ZONE, OBTAIN APPROVAL FROM FIRE DEPARTMENT AND MECHANICAL DIVISION OF THE BUILDING DEPARTMENT FOR INSTALLING A MECHANICAL VENTING SYSTEM.
- 4. OBTAIN PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO PERMIT ISSUANCE FOR: TRENCHES OR EXCAVATION 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND. CONSTRUCTION OR DEMOLITION OF ANY BUILDING, STRUCTURE, OR SCAFFOLDING OR FALSE WORK MORE THAN 3 STORIES OR 26 IN HEIGHT. HSC 17922.5.6
- 5. WHEN THE ENTRANCE TO THE DWELLING IS MORE THAN 150 FT. AS MEASURED FROM THE EDGE
 OF AN IMPROVED STREET OR APPROVED FIRE LANE ALONG THE NORMAL ENTRANCE ROADWAY OR
 APPROVED FIRE LANE ALONG THE NORMAL ENTRANCE ROADWAY OR WALKWAY TO THE FRONT DOOR.
 OBTAIN CLEARANCE FROM THE HYDRANTS AND ACCESS UNIT OF THE FIRE DEPARTMENT (L.A.M.C. 57.09.03)
- 6. ANY GRADING PROJECTS INVOLVING MORE THAN 100 CUBIC YARDS OF EXCAVATION AND INVOLVING AN EXCAVATION IN EXCESS OF 5 FEET IN VERTICAL DEPTH AT ITS DEEPEST POINT MEASURED FROM THE ORIGINAL GROUND SURFACE SHALL BE DONE BY A STATE OF CALIFORNIA LICENSED CONTRACTOR WHO IS LICENSED TO PERFORM THE WORK DESCRIBED HEREIN.

GRADING AND FOUNDATION

- 1. OBTAIN APPROVAL FROM PUBLIC WORKS AND GRADING DIVISION OF BUILDING AND SAFETY FOR GRADING WORK EXCEEDS 200 CUBIC YARD DURING RAINY SEASON FROM NOV 1 TO APRIL 15 FOR EROSION CONTROL AT JOB SITE PRIOR TO CONSTRUCTION.
- 2. A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL GRADING AND FOUNDATION EARTHWORK IN HILLSIDE OR NON-HILLSIDE AREAS WHERE SITE EXCEEDS 60,000 SQUARE FOOT; CUT OR FILL SLOPE EXCEEDS 2:1; CUTS EXCEED 40 FEET IN HEIGHT AND WITHIN 20 FEET OF A PROPERTY LINE; FOUNDATION EXCAVATION EXTEND BELOW A 1:1 PLANE FROM PROPERTY LINE; OR PROJECTS INVOLVE UNUSUAL HAZARDS.
- 3. A REGISTERED DEPUTY GRADING INSPECTOR IS REQUIRED ON ALL SHORING WORK, INCLUDING THE SLOT IN THE HILLSIDE OR NON-HILLSIDE AREAS.
- 4. FLOOD HAZARD AREA THE LOT IS LOCATED IN AN AREA SUBJECT TO FLOOD.
- A. A CERTIFICATE OF COMPLIANCE MUST BE FILLED OUT AND SUBMITTED TO THE INSPECTOR CERTIFYING THAT FOUNDATION WAS BUILT AT THE REQUIRED ELEVATION. FLOOD ZONE (A, AR VI-30, AO (AF), A1 -30 (FW)) REQUIRE CLEARANCE FROM THE DEPARTMENT OF PUBLIC WORKS, NFIP COORDINATOR, (213) 847-5210.
- B. SURVEY BY A LICENSED SURVEYOR OR CE IS REQUIRED TO VERIFY ELEVATION OF LOWEST FINISHED. FLOOR.
- C. COMPLETED (ELEVATION/FLOOD PROOFING) CERTIFICATE (ATTACHED) SHALL BE GIVEN TO THE INSPECTOR. IF MISPLACED, THE CERTIFICATE CAN BE DOWNLOADED FROM THE INTERNET AT HTTP://WWW.FEMA.GOV/LIBRARY/ELVINST.HTM
- 5. PROVIDE RAIN GUTTERS AND CONVEY RAIN WATER TO THE STREET. 7013.9
- 6. PIPE SYSTEMS MUST HAVE CLEAN OUT ACCESS AT: 1) EVERY HORIZONTAL BEND 2) EVERY 50' FOR ONE OR TWO FAMILY BUILDING SITES OR 100' FOR ALL OTHERS. PROVIDE CLEAN OUT LOCATIONS AND DETAIL ON PLANS.
- 7. MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 20% (GGRADE DETAILS AND TRANSITION SLOPIES REQUIRED WHERE SLOPE EXCEEDS 12 1/2%. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%. 12.21A5(g).
- 8. IF SOIL IS FOUND TO BE EXPANSIVE, THE FOOTINGS MUST MEET THE FOLLOWING MINIMUM REQUIREMENTS: 1804.4
- A. DEPTH OF FOOTINGS BELOW THE NATURAL AND FINISH GRADES SHALL NOT BE LESS THAN
- 24 INCHES FOR EXTERIOR AND 18 INCHES FOR INTERIOR FOOTINGS.

 B. EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL BE SUPPORTED ON CONTINUOUS FOOTINGS.
- C. FOOTINGS SHALL BE REINFORCED WITH MINIMUM FOUR VI-INCH DIAMETER DEFORMED REINFORCING BARS. TWO BARS SHALL BE PLACED 4 INCHES OF THE BOTTOM OF THE FOOTING AND TWO
- BARS WITHIN 4 INCHES OF THE FOOTINGS.
- D. THE SOIL BELOW AN INTERIOR CONCRETE SLAB SHALL BE SATURATED WITH MOISTURE TO A DEPTH OF 18 INCHES PRIOR TO PLACING THE CONCRETE.
- E. CONCRETE FLOOR SLABS ON GRADE SHALL BE PLACED ON A 4" FILL OF COARSE AGGREGATE MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEASTOR ON A THREE AND HALF INCH THICK AND SHALL BE REINFORCED WITH #4 REBARS AT 16 INCH OFF CENTER BOTH DIRECTIONS.
- 9. CONTINUOUS INSPECTION BY A DEPUTY INSPECTOR IS REQUIRED FOR ALL CONCRETE DESIGNED WITH FC GREATER THAN 2500PSI.
- 10. CONCRETE SLABS ON GRADE ON EXPANSIVE SOIL, COMPACTED FILL OR SLOPES OVER A:10 SHALL BE PLACED ON A 4-INCH FILL OF COARSE AGGREGATE OR ON A 2" SAND BED COVERED MOISTURE BARRIER COVERED MOISTURE BARRIER MEMBRANE. THE SLABS SHALL BE AT LEAST 3-1/2 INCHES THICK AND SHALL BE REINFORCED WITH #4 BARS SPACED AT INTERVALS NOT EXCEEDING 16 INCHES
- 11. ALL FOUNDATION SILLS SHALL BE PRESSURE TREATED, OR FOUNDATION GRADE REDWOOD 91.306.4
- 12. PROVIDE APPROVED DAMP-PROOFING FOR ALL WALLS BELOW GRADE THAT ENCLOSE HABITABLE OR NON-HABITABLE SPACE. 91.1402.4
- 13. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1 /150 OF UNDER FLOOR AREA AND NOT THAN MINIMUM 18" X 24" UNDER FLOOR ACCESS OPENING. 91.2306.3
- 14. A CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4"
 EARTH OR 2" ABOVE PAVED AREA 91.2506.5
- 15. ALL HOLD-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING." 2315.5.6

SPECIAL HAZARDS

- 1. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS LOCATED IN A MOUNTAIN FIRE DISTRICT OR FIRE BUFFER ZONE.
- 2. FOR STRUCTURES IN A HIGH WIND AREA, PROVIDE THE FOLLOWING:
- A. 30# FELT UNDERLAYMENT ATTACHED TO THE ROOF DECK WITH 1" HEADED NAILS, OR NAILS OR NAILS DRIVEN THRU TIN CAPS.
- B. DESIGN GLASS THICKNESS PER T 24-A

- C. ANCHOR POSTS WITH 2 1/2" BOLTS
- D. DESIGN ROOF OVERHANG FOR 15 PSF UPLIFT OR AS REQUIRED ON T 16-H WHICHEVER
- 3. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNA, GUY WIRES, SOLAR PANELS, RAZOR RIBBON, FENCE, CABLE, OR OTHER OBSTRUCTIONS SHALL NOT PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE. LAMC 57.12.02
- 4. PRE-FAB FIREPLACES REQUIRE MANUFACTURER, MODEL, AND UNDERWRITER LABORATORIES
 CERTIFICATION (OR ICBO). TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF
- 5. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE, OR BARBECUE WHICH USES FUEL BURNING MATERIAL." (L.A.M.C. 57.20.25)
- 6. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING." (PER ORDINANCE 171,874-FOR WORK
- 7. THE INDOOR STORAGE OF COMBUSTIBLE MATERIALS SHALL BE REGULATED IN RELATION TO ARRANGEMENT, LOCATION, SIZE OF AREAS, HEIGHT, SEPARATIONS, AND HOUSEKEEPING. LAMC 57.57.03
- 8. PROVIDE COLLISION BARRIERS ADEQUATE TO PROTECT CONTROL METERS, REGULATORS, AND PIPING FOR HAZARDOUS MATERIAL THAT ARE EXPOSED TO VEHICULAR DAMAGE. LAMC 57.20.07
- 9. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2406.4 AT THESE LOCATIONS:
- A. INGRESS AND EGRESS DOORS; PANELS IN SLIDING OR SWINGING DOORS; DOORS AND ENCLOSURES FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDINGSURFACE) 91.1115B.9.8; IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE; IN WALL ENCLOSING STAIRWAY LANDING
- 10. PROVIDE PLANTER BOX DETAIL. SHOW A 2" AIR SPACE FROM WALL TO PLANTER. 91.2306.8

FIRE PROTECTION:

- 1. DRAFT STOPPING SHALL BE PROVIDED:
- A. WITHIN A CONCEALED FLOOR CEILING ASSEMBLY FORMED OF COMBUSTIBLE CONSTRUCTION (1000 SQ FT & 60' MAX. BETWEEN DRAFT STOPS) 91.708.3.1.1.1 CI~. 91.708.3.1.1
- B. ATTICS, MANSARDS, OVERHANGS AND SIMILAR CONCEALED SPACES FORMED OF COMBUSTIBLE CONSTRUCTION. 91.708.3.1.2 (3000 SQ FT & 60' MAX.)
- C. ABOVE AND IN LINE WITH WALLS SEPARATING TENANT SPACES FROM EACH OTHER AND FROM OTHER USES. 91.708.3
- 2. UNPROTECTED OPENINGS ARE PROHIBITED IN ENVELOPE PROTECTION TYPE (RATED) CEILINGS.
 ALL DUCT OPENINGS REQUIRE FIRE DAMPERS AND ARE LIMITED IN AREA TO 100 SQUARE INCH IN
 ANY 100 SQUARE FOOT OF CEILING. ACCESS OPENINGS REQUIRE ONE HOUR FIRE RATED
 ASSEMBLIES WITH CLOSING DEVICES APPROVED BY THE DEPARTMENT. 91.710.2
- 3. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 91.310.9.1.3,4
- A. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY
- B. IN EXISTING CONSTRUCTION SMOKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED IN A) ABOVE.
- C. PROVIDE SMOKE DETECTORS AT THE TOP OF COMMON STAIRWELLS SERVING TWO OR MORE TENANTS. (HEARTH AND SAFETY CODE 13113.7)
- 4. SPRINKLER SYSTEM IS REQUIRED FOR A FOUR-STORY, TYPE V BUILDING. 91.506. (IF REQUIRED, TO BE APPROVED BY PLUMBING DIVISION OF THE BUILDING DEPARTMENT PRIOR TO INSTALLATION)
- 5. FIRE EXTINGUISHERS: LOCATION TO BE APPROVED BY FIRE/BUILDING INSPECTOR.

 A. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A 10BC WITHIN 75 FEET OF TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR; ALSO DURING CONSTRUCTION. LAMC 57.140.10

INTERIOR:

- 1. PROVIDE 70 INCH HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE." 91.807.1.3, 91.2406.4(5), 91.1115B.9.6, 7, 8
- 2. DIMENSION ON PLANS THE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENT AND 24 IN. CLEARANCE IN FRONT OF WATER CLOSET FOR BATHROOM. 91.2904
- 3. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION. ONLY
- LOW CONSUMPTION WATER CLOSETS SHALL BE PROVIDED.

 4. WATER HEATER MUST BE STRAPPED TO WALL. SEC. 507.3, UPC
- 5. PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN.- 24" CLEAR HT, 20" CLEAR WIDTH, 5.7 SQ.FT. MIN. AREA & 44" MAX TO SILL. 91.310.4
- 6. REQUIRED CEILING HEIGHT IS 7-6" MIN., 7'-0" MIN. IN KITCHEN, HALLS AND BATHROOMS. 91.310.6.1
- 7. A WET BAR IS PERMITTED PROVIDED IT HAS NO MORE THAN 10 SQ. FT OF COUNTER SURFACE AREA, AND NO HOT WATER, GARBAGE DISPOSAL, 220 V. ELECTRICAL OR GAS OUTLET. ZA 90-0080(ZAI)
- 8. OUTLETS ALONG WALL COUNTER SPACE, ISLAND AND PENINSULAR COUNTER SPACE IN KITCHENS SHALL HAVE A MAXIMUM SPACING OF 48". 210-52 LACEC
- 9. EXIT DOORWAYS SHALL BE NOT LESS THAN 36" IN WIDTH AND 6'-8"IN HEIGHT. PROJECTIONS, INCLUDING PANIC HARDWARE, SHALL NOT REDUCE THE OPENING TO LESS THAN A CLEAR WIDTH OR THA32". 91.1004.16 THE DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LANDING
- 10. PROVIDE 32" WIDE DOORS TO ALL INTERIOR ACCESSIBLE ROOMS WITHIN A DWELLING UNIT 91.6304.1
- 11. ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS REQUIRES ONE-HOUR FIRE-RESISTIVE CONSTRUCTION ON ENCLOSED SIDE. 91.1003.3.3.9 (SUCH AS 5/8" TYPE X, GYP. BRD.)

12. SHOW THE FOLLOWING STAIRWAY DETAILS:

- A. 8" RISE & MIN. 9" RUN. 91.1003.3.3.3
- B. MIN. 6 FT 8 IN. VERTICAL HEADROOM AT TREAD NOSING. 91.1003.3.3.4

SHALL BE NOT MORE THAN 8" BELOW THE THRESHOLD. 91.1003.3.1.6

- C. MIN. 36" CLEAR WIDTH. 91.1003.3.3.2
- D. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING. 91.1003.3.3.6
- E. HANDGRIP PORTION OF HANDRAIL SHALL NOT BE LESS THAN 11/4" NOR MORE THAN 2"

 CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. 91.1003.3.3.6
- F. HANDRAIL EXTENSIONS OF MIN. 12" BEYOND TOP AND BOTTOM RISERS WHEN SERVING MORE THAN ONE UNIT. 91.1003.3.3.6
- G. LESS THAN 4" CLEAR SPACING BETWEEN INTERMEDIATE RAILS. 91.509.3
- 13. GLASS DKYLIGHT SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHT SHALL COMPLY WITH 91.2603.7.1

- 13. GLASS DKYLIGHT SHALL COMPLY WITH 91.2409. PLASTIC SKYLIGHT SHALL COMPLY WITH 91.2603.7.1
- 14. PROVIDE WINDOW WELLS (WITH FIXTED LADDER) AT ÉMERGENCY EGRESS WINDOWS BELOW
- 15. PROVIDE ACCESS TO THE BOTTOM OF COURT FOR CLEANING PURPOSES. 91.1203.4.3
- 16. COURT MORE THAN TWO STORIES IN HEIGHT SHALL BE PROVIDED WITH A HORIZONTAL AIR INTAKE WITH A MINIMUM AREA OF 10 SQUARE FT. 91.123.4.3
- 17. ATTIC (WITH OVER 30" HEADROOM) MUST HAVE ACCESS OPENING (22"X30" MIN). 91.1505.1
- 18. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SQ.FT. OF ATTIC AREA) IS REQUIRED. 91.1505.3
- 19. EAVES OVER REQUIRED WINDOWS SHALL BE NOT LESS THA 30" FROM THE SIDE OR REAR PROPERTY LINES, 91.1204
- 20. GARAGE SHALL NOT OPEN DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES. 91.312.4
- 21. THE GARAGE/CARPORT FLOOR SURFACE SHALL BE OF NONCOMBUSTIBLE OR ASPHALTIC PAVING MATERIALS. THE MINIMUM THICKNESS OF CONCRETE FLOOR SLABS SUPPORTED DIRECTLY ON THE GROUND SHALL NOT BE LESS THA 3-1/2 INCHES. 91.312.5
- 22. EXTERIOR WALLS OF A DETACHED CARPORT OR GARAGE (U-1 OCCUPANCY) LESS THAN 3' FROM A PROPERTY LINE MUST BE ONE-HOUR CONSTRUCTION WITHOUT OPENINGS.

SECURITY REQUIREMENTS:

GENERAL:

- 1. ALL ENTRY DOORS TO DWELLING UNITS OR GUEST ROOMS SHALL BE ARRANGED SO THAT THE OCCUPANT HAS A VIEW OF THE AREA IMMEDIATELY OUTSIDE THE DOOR WITHOUT OPENING THE DOOR. SUCH VIEW MAY BE PROVIDED BY A DOOR VIEWER, THROUGH WINDOWS LOCATED IN THE VICINITY OF THE DOOR OR THROUGH VIEW PORTS IN THE DOOR OR ADJOINING WALL. 91.6706
- 2. SCREENS, BARRICADES, ORFENCES MADE OF MATERIAL WHICH PRECLUDE HUMAN CLIMBING SHALL BE PROVIDED AT EVERY PORTION OF EVERY ROOF, BALCONY, OR SIMILAR SURFACE WHICH IS WITHIN 8 FT. OF THE UTILITY POLE OR SIMILAR STRUCTURES. 91.6707

DOORS

- 3. WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MINIMUM WITH SOLID CORE CONSTRUCTION.
 91.6709.1 -DOORSTOPS OF IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH
 THE JAMB OR JOINED BY RABBET TO THE JAMB. 91.6709.4
- 4. EVERY DOOR IN A SECURITY OPENING FOR AN APARTMENT HOUSE SHALL BE PROVIDED WITH A LIGHT BULB (60 WATT MIN.) AT A MAXIMUM HEIGHT OF 8 FEET ON THE EXTERIOR. 91.6708
- 5. ALL PIN-TYPE DOOR HINGES ACCESSIBLE FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1/4" MIN. PROTECTION. THE STRIKE PLATE FOR LATCHES AND HOLDING DEVICE FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2-1/2" LONG. 91.6709.5, 91.6709.7
- 6. PROVIDE DEAD BOLTS WITH HARDENED INSERTS; DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR. LOCKS MUST BE OPERABLE FROM INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT (LATCH NOT REQUIRED IN B, F, AND S OCCUPANCIES. 91.6709.2).
- 7. STRAIGHT DEAD BOLTS SHALL HAVE A MIN. THROW OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8", AND A HOOK-SHAPED OR AN EXPANDING-LUG. DEADBOLT SHALL HAVE A MINIMUM THROW OF 3/4". 91.6709.2
- 8. THE USE OF A LOCKING SYSTEM WHICH CONSISTS OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN WHICH IS INDEPENDENT OF THE DEADLOCKING LATCH AND WHICH MUST BE SEPARATELY OPERATED, SHALL NOT BE CONSIDERED AS A SYSTEM WHICH REQUIRES SPECIAL KNOWLEDGE OR EFFORT WHEN USED IN DWELLING UNITS. THE DOOR KNOB AND THE THUMB TURN WHICH OPERATES THE DEADBOLT SHALL
- 9. WOOD PANEL TYPE DOORS MUST HAVE PANELS AT LEAST 9/16 IN. THICK WITH SHAPED PORTIONS NOT LESS THAN 1 /4 IN. THICK AND INDIVIDUAL PANELS MUST BE NO MORE THAN 300 SQ. IN.
 IN AREA. MULLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS EXCEPT MULLIONS NOT OVER 18 INCHES LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2 INCHES. STILES AND RAILS SHALL BE OF SOLID LUMBER IN THICKNESS WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8 INCHES AND 3 INCHES IN WIDTH. 91.6709.1 ITEM 2

NOT BE SEPARATED BY MORE THAN 8 INCHES.

OPEN POSITION. 91.6710

- 10. SLIDING DOORS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY
- 11. SLIDING GLASS DOORS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS
- 12. METAL OR WOODEN OVERHEAD OR SLIDING DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A MIN. 9/32" DIAMETER HARDENED STEEL SHACKLE AND BOLTED, HARDENED STEEL HASPS, METAL SLIDE BOARD, BOLT OR EQUIVALENT DEVICE UNLESS SECURED ELECTRICALLY OPERATED. 91.6711
- 13. PROVIDE METAL GUIDES AT TOP AND BOTTOM OF METAL ACCORDION GRATE OR GRILLE-TYPE DOORS AND CYLINDER LOCKS OR PADLOCKS. CYLINDER GUARDS SHALL BE INSTALLED ON ALL CYLINDER LOCKS WHENEVER THE CYLINDER PROJECTS BEYOND THE FACE OF THE DOOR OR IS OTHERWISE ACCESSIBLE TO GRIPPING TOOLS. 91.6712

GLAZING:

- 14. IN B,F,M AND S OCCUPANCIES, PANES OF GLAZING WITH AT LEAST ONE DIMENSION GREATER THAN 5 IN. BUT LESS THAN 48 IN, SHALL BE CONSTRUCTED OF TEMPERED OR APPROVED BURGLARY-RESISTANT MATERIAL OR PROTECTED WITH METAL BARS, OR GRILLES. 91.6714
- 15. GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR APPROVED BURGLARY RESISTANT MATERIAL, OR SHALL BE PROTECTED BY METAL BARS, SCREENS OR GRILLS HAVING A MAXIMUM OPENING OF 2". THE PROVISIONS OF THIS SECTION SHALL NOT APPLY TO VIEW PORTS OR WINDOWS WHICH DO NOT EXCEED 2" IN THEIR GREATEST DIMENSIONS. 91.6713

WINDOWS:

- 16. LOUVERED WINDOWS SHALL BE PROTECTED BY METAL BARS OR GRILLS WITH OPENINGS THAT HAVE AT LEAST ONE DIMENSION OF 6" OR LESS, WHICH ARE CONSTRUCTED TO PRECLUDE HUMAN
- 17. OTHER OPERABLE WINDOWS SHALL BE PROVIDED WITH SUBSTANTIAL LOCKING DEVICES. IN B,F,M AND S OCCUPANCIES, SUCH DEVICES SHALL BE GLIDE BARS, BOLTS, CORSS-BARS, AND/OR PADLOCKS WITH MINIMUM 9/32" HARDENED STEEL SHACKLES AND BOLTED, HARDENED STEEL HASPS, 91,6715.2
- 18. SLIDING WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND REMOVING OF THE MOVING PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 91.6715.1

19. SLIDING WINDOWS SHALL BE EQUIPPED WITH LOCKING DEVICES AND SHALL BE SO CONSTRUCTED AND INSTALLED THAT THEY REMAIN INTACT AND ENGAGED WHEN SUBJECTED TO THE TESTS SPECIFIED IN 91.6717.2

20. ANY RELEASE FOR METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES CONSTRUCTED TO PRECLUDE HUMAN ENTRY THAT ARE INSTALLED SHALL BE LOCATED ON THE INSIDE OF THE ADJACENT ROOM AND AT LEAST 24 INCHES FROM THE CLOSEST OPENING THROUGH SUCH METAL BARS, GRILLS, GRATES OR SIMILAR DEVICES THAT EXCEEDS TWO INCHES IN ANY DIMENSION. 91.6715.4

OPENINGS OTHER THAN DOORS OR GLAZED OPENINGS:

21. ALL OTHER OPENINGS MUST BE PROTECTED BY METAL BARS OR GRILLES WITH OPENINGS OF NOT LESS THAN 6 INCHES IN ONE DIMENSION. 91.6716

GRADINIG INSPECTION REPORT NOTES

- 1. ALL FOOTINGS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL PER CODE.
- COMPLY WITH THE PROVISIONS OF SECTION 91.1804 FOR EXPANSIVE SOIL CONDITIONS.
 IN THE EVENT EXCAVATIONS REVAL UNFAVORABLE CONDITIONS, THE SERVICES OF A SOILS ENGINEER

AND/OR GEOLOGIST MAY BE REQUIRED.

- 4. BUILDING SHALL BE LOCATED CLEAR OF THE TOE OF ALL SLOPES WHICH EXCEEDS A GRADIENT OF 3 HORIZONTAL OR 1 VERTICAL AS PER SECTION 91.1606.5.2
- 5. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER, SHALL BE CONDUCTED, VIA GRAVITY, TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM. DRAINAGE TO BE SHOWN ON THE . PLANS.

BUILDING PERMIT CORRECTION NOTES

- 1. A SEPARATE PERMIT IS REQUIRED FOR (GRADING) (DEMOLITION) (RETAINING WALLS) (SWIMMING POOL) (BLOCK WALL). 91.106.1
- 2. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ.IN. FOR EACH 10 SQ.FT. OF ATTICE AREA) IS REQUIRED.
- 3. GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED. 91.2406.4
- . GLAZING IN HAZARDOOS LOCATION
- A. INGRESS AND EGRESS DOORS

 B. PANELS IN SLIDING OR SWINGING DOORS
- C. DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALLS ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE)
- D. IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE.
- E. IN WALL ENCLOSING STAIRWAY LANDING.

DWELLINGS WITH MORE THAN ONE STORY.

- 4. SMOKE DETECTORS SHALL BE PROVIDED AS FOLLOWS: 91.310.9.1.3.4
- A. IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERH SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR
- B. IN EXISTING CONSTRUCTION SMOKKE DETECTORS MAY BE BATTERY OPERATED, INSTALLED IN LOCATIONS AS SPECIFIED IN A) ABOVE.
- 5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FULE GAS PIPING." (PER ORDINANCE 171.874-FOR WORK OVER \$10,000)
- 6. PROVIDE ULTRA FLUSH WATER CLOSETS FOR ALL NOW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADPTED FOR LOW WATER CONSUMPTION.
- 7. NOTE: AN WET WEATHER EROSION CONTROL PLAN (WWECP), UTILIZING SEDIMENT AND EROSION CONTROL BMPS, FOR PROJECTS THAT WILL LEAVE DISTURB SOIL DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 15) IS REQUIRED. THE WWECP MUST BE PREPARED, FOR PROJECTS THAT HAVE ALREADY BROKEN GROUND, NOT LESS THAN 30 DAYS PRIOR TO THE BEGINNING OF EACH RAINY SEASON DURING WHICH SOIL WILL BE DISTURBED, AND IMPLREMENTED THROUGHOUT THE ENTIRE RAINY SEASON. A COPY OF THE WWECP SHALL BE KEPT ON THE PROJECT SITE AT ALL TIMES BEGINNING 30 DAYS PRIOR TO THE START OF THE RAINY SEASON THROUGH THE END OF THE RAINY SEASON. FOR PROJECTS THAT WILL BEGIN CONSTRUCTION DURING THE RAINY SEASON, THE WWECP MUST BE AVAILABLE 30 DAYS BEFORE CONSTRUCTION COMMENCES. THE WWECP MUST BE SUBMITTED TO THE BUREAU OF ENGINEERING, PUBLIC WORKS FOR REVIEW AND APPROVAL. THE WWECP IS NOT A REQUIREMENT FOR THE ISSUANCE OF A BUILDING OR GRADING PERMIT.
- 8. TOILET ROOM FLOORS SHALL HAVE A SMOOTH, HARD NONABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CERAMIC TILE OR OTHER APPROVED MATERIAL THAT EXTENDS UPWARD ONTO THE WALLS AT LEAST 5 INCHES (127mm)

•	SHEET INDEX
SHT. No.	DESCRIPTION
Α	
A1	GENERAL NOTES
A2	PLOT PLAN
A3	FIRST FLOOR PLAN
A4	SECOND FLOOR PLAN
A5	THIRD FLOOR PLAN
A6	FOURTH FLOOR PLAN
A7	ROOF PLAN
A8	SEC. "A" & "B"
A9	SEC. " C " & " D "
A9.1	SEC. "E", " F ", " G " & " H "
A9.2	SEC. "I", " F & H"
A10	WEST ELEVATION
A11	DOOR AND WINDOW SCHDULE
A12	ENERGY CALCULATION

NOTES

REVISIONS

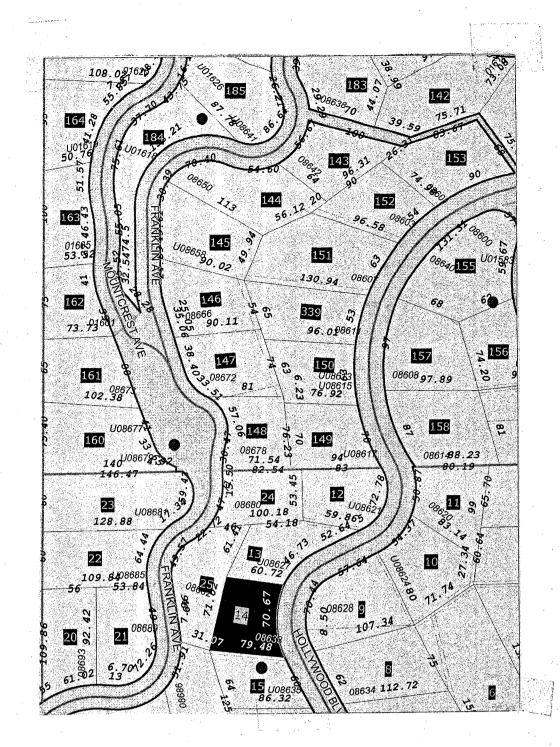
MR. VALENTINE STEWART 8633 W. HOLLYWOOD BLVD I OS ANGFI FS CA

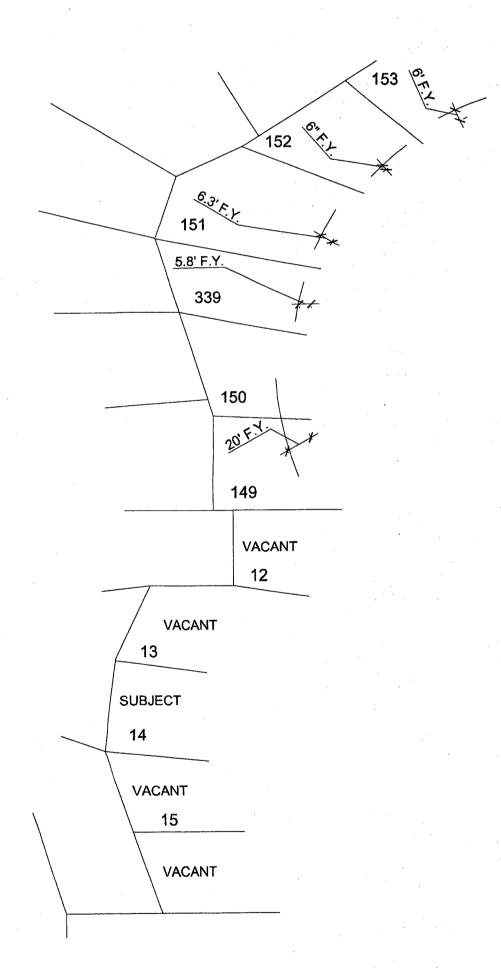
Date MAR. 20 / 0

Sheet A1

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Of Sheets





TOTAL FRONTAGE OF THE LOTS 149 - 153 and 339 90+54+63+53+63+70+72.78+(46.73+52.6)+70.67+60+64.36+95.15 = 932.51 L.FT. FRONTAGE OF LOTS WITH FRONT YARDS VARYING NO MORE THAN 10'0" FROM EACH OTHER: LOTS 153+152+151+339 = 90+54+63+53 = 260 260': 932.51' = 0.28 < %40 OF TOTAL FRONTAGE

ACCORDING TO ABOVE CALCULATION THE PROJECT FRONT YARD WILL BE 5' PER HILLSIDE ORDINANCE.

SQUARE FOOTAGE PROJECT DATA FIRST FLOOR (GARAGE): 791.2 SQ. FT.
FIRST FLOOR (LIVING AREA): 243.0 SQ. FT. } 1034.2 SQ.FT. ADDRESS: 8633 W. HOLLYWOOD BLVD.

No. OF PARKING SPACES: 3

LEGAL DESCRIPTION: LOT 14, TRACT 8183 BLOCK: NONE MB 112 - 71/72 THOMAS-BROS PAG. 5922, GRID J5 ZONING: R1-1

TYPE OF CONSTRUCTION : SINGLE FAMILY HOME

SECOND FLOOR: 1034.3 SQ. FT. THIRD FLOOR: 1046.9 SQ. FT. 1046.9 SQ. FT. FORTH FLOOR: TOTAL LIVING AREA: 3,371.1 SQ. FT. TOTAL BUILDING AREA: 4,162.3 SQ. FT. No. OF BEDROOMS: 3

142.025° 3'-0" SEWER EASEMENT FULLY SPRINKLERED LINE OF 1ST. & 2ND. LEVEL BELOW 790.80' F.F. 3 STOREY SINGLE FAMILY HOUSE OVER GARAGE DECK LANDSCAPING CONC. DRIVEWAY 752.5' LOWEST POINT 5'-0" AWAY FROM BUILDING ROOF DRAIN

4" | UNDER LANDSCAPING

TO STREET GUTTER

(TYP.) HOLLYWOOD BLVD. LOWEST POINT OF THE STREET CENTER 748.2'

PLANS APPROVED as required by Case No. 2A. 2006 - 9083 (2AA)

Lourdes Green

ZONING ADMINISTRATOR
CITY OF LOS ANGELES
Date 5-14-08

4 OF 11

SC. 1/8'' = 1'-0''

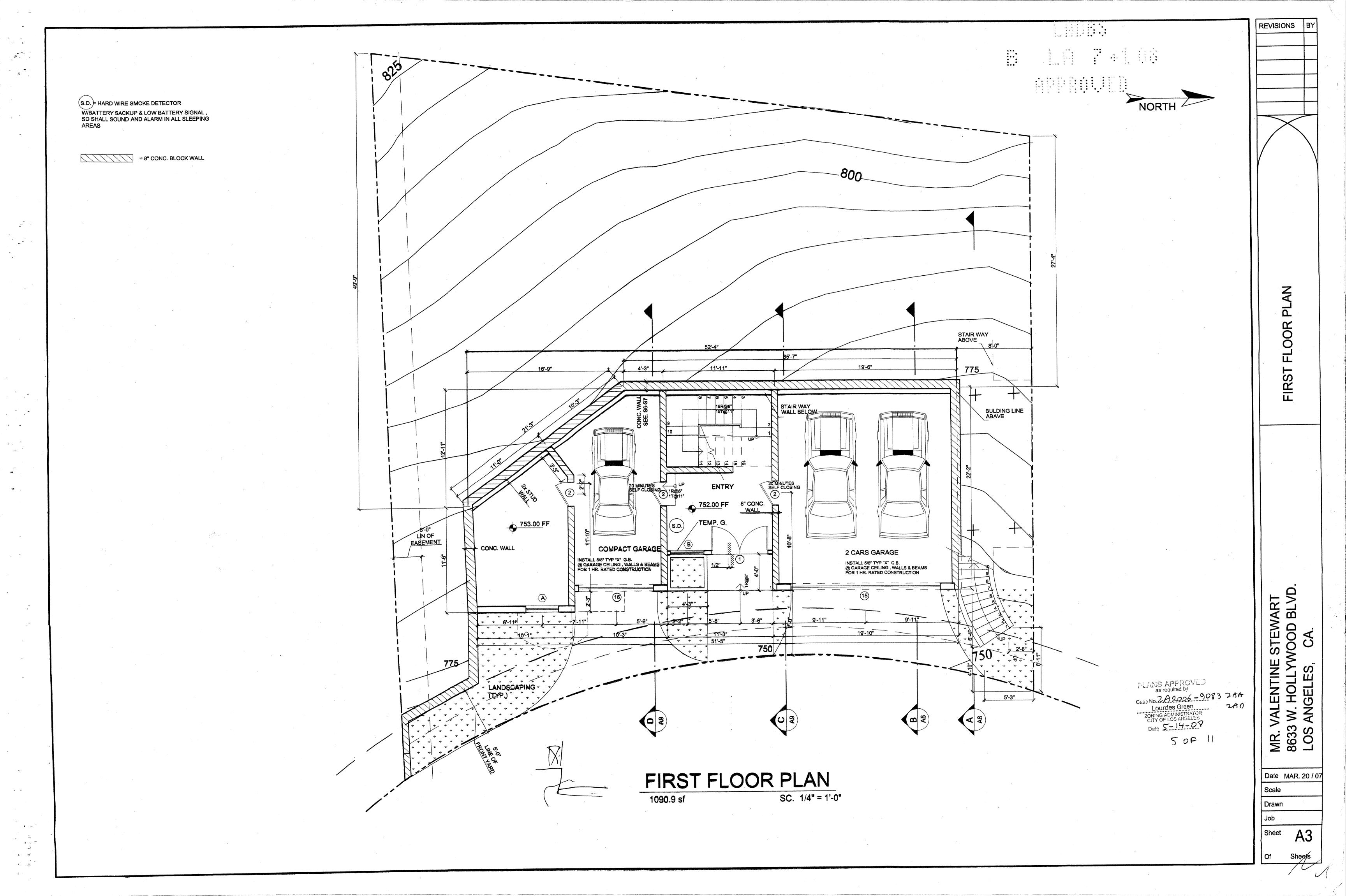
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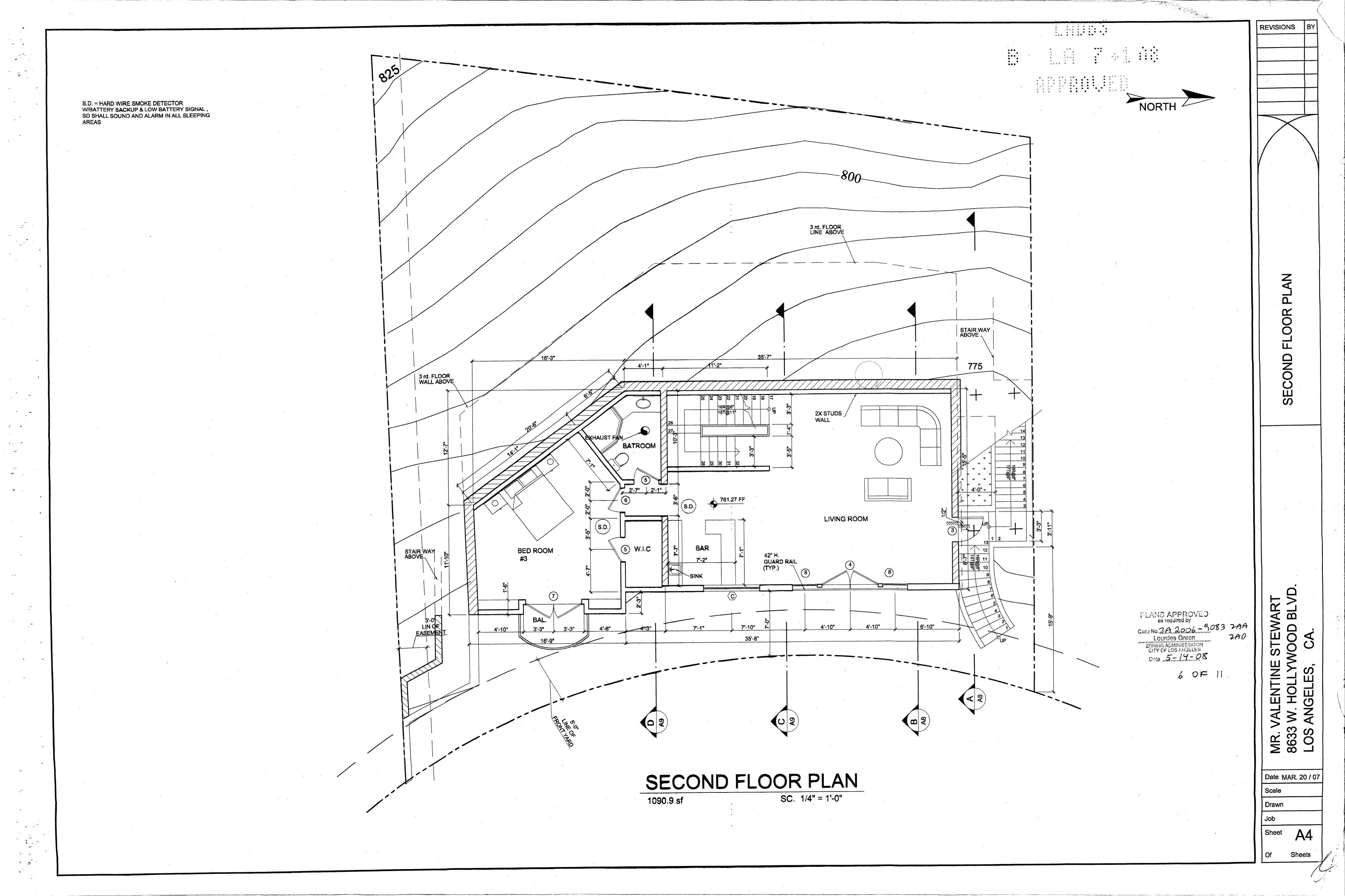
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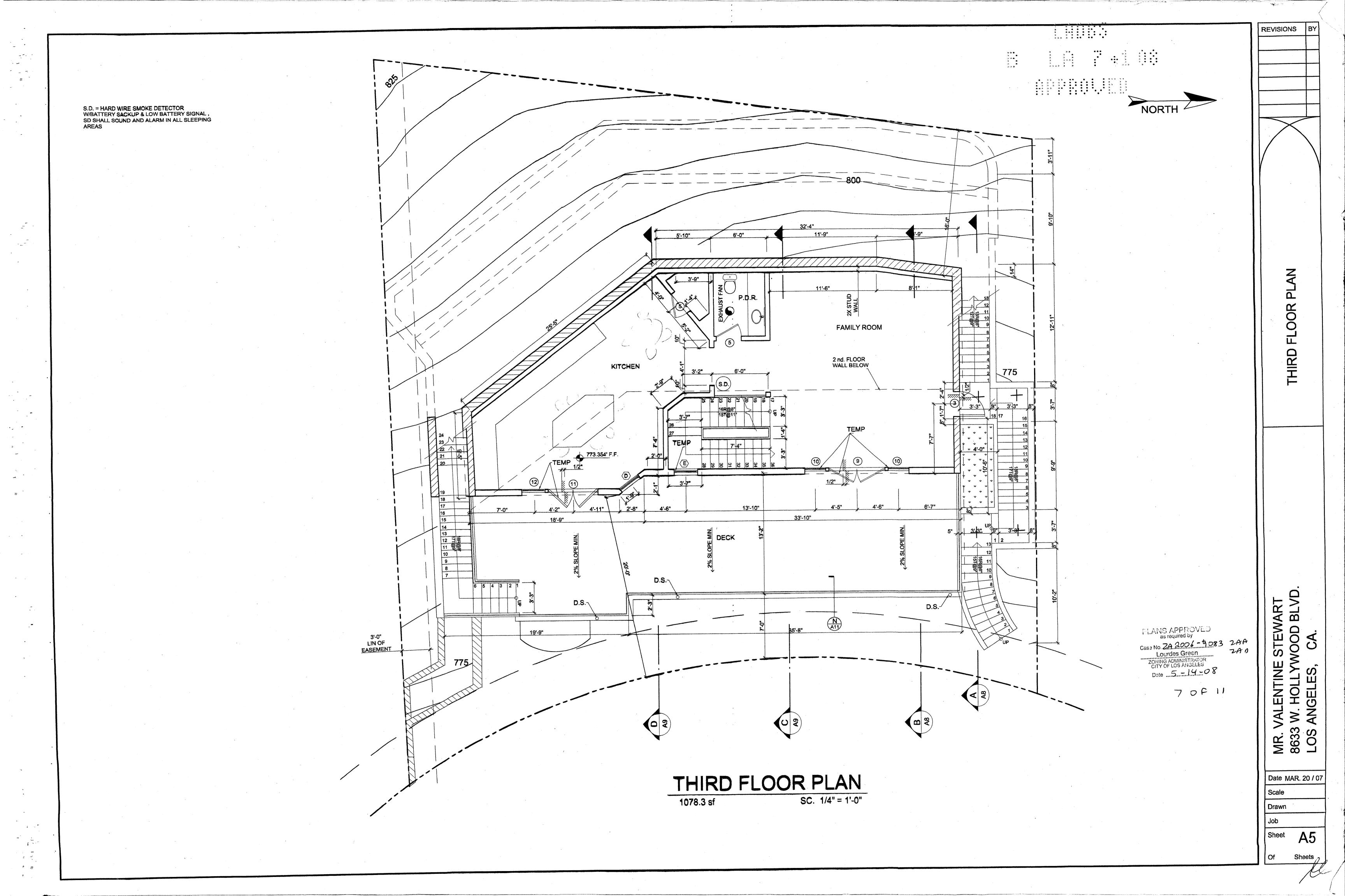
WART D BLV STEW WOOD 90069 ENTINE HDLLY AL MR, V 8633 LOS Date AUG.25/ Sheet A2

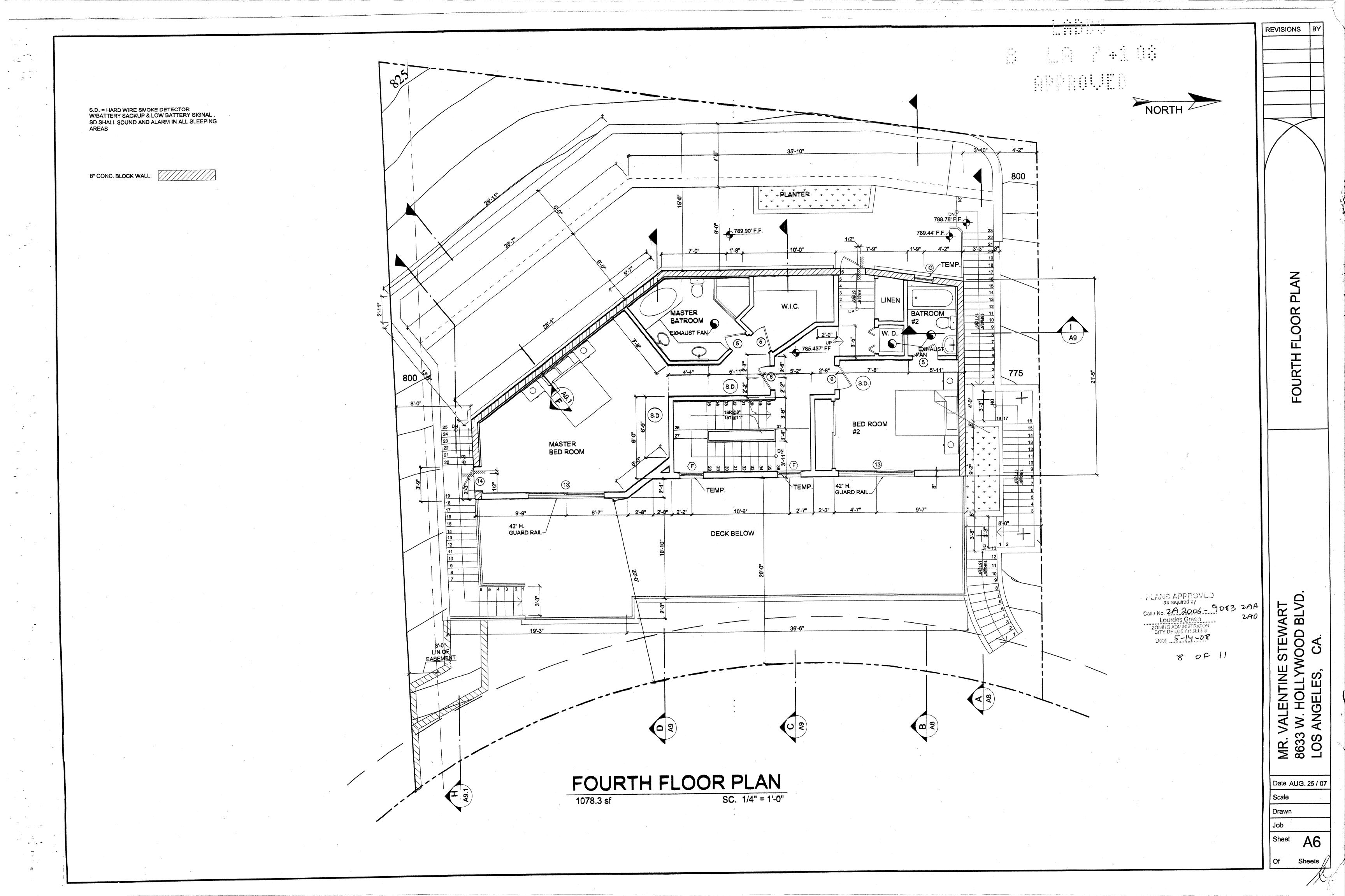
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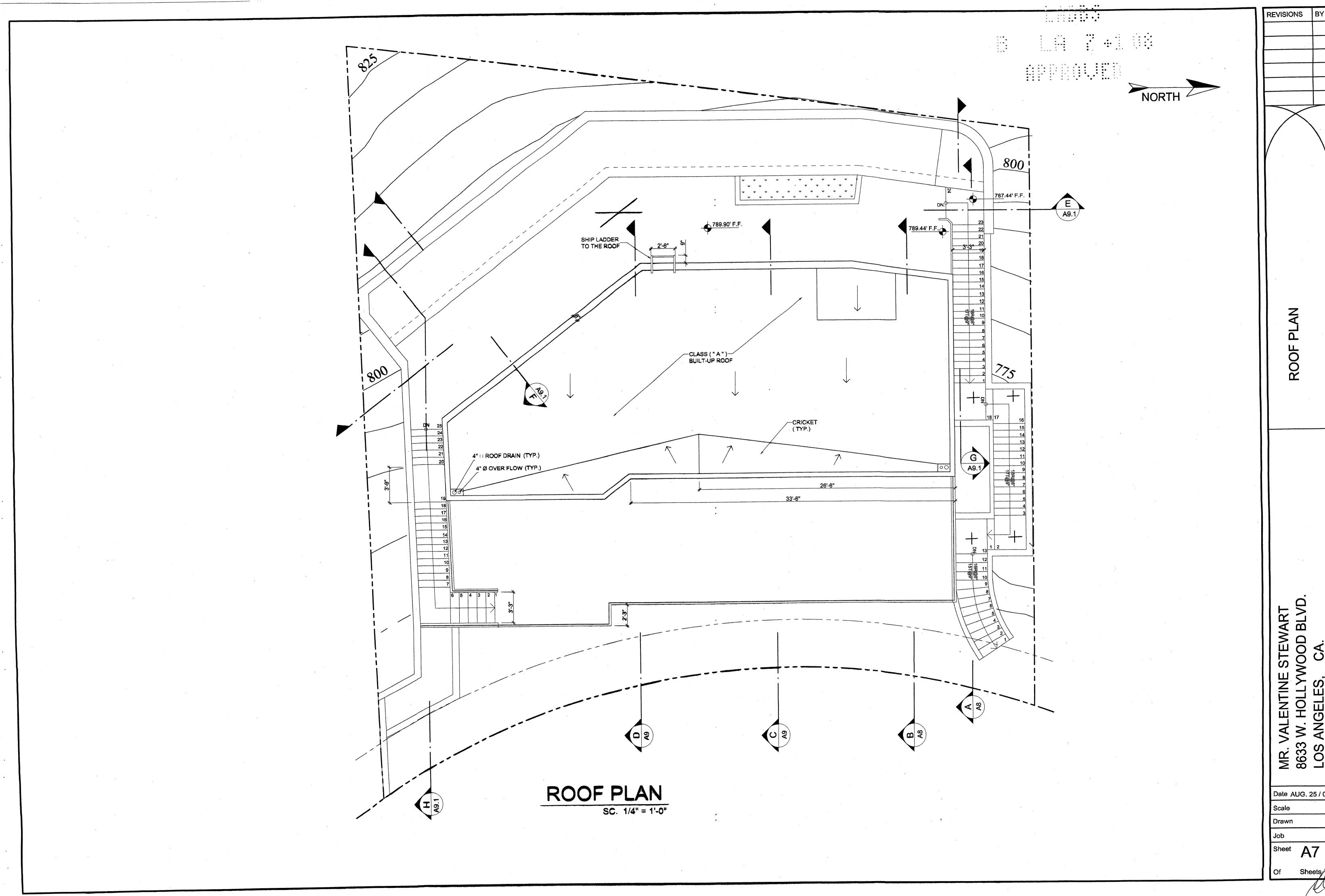
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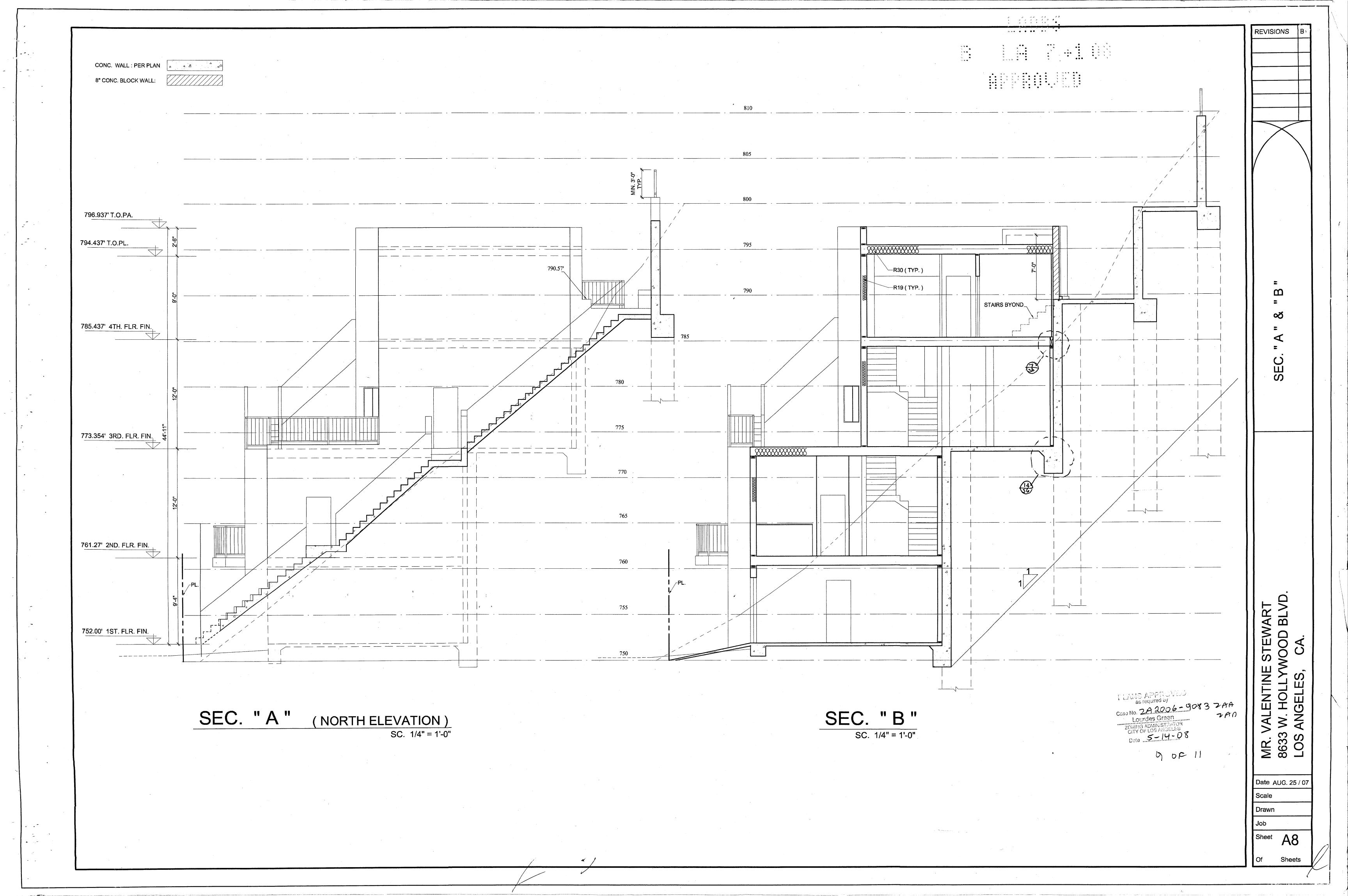


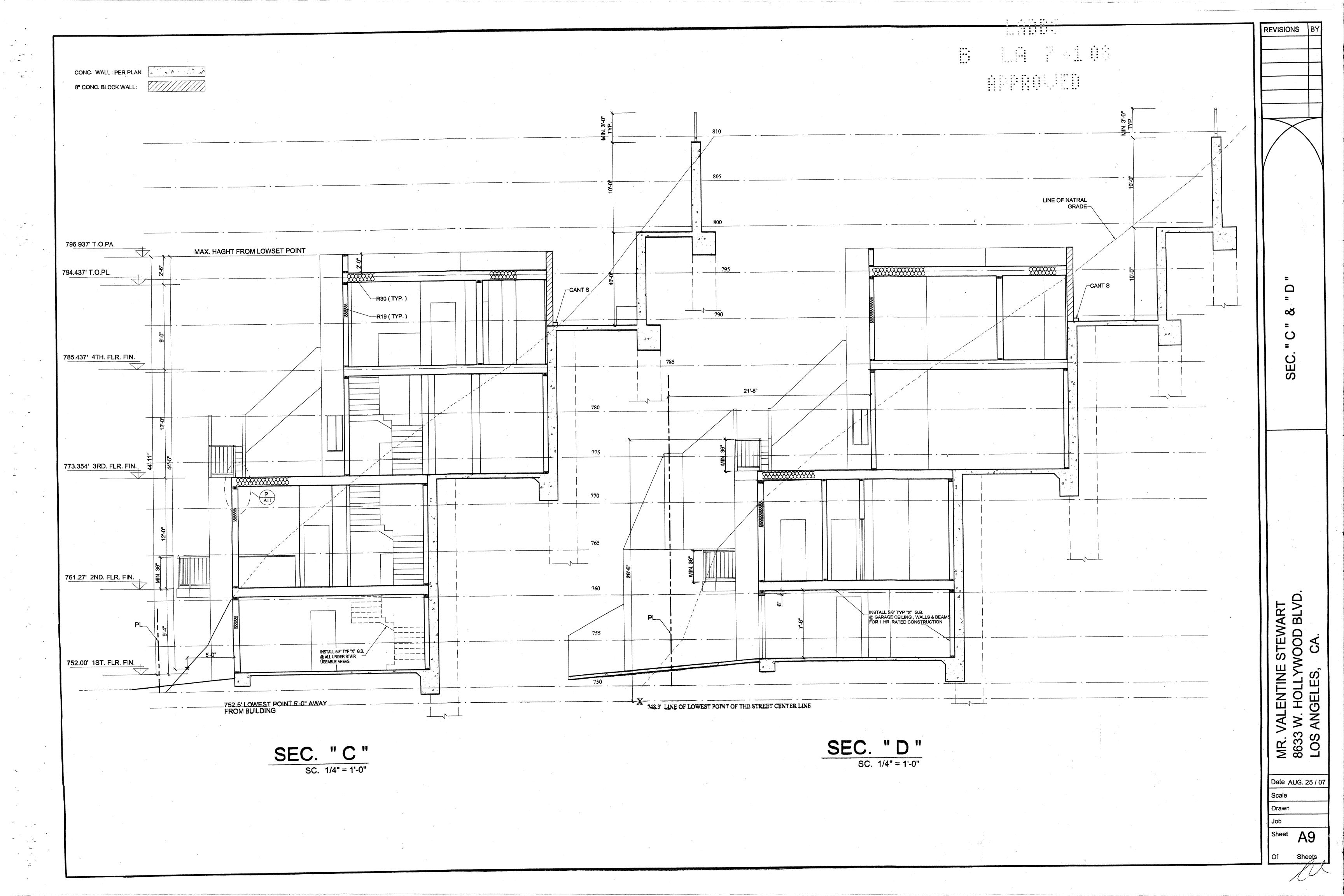


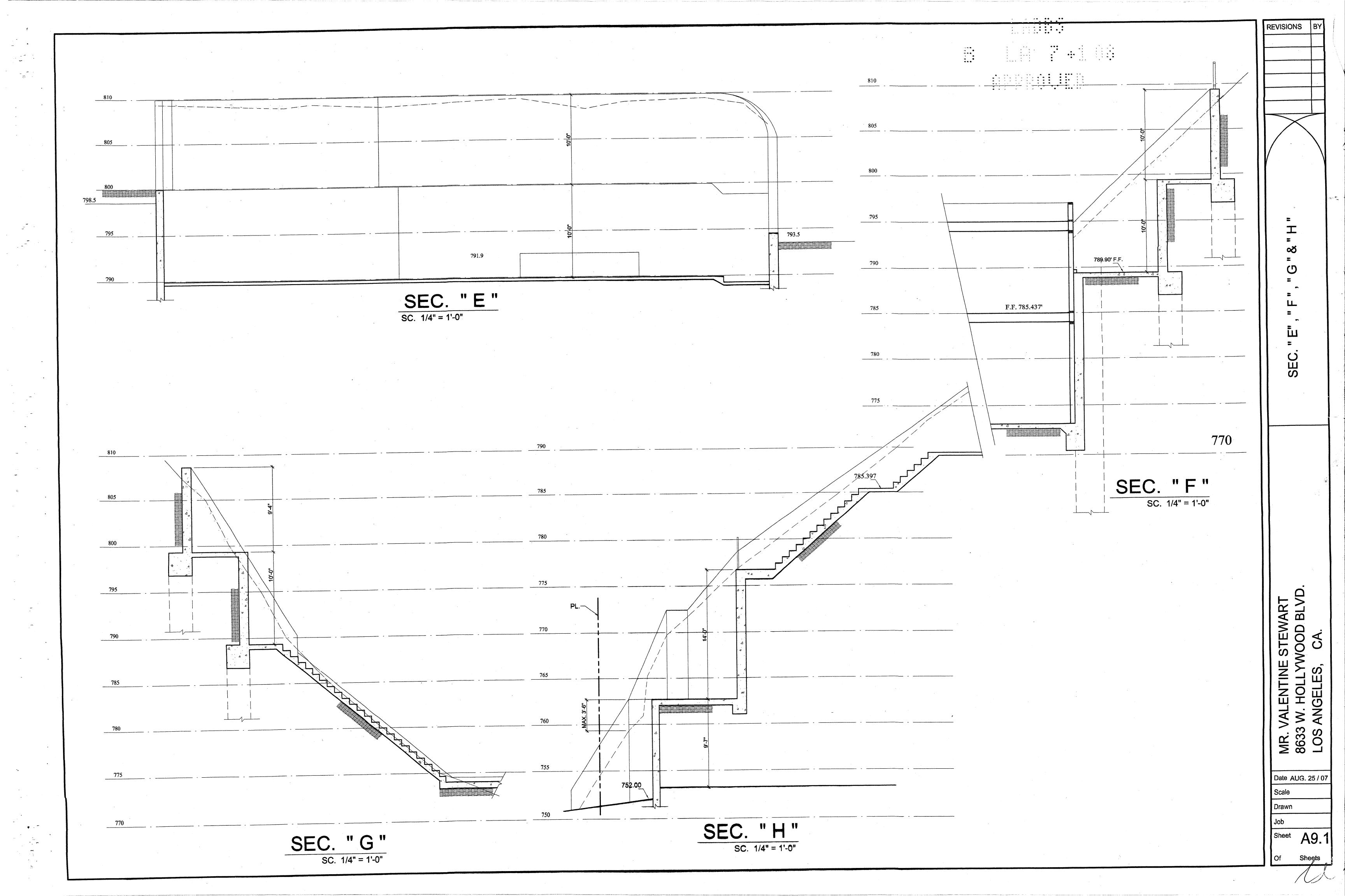


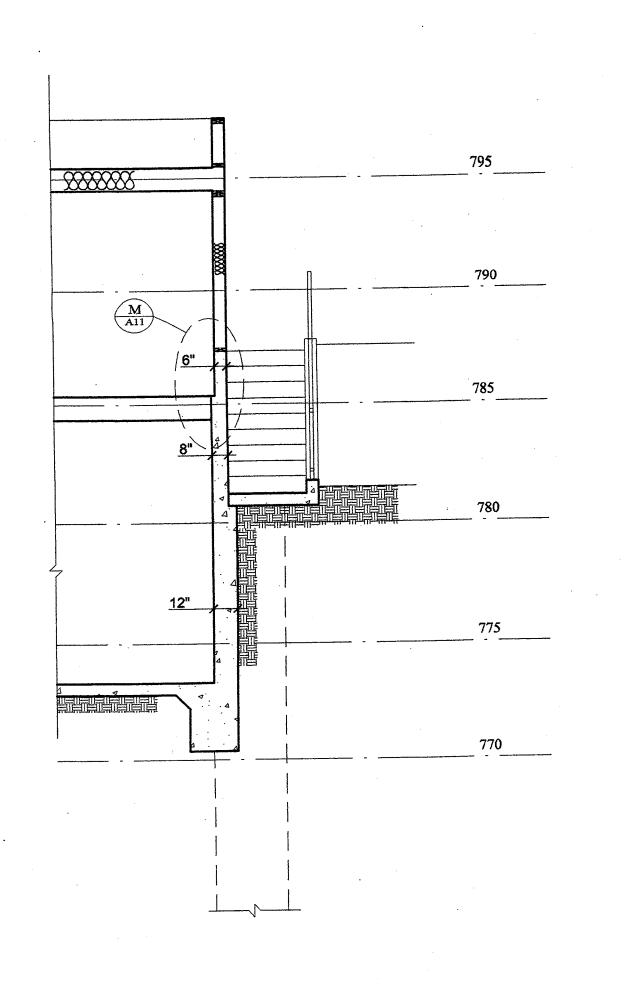


Date AUG. 25 / 07









SEC. " | "
SC. 1/4" = 1'-0"

BUILDING AND SAFETY
COMMISSIONERS

FEREN ABRATIQUE, P.E.
PRESIDENT

JAVIER NUNEZ
VICE-PRESIDENT

VAN AMBATIELOS
PEDRO BIRBA

CITY OF LOS ANGELES



DATE(S) OF

ANTONIO R. VILLARAIGOSA MAYOR

GEOLOGY AND SOILS REPORT APPROVAL LETTER

July 12, 2006

MARSHA L. BROWN

Log # 54341 SOILS/GEOLOGY FILE - 2

PREPARED BY

The J. Byer Group

DEPARTMENT OF BUILDING AND SAFETY 201 NORTH FIGUEROA STREET LOS ANGELES CA 90012

ĀNDREW A. ADELMAN, P.E. GENERAL MANAGER

Valentine Stewart 443½ S. Curson Ave. Los Angeles, CA 90036

TRACT: 8183

LOCATION: 8633 Hollywood Blvd

CURRENT REPOR

REPORT/LETTER(S)
Addendum Report
Oversized Doc.

PREVIOUS REFERENCE
REPORT DATE(S) OF
REPORT/LETTER(S)
NO.
DOCUMENT
DO6/06/2006

DATE(S) OF
REPORT/LETTER(S)
DOCUMENT

PREVIOUS REFERENCE REPORT DATE(S) OF

REPORT/LETTER(S) NO. DOCUMENT PREPARED BY

Geology/Soils Report JB 20049-C 03/30/2005 The J. Byer Group

Addendum Report 07/05/2005

Approval Letter 49406 09/12/2005 LADBS

The above current referenced report providing additional recommendations for the proposed residence and associated retaining walls has been reviewed by the Grading Division of the Department of Building and Safety. The Department previously approved report for the construction of a four level residence and retaining walls up to 44 feet in height. According to the reports, physical relief on the site is 75 feet with slope gradients as steep as ½:1. The bedrock underlying the site is granite. According to the current report, it is now proposed to construct 2 stacked retaining walls 10 feet in height with a 5.2 feet separation.

The project will be subject to the requirements of the Retaining Walls in Hillside Areas, Ordinance No. 176, 445 (effective 03/09/2005) which places limitations on the number of retaining walls detached from the building planned in hillside areas and on the individual/cumulative wall heights. A copy of the ordinance may be obtained from the City Planning web site at http://cityplanning.lacity.org.

The current referenced report is conditionally approved and a permit may be obtained provided additional conditions listed below are followed:

Page 2 8633 Hollywood Blvd

- 1. All conditions of approval in the Department letter dated 09/12/2006 (log # 49406) shall remain applicable.
- 2. The stacked retaining walls shall be designed such that piles for the upper wall shall derive all bearing and passive resistance below a 1:1 plane projected upward from the bottom of the lower wall.
- The proposed temporary shoring piles shall be designed for a minimum EFP of 43 pcf, as

NEGETI GIRMAY
Engineering Geologist Associate II

PASCAL CHALLITA
Geotechnical Engineer II

NHG/PC:nhg/pc Log # 54341 (213)482-0480

cc: The J. Byer Group, Inc. LA District Office 752.00

SEC. "F"&"H"

MR. VALENTINE STEWART 8633 W. HOLLYWOOD BLVD. LOS ANGELES, CA.

Date AUG. 25 / 07
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A9.2

an equal employment opportunity – affirmative action emplo

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Outdoor lighting shall be designed and installed with shielding, so that the light source cannot be seen from adjacent residential properties. 7<u>95.437' ROOF FIN.</u> 785.437′ 4TH. FLR. FIN. Wrought Iron or Plexiglass Railings MIN. 4" (TYP.) 773.354' 3RD. FLR. FIN. Climbing plants, as described in the landscape design, will cover the retaining wall's' as per Section 12.21-C,8(b) of the Municipal Code. 7<u>61.27′ 2ND. FLR. FI</u>N. 752.00' 1ST. FLR. FIN. Case No. 2A 2006 - 9083 2AA

Lourdes Green 2A0

ZONING ADMINISTRATOR
CITY OF LOS ANGELES
Date .5 - 14 - 08 WEST ELEVATION SC. 1/4'' = 1'-0''10 OF 11

WEST ELEVATION

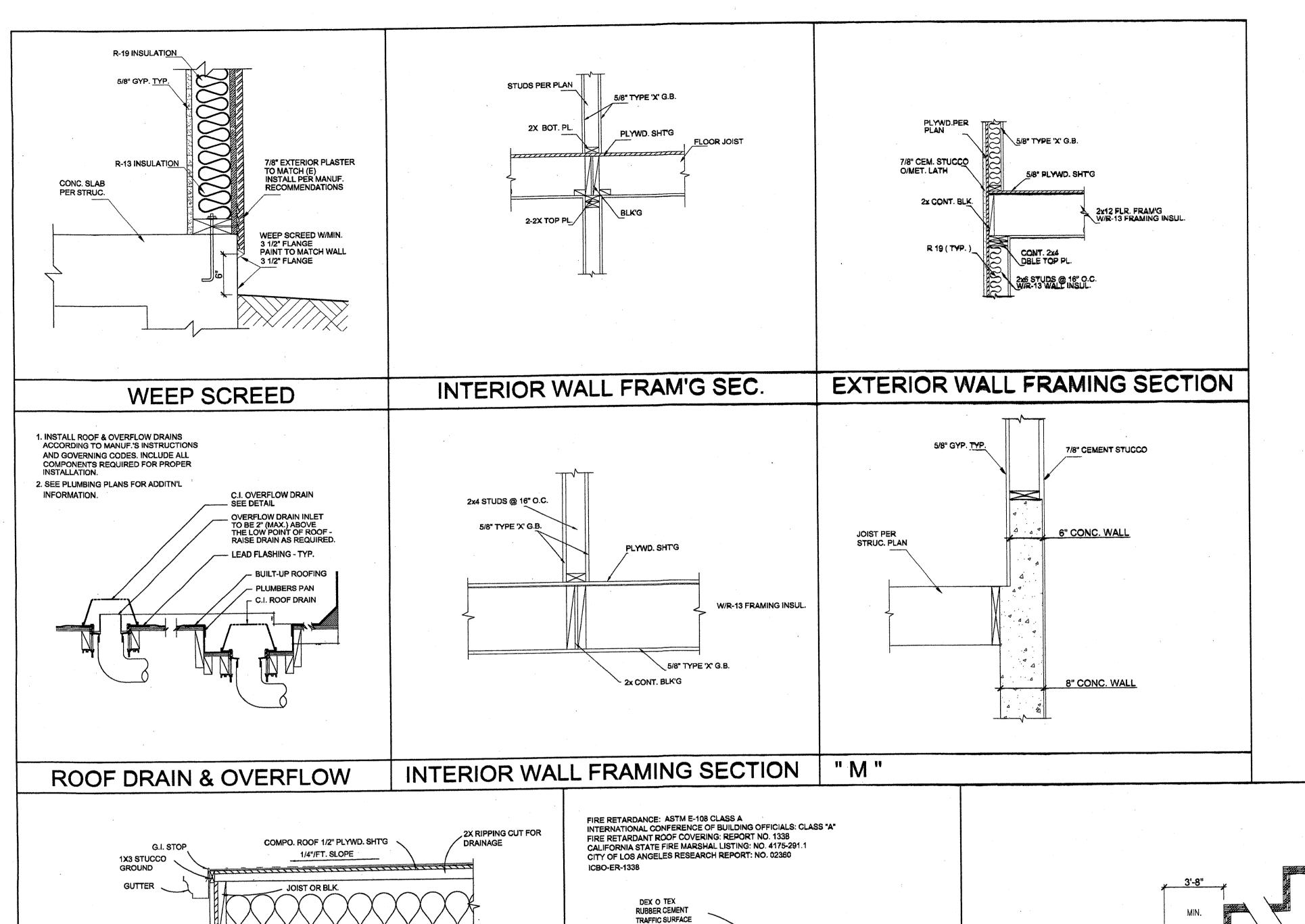
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MR, VALENTINE STEWART 8633 W, HOLLYWOOD BLVD, LOS ANGELES, CA,

DateMAR. 20 /
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SYM.	SIZE (WXH)	TYPE	THK	FIN.	GLAZING	DOOR MAT	FRAM MAT	CORE	REMARK
1	2-(3'-0" X 7'-6")	SWING.	1 3/4"	STAIN	DBL.	WOOD GALSS	WCOD.	• S.C.	TEMP.
2	(2'-8" X 6'-8")	SWING.	1 3/4"	STAIN	_	WOOD	WOOD	S.C.	20 MINUTES SELF CLOSING
3	(2'-8" X 6'-8")	SWING.	1 3/4"	STAIN	_	WOOD	WOOD	S.C.	
4	2-(3'-0" X 8'-0")	SWING.	1 3/4"	STAIN	DBL.	GALSS	WOOD	S.C.	TEMP.
(5)	(2'-8" X 6'-8")	SWING.	1 3/4"	STAIN	_	WOOD	WOOD	S.C.	·
6	(2'-8" X 6'-8")	SWING.	1 3/4"	STAIN		WOOD	WOOD	S.C.	
7	2-(3'-0" X 8'-0")	SWING.	1 3/4"	STAIN	DBL.	GALSS	WOOD	S.C.	TEMP.
8	(2'-8" X 8'-0")	FIXED	1 3/4"	STAIN	DBL.	GALSS	WOOD	S.C.	TEMP.
9	2-(3'-0" X 8'-0")	SWING.	1 3/4"	STAIN	DBL.	GALSS	WOOD	S.C.	TEMP.
10	(2'-3" X 8'-0")	FIXED	1 3/4"	STAIN	DBL.	GALSS	WOOD	s.c.	TEMP.
11)	2-(2'-8" X 8'-0")	SWING.	1 3/4"	STAIN	DBL.	GALSS	WOOD	S.C.	TEMP.
12	(2'-6" X 8'-0")	FIXED	1 3/4"	STAIN	DBL.	GALSS	WOOD	S.C.	TEMP.
13	(8'-0" X 8'-0")	SLIDING	1 3/4"	STAIN	DBL.	GALSS	WOOD	S.C.	TEMP.
14)	(2'-8" × 8'-0")	SWING.	1 3/4"	STAIN		WOOD	WOOD	S.C.	
15)	(16'-0" X 7'-6")		1 3/4"	STAIN		WOOD	WOOD	S.C.	GARAGE DOOR
16)	(8'-0" × 7'-0")		1 3/4"	STAIN	-	WOOD	WOOD	s.c.	GARAGE DOOR

WINDOW SCHEDULE								
SYM.	SIZE (WXH)	TYPE	THK.	FIN.	GLAZING	WIND.	FRAME	REMARK
A	3'-6" X 3'-6"	SLIDING	1 3/4"	STAIN	DBL.	WOOD	WOOD	
(B)	3'-6" X 5'-10"	FIXED	1 3/4"	STAIN	DBL.	WOOD	WOOD	TEMP.
©	6'-0" X 4'-6"	SLIDING	1 3/4"	STAIN	DBL.	WOOD	WOOD	
(D)	2'-6" X 4'-6"	SWING.	1 3/4"	STAIN	DBL.	WOOD	DOOW	
Ê	2'-6" X 3'-0"	SWING.	1 3/4"	STAIN	DBL.	WOOD	WOOD	TEMP.
(F)	2'-6" X 4'-6"	SWING.	1 3/4"	STAIN	DBL.	WOOD	doow	TEMP.
G	2'-0" X 3'-0"	SWING.	1 3/4"	STAIN	DBL.	WOOD	DOOM	TEMP.

G.I. STOP 1X3 STUCCO GROUND GUTTER JOIST OR BLK. 7/8" CEM. STUCCO OMET. LATH R 19 (TYP.) SINGLE WALL 2x4 W/Zx4 PLATES W/R-13 WALL INSUL. COMPO. ROOF 1/2" PLYWD. SHT'G DRAINAGE 2X ROOF FRAMING W/R-30 ROOF INSUL. 2X ROOF FRAMING W/R-30 ROOF INSUL. PLYWD. SHT'G, SEE STRUC.	FIRE RETARDANCE: ASTM E-108 CLASS A INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS: CLASS "A" FIRE RETARDANT ROOF COVERING: REPORT NO. 1338 CALIFORNIA STATE FIRE MARSHAL LISTING: NO. 4175-291.1 CITY OF LOS ANGELES RESEARCH REPORT: NO. 02360 ICBO-ER-1338 DEX O TEX RUBBER CEMENT TRAFFIC SURFACE DEX O TEX WATERPROOF LATEX MEMBRANE DEX O TEX SLIP SHEET 5/8" PLYWD. "CDX: ROOF DECK SHEATHING	SEE STRUCT. SIMPSON STRAP OR EQUAL INSTALL 58" TYP "X" G.B. @ ALL UNDER STAIR USEABLE AREAS STRINGERS -1/8" PLYMD. TREAD & RISER
DECK FRAMING SECTION "P"	"DEX O TEX" ROOFING SYSTEM	WOOD STAIRS

MR. VALENTINE STEWART 8633 W. HOLLYWOOD BLVD. LOS ANGELES, CA.

REVISIONS

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Certificate Of Compliance : Residential (Part 1 of 4) CF-1R	Certificate Of Compliance : Residential (Part 2 of 4) CF-1R	Certificate Of Compliance : Residential (Part 3 of 4) CF-1F.
Mr. Valentine Stewart, 8633 W. Hollywood Blvd	Mr. Valentine Stewart, 8633 W. Hollywood Blyd. 8/22/2006 Project Title	Mr. Valentine Stewart, 8633 W. Hollywood Blvd. Project Title B/22/2006
R633 W HOLLYWOOD RI VO Los Angeles Bulldra Perol #	FENESTRATION SURFACES True Cond. Location/	HVAC SYSTEMS Hesting Minimum Cooling Minimum Condition Thermostat
Farahmand Consultant Engineering (310) 204-04/3 Plan Check/Date	1 Window Rear ANA 40 0600 NERC 0.65 NERC 270 50 New Double Hamildi Clear Default Lingui level	Heating Minimum Cooling Minimum Condition Thermostat Location Type Eff Status Type 2 ton Fackage Split Heat Fump 7.80 HSPF Split Heat Fump 14.5 SEER New Satback
Fnerm/Prn Climate Zone Climate Zone Conciliários Malticol Conciliá	2 Window From [E] 1500 0600 NFRC 0.65 NFRC 90 90 New Couble Nonhiti Clear Default Ubber level 3 Window From (E) 1410 0600 NFRC 0.65 NFRC 90 90 New Couble Nonhiti Clear Default Intelligence 4 Window From (E) 1400 0600 NFRC 0.65 NFRC 90 80 New Couble Nonhiti Clear Default Lower level over grage	
TOV Standard Proposed Compliance (k8tu/sf-yr) Design Design Margin Space Heating 6.55 3.91 2.64		HVAC DISTRIBUTION Duct Duct Condition Ducts Location Heating Cooling Location R-Value Status Tested?
Space Cooling 10.74 13.10 -2.36 18.2 2.35 -0.53		2 ton Package Duried Duried Attio 42 New No
Dornestic Hot Water 6 26 7.93 0.34 Pumps 0.00 0.00 0.00		Hydronic Piping Pipe Pipe Insul.
Totals 27.37 27.28 0.09 Percent better than Standard: 0.3%		System Name Length Diameter Thick.
BUILDING COMPLIES - NO HERS VERIFICATION REQUIRED		WATER HEATING SYSTEMS Refed ¹ Tank Energy Standby ¹ Tank (houl.
☐ Multi Family ☐ Existing + Add/Alt Existing Floor Area: n/a ft²	1. Address source effect from NFRC or Table 1969. 2. Address course effect from NFRC or Table 1968.	Water Hester # in Input Cap. Condition Factor Loss R-Value System Name Type Distribution Syst. (Bluthr) (gal) Status or RE 1 (%) Ext.
Building Front Orientation: (E) 90 deg Raised Floor Area: 0 ft ² Fuel Type: Natural Gas Slab on Grade Area: 0 ft ²	INTERIOR AND EXTERIOR SHADING Window Overhand Left Fin Right Fin	RHEBU 44-50 Small Gas No Pipe Insulation 1 40.000 50 New 0.01 n/a n/a
Fenestration: Average Ceiling Height: 10.3 ft Area: 435 ft Avg. U: 0.60 Humber of Dwelling Units: 1.00	# Exterior Shade Type SHCC Hat. Wid. Len. Hat. LEd. REd. Dist. Len. Hat. Dist. Len. Hat. 1 Bug Screen 0.79	Multi-Family Central Water Heating Details Hot Water Punp Hot Water Piping Length (ft) Add 1/2"
Ratio: 13.4% Avg. SHGC: 0.65 Number of Stories: 3 BUILDING ZONE INFORMATION # of Thermostat Vent	2 80 Screen	Control # HP Type In Pienum Outside Buried Insulation
Zone Name Floor Area Volume Units Zone Type Type Fig. Area		I For small gas storage (rated input <= 75000 Brufn), electric resistance and heat pump water heaters, list evergy factor.
		I For small gas storage (rated input <= 75000 Btu/hr), electric resistance and heat pump water heaters, list energy factor. For large gas storage water heaters (rated input > 75000 Btu/hr), list Rated input, Recovery Efficiency and Standby Loss. For instandaneous gas water heaters, list Rated input, and Recovery Efficiency. REMARKS
OPAQUE SURFACES Insulation Act. Gains Condition Tyrus Frame Area U.Fac. Cay. Cont. Azm. Tilt. Y / N. Status JA IV Reference Location / Comments		
Victor Control Contr		CANDI IAUCE CTATESCUT
180-84		COMPLIANCE STATEMENT This certificate of compliance lists the building features and specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations, and the administrative regulations to implement themThis certificate has been signed by the individual with overall design responsibility.
		Regulations, and the administrative regulations to implement themThis certificate has been signed by the individual with overall design responsibility. The undersigned recognizes that compliance using duct design, duct sealing, verification of refrigerant change and TXVs, insulation installation quality, and building envelope sealing require installer testing and certification and field verification by an approved HERS rater.
No.	THERMAL MASS FOR HIGH MASS DESIGN Area Thick, Heat Inside Condition Location/	Designer or Owner (per Business & Professions Code) Name: Name: Title/Firm: Nader Houman Title/Firm: Farahmand Consultant Engineering
	Type (sf) (in.) Cap. Cond. RVal. JA IV Reference Status Comments	Aldress: Address: 3070 Mitor Ave., Suite 202 Los Angeles, CA Los Angeles CA 90034
		Telephone: (210) 575 5501 Telephone: (210) 204 0473
	PERIMETER LOSSES Insulation Condition Location/	(Signature) (date) (Signature) (date)
	Type Length R-Val, Location JA IV Reference Status Comments	Enforcement Agency Name: Tale/First
		Address: Telephone:
	Run Initiation Time: 08/22/06 11:47:18 Run Code: 1156272498	(signature/stamp) (date) Run Initiation Time: 08/22/06 11:37:18 Run Code: 1156272498
Run Initiation Time: 08/22/06 11:47:18 Run Code: 11:56272498 Bierg/Fio 42 by Everg/Soft User Number: 5169 July Number: 2006/99 Page: 3 of 8	Exergistro 4.2 by Exergistont User Number: 5169 July Number: 2005/629 Page; 4 0179	Evergraph to 4.2 by Evergraph User Number: 6169 Job Number: 2006/89 Page: 5 of 8
Cortificate Of Compliance : Residential (Part 4 of 4) CF-1R	Mandatory Measures Summary: Residential (Page 1 of 2) MF-1R	Mandatory Measures Summary: Residential (Page 2 of 2) MF-1R
Certificate Of Compliance: Residential Mr. Valentine Stewart, 8633 W. Hollywood Blvd. Project Title Special Features and Modeling Assumptions The local enforcement agency should pay special attention to the items specified in this checklist. These items require special written justification and documentation, and special verification to be used with the performance approach. The local enforcement agency determines the adequacy of the justification and documentation submitted. The HVAC System "2 ton Package" must meet all CEC Criteria for a Zonally Controlled system serving only Sleeping Areas.	NOTE: Lowerse as the statute includes a subject to the Standards as strooking these means are suggestions of the conditions of Compliance species to the statute of Compliance species to the statute of Compliance species as in his to complete the flat as statute of Compliance species as in his to complete the discounters to row the considerative. DESCRIPTION Check or initial applicable boxes or other to the statute of Compliance specification. Check or initial application documentation. Check or initial application documentation. Building Envelope Measures Statute: Building Envelope Measures Statute: Lose this is tatus man retainers about R-Value: Statute: S	Mandatory Measures Summary: Residential (Page 2 of 2) MF-1R Note: Learner with introducer state of certained in extraordist interest representation approach steed. More ethiquest complication requirements from the Certained orthogophase requirement for the complication approach steed. More ethiquest complication requirements for the time to certain and certained with a see including manual reason steeds for the mandatory measures whiches the representation in the decidation of the Certain and the steed of the Certain and the certain and the steed of the Certain and the steed of the Certain and the ce
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ENERGY CALCULATION

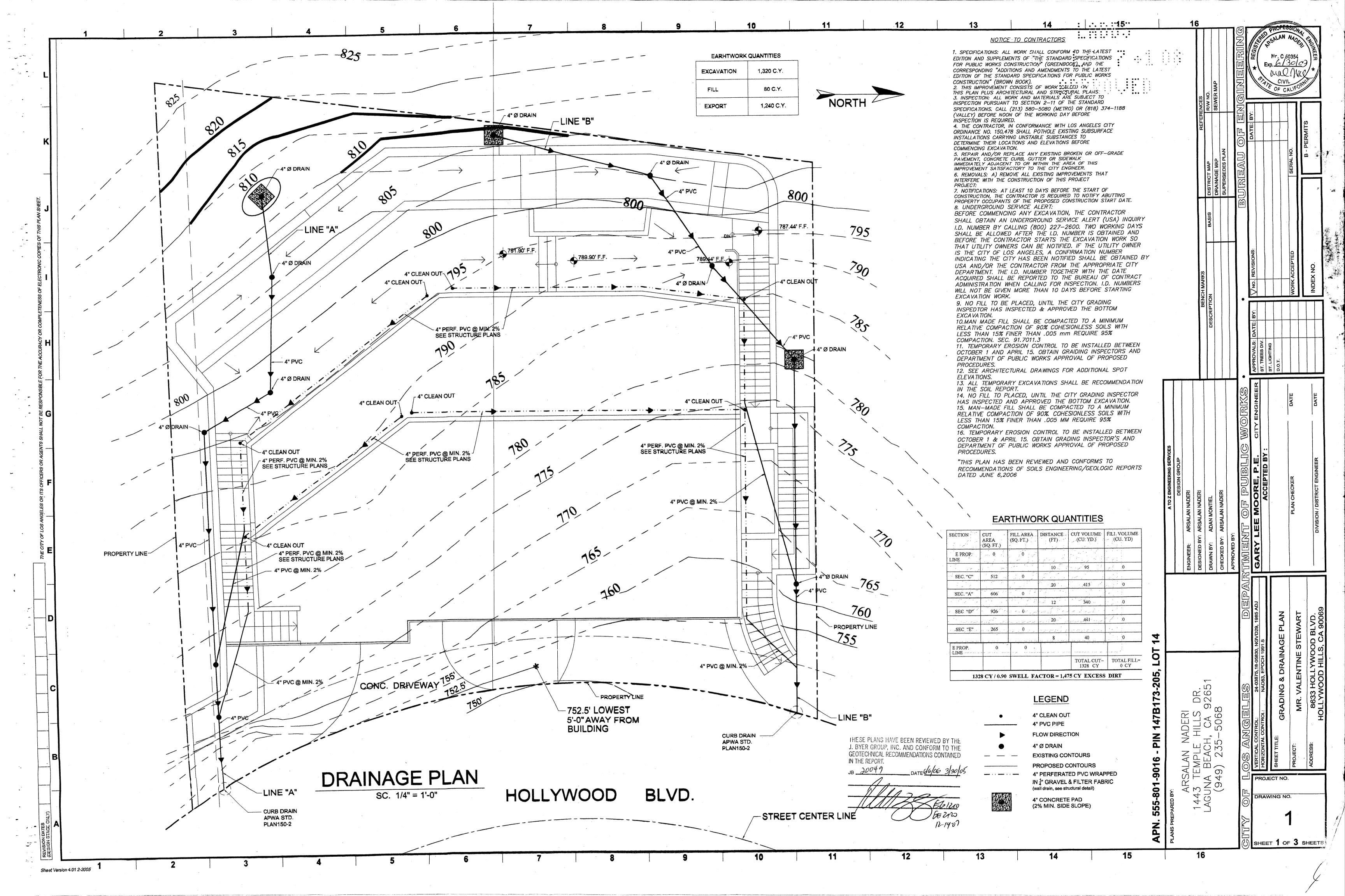
MR. VALENTINE STEWART 8633 W. HOLLYWOOD BLVD. LOS ANGELES, CA.

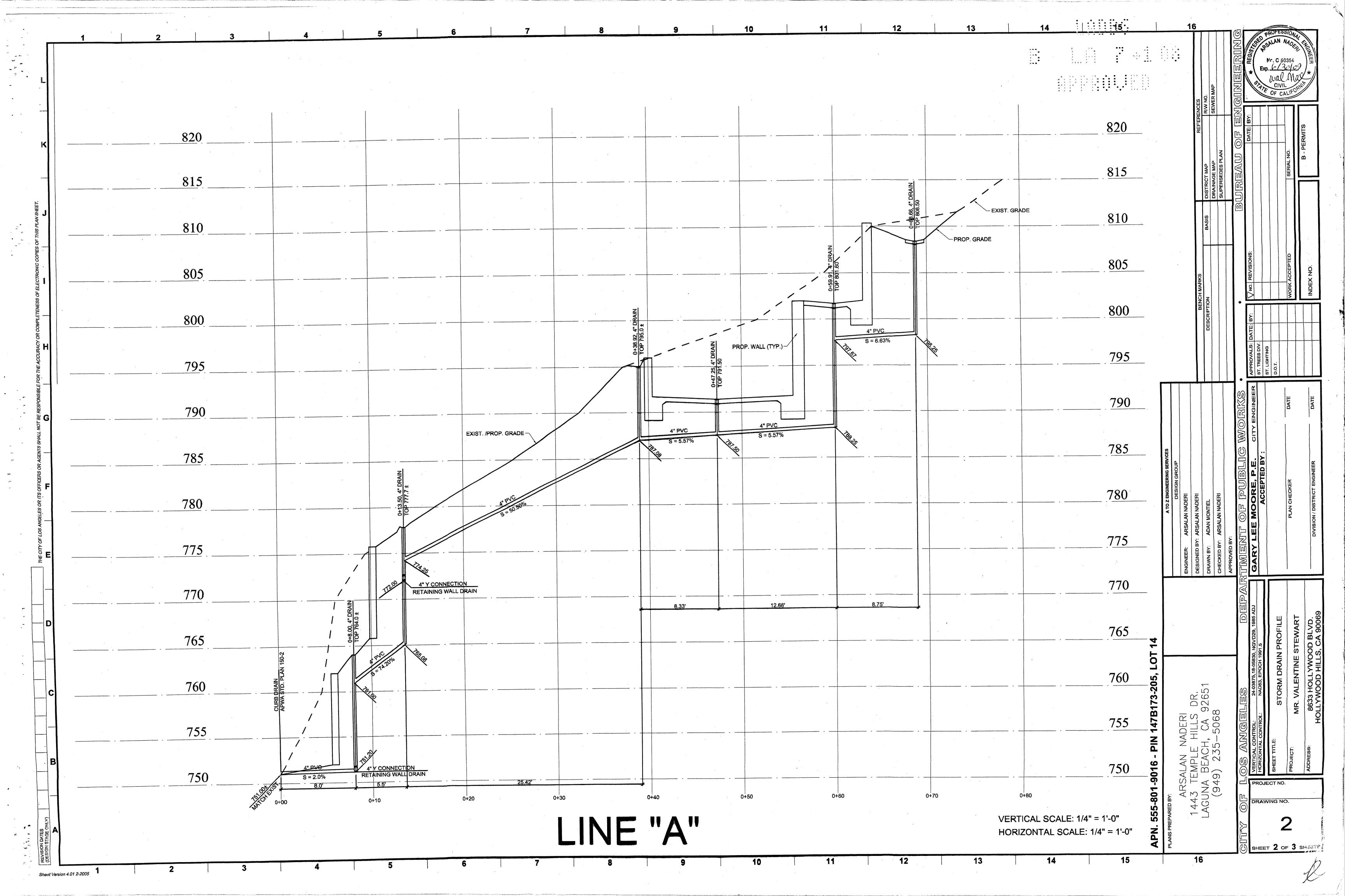
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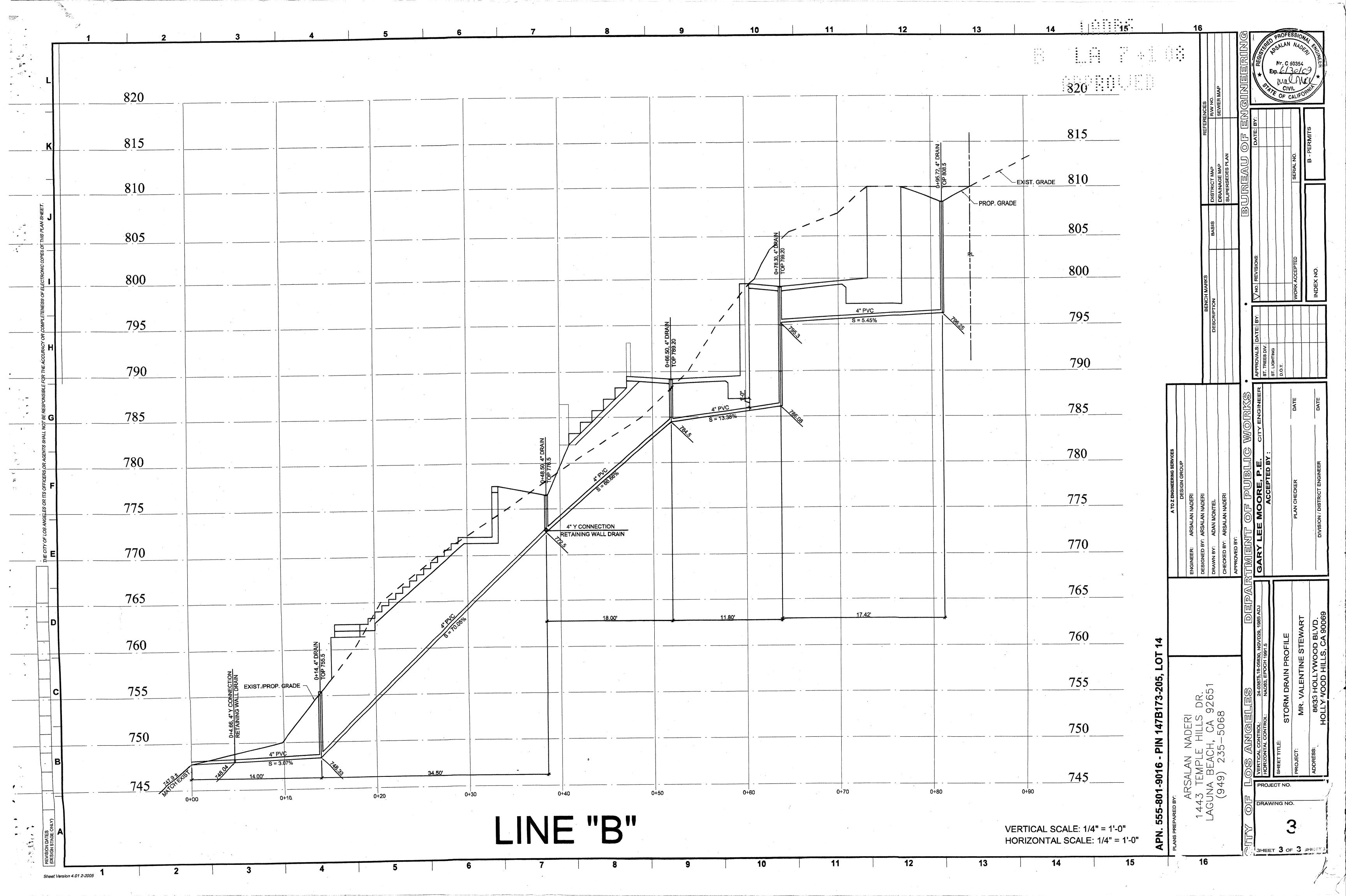
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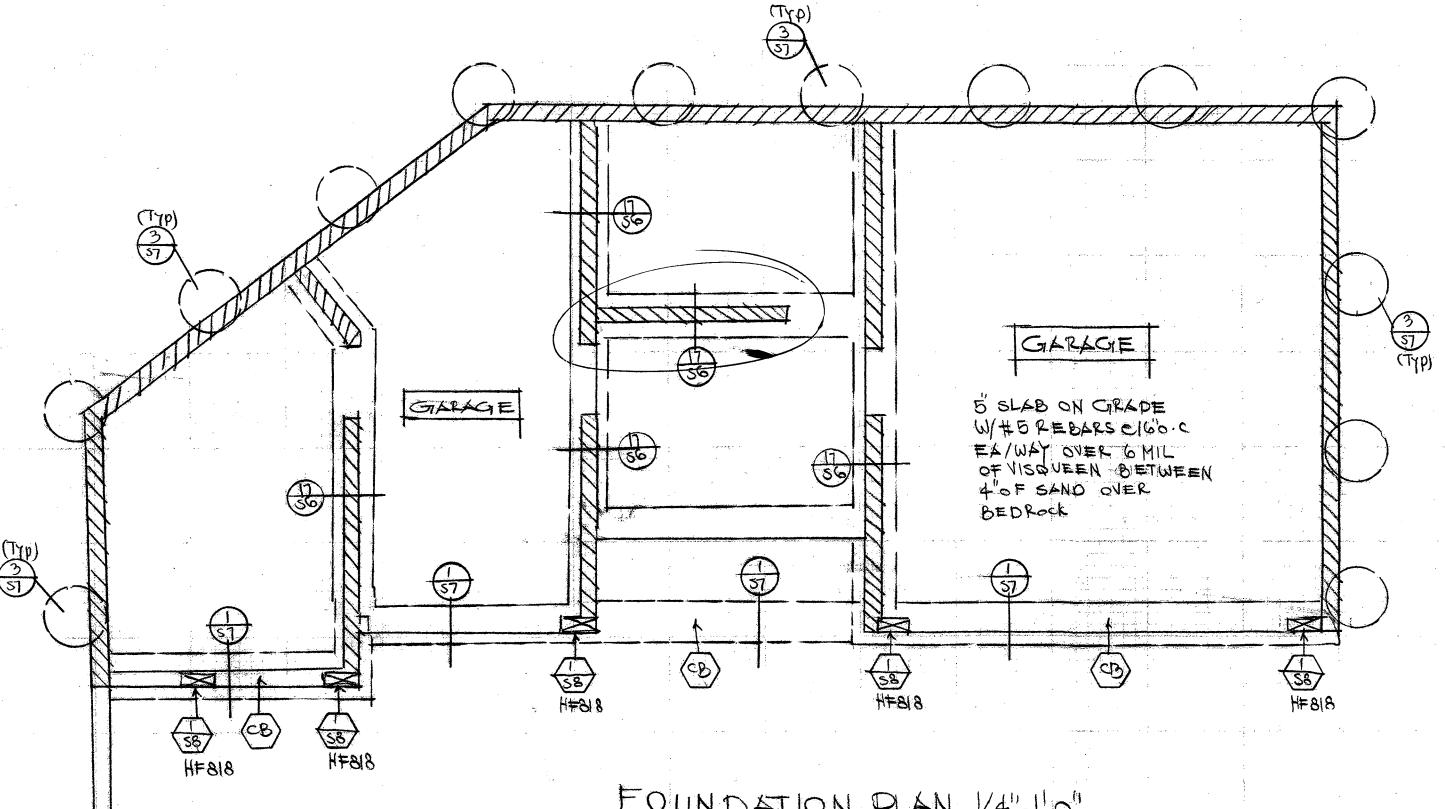
Sheet A12

of Sheets









FOUNDATION PLAN 1/4"=11-0"

- 1. ALL FOOTINGS TO BEAR ON BEDROCK

- 2. SOIL ENGINEER TO INSPECT ALL EXCANATIONS PRIOR
 TO PLACING REBARS AND POURING CONC.

 3. CONCRETE TO PILES, SLAB & CIRADE BMS AND HALLS
 TO BE 3000 PSI CONTINOUS DEPUTY NOP. RED'D

 4. ANCHOR BOLTS TO BE 5/8" O ABX 12" LONG & 48"O.C

 EXCEPT AT SHEAR PANEL U.N.O
- 5. CB) INDICATES 16"X 30" CIRADE BH, W12# 6TEB

 W/#4TIES C12"O.C U.N.O
- 6. , ALL BOIT HOLES SHALL BE DRILLED 1/32 VIG OVERSIZED.

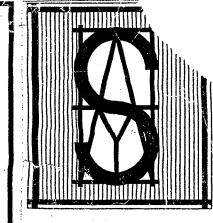
THESE PLANS HAVE BEEN REVIEWED BY THE

J. BYER GROUP, INC. AND CONFORM TO THE

GEOTECHNICAL RECOMMENDATIONS CONTAINED

IN THE REPORT.

1 (166. 3/30/05)



ENGINEERING Structural Design and Consulting

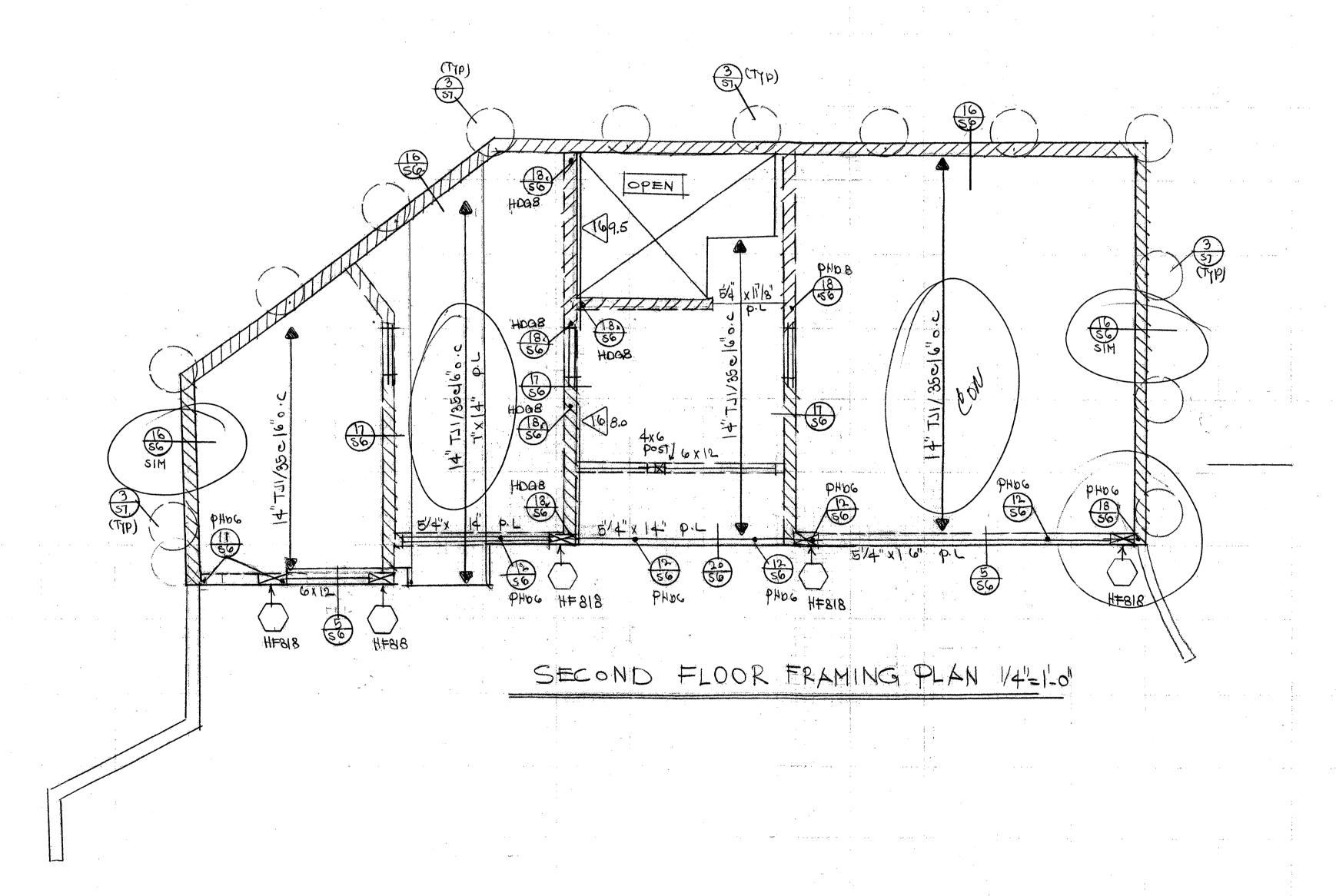
型 818 . 788 . 7887 15233 Ventura Blvd, Suite. 210 Sherman Oaks, Ca. 91403-2201 ₹ 818 . 788 . 7827

Written dimensions on these drawings shall have precedence over scaled dimension: contractors shall verify, and be resposible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings.
These drawings, specifications, and
ideas, designs and arrangements represented thereby are and shall remain the property of SAYAH ENGINEERING and no part thereof shall be copied, disclosed to

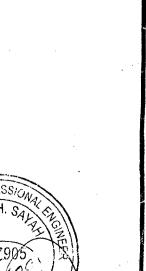
others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of SAYAH ENGINEERING. Viscontact with the mawings or specificatins shall constitute conclusive evidence of acceptance

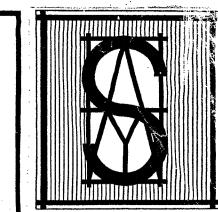
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SAYAH ENGINEERING Structural Design and Consulting

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Written dimensions on these

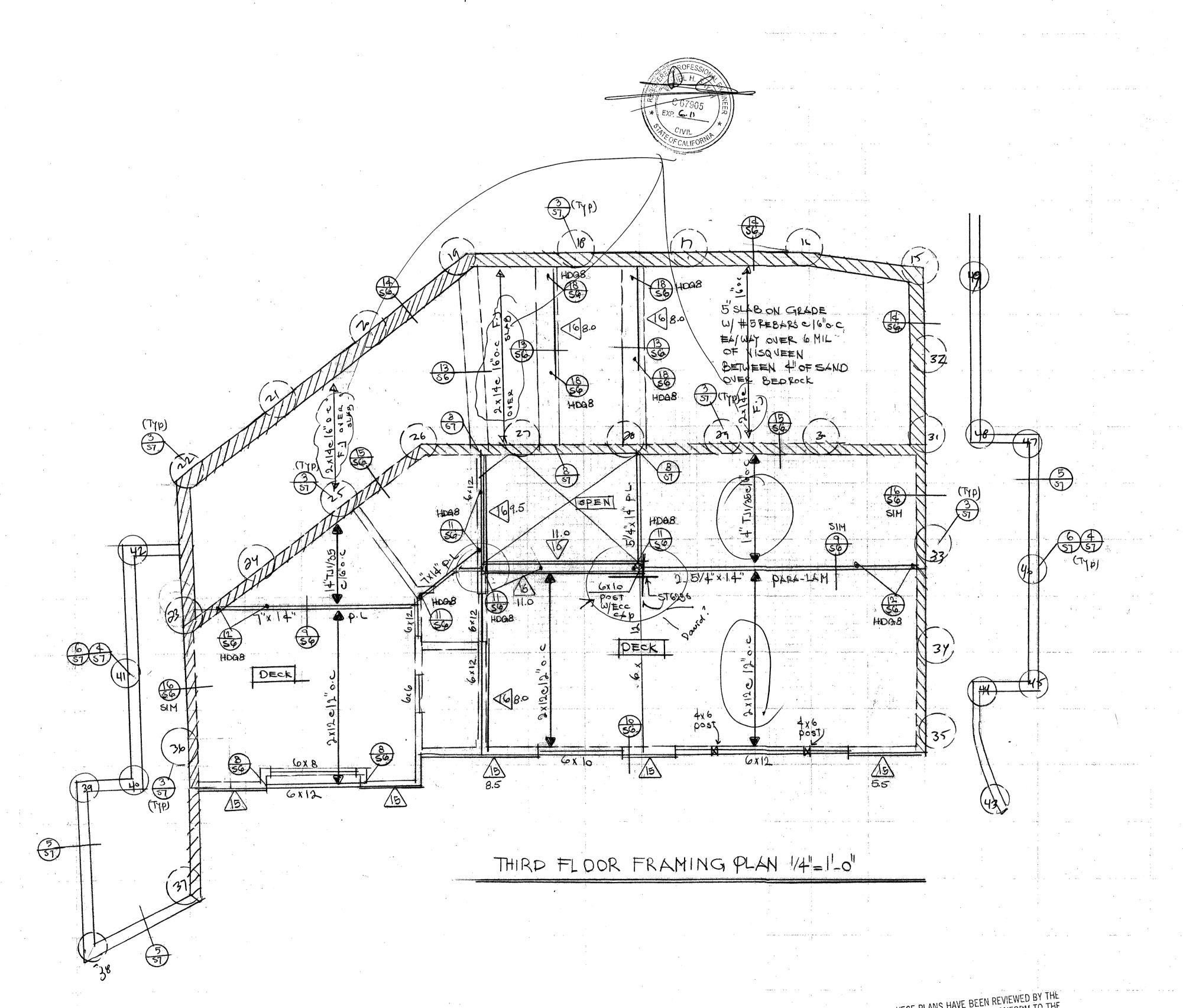
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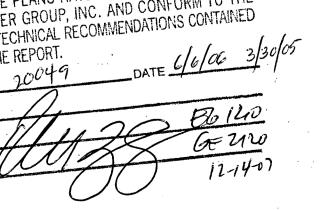
These drawings, specifications, and ideas, designs and arrangements represented thereby are and shall remain the property of SAYAH ENGINEERING and no part thereof shall be copied, disclosed to others or used in connection with any work or project other than the specific project for which they have been prepared and developed without the written consent of SAYAH ENGINEERING. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

wart Residence

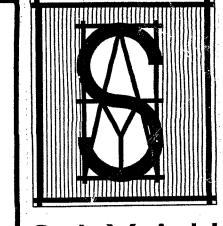
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Sheet Contents:









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Structural Design and Consulting ₫ 818 . 788 . 7887 15233 Ventura Blvd, Suite. 210 Sherman Oaks, Ca. 91403-2201

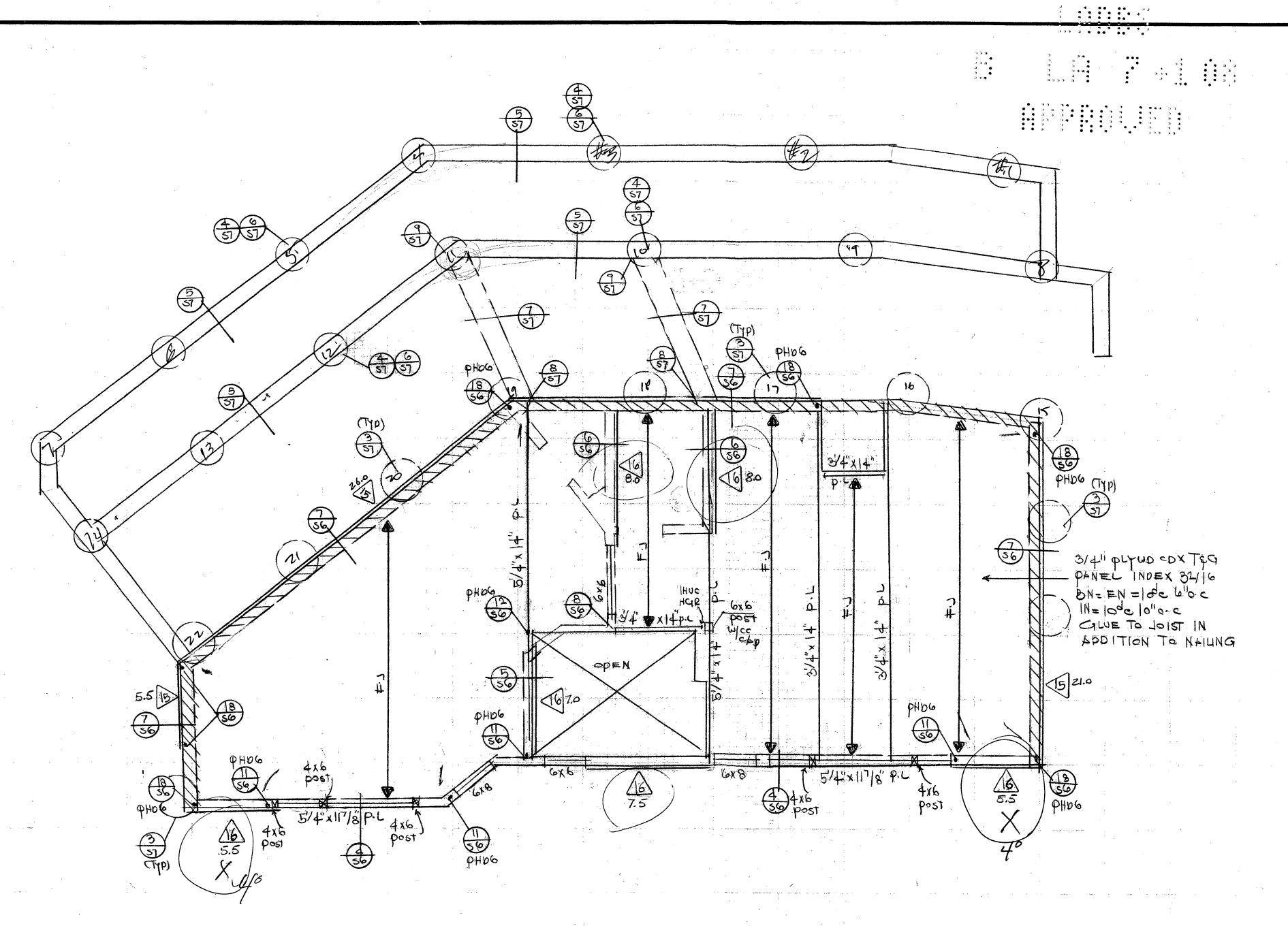
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without the written consent of
SAYAH ENGINEERING. Visual
contact with these drawings or
specifications shall constitute
conclusive evidence of acceptance
of these restrictions.

vart Residence Story Hillside House

Revisions:

Project No.:



FOURTH FLOOR FRAMING PLAN 14"-11-0"

1. FLOOR JOISTS TO BE 14" TIV 35 e/6" O.C UNC

STOCKERAFTING FORM NO. 101-55

ESE PLANS HAVE BEEN REVIEWED BY THE BYER GROUP, INC. AND CONFORM TO THE OTECHNICAL RECOMMENDATIONS CONTAINED THE REPORT.

20049 DATE 6/06 3/30/09

DATE 6/06 3/30/09

GE 2120



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ENGINEERING
Structural Design and Consulting

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15233 Ventura Blvd, Suite. 210
Sherman Oaks, Ca. 91403-2201

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v 4-Story Hillside House

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eale: 1/4"=1

0' 1' 3'

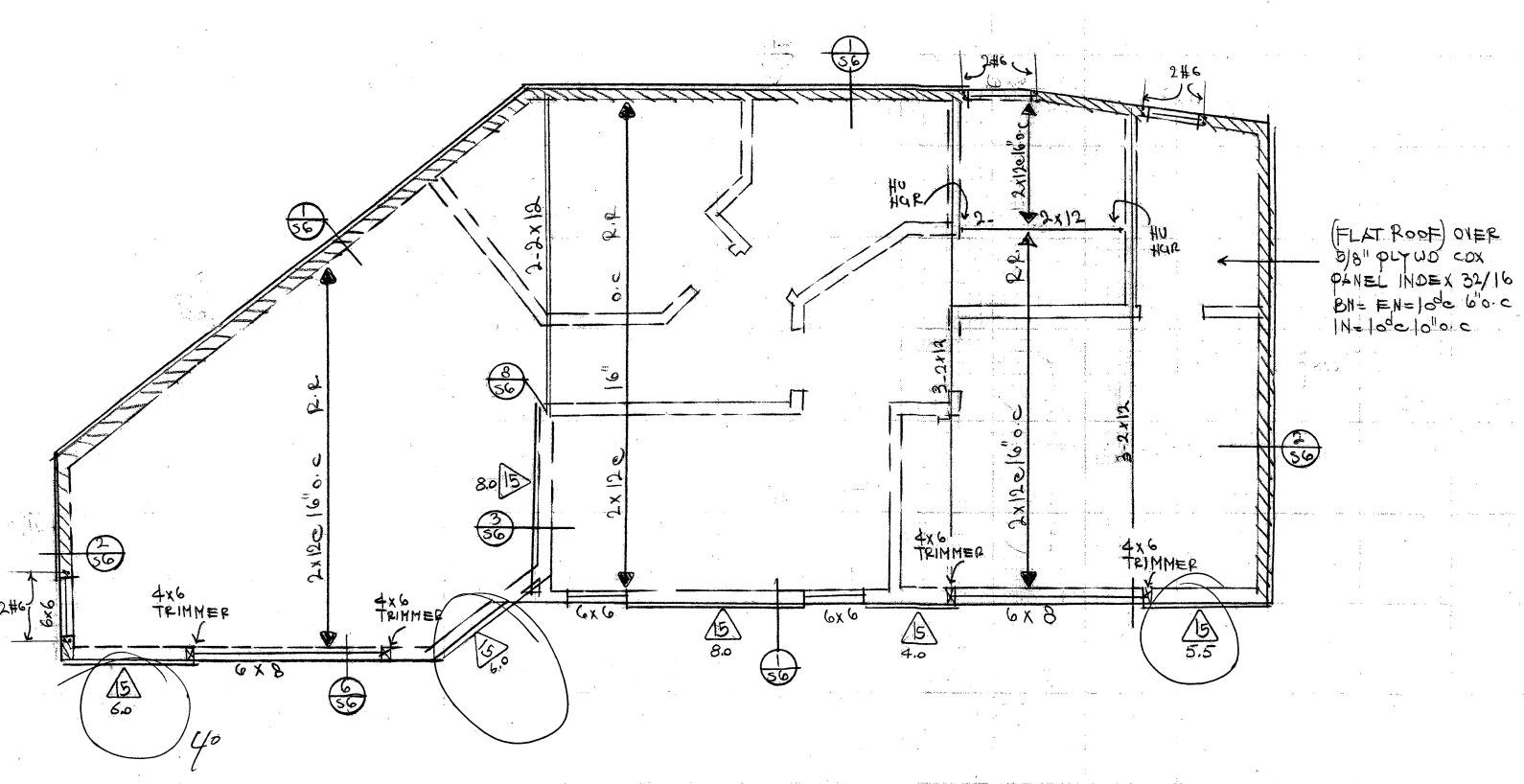
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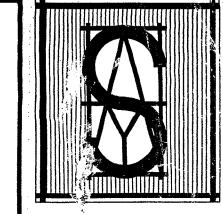
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S-4



1. FOR SPLICE AT TOP PLATE SEE DETAIL 19/5.6



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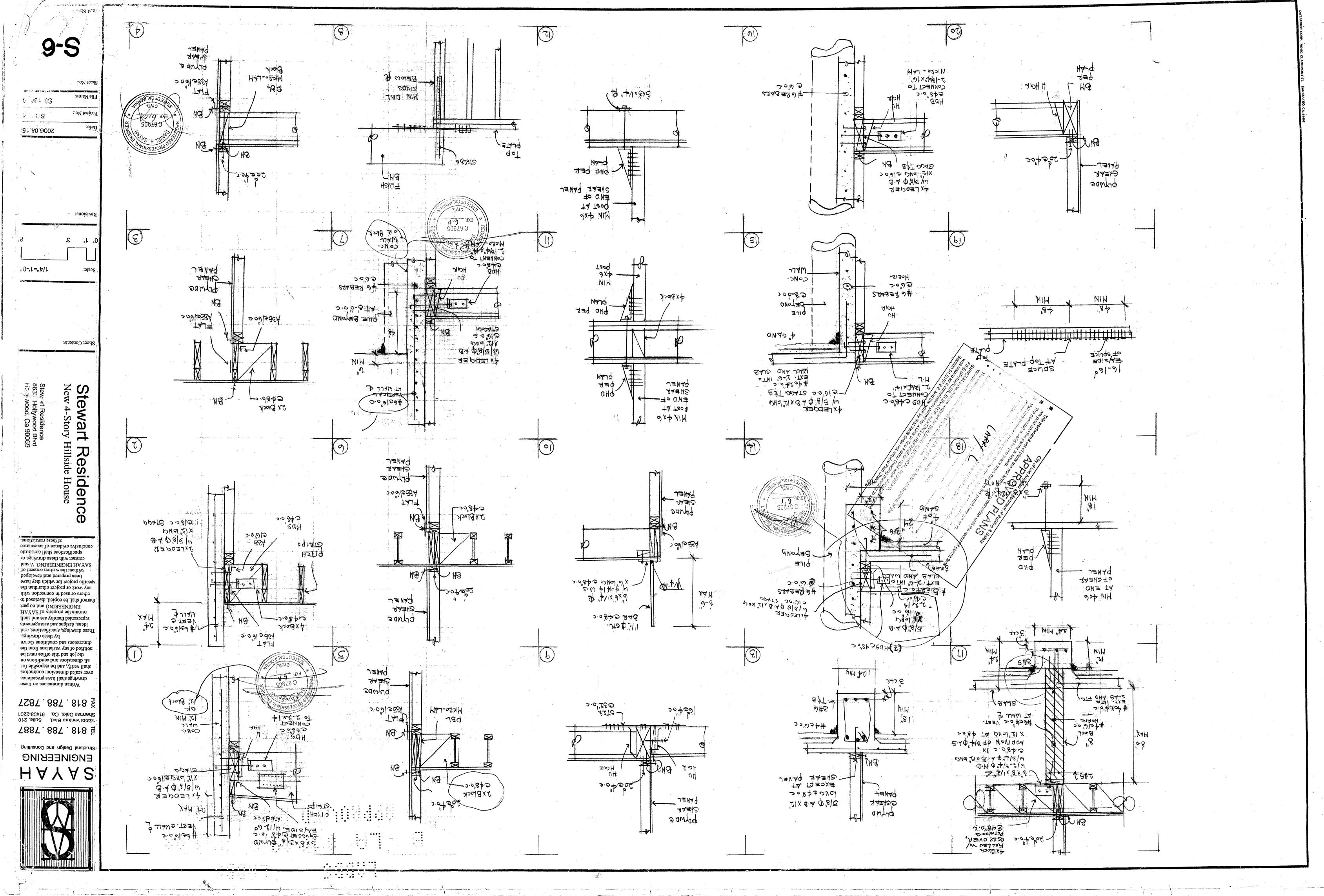
Structural Design and Consulting ⊭ 818 . 788 . 7887 15233 Ventura Blvd, Suite, 210 Sherman Oaks, Ca. 91403-2201

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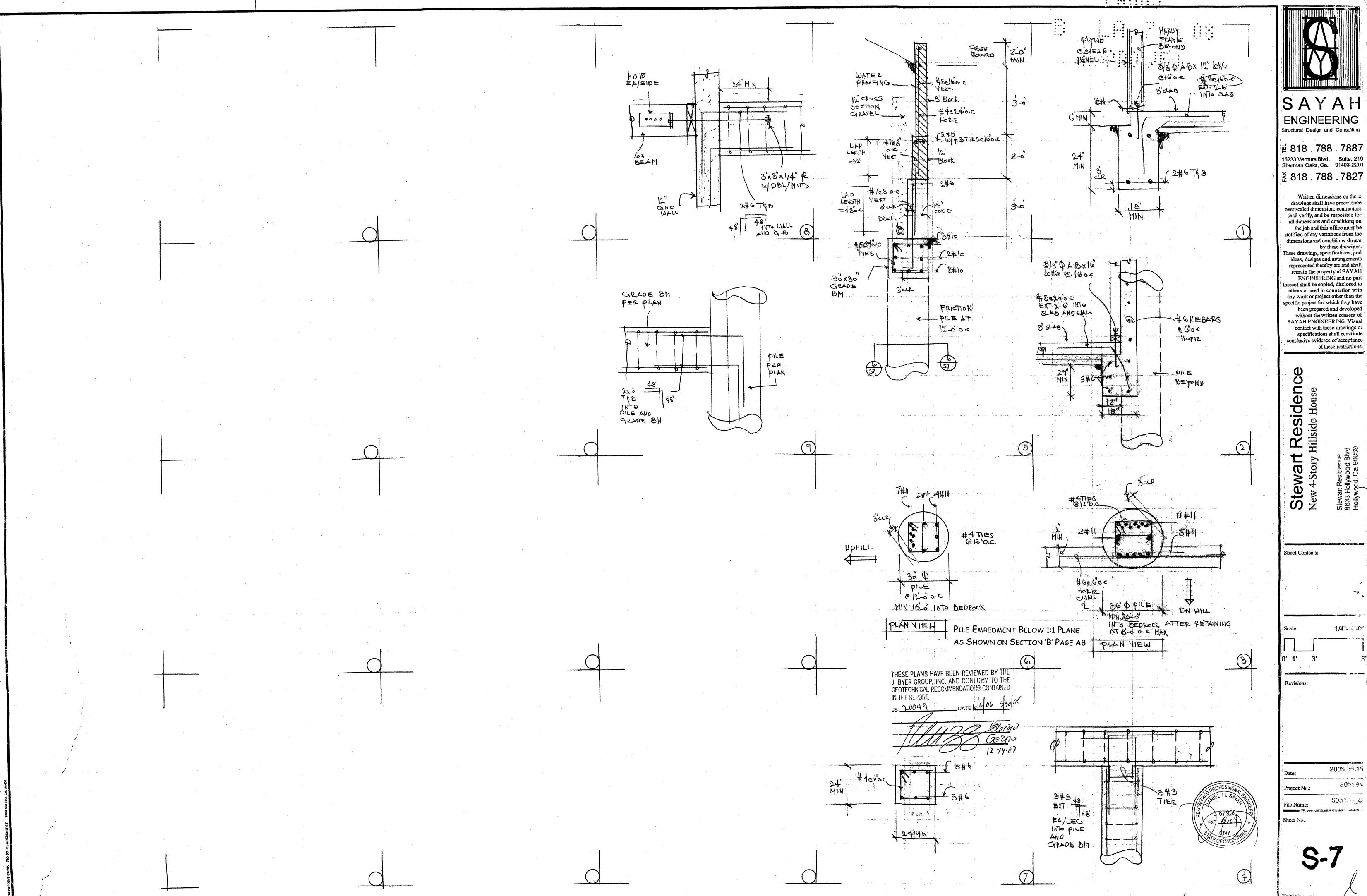
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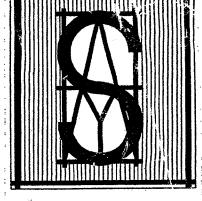
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vart Residence Story Hillside House



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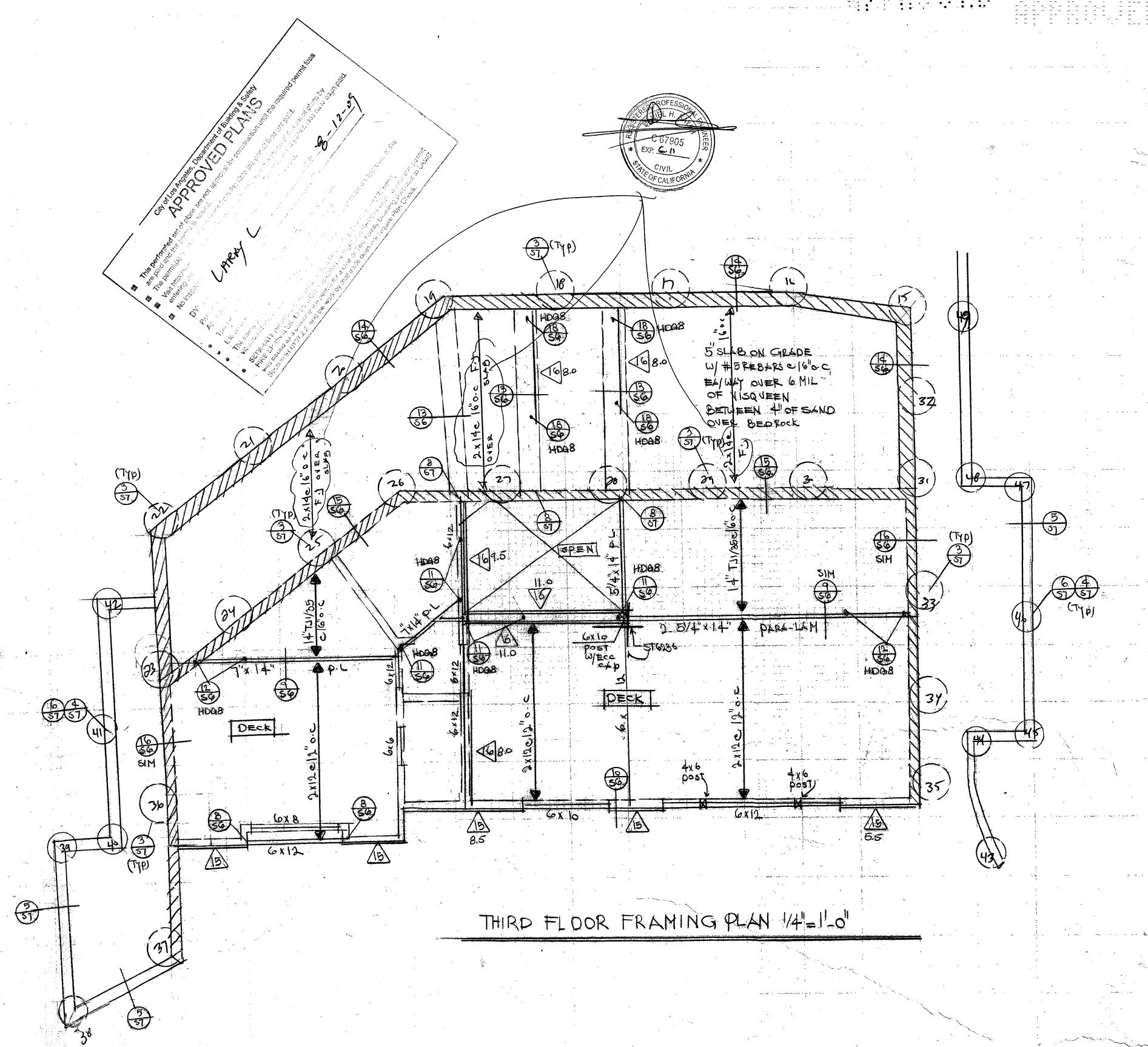




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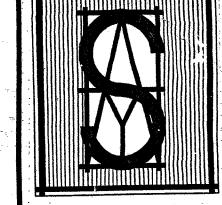
• •				
STRUCTURAL GENERAL NOTES	SHEAR PANEL SCHEDULE		A35F OR EQUAL DBI 2v4 CONT	
Contractor to verify field conditions, dimensions, etc. and notify architect of any discrepancies between existing conditions and plans. Structural designs of remodels are based on assumptions of existing conditions, which are to be verified at time of construction. Owner may	½" plywood, structural grade 1, block all edges, BN = EN = 8d @ 4" o.c., IN = 8d @ 12" o.c., sill nailing 20d @ 4" o.c. Sill bolts: 5/8" A.B.'s x 14" long @ 16" o.c. 2x sill. [298 pl?] See table 23-11-1-4 w/A.35 @16" o.c. Top PL		A35F OR EQUAL DBL 2x4 CONT TOP PLATE TOP PLATE	
be liable for additional costs due to field changes. 2. Contractor responsible for providing adequate shoring, bracing, and other safety measures. Engineer's services do not extend to or include the review or site observation of the contractor's work or performance. Engineer is not liable for failure of contractor's work to conform to design intent or contract documents.	½" plywood, structural grade 1, block all edges, BN = EN = IOd @ 3" o.c., IN = IOd @ 12" o.c., sill nailing 1/2" Ø lag bolts x 10" long @ 6" o.c. Sill bolts: 5/8" A.B.'s x 14" long @ 16" o.c. 3x sill and studs at plywood splice. NOTE: Nailing to be staggered for all members receiving edge nailing. [498 pif] w/A.35 @ 12" o.c. Top P.		2"4" "FAD" ABOYE FRAME 1/4"Ø x 3" WOOD SCREWS ALL HOLES	
3. Concrete to have 28 day ultimate strength of 2500 psi, except piles, grade beams, and structural stabs to be 3000 psi. continuous deputy inspection required for 3000 psi concrete.	1/2" plywood, structural grade 1, block all edges, BN = EN = 10d @ 2" o.c. N= I0d @ 12" o.c., sill nailing 5/8" Ø lag bolts x 10" long @ 6" o.c. Sill bolts: 3/4" A.B.'s x 14" long @ 12" o.c. 3x sill and studs at plywood splice. NOTE: Nailing to be staggered for all members receiving edge nailing. [652 plf] w/A.35 @8" o.c. Top P		2x, 2-2x OR 4x W/4 SDS SCREWS A.B. PER	SAYAH
4. Rebars per ASTM A615, Grade 60, except #5 and smaller bars may be Grade 40. Lap rebars at comers and intersections.	NOTES		SILL PLATE ENGINEER OF RECORD	ENGINEERING Structural Design and Consulting
5. Masonry per ASTM C90. fm = 1500 psi. Grout all cells below grade and all cells containing rebars. Horizontal bars to be placed in bond beam units. Provide vertical crack control joint at 30' o/c in block walls.	1). Use common nails only, no sinker or box nails. 2). Engineering observation required for 15 & 16		2#5 ADDITIONAL—	⊭ 818 . 788 . 7887
6. Masonry: Specify type and fm of masonry units. Proportions of Mortar and Grout mixes. When half stresses are used and fm is no more than 1500 psi for concrete masonry (2600 psi for clay masonry), a letter of certification from the supplier shall be required at the time of, or prior to, delivery of the materials to the job site to assure the materials comply with Table 21-D section 91.2105.3.4.	 3). Holddown post holes to be maximum 1/16" oversized, deputy to verify. 4). Tighten holddown bolts just before covering. 5). Plywood to be 5 ply, nails to be minimum ½" from panel edge. 		BARS T#B @ H.F.	15233 Ventura Blvd, Suite. 210 Sherman Oaks, Ca. 91403-2201
7. Grout: 1 part cement, 3 parts sand, 1/10 part lime	6). At sill bolts and holddown bolts use plate washers in place of cut washers; 2 ½" x 2 ½" x ½" for 5/8" bolts, 3" x 3" x ½" for 5/8" bolts.		DEPUTY INSPECTION REQUIRED	Written dimensions on these
Mortar: 1 part cement, 4 ½ parts aggregate, 1/2 part lime 8. Structural steel per ASTM A36, tubes per A501, pipes per A53, Grade B. Welding to be performed in the shop of a licensed and approved fabricator. Field welding, if any, to be performed by a licensed welder (in LA approved by LA building dept.) under continuous deputy	GENERAL NOTES FOR STRUCTURAL OBSERVATION	9	5	drawings shall have precedence over scaled dimension: contractors shall verify, and be resposible for all dimensions and conditions on the job and this office must be
 9. Lumber to be Douglas Fir Larch, grade marked, except pressure treated sill plates. Horizontal framing to be #2 grade, except 4x and larger beams and posts to be #1 grade. Framing in contact with concrete or masonry within 6" of earth to be pressure treated. Glu-lam beams per combination 24F-V3 to be supplied by a licensed and approved fabricator. Submit certificate of inspection for approval. 	STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBERVER			notified of any variations from the dimensions and conditions shown by these drawings. These drawings, specifications, and ideas, designs and arrangements represented thereby are and shall remain the property of SAYAH
10, Plywood per PS1-95. Nailing and placement to be inspected before covering. Oriented	PROJECT ADDRESS:PERMIT APPL.: DESCRIPTION OF WORK:			ENGINEERING and no part thereof shall be copied, disclosed to
strand board (OSB) may be substituted for plywood. 11. Unless indicated otherwise, allowable soil bearing assumed to be 1000 psi per UBC table	OWNER:ARCHITECT:ENGINEER: SAYAH ENGINEERING			others or used in connection with any work or project other than the specific project for which they have
for silty clay	STRUCTURAL OBSERVATION (ONLY CHECKED ITEMS ARE REQUIRED)			been prepared and developed without the written consent of
12. Plans and specification are not to be reused without authorization of engineer.13. Lag Bolts: Provide lead-hole 70% of threaded shank dia., and full dia. For smooth shank	FIRM OR INDIVIDUAL TO BE RESPONSIBLE FOR THE STRUCTURAL OBSERVATION: NAME: SAYAH ENG. PHONE: 818.788.7887 CALIF. REGISTRATION: C67905			SAYAH ENGINEERING. Visual contact with these drawings or specifications shall constitute
portion. Soap, paraffin or other approved lubricant shall be used on threads. Installation shall be by screwing not hammering. Care shall be taken to avoid over torquing bolt.	FOUNDATION WALL FRAMES FLOOR FOOTING, STEM WALLS, PIERS CONCRETE STEEL MOMENT FRAME CONCRETE			conclusive evidence of acceptance of these restrictions.
NAILING SCHEDULE (Table 23-II-B-I)	FOOTING, STEM WALLS,PIERS CONCRETE STEEL MOMENT FRAME CONCRETE MAT FOUNDATION MASONRY STEEL BRACED FRAME STEEL DECK			
TRAILING GOTTLEGEL (Table 25-11-15-1)	☑ CAISSON, PILES, GRADE BEAMS ☐ WOOD ☐ CONCRETE MOMENT FRAME ☐ WOOD			
	STEPP'G/RETAIN'G FOUNDATION, OTHER MASONRY WALL FRAME OTHERS:			
CONNECTION 1. Joist to sili or girder, toenail 3-8d	OTHERS: HARDI-FRAME			9
2. Bridging to joist, toenail each end 3. 1" x 6 (25 mm x 152 mm) subfloor or less to each joist, face nail 2-8d	STRUCTURAL OBSERVATION 1. the owner of the project, declare that the above listed firm or individual is hired by me to be the structural observer			Se Se
5. 2" (51 mm) subfloor to joist or girder, blind and face nail 6. Sole plate to joist or blocking typical face nail 16d at 16" (406 mm) o.c.	SIGNATURE DATE	40		der
Sole plate to joist or blocking, at braced wall panels 7. Top plate to stud, end nail 2-16d 2-16d	DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (REQUIRED IF THE STRUCTURAL OBSERVER IS DIFFERENT FROM THE ARCHITECT OF ENGINEER OF RECORD) 1. the architect or engineer of record for the project, declare that the above	, 10	6 2	⊘ ⇔
9. Double studs, face nail 10. Doubled top plates, typical face nail 10. Doubled top plates, typical face nail 11. The plates typical face nail 12. The plates typical face nail 13. The plates typical face nail 14. The plates typical face nail 15. The plates typical face nail 16. The plates typical face nail 16. The plates typical face nail	listed firm or individual is designated by me to be responsible for the structural observation			
Double top plates, lap splice 11. Biocking between joists or rafters to top plate, toenail 8-16d 3-8d	SIGNATURE LICENSE NO. DATE			+
13. Top plates, laps and intersections, face nail 14. Continuous header two pieces 3-8d				Story Seence Sood B
15. Ceiling joists to plate, toenail 16. Continuous header to stud, toenail 3-16d				4-6 ood,
18 Ceiling joists to parallel rafters, face nail 19 Refter to plate toenail 2-8d				Stewart 8633 ho Hollywo
20. 1" (25 mm) brace to each stud and plate, face nail 21. 1" x 8" sheath'g or less to each bearing, face nail 22. Wider than 1" x 8" sheathing to each bearing, face nail 23. Built-up corner studs 2.8d 3-8d 3-8d 3-8d 21. 1" x 8" sheathing to each bearing, face nail 23. Built-up corner studs 20d at 32" o.c. at T & B				Sheet Contents:
24. Built-up girder and beams 2-16d @ ea. bearing 25. 2" (51 mm) planks				General Notes
26. Wood structural panels and particleboard: (2) Subfloor and wall sheathing (to framing):				
19/32" - 3/4" (15 mm-19 mm) 7/8" - 1"(22 mm.25 mm) 1 1/8" - 1 1/4" (29 mm-32 mm) 6d (5)				
Combination subfloor-underlayment (to framing): 3/4" (19 mm) and less 7/5"-1" (22 mm-25 mm) 8d (5) 10d (4) or 8d (5)				
1 1/8" - 1 1/4" (29 mm-32 mm) 27. Panel siding (to framing): (2) 8d (6)				Scale:
1/2" (12.7 mm) or less 5/8" (16 mm) No. 11 ga. (8) 28. Fiberboard sheathing: 6d (4)				0' 1' 3' 8'
1/2" (12.7 mm) No. 16 ga. (9) No. 11 ga. (8) 8d (4)			<u>7</u> 3	
25/32" (20 mm) No. 16 ga. (9)				Revisions:
29. Interior paneling 1/4" (9.5 mm) 3/8" (6.4 mm) 4d (10) 6d (11)				
 (1) Common or box nails may be used except where otherwise stated. (2) Nails spaced at 6 inches (152 mm) on center at edges, 12 inches (305 mm) at intermediate supports except 6 inches (152 mm) at all supports where spans are 48 inches (1219 mm) or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Sections 23:5.3.3 and 2315.4. Nails for wall sheathing may be common, box or casing. (3) Common or deformed shank. (4) Common. (5) Deformed shank. (6) Corrosion-resistant siding or casing nails conforming to the requirements of Section 2304.3. (7) Fasteners spaced 3 inches (76 mm) on center at extenor edges and 6 inches (152 mm) on 				Date: 2006.03.15
center at intermediate supports. © Corrosion-resistant roofing nails with 7/16-inch-diameter (11 mm) head and 1 1/2-inch (38 mm) length for 1/2-inch (12.7 mm) sheathing and 1 3/4-inch (44 mm) length for 25/32-inch (20 mm)				Project No.: SC 134
sheathing1conforming to the requirements of Section 23043. (a) Corrosion-resistant stacles with nominal 7/16-inch (11 mm) crown and 1 1/8-inch (29 mm) length			RED PROFESSIONAL FRANCISCO	File Name: SUSTING
for 1/2-inch (12.7 mm) sheathing and 1 1/2-inch (38 mm) length for 25/32-inch (20 mm) sheathing conforming to the requirements of Section 2304.3. (10) Panel supports at 16 inches (406 mm) [20 inches (508 mm) if strength axis in the long direction			C 67,905	Sheet No.:
of the panel, unless otherwise marked]. Casing or finish nails spaced 6 inches (152 mm) on panel			EXP. 6109 /*	
(11) Panel supports at 24 inches (610 mm). Casing or finish nails spaced 6 inches (152 mm) on panel edges, 12 inches (305 mm) at intermediate supports.			ATE OF CALIFORNIA	Q_0
				0-0
	· ·		The state of the s	and the second s



THESE PLANS HAVE BEEN REVIEWED BY THE

J. BYER GROUP, INC. AND CONFORM TO THE
GEOTECHNICAL RECOMMENDATIONS CONTAINED
IN THE REPORT.





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by these drawings.

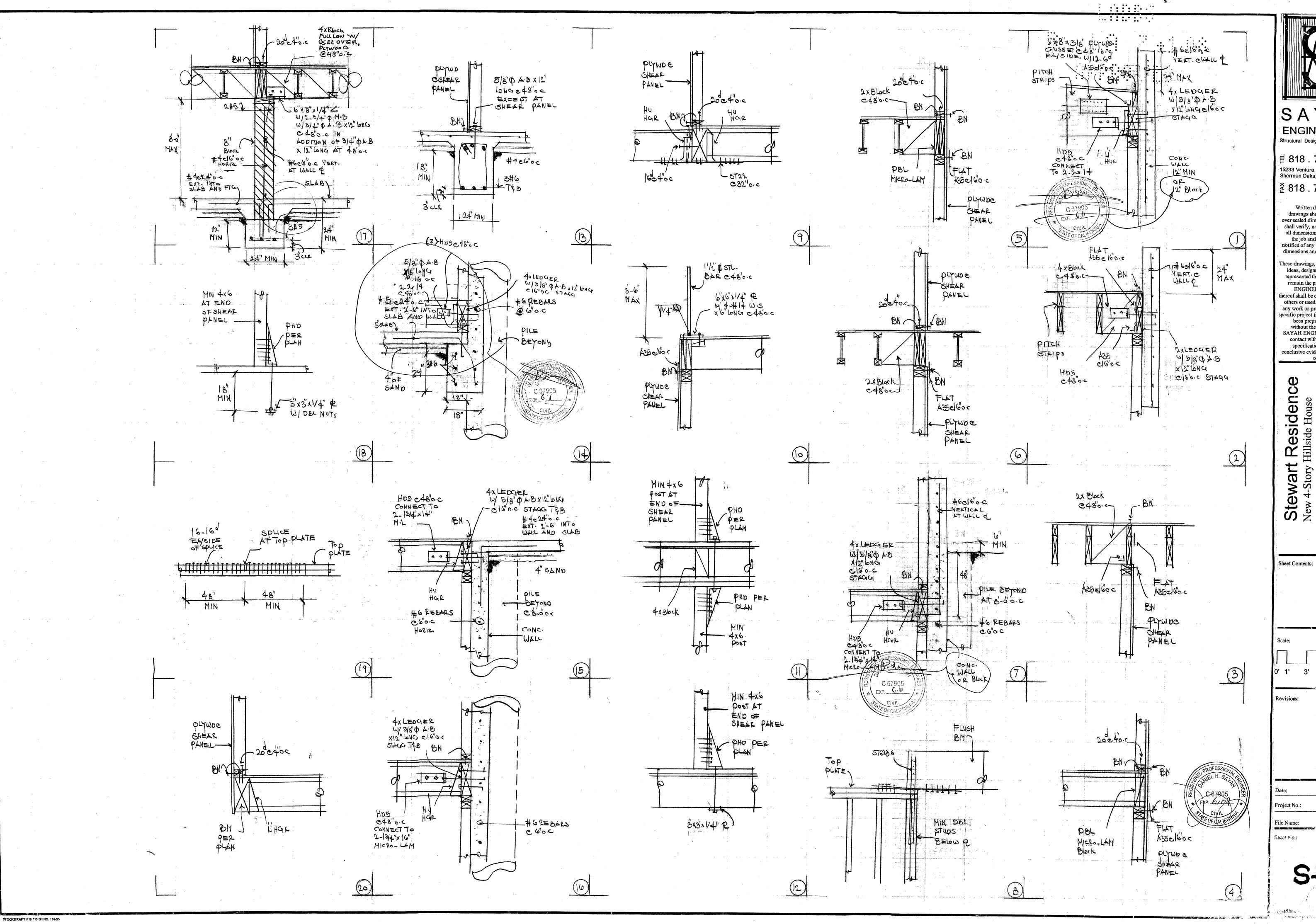
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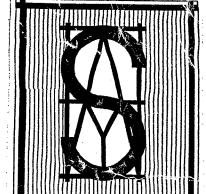
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Stewar New 4-Story

2006.08.15

Project No. S05184_S File Name:





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Sheet Contents:

1/4"=1'-0"

Revisions:

2006.08. Project No.:

File Name: Sheet No.: