



THE COMPANY

Home Inspection Group



8275 Sutterhome Pl, Rancho Cucamonga, CA 91730

Inspection prepared for: Bobbi Bass

Date of Inspection: 9/13/2025 Time: 1:00 PM

Age of Home: 1989 Size: 989

Weather: Clear

Order ID: 8150

Inspector: Rodrigo Gomez

9668 Milliken Ave, #181, Rancho Cucamonga, CA 91730

Phone: 9097713521

Email: thecompanyRod@gmail.com



213-393-3670



DISCLOSURES – PLEASE READ THE ENTIRE REPORT.

In order for you to receive the full value of this inspection, please read all of the information we have provided.

RED PRINT – Indicates items of **IMMEDIATE CONCERN** to this structure. These items should be further evaluated and addressed before closing escrow. However, the entire report must be read for full disclosure, as other items written in this report may also require further evaluation as deemed necessary by those parties reading the report. If further evaluation is not performed and additional defects are found after the contingency period has expired, disputes or claims against this inspection will be denied. Failing to read this report and follow the advice contained here is not cause for holding the inspector, the inspection report, or The Company Home Inspection Group Inc. liable.

This is a limited inspection: A home inspection is meant to reflect, as accurately as possible, the visible condition of the home during the time of the inspection only, it doesn't reflect, anticipate or predict future conditions. Conditions at a property for sale can change drastically over night. So a home inspection is not meant to guarantee what condition the home will be after the transaction finalizes. During the inspection your inspector didn't dismantle equipment, dismantle any structural items, or destructive testing. Any areas that are hidden, painted over, or aren't readily visible are not covered in this report. This report is not a guarantee or warranty on the condition of your property or it's contents. This report provides an unbiased visual inspection only. Defects will be indicated and marked as such, even though the condition may be considered normal for the age, and should be inspected by the appropriate licensed contractor. The inspector doesn't determine the age or remaining life of any system or building material during this inspection. Cosmetic issues are considered obvious and are often not included in the report. Your report doesn't include all items covered in the Real Estate Transfer Disclosure Form. We recommend that you read the full disclaimers page in complete detail to understand the limitation of a Home Inspection.

An Attorney, and/or Real Estate Broker should be consulted on additional items not included in this report.

ENVIRONMENTAL DISCLAIMER: Mold spores, asbestos, formaldehyde, lead paint, radon, poria, Chinese drywall and all other toxic items/materials or concern cannot be identified as dangerous/toxic with this inspection report. Your inspector is not certified to identify these dangerous or toxic items/materials and will not include any information about them in this report. It is recommended the client have the property tested by certified professionals on these areas, on all cases.

Buildings constructed between 1965 and 1974 have the possibility of having aluminum wiring throughout the structure. It's recommended to have a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses with galvanized or cast iron plumbing present are recommended to be further evaluated by a plumbing contractor regardless of the age or condition of the plumbing.

Buildings constructed prior to 1978 may contain asbestos materials. It's recommended to have a licensed asbestos contractor further evaluated houses built in this era for asbestos material.

Buildings constructed prior to 1978 may contain lead paint. It's recommended that a licensed lead paint specialist further evaluate houses built in this era for lead paint material.

The Company Home Inspection Group will not engage in any claims regarding lead paint, asbestos, or aluminum wiring.

Please carefully read your entire inspection report. Call the inspector after you've reviewed your report, so we can go over any questions or concerns you may have, throughout the entire closing process.

The inspection report is based on the inspection of the visible areas of the structure. The inspection may be limited by height restrictions, vegetation, weather, and possessions. Depending on the age of the property some items like GFCI outlets may not be installed. This report/inspection focuses on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector may feel needs further investigation or repair. It's not a requirement that a home being sold be brought up to today's building code standards.

A home inspector is not a code inspector. We advise you to check all building permits for all areas of the structures present. If the property building permits have not been obtained or don't have final building inspection signatures, then you shouldn't assume that these areas were installed to applicable building codes. Further investigation/evaluation beyond the scope of the home inspection may be needed.

"Needing service" or "needs to be serviced" will be a common phrase/comment used throughout this inspection report, it means in the inspectors opinion, maintenance, repair, or upgrade may be needed and the item should be further evaluated by the proper professional. Often items discovered by the inspector or only small clues to a potentially bigger issue, further evaluating may uncover items the inspector didn't see or disclose during the inspection.

For your safety and liability purposes, we always recommend that licensed contractors further evaluate and repair any and all concerns or defects noted in the report.

Sewer scope/Lateral Sewer Line Camera Inspection: Any underground drain cannot be viewed by the inspector. They can often have internal issues that cannot be viewed or detected during the home inspection. We always advise to have a sewer camera inspection before the end of your

inspection contingency's.

Every home or structure is different/unique, therefore may be inspected in different formats. Inspections usually can take anywhere from 1 to 5 hrs depending on the size, age, and condition of the structure being inspected. Inspection methods are generally the same among all inspectors, however experience and personal preference may differ between inspectors. The same goes for report writing, inspectors are given the freedom to narrate or edit comments they see fit for each inspection. An inspector cannot predict or find every defect in the property being inspected. The time frame of an inspection only allows the inspector to examine areas in a location by location order. If a defect arises in another area of the property (this includes the exterior) for which this defect was not visible or present during the inspection, then the inspector cannot be liable for notifying of the defect.

There is no set time frame for how long each water fixture should be operated. Water will be turned on at all accessible/visible water fixtures in the property. Leaks can only be documented if they're visible at the time of operating the designated fixture during the inspection. Future leaks cannot be detected. The inspector cannot determine if there are plumbing leaks inside a wall or ceiling unless visible moisture or evidence of moisture are present and visible during the inspection. The inspection does not give confirmation of water conservation devices at any fixture.

This report is meant to reflect the defects found in a home at the time of the inspection. It doesn't predict future conditions. We always recommend that you or your representation conduct a final walk through inspection before closing to check the condition of the property. Conditions may change at any time during the escrow period. You're responsible for verifying all conditions before the close of escrow.

This inspection report is non-transferable to another party.

Thank you for using The Company Home Inspection Group.

INSPECTION AGREEMENT

By acceptance of this inspection report, you agree to the terms of this agreement and the terms & conditions of the contract. You further agree that you understand the limitations of a home inspection and have read the disclaimer page of this report.

SCOPE OF THE INSPECTION / REPORT

We will perform a non-invasive visual examination designed to identify material defects in the systems, structures, and components of buildings located on the property to be inspected, as they exist at the time of the inspection. Our inspection will be limited to those specific systems, structures and components that are present and visually accessible. We will only operate components and systems with normal user controls and as conditions permit. Unless we agree otherwise, we will only inspect the primary building, and its associated primary parking structure on the property. Out structures are not included in our inspection: this exclusion encompasses exterior barbecues, appliances, fire pits, fire places, play equipment, ponds or fountains, sheds, workshops, lean-to structures, barns, etc.. We will also provide you with a written report that describes and identifies the inspected systems, structures and components and any visible material defects observed at the time of the inspection. We may amend the report within twenty-four (24) hours after completing the inspection.

RE-INSPECTION: A re-inspection may be scheduled with our office as needed to re-evaluate specific items that may have been repaired since our original inspection or that may have been obstructed and not visible or accessible during the original inspection. The fee for a re-inspection varies upon how many items are to be re-inspected and/or the length of time required to perform the re-inspection. A re-inspection is completed only for the items specified in writing by the buyer or buyer's Agent at the time of the re-inspection. A re-inspection does not include a complete inspection of the entire home or property, however the Inspector may update the inspection report with additional defects observed at the re-inspection that may not have been visible or accessible during the original inspection. It is recommended that you obtain all the necessary building permits, contractor receipts and any warranties provided by the manufacturer/installer/contractor for the repaired or replaced items. Unless we agree otherwise, we will perform the inspection, and issue the report, in accordance with the mandatory parts of the current Standards of Practice (Residential Standards - Four or Less Units) of the International Association of Certified Home Inspectors ("the InterNACHI Standards") and subject to the Definitions, Scope, Limitations, Exceptions and Exclusions in the InterNACHI Standards. Terms in this Agreement have the same meaning as the defined terms in the InterNACHI Standards. The InterNACHI Standards are available from InterNACHI's website: <http://www.nachi.org/>

IF YOU DISCOVER A DEFECT FOR WHICH YOU THINK WE MAY BE LIABLE TO YOU, YOU MUST NOTIFY US AND GIVE US A REASONABLE OPPORTUNITY TO RE-INSPECT THE PROPERTY BEFORE YOU REPAIR THE DEFECT. FAILURE TO FOLLOW THIS PROCESS WILL RESULT IN VOIDING THIS AGREEMENT AND CONTRACT. YOUR NOTICE MUST BE IN WRITING, INCLUDE A SIGNED COPY OF THIS AGREEMENT, AND BE MAILED TO OUR CORPORATE OFFICE:

The Company Home Inspection Group, Attn: Inspector Supervisor, 9668 Milliken Avenue, Suite 104-181, Rancho Cucamonga, CA 91730

OUR LIABILITY TO YOU FOR CLAIMS ARISING FROM OUR INSPECTION OR OUR REPORT, WHETHER SOUNDING IN TORT OR CONTRACT, WILL NOT BE MORE THAN THE LESSER OF ACTUAL DAMAGES OR THREE (3) TIMES THE INSPECTION FEE. TCHIP (The Company Home Inspection Group, Inc.) AND CLIENT AGREE THAT CLIENT CANNOT FILE A LEGAL ACTION AGAINST TCHIP OR ITS EMPLOYEES, WHETHER SOUNDING IN TORT OR CONTRACT, MORE THAN ONE YEAR AFTER THE CLIENT DISCOVERS, OR WITH THE EXERCISE OF REASONABLE DILIGENCE SHOULD HAVE DISCOVERED THE BREACH OR MATERIAL DEFECT.

Our report is NOT a warranty of the items inspected. However, The Company Home Inspection Group, Inc. may offer you additional warranties through a third party service provider. In all cases, you must contact your home warranty company first for any issues that arise after the date of the original home inspection. Failure to do so may result in voiding your home warranty.

Additional questions or concerns can be addressed through our customer service phone: 213-393-3670

Please read the "About Your Inspection" and "Disclaimers" pages prior to filing any online claims as this will help you to determine if your claim is valid and within the scope of the home inspection.

CONFLICT OF INTEREST DISCLOSURE AND STATEMENT OF COMMITMENT

Our goal is to provide valuable and unbiased information that helps consumers make informed decisions. A portion of our business may be based on relationships with other professions- real estate sales professionals, lawyers, lenders, vendors, etc., and our reports sometimes conflict with the business interests of these parties. We do not allow these relationships to compromise the integrity of our service. However, they do enable us to deliver more value to our clients. Our reports are intended to accurately reflect our impartial professional opinion, without exception.

YOU MUST PAY THE INSPECTION FEE AND SIGN THE CONTRACT BEFORE WE CAN DELIVER THE REPORT TO YOU.

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Summary Page

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Interior		
Page 10 Item: 9	Fireplaces	• Hearth is missing – service recommended
Page 10 Item: 10	Electrical	• Outlet hot wired in reverse with neutral – service recommended
Bathrooms		
Page 18 Item: 9	Sinks	• Drain stopper not operating properly – service recommended-guest
Page 18 Item: 11	Bath Tubs	• Tub fixture is seized/stuck in position – service recommended-guest • Tub fixture leaks when operated – service recommended-primary
Page 20 Item: 15	Plumbing	• Shutoffs under sink leaking– service recommended- both sides primary
Kitchen		
Page 25 Item: 11	Ranges	• Front element/burners not operating – service recommended
Laundry Area		
Page 27 Item: 4	Plumbing	• Supplies corroded – service recommended
Heating/Air Conditioning		
Page 30 Item: 6	Electrical	• Improper sized breaker serving outdoor compressor unit – service recommended
Page 32 Item: 12	Refrigerant Lines	• Missing insulation at compressor unit – service recommended
Water Heater(s)		
Page 34 Item: 1	Water Heaters Condition	• Unit old and appears to be nearing end of useful life – we recommend that you budget for a replacement
Page 35 Item: 5	Overflow Line/s	• Not properly sloped to drain – service recommended
Garage and/or Carport		
Page 42 Item: 2	Rafters & Ceilings	• Evidence of a plumbing leak from above – tested positive for moisture at time of inspection – recommend further evaluation
Page 43 Item: 7	Fire Doors	• Door did not properly self-close and latch – service recommended

Page 45 Item: 12	Electrical	• Outlet hot wired in reverse with neutral – service recommended
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Overview

1. Inspection Details

Inspection type: The Company Home Inspection

Condo

All Utilities are ON for this inspection

Vacant structure

2. Main Utilities Location

- Main water valve shut off location: Garage exterior

3. Who is present at the inspection?

- Termite Inspector present during the inspection (see additional report/notes from this contractor regarding this structure)
- Lock box code provided to Inspector

4. Wall materials throughout the structure

Drywall

5. Ceiling materials throughout the structure

Drywall

6. Floor materials throughout the structure

Tile • Wood laminate

7. Window materials/type throughout the structure

Aluminum framed • Fixed frame or stationary type (does not open or close) • Horizontal sliding type (one window slides while the other remains stationary)

8. Important Notes

- This inspection is intended to identify major material defects only. Minor and cosmetic issues are excluded from inspection and report, but might be included in some comments as a courtesy. Small nail holes, drywall nail pops, small cracks, chipped areas, dirty areas and cosmetic blemishes are considered cosmetic in most cases.
- Small cracking might be found throughout the structure, this is normal for California construction and generally caused by settling, earthquakes, and wind conditions.

Interior

This inspection does not include testing for radon, mold or other hazardous materials unless specifically requested.

Plumbing is an important concern in any structure. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring.

Note that if in a rural location, sewer service and/or water service might be provided by private waste disposal system and/or well. Inspection, testing, analysis, or opinion of condition and function of private waste disposal systems and wells is not within the scope of a home inspection. Recommend consulting with seller concerning private systems and inspection, if present, by appropriate licensed professional familiar with such private systems. If a Septic System is on the property, pumping is generally recommended prior to purchase, and then every three years.

Interior areas consist of bedrooms, baths, kitchen, laundry, hallways, foyer, and other open areas.

All exposed walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Although excluded from inspection requirements, we will inform you of obvious broken gas seals in windows. Please realize that they are not always visible, due to temperature, humidity, window coverings, light source, etc. Your inspection will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas, as the inspector will not move personal items.

An inspection does not include the identification of, or research for, appliances and other items that may have been recalled or have had a consumer safety alert issued about it. Any comments made in the report are regarding well known notices and are provided as a courtesy only. Product recalls and consumer product safety alerts are added almost daily by the Consumer Product Safety Commission. We recommend visiting the following Internet site if recalls are a concern to you: <http://www.cpsc.gov>.

1. Wall Conditions

Small cracks/chipped/dirty areas/cosmetic blemishes observed – typical for age of structure • No moisture present when tested with a moisture meter



2. Ceiling Conditions

Small cracks/cosmetic blemishes observed – typical for age of structure

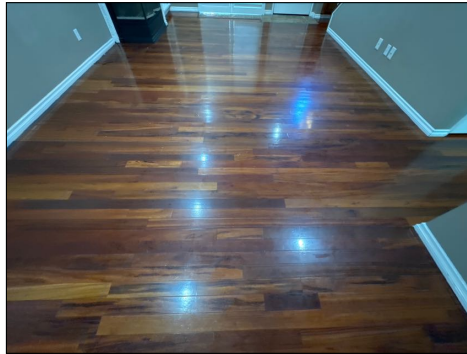


3. Ceiling Fans

Operated at time of inspection • Worn/older unit(s) – typical wear for age

4. Floor Conditions

Scratched/worn areas – typical for age and use



5. Window Conditions

Visible/accessible windows have worn frames/hardware/sills/tracks – typical for age • Recommend general window maintenance/lubrication and weather tight service

6. Doors

Operated at time of inspection • Weathered/worn door(s) – typical for age • Recommend routine maintenance on hardware and weather seals on all exterior doors

7. Sliding Glass Doors

Slider operated at the time of the inspection • Worn door with loose/worn hardware/frames/rollers/tracks – typical for age • Single pane • Tempered glass label observed • Recommend service/lubrication and general maintenance to extend the life of the slider



8. Sliding Door Screens

Operated at time of inspection • Worn screens with loose/worn hardware/frame/rollers/tracks – typical for age

9. Fireplaces

Location/s: Living room

Prefabricated

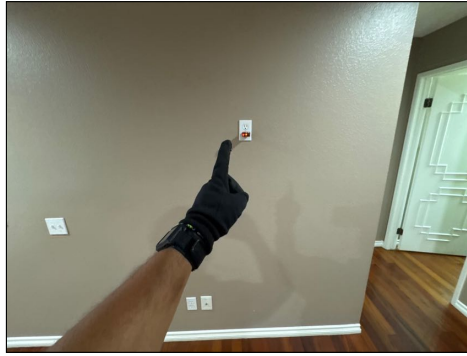
The fireplace is visually inspected only, the fireplace is not lit to test flame color or condition. The internal cavity of the fireplace is not inspected. It is recommended that you have an internal inspection of the chimney and a Gas Company evaluation of the fireplace prior to operating the fireplace. • Damper stop clamp was present at the time of the inspection • Small cracks/worn areas present – typical for age • Recommend fire caulk/sealing any holes/gaps/cracks • Damper was worn/rusted/dirty – recommend cleaning • Glass/screen door operated at the time of the inspection • Gas log lighter present • Gas valve tested and operated at the time of the inspection • **Hearth is missing – service recommended**



10. Electrical

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches – typical for age consider upgrading • **Outlet hot wired in reverse with neutral – service recommended**

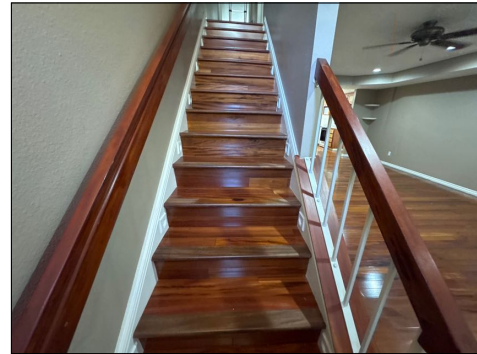




Outlet hot wired in reverse with neutral – service recommended- see picture for location

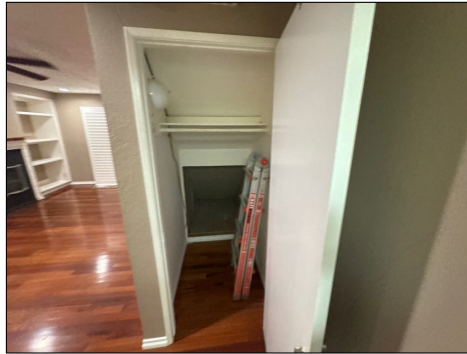
11. Stairs & Handrails

Functional at time of inspection



12. Closets

Worn closets with loose/worn hardware – typical for age



13. Cabinets

Worn cabinets with loose/worn hardware – typical for age

14. Door Bells

Operated at time of inspection front

15. Smoke Detectors

For safety purposes we recommend that smoke detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple smoke detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert. • Operational at time of inspection via factory installed test button



16. Carbon Monoxide Detectors

For safety purposes we recommend that carbon monoxide detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple carbon monoxide detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert. • Operational at time of inspection via factory installed test button

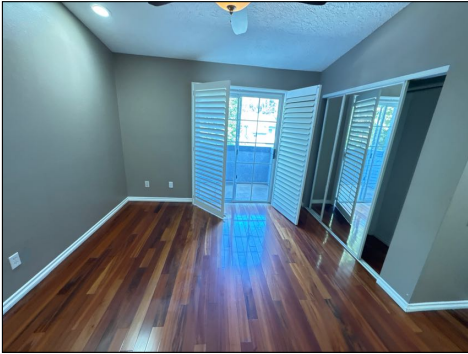


Bedrooms

The main area of inspection in the bedrooms is the structural system. This means that all walls, ceilings and floors will be inspected. Doors and windows will also be investigated for damage and normal operation. Personal items in the bedroom may prevent all areas to be inspected as the inspector will not move personal items.

1. Wall Conditions

Small cracks/chipped/dirty areas/cosmetic blemishes observed – typical for age of structure • No moisture present when tested with a moisture meter



2. Ceiling Conditions

Small cracks/chipped/dirty areas/cosmetic blemishes observed – typical for age of structure

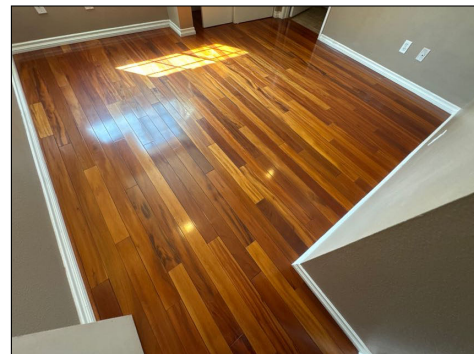
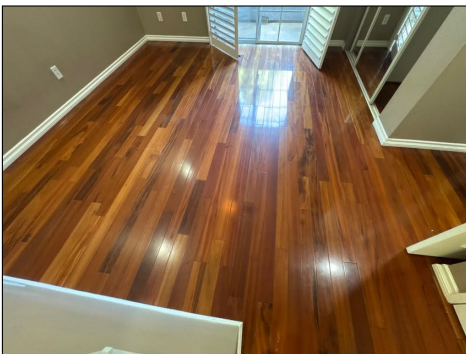


3. Ceiling Fans

Operated at time of inspection

4. Floor Conditions

Scratched/worn areas – typical for age and use



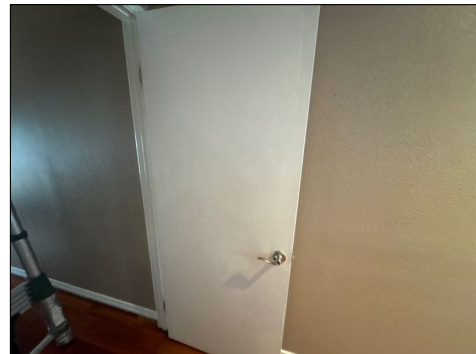
5. Window Conditions

Accessible windows were tested and operated at time of inspection • Visible/accessible windows have worn frames/hardware/sills/tracks – typical for age • Recommend general window maintenance/lubrication and weather tight service • Small cracks/worn areas/chipped paint observed around sill or frame • Damaged window seals – service recommended



6. Doors

Operated at time of inspection

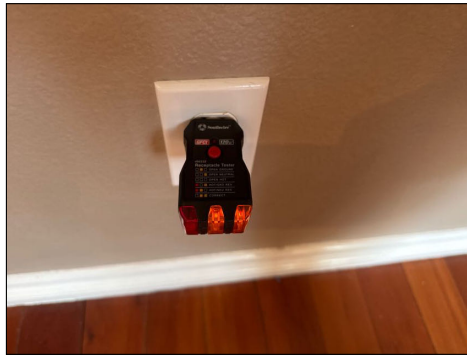


7. Sliding Glass Doors



8. Electrical

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches – typical for age consider upgrading



9. Closets

Worn closets with loose/worn hardware – typical for age • Bypass doors difficult to operate/rollers missing/damaged – service recommended



10. Smoke Detectors

For safety purposes we recommend that smoke detectors be placed in all sleeping areas (bedrooms) on all levels of multi-level dwellings. • Operational at time of inspection via factory installed test button

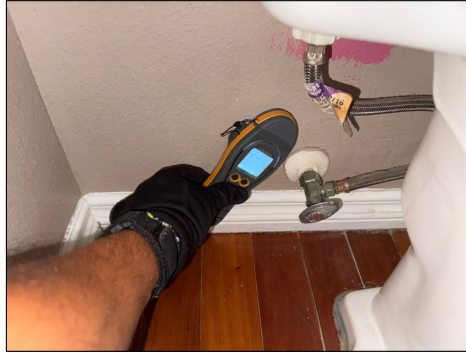


Bathrooms

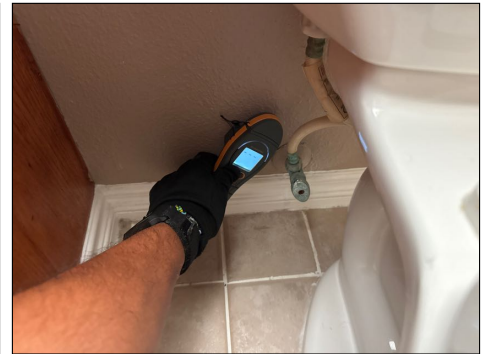
Bathrooms can consist of many features from jacuzzi tubs and showers to toilets and bidets. Because of all the plumbing involved it is an important area of the house to look over. Moisture in the air and leaks can cause mildew, wallpaper and paint to peel, and other problems. The home inspector will identify as many issues as possible but some problems may be undetectable due to problems within the walls or under the flooring..

1. Wall Conditions

Cosmetic blemishes observed – typical for age of structure • No moisture present when tested with a moisture meter • No visible microbial growth/irregular staining found at the time of the inspection



No moisture present when tested with a moisture meter



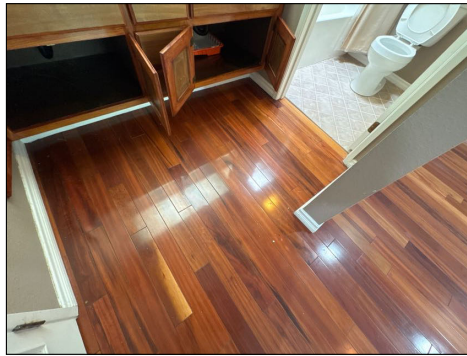
2. Ceiling Conditions

No major visible defects observed at the time of inspection



3. Floor Conditions

Scratched/worn areas – typical for age and use • Recommend grout and sealer maintenance

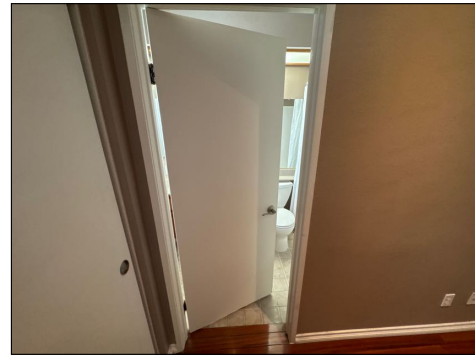
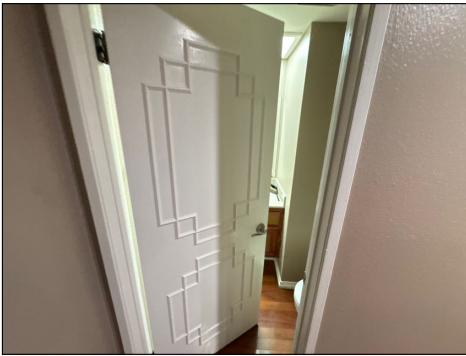


4. Window Conditions

Accessible windows were tested and operated at time of inspection • Visible/accessible windows have worn frames/hardware/sills/tracks – typical for age • Recommend general window maintenance/lubrication and weather tight service

5. Doors

Operated at time of inspection • Weathered/worn door(s) – typical for age



6. Closets

Worn closets with loose/worn hardware – typical for age



7. Counters

Counter is worn and has typical wear for age



8. Cabinets

Worn cabinets with loose/worn hardware – typical for age



9. Sinks

Fixture operated at the time of the inspection • Loose/worn fixture – needs minor maintenance • **Drain stopper not operating properly – service recommended- guest**

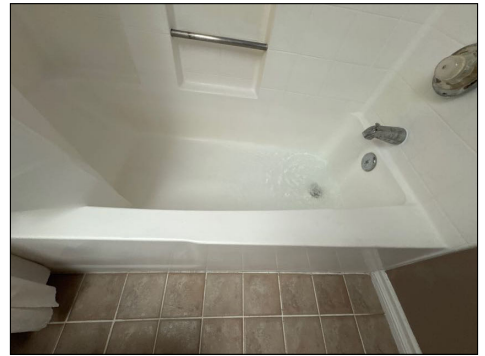
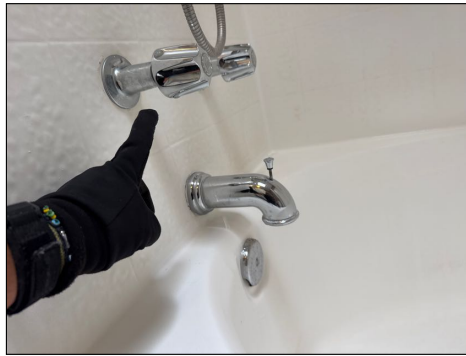


10. Mirrors

Mirror functional at time of inspection • Worn/older – typical wear for age

11. Bath Tubs

Fixture was tested and operating at the time of the inspection • Fixture was in a worn/older condition at the time of the inspection – typical for age • Recommend upgrading fixtures • Recommend Licensed Plumber for further evaluation • Tub is worn/older/stained/scratched/chipped – typical for the age • **Tub fixture is seized/stuck in position – service recommended- guest • Tub fixture leaks when operated – service recommended- primary**



12. Showers

Fixture was tested and operating at time of inspection via normal fixture controls • Fixture was in a worn and older condition – typical for the age



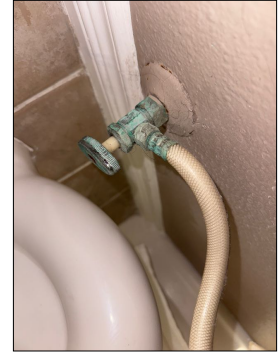
13. Shower Walls

Fiberglass surround present • Wall materials in a worn/stained-faded/old condition – typical for age – recommend routine grout and sealer maintenance



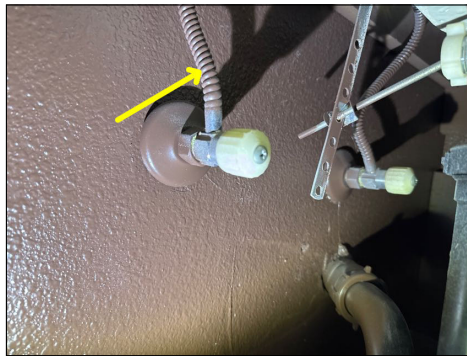
14. Toilets

Tested and operational at time of inspection via normal fixture controls, flush test performed • Toilet is in a worn and older condition at the time of the inspection – typical for age • No visible leaking at the time of inspection and flush testing • Water shutoff under toilet corroded – service recommended



15. Plumbing

Operational at time of inspection via normal fixture controls with no major visible defects • Angle stops/hoses/drain pipes are worn/older – recommend upgrading these areas with new fixtures • **Shutoffs under sink leaking– service recommended- both sides primary**



Angle stops/hoses/drain pipes are worn/older – recommend upgrading these areas with new fixtures

Shutoffs under sink leaking– service recommended- both sides primary



Shutoffs under sink leaking– service recommended- both sides primary



16. Electrical

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches – typical for age consider upgrading

17. GFCIs

Tested and operational at time of inspection via normal control



18. Exhaust Fans

Operated at time of inspection • Worn/older fan – typical wear for age

19. Heating

See HVAC page for more information about this section

Kitchen

The kitchen is used for food preparation and often for entertainment. Kitchens typically include a stove, dishwasher, sink and other appliances.

1. Wall Conditions

Appliances present and are not moved for inspection – limited inspection of walls, floors, cabinet areas covered by appliances • Cosmetic blemishes observed – typical for age of structure • No moisture present when tested with a moisture meter • No visible microbial growth/irregular staining found at the time of the inspection



2. Ceiling Conditions

No major visible defects observed at the time of inspection • No moisture present when tested with a moisture meter



3. Floor Conditions

Scratched/worn areas – typical for age and use



4. Window Conditions

Accessible windows were tested and operated at time of inspection • Visible/accessible windows have worn frames/hardware/sills/tracks – typical for age • Recommend general window maintenance/lubrication and weather tight service

5. Counters

Counter is worn and has typical wear for age • Recommend grout/sealer/stone maintenance



6. Cabinets

Worn cabinets with loose/worn hardware – typical for age



7. Sinks

Fixture operated at the time of the inspection • Normal wear at fixture/sink for age of material with no major visible defects



8. Dishwashers

The dishwasher inspection is limited and does not include an inspection of the water pump or any hoses inside or beneath the unit. The home inspector cannot predict the remaining life of the dishwasher or any parts within the dishwasher; nor can the home inspector tell you if or how well the dishwasher actually cleans or dries dishes. This inspection allows for one fill and one drain cycle only, the Inspector does not run the dishwasher for any full cycles. • Tested and operational (one fill and drain cycle only, not full cycle) at time of inspection via normal controls • Dishwasher has normal wear for age with no major visible defects • Drained properly during inspection • No visible leaks found at the time of the inspection



9. Garbage Disposals

The garbage disposal has a limited inspection, the Inspector cannot predict the remaining life of the garbage disposal nor determine how well the garbage disposal disposes of food or other items. The sharpness or adequacies of the internal blades is not determined during the home inspection. • Tested and operational at time of inspection via normal controls • Worn/older unit – typical wear for age and use • No visible leaks at the time of the inspection



10. Plumbing

Operational at time of inspection via normal fixture controls with no major visible defects • Angle stops/hoses/drain pipes are in a normal condition for their age – no major visible defects • No visible leaks found at the time of the inspection after running water at fixtures



11. Ranges

The range or cooktop has a limited inspection, the Inspector cannot predict the remaining life of the unit nor determine the BTUs output by each burner or if/how well the burners will cook food. For gas units – gas leaks cannot be detected with this inspection – a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection. • Gas supplied unit • Tested and operational at time of inspection via normal controls • Worn/older unit – replacement/repairs/maintenance will be required in the near future • **Front element/burners not operating – service recommended**



12. Ovens

The "Bake" feature is the only feature operated during a home inspection; convection, browning, rotisserie, warming drawers and other features are not tested during the oven inspection. Ovens are tested for basic heating element functionality. The oven cannot be tested to each incremental temperature setting or determine if adequate cooking temperatures can be achieved, nor if temperatures are calibrated with oven settings. We cannot determine if or how well the oven cooks food nor can we predict the remaining life left for the unit. For gas units – gas leaks cannot be detected with this inspection – a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection. • Gas supplied unit • Tested and operational at time of inspection via normal controls • Worn/older unit – replacement/repairs/maintenance will be required in the near future



13. Microwaves

Portable (non built-in type) unit present – not tested

14. Exhaust Vents

Hood with fan

The exhaust fan/vent is tested using the normal controls only. No smoke testing or other testing is done to determine the CFMs or how well the unit evacuates air. The home inspector cannot predict the remaining life left in the unit. • Tested and operational at time of inspection via normal controls • Worn/older unit – typical wear for age and use • Worn/dirty filters, recommend cleaning or replacing



15. Electrical

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches – typical for age consider upgrading



16. GFCIs

Recommend upgrading all receptacle to **GFCI** protection within 6 feet of all potential wet locations, unless the receptacle is on a circuit dedicated for a specific appliance. • Tested and operational at time of inspection via normal control



Laundry Area

1. Laundry Area Location

See garage area

2. Wall Conditions

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed – typical for age of structure • No moisture present when tested with a moisture meter • No visible microbial growth/irregular staining found at the time of the inspection



3. Dryer Vent

Dryer vent should be cleaned periodically to prevent lint fire hazards

4. Plumbing

Angle stops/valves/hoses are worn/older – recommend upgrading these areas with new fixtures • No visible leaks at time of inspection • **Supplies corroded – service recommended**



Supplies corroded – service recommended



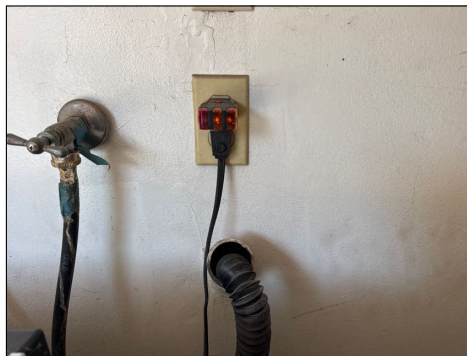
5. Gas Valve

The inspector does not check for gas leaks, consult the Gas Company to evaluate all gas areas prior to occupancy • Worn valve – recommend upgrading to newer style valve



6. Electrical

Representative number of receptacles and switches tested and operational at time of inspection •
Loose/worn outlets/switches – typical for age consider upgrading



7. GFCIs

Recommend upgrading all receptacle to GFCI protection within 6 feet of all potential wet locations, unless the receptacles are on a dedicated circuit for appliances. • None installed recommend upgrade for increased safety



Heating/Air Conditioning

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

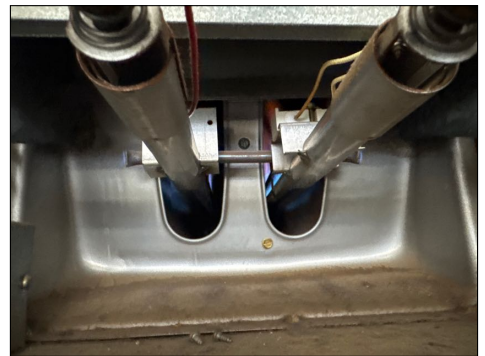
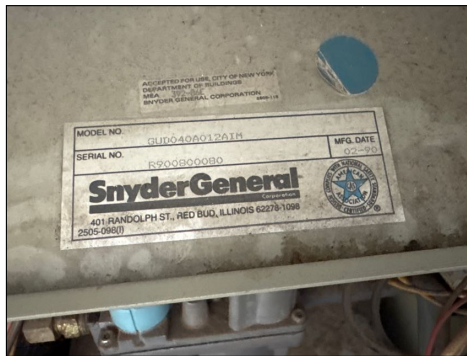
The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

1. Heaters

Location: Garage

Type: Gas fired forced hot air

Operated at time of inspection • Unit is old, original and appears to be nearing end of useful life – will likely need replacement soon • Dirty/dusty unit – recommend cleaning/servicing unit prior to regular use



Unit is old, original and appears to be nearing end of useful life – will likely need replacement soon

2. A/C Evaporator Coil Box

The visible areas of the coil box are worn/dirty and typical for the age of the older unit



3. Venting

The visible areas of the vent are worn/older – typical for the age of the material, recommend upgrading



4. Air Supply

Recommend seasonal service and maintenance to ensure that all areas are sealed/cleaned/dry and functioning normally at all times • Air return chamber is dirty – recommend cleaning



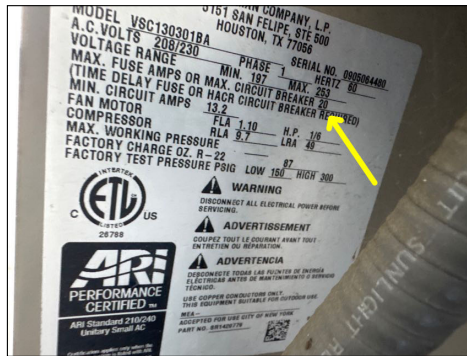
5. Gas Supply Valves and Pipes

Worn valve, consider upgrading to newer style valve • Older type of flex line is present – we recommend that you upgrade to a new teflon coated flex line • Flexible connector through sheet metal cabinet – service recommended • No sediment trap at gas supply – may have not been required at time of original installation, but is recommended



6. Electrical

Operating properly at the time of the inspection – no major visible defects • **Improper sized breaker serving outdoor compressor unit – service recommended**



7. Thermostats

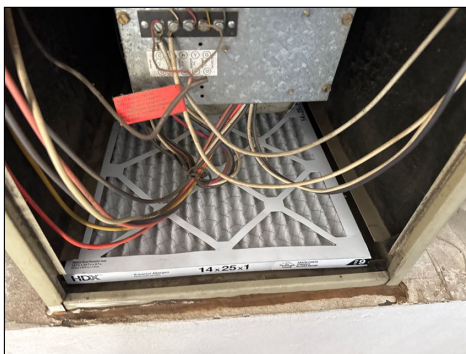
Digital type present – functional day of the inspection



8. Filters

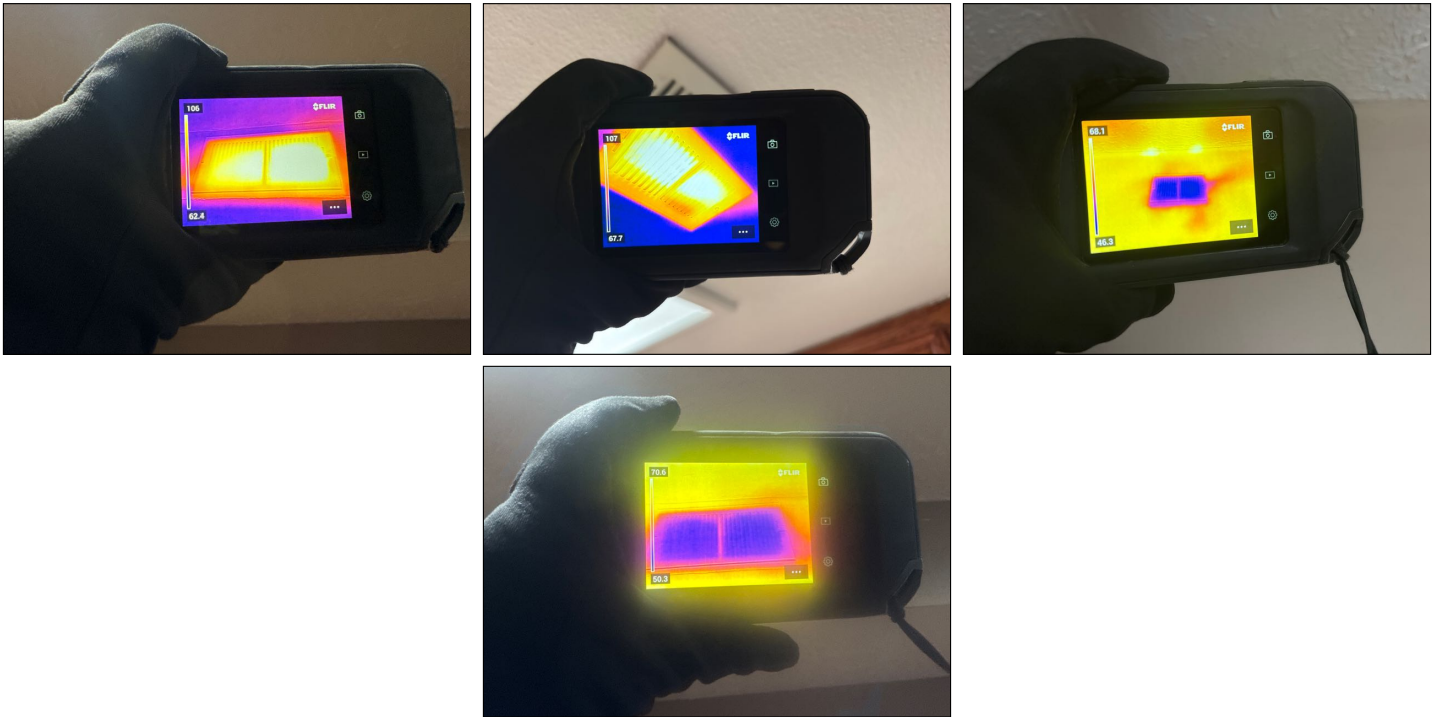
Located inside heater cabinet below the blower motor

We recommend that the filters be changed or cleaned every 3 to 6 months depending on the usage of the heating and air conditioning systems • Filter is worn/dirty and will likely need changing soon



9. Registers

Representative number tested and functional day of the inspection



10. Combustion Air

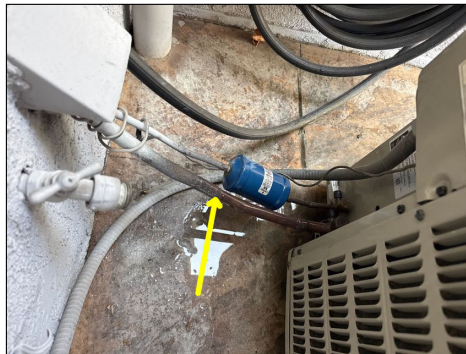
Combustion air appears to be adequate at the time of the inspection

11. Platforms/Bases

Recommend seasonal servicing and maintenance to ensure sealing holes and gaps in the heater base • Visible areas are worn/dirty – recommend cleaning the base areas and sealing the base of the unit as part of the preventative maintenance

12. Refrigerant Lines

Missing insulation at compressor unit – service recommended



13. Air Conditioning Compressors

Operated at the time of inspection • Visible areas of unit are worn and weathered – recommend seasonal service and maintenance to extend the life of the unit • Recommend regular service/maintenance to extend the life of the unit(s)



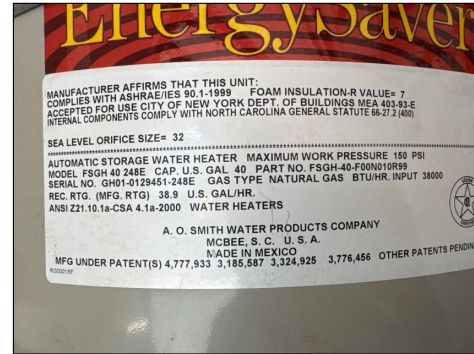
Water Heater(s)

1. Water Heaters Condition

Number of gallons: 32 gallons

Location/s: Garage

Operated at the time of the inspection – Gas unit • **Unit old and appears to be nearing end of useful life – we recommend that you budget for a replacement**



2. Venting

Normal wear day of the inspection – no major visible defects • Recommend sealing all connections at venting



3. Plumbing

Material type: Copper

Worn valve/piping/connections – typical for age – no visible leaks found at the time of the inspection



4. Temperature Pressure Release Valves

Normal wear on the day of the inspection – no major visible defects

5. Overflow Line/s

Material type: Copper

Worn piping – typical for age • **Not properly sloped to drain – service recommended**



6. Water Heater Temperature

105 F (Average or approximate)

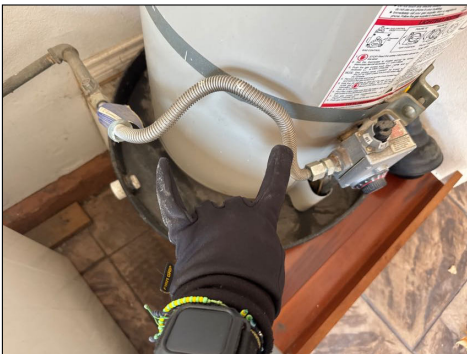
7. Strapping

Standard metal type straps present – normal wear on the day of the inspection – no major visible defects • Lower strap too close to gas control valve – minimum 4-inch clear required – service recommended



8. Gas Supply Valves and Pipes

Worn valve, consider upgrading to newer style valve • No sediment trap at gas supply – may have not been required at time of original installation, but is recommended



No sediment trap at gas supply – may have not been required at time of original installation, but is recommended **Worn valve, consider upgrading to newer style valve**

9. Combustion Air

Combustion air appears to be adequate at the time of the inspection

10. Platforms/Bases

Worn/dirty – recommend cleaning • Catch pan present – No drain connected to protection pan under water heater – service recommended



Catch pan present – No drain connected to protection pan under water heater – service recommended

Electrical/Gas Service

1. Main Panel

Location/s: Exterior of garage

Worn/weathered panel – typical for age and weather exposure



2. Sub Panels

Location: Bedroom wall

Worn/older panel present – typical condition for age



3. Panel Wiring

Wiring type: copper and multi-strand aluminum at 240-Volt circuits • Wiring method: non-metallic sheathed cable (romex) • Grounded panel – main ground/bonding wire observed and appears to be normal for the age of the panel • Visible wiring has normal wear for age with no major visible defects at the time of the inspection



4. Breakers

Number of breakers in off position: • Number of unused breakers: • Labels are present on panel cover – the inspector does not check for accuracy of labels • Loose/worn breakers – typical for age



Thermal Image View – Normal temperature readings with no visible signs of overheating at time of inspection



5. Breaker Amp Capacity

Main breaker rating per label: 100 AMPS – while common for many structures, this might be considered low capacity for today's electrical uses – consider upgrading services

6. Cable Feeds

Underground – not accessible for inspection

7. Main Gas Valve

Location: We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection.

Natural gas present

- Worn valve – typical for age • Recommend gas valve wrench be placed near valve for optimal preparedness • Minor rusting – typical for exterior weathering – recommend rust treatment • No seismic safety valve present – recommend installation for increased safety



8. Gas Pipes and Valves

Worn meter/piping – typical for age and exterior weathering

Attic Area

This report describes the method used to inspect any accessible attics; and describes the insulation and vapor retarders used in unfinished spaces when readily accessible and the absence of insulation in unfinished spaces at conditioned surfaces. Inspectors are required to inspect insulation and vapor retarders in unfinished spaces when accessible and passive/mechanical ventilation of attic areas, if present.

1. Access Entries

Inspection method: Partially traversed: Flooring walk boards not installed in attic – inspection limited due to potential for damage to insulation, areas without walk boards or clear footing were not traversed • Access door is dirty with cosmetic blemishes present

2. Structure

Conventional framing present, normal wear at time of inspection – no major visible defects • Cracking small at wood members – typical for age



3. Insulation

Material type: Loose fill

Approximate depth: 8-10 inches

No visible signs of rodents at this inspection – we recommend pest services seasonally as needed • All visible insulation is worn/older/dirty – typical for the age of the structure



4. Ventilation

Existing ventilation appeared to be adequate on the day of the inspection

5. Vent Screens

Visible ventilation screens appeared to be functional at time of inspection • Recommend maintaining vent screen to prevent pest intrusion

6. Exhaust Vents

Some vents are not visible or accessible and cannot be inspected – N/A • All visible vents appear to be in normal condition where visible – no major visible defects

7. Duct Work

Older/worn ducts present – recommend routine maintenance and cleaning to extend the life of the existing ducts • Some areas not visible due to access hindrances or limitations



8. Electrical

Visible wiring in attic is in a worn and older condition typical for the age the of structure

9. Plumbing

Vents only – no other plumbing/piping is visible for inspection



Garage and/or Carport

1. Roof Condition

Common area – likely maintained by Home Owners Association – not inspected

Same as main structure see roof page for comments and recommendations • Recommend seasonal maintenance to extend the life of the current materials • Recommend mastic maintenance at all flashing areas

2. Rafters & Ceilings

Drywall present – no visible access to view rafters (see firewall notes for additional information) • Patched areas observed – inquire with seller regarding reason for repairs • **Evidence of a plumbing leak from above – tested positive for moisture at time of inspection – recommend further evaluation**



Evidence of a plumbing leak from above – tested positive for moisture at time of inspection – recommend further evaluation



Evidence of a plumbing leak from above – tested positive for moisture at time of inspection – recommend further evaluation

3. Main Automotive Doors

Type: Metal sectional

Worn/weathered door – typical for age and exposure to weather • Recommend weather tight service/maintenance to prevent moisture intrusion around main door areas

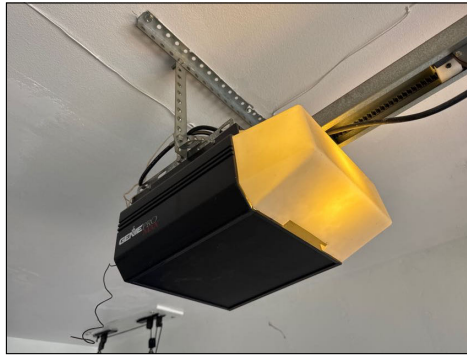
4. Hardware/Springs

Garage doors require periodic maintenance and is recommended to ensure that all hardware is properly lubricated and secured • Normal wear at time of inspection – no major visible defects



5. Garage Door Openers

Opener(s) were tested using the normal wall button on the day of the inspection (remote controls are not tested) • One unit present • Opener(s) operated at the time of the inspection • Worn/older model – suggest upgrading to modern unit



6. Garage Doors Reverse Safety Status

Light beam was tested; the inspector interrupted the beam during closing, the door stopped and reversed back open on the day of the inspection



7. Fire Doors

Normal wear at time of inspection – no major visible defects • Maintain air tight seals at all times • **Door did not properly self-close and latch – service recommended**



8. Firewalls

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed – typical for age of structure • Recommend sealing any holes/gaps/cracks/loose tape – all areas of the firewall should be properly sealed with the correct fire-rated materials • Patched areas – consult seller for past repairs • No moisture present when tested with a moisture meter • No visible microbial growth/irregular staining found at the time of the inspection



No moisture present when tested with a moisture meter

9. Walls

Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed – typical for age of structure • No moisture present when tested with a moisture meter • No visible microbial growth/irregular staining found at the time of inspection

10. Anchor Bolts

Could not access – not inspected

11. Slab

Small cracks/chipped areas – typical for the age of the materials



12. Electrical

A representative number of receptacles and switches were tested and found to be operational at time of inspection • Loose/worn outlets/switches – typical for age consider upgrading • Loose outlets – service recommended • **Outlet hot wired in reverse with neutral – service recommended**



13. GFCIs

Recommend upgrading all accessible receptacles below 8 feet to GFCI protection within 6 feet of all potential wet locations or where potential ungrounded power tools could be used, unless these outlets are on dedicated circuits meant for appliances. • Tested and operational at time of inspection via normal control



14. 240 Volt Receptacle

Not present/visible – not inspected or tested

15. Ventilation

Garage door vents are present • Current Ventilation appears to be adequate at the time of the inspection

16. Vent Screens

Normal wear on the day of the inspection • Recommend maintaining vent screen to prevent pest intrusion

Exterior Areas

1. Stucco

Common area – consult Home Owner's Association

- Recommend sealing any holes/gaps or cracks to prevent moisture or pest entry • Stucco requires periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions



2. Wood Trim

Common area – consult Home Owner's Association • Recommend general trim maintenance and sealing any holes/gaps • For damaged wooden areas and moisture problems always obtain a structural pest control inspection; Inspector does not determine wood destroying organism presence or damage – always obtain a structural pest control inspection; Inspector does not use specialized instruments to detect moisture, if any, under siding/trim surface

3. Weep Screeds

Worn/weathered areas – typical for the age

- Weep screeds encapsulated in concrete – service recommended



4. Eaves & Fascia

Common area – consult Home Owner's Association • Consult the Termite Report for all wood areas at the structure

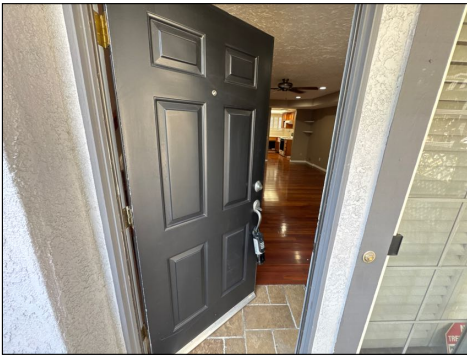


5. Exterior Paint

Common area – consult Home Owner's Association • Recommend caulking around doors and windows as necessary seasonally • Exterior paint will require maintenance every 3-5 years

6. Exterior Doors

Exterior doors require seasonal maintenance to extend lifespan and maintain weather tight seals • See interior section for more information • All visible and accessible doors were tested during this inspection • Worn/weathered – recommend weather tight service/maintenance • Maintain weather tight seals at all doors



7. Exterior Windows

Exterior windows require seasonal maintenance to extend lifespan and maintain weather tight seals • See interior section for additional information – some exterior window areas may not be visible due to height/limited access/vegetation/etc. • Worn windows/screens – typical for age • Recommend weather tight service/maintenance



Foundation

1. Slab Foundation

No determination can be made regarding the condition of the interior concrete slab as it was covered with flooring, expect to find typical cracks up to 1/4-inch when it is exposed • Slab not visible due to floor coverings – not visible for inspection • See interior floor area notes

2. Exterior Foundation Perimeter

Slab perimeter is covered by stucco – most areas are not visible for inspection – N/A • Worn – typical for the age of the structure

Grounds

Inspectors shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building.

1. Driveways and Walkways

Constructed of: Concrete

Common area – likely maintained by Home Owner's Association – not inspected – consult HOA • Worn with common cracks/chips – typical for age of material



2. Patio and Porch Roofs

Constructed of: Shade type wood

Normal wear at time of inspection – no major visible defects • Consult the Termite Report for all exterior wood conditions



3. Balconies

Stained/small cracks and worn – will require re – waterproofing in the near future



4. Balcony and Deck Railing

Common area – likely maintained by Home Owner's Association – consult HOA • Normal wear on the day of the inspection – no major visible defects



5. Patio and Porch Decks

Worn with common cracks/chips – typical for age of material

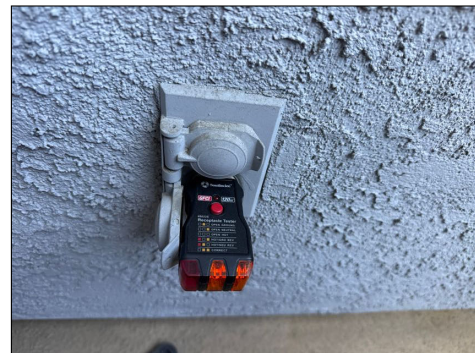
- Recommend grout and sealer maintenance on all exterior tile/stone areas



6. Exterior Electrical

Accessible lights/switches/outlets were tested on the day of the inspection

- The visible and tested fixtures/switches/outlets were in a loose/worn condition – typical for age
- Electrical fixtures need to be caulked/sealed to wall attachments to help prevent moisture entry



7. GFCIs

Standard outlets present with GFCI labeled stickers – Inspector cannot test standard outlets for GFCI nor can the inspector trace outlet link to GFCI – consult the seller where master GFCI is located.



8. Exterior Plumbing and Faucets

Accessible exterior faucets operated/worn at time of inspection via normal fixture controls

- Hose bibb missing handle – service recommended
- We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection



9. Main Water Valve

Type of plumbing: Copper 100% (approximate)

No visible leaking found at the main valve area at the time of the inspection • Main ball valve is worn – typical for age



10. Water Pressure

Recommended water pressure is between 55 to 80 pounds per square inch (psi) • Water Pressure can fluctuate depending upon time of day and municipal service adjustments

11. Pressure Regulator

None installed – a pressure regulator is recommended to allow for water pressure adjustments as needed



12. Fencing and Walls

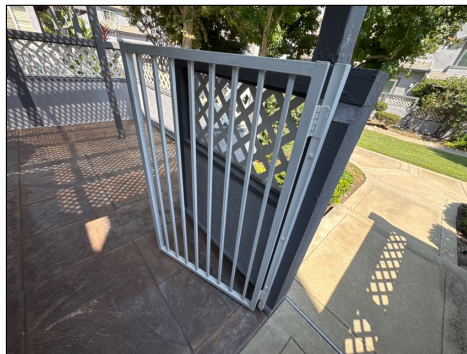
Common area – likely maintained by Home Owner's Association – consult HOA • Visible fencing/wall areas are worn and weathered – typical for the age of the materials



13. Gates

Constructed of: Wrought iron

Operated on the day of the inspection • Weathered and worn materials – typical for age



14. Planters

Common area – likely maintained by Home Owner's Association – consult HOA

15. Grading

Common area – likely maintained by Home Owner's Association – consult HOA • No drains visible at the property at the time of the inspection, drains are recommended to divert water away from structure

Roof

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that walking on a roof voids some manufacturer's warranties.

Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof.

Always ask the seller about the age and history of the roof. On any home that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and the number of layers on the roof. We certainly recommend this for any roof over 5 years of age. Metal roofs in snow areas often do not have gutters and downspouts, as there is a concern that snow or ice cascading off the roof may tear gutters from the house.

Likewise, be advised that such cascading may cause personal injury or even death.

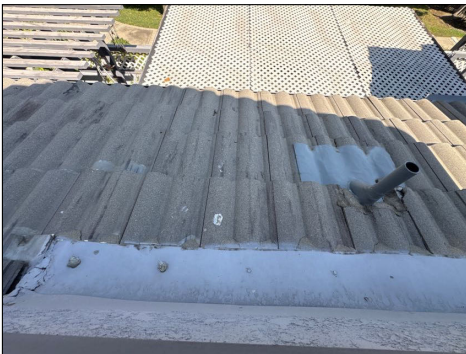
If this house has a metal roof, consult with qualified roofers or contractors regarding the advisability of installing a damming feature which may limit the size and amount of snow / ice sliding from the roof.

1. Condition

The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. Roof underlayment cannot be inspected, condition of underlayment cannot be determined with this inspection. Remaining roof life can only be determined by a Licensed Roofing Contractor. If there are concerns of possible roof leaks or to determine remaining roof life, please contact a Licensed Roofing Contractor to perform an additional inspection. This applies to all roof areas evaluated during this inspection (including garages).

Constructed of: Concrete tile

Common area/roof – Maintained by Homeowner's Association – Not Inspected



2. Flashings

Common area/roof – Maintained by Homeowner's Association – Not Inspected

3. Gutters and Down Spouts

Common area/roof – Maintained by Homeowner's Association – Not Inspected

4. Vents and Vent Caps

Common area/roof – Maintained by Homeowner's Association – Not Inspected



5. Chimneys

Common area/roof – Maintained by Homeowner's Association – Not Inspected

6. Spark Arrestors

Common area/roof – Maintained by Homeowner's Association – Not Inspected

7. Sky Lights

Common area/roof – Maintained by Homeowner's Association – Not Inspected

Glossary

Term	Definition
Combustion Air	The ductwork installed to bring fresh outside air to the furnace and/or hot water heater. Normally, two separate supplies of air are brought in: one high and one low.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

DISCLAIMERS

Asbestos: The inspector is not licensed by the EPA and cannot determine, report on or test if asbestos materials exist in any area throughout the structure. Any structure built prior to 1978 may contain asbestos in one or multiple building materials used during that era of construction. If you have concerns about possible asbestos, it is solely up to you to arrange for asbestos testing by an appropriate licensed contractor. The Company Home Inspection Group, Inc. will not engage in any claims regarding asbestos.

Interior: Limited inspection on all occupied/staged structures. Personal property, furniture, moving boxes or other items are not moved and will prevent a complete inspection (this applies to all areas inside and outside of the structure being inspected). We recommend checking for permits on all additional construction or alterations including, but not limited to: window replacements, patio roofs, out structures, garage and attic conversions, roof alterations, etc. performed on the property after original construction. If multiple people are present at or arrive during this inspection and enter areas or operate appliances or fixtures after they have already been inspected or reported on by the home inspector; the home inspector is not responsible for the condition of these items or areas after they are inspected; the home inspector does not go back and re-inspect the items/areas during this limited time inspection. The Inspector cannot determine if past or present hidden pet damage exists in any part of the structure. The inspector is not a code violation inspector and will not report on building code requirements in any way. Built-in central vacuum systems are not inspected. Interior window shutters/blinds/coverings are not tested or inspected as part of this home inspection (this includes all windows at the structure). Tint/film over windows is not inspected and often is bubbled/loose/peeling/scratched - tint/film (if present) can prevent an accurate inspection of the window glass areas. Only accessible windows and doors are inspected, personal items are not moved to access or test all doors and windows. Broken double pane seals cannot be determined with this inspection, dirty windows can hide signs of condensation between panes. Vertical operating windows are known to have sash cable/spring problems, although the problem may not exist at the time of the inspection, we recommend that you check them often and repair these windows upon discovery of any sash cable or spring problems. Only the visible and accessible switches/outlets are tested during this inspection, personal items are not moved to access any outlets/switches behind them. Fireplace is visually inspected only, the fireplace is not lit to test flame color or condition. The internal cavity of the fireplace is not inspected. It is recommended that you have an internal inspection of the chimney and/or a Gas Company evaluation of the fireplace beyond the scope of this inspection. Ceiling fan mounts cannot be checked by the inspector. Smoke and carbon monoxide detectors that are out of reach are not tested for functionality, all battery operated smoke detectors should be within reach for testing and maintenance. We recommend any mold or moisture damaged areas noted in the report be further evaluated for cause and correction by the appropriate licensed contractor.

Bathrooms: Bathtub and sink overflow drains and spa tub jet hoses are not inspected and leaks in these areas cannot be detected with this inspection. Shower pans are not leak tested and cannot be determined if properly water-proofed by the inspector, consult the termite report for any shower pan tests. Exterior or interior access panels are only inspected if readily accessible and operable (not sealed or painted or screwed shut), second story access panels are not opened. The home inspector cannot determine if shower pans or tubs are properly pitched for drainage. We recommend upgrading all electrical outlets to GFCI protection within 6 feet of all potential wet locations, however this may not be a requirement for the sale of a home based on the age of the home (this also applies to kitchen sinks, wet bar sinks and laundry sinks).

Kitchen: Appliances receive a limited inspection for basic functionality only, additional features are not tested. Appliances are NOT disassembled to evaluate the internal working parts of each appliance. The inspection cannot determine how well the dishwasher cleans the dishes. Disposal blades are not inspected. It cannot be determine how well the oven, range/cook-top or microwave cook food. Age, remaining life, BTU's, CFM's and other forms of efficiency or effectiveness are not determined with this inspection. Water purifying systems, instant hot systems and water softeners are not inspected. Non built-in appliances and built-in refrigerators are excluded from this report.

Laundry: Supply valves, laundry drain, gas valve and dryer vent cannot be tested whether a washing machine is present or not. Washer and dryer units are not inspected or turned on for testing during this inspection and are excluded from this report. Washer and dryers are not moved to inspect the walls/floors/other components behind them. Water supply valves that are left in the on position for a long period of time tend to leak when turned off or do not shut off completely. Drains are not pressure tested.

Attic: The inspector cannot determine, report on or test if asbestos materials exist in any area throughout the structure. When attic insulation is covering ceiling joists, we cannot completely inspect some areas due to inspector safety concerns. Most attics are not completely accessible due to limited space. Attic insulation and limited space will prevent the inspector from performing a complete inspection of the attic area, not all areas are accessible and will be determined at the inspector's discretion. The Inspector does not determine the R-value of insulation present or the efficiency or effectiveness of HVAC duct layout or design. Attic insulation is not touched, moved or otherwise disturbed during the inspection. Temperature sensors and fans for attic exhaust systems are not tested.

Rodents: If there is visible evidence of rodents or other pests, it will be noted as such. Most rodent/pest infestation exists under attic insulation, in walls or in areas not visible to the inspector and cannot be identified with this inspection. It's recommended a pest inspection be performed beyond the scope of a home inspection whether or not evidence exists.

Garage: The garage is often the location where most storage occurs and receives a limited inspection when items are present. Personal items or other materials/possessions are not moved in any way to provide access to areas for inspection - areas of rafters, ceilings, firewall(s) or other walls should not be considered fully inspected if personal items or storage is present – defects may be present behind these items and not visible to the inspector at the time of inspection. Doors, windows, cabinets,

counters, closets, slab areas, electrical areas, ventilation, plumbing areas or soffit(s) not fully accessible are not inspected, tested or evaluated. Firewall: fire rating labels are often not visible on finished drywall and cannot be determined with this inspection. Garage doors, hardware, openers and associated safety devices can only be inspected if these areas are clear of stored items and can be safely operated without disturbing other items in the

garage. Garage doors, hardware and openers require periodic maintenance and servicing. Remote controls for openers are not tested. Door opener activator button should be minimum 54-inches above floor for safety. Pressure sensors/systems are generally not tested due to the risk of damage if they are not properly operating - we recommend having a general service completed prior to regular use. We recommend checking permits for any converted garage areas or additional walls/ceilings or other alterations made to the garage.

Heating & Air Conditioning: This report does not indicate if the heater is on recall, a follow up with RecallChek.com is recommended. Electronic or Ultra violet air filters are not inspected. Inspector cannot determine if there is a crack in the firebox or if carbon monoxide is leaking in any part of the system. Not all registers can be tested for pressure flow, due to location, condition and operation of the heating & air conditioning system. Adjustable registers that are closed are not opened by the Inspector. Missing manufacturer labels prevent RecallChek (this is true for all appliances/systems at the structure). Age, remaining life, size or efficiency cannot be determined by the Inspector. The air conditioning system freon or other refrigerant levels are not checked or determined if leaking by the Inspector. Heaters, coil boxes, condensers and air compressors are NOT disassembled to evaluate the internal working parts. This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size or any other mechanical efficiency.

Water Heater: The water heater is visually inspected only, the combustion/pilot doors are not removed for flame or burner condition inspection due to the potential for draft to burn out the pilot flame. Circulation pumps, TPR Valves and pressure tanks cannot be tested with inspection. Solar water heaters are not inspected. Tankless units that are not original to the structure should be further evaluated by a qualified tankless technician as there are many aspects that are beyond of the scope of a general home inspection. Age, remaining life, size or efficiency cannot be determined by the Inspector. Gas lines are not measured or sized for water heater needs. The Inspector cannot light the pilot flame on the water heater or any other appliance where a pilot flame is not already on.

Roof: The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. If there are concerns or signs of possible roof leaks, please contact a licensed roofer to perform an additional inspection. Remaining roof life can only be determined by a licensed roofer. This applies to all roof areas evaluated during this inspection. Tile roofs, metal roofs or roof areas not accessible with a 12-foot ladder will receive a limited inspection from the ground or eaves only. Tile, metal or other materials that can be damaged will not be walked on by the Inspector. Chimney cavities are excluded from this inspection, recommend an internal chimney inspection be performed beyond the scope of the home inspection. Solar panels and tube globes are excluded from this report. Solar panels will prevent inspection of roof areas beneath them.

Electrical/Gas: Electrical panels are visually inspected only, the inspector does not perform a load calculation to determine service capacity adequacy. Some wire types cannot be determined due to wire casings cover wires entering the breakers. Panels with excess wiring are not completely visible due to amount of wires inside panel. Breakers are visually inspected only - the inspector does not perform any electrical stress tests on the system to determine if a breaker trips properly - including AFCI and GFCI breakers (consult an electrician for further evaluation, if this is a concern). Electrical and gas fires due to poor installation of wiring and faulty gas pipes cannot be determined by the inspector. Only accessible GFCIs with test and reset buttons are tested, the inspector does not determine which GFCI outlets may be linked to other areas of the structure. Ungrounded outlets may be present in older structures (pre-1965) even if the main or sub panels have been upgraded. The inspector cannot determine if all wiring has been updated. Expect to find ungrounded outlets in older homes (pre-1965) - this is not a defect. We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection. Carbon monoxide poisoning cannot be detected with this inspection, including all gas and propane systems interior and exterior of the structure. Gas supply valves are not turned or operated during this inspection. The internal condition of gas appliance ventilation exhaust pipes cannot be detected. Pilot lights and fire places are not lit by the inspector at any time, for any reason. It is the responsibility of the client to ensure that the main gas and electrical systems are on prior to the inspection. The requirement of gas line sediment traps is not determined by the inspector.

Exterior Areas: For all wood areas or damaged wooden areas and moisture problems (mold/mildew), consult the termite inspection report. See interior section of the report for additional window and door information. In no way, shape or form can the inspector determine if the exterior of the home is water tight or is built to prevent moisture intrusion, no hose or water testing is performed at this inspection. Stucco and siding require periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions. Fire pits, exterior fireplaces and exterior BBQ's are excluded from this inspection. We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection. Property boundary lines and encroachment determinations are beyond the scope of a home inspection and are not inspected or included in this report - Consult with another qualified professional as needed for evaluation if concerns exist in this area. Zero lot lines prevent a complete inspection of areas on other properties. Common areas controlled by Home Owner's Associations are not included in this inspection. Areas not visible or accessible due to height/angle/vegetation/other forms of limited access are not included in this inspection. Inspector does not use specialized instruments to detect moisture, if any, under stucco or siding surfaces.

Grounds: This inspection cannot determine if patio and porch roofs, balconies or patio enclosures are water tight, no water/hose testing is performed. The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems and electric outdoor heating systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches, this is not a defect. Sprinklers on timers are not inspected, consult seller/HOA. Above ground pools, ponds, fountains, waterfalls, birdbaths, and associated equipment or pumps used for these items, are excluded from this report. Steep hillsides and inaccessible areas on the grounds are excluded from this report. It is highly recommend that all structures built on hillsides and slopes have a geological inspection performed to determine if the hillside/grading is stable. This inspection cannot determine ground movement or drainage issues, the addition of drains may be needed in areas. Fences, walls or gates are not evaluated for security or design. The Inspector cannot determine if planter areas are leaking into the structure, consult seller disclosures or obtain further evaluation of these areas for any moisture intrusion issues.

Foundation: Sump pumps, septic tanks and sewer drain pipes from structure to street are excluded from this inspection. The Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction (this is also true for attic spaces). Some areas of a raised foundation may not be accessible due to limited space, plumbing piping, duct work obstructions, insulation, soil levels and stem walls. The inspector will not traverse any area deemed unsafe or where damage may be caused as a result, this is up to the sole discretion of the Inspector (this is also true for attic spaces). It is not always possible for the inspector to view every side/angle/connection of all plumbing pipes due to plumbing design/layout/approach angle/etc. Underground plumbing/pipes cannot be visually inspected. Pressure testing is not performed during this limited inspection. Drain scope inspections are recommended whether a defect is detected or not. Slab foundations are often covered and not visible; therefore the inspection is limited. Slab foundation leaks cannot be determined by the home inspector.

Pool: Solar panels/heating systems are excluded from report. Valves that are not labeled for the pool and/or spa jets are excluded from this report and may prevent proper testing and inspection. Underground plumbing cannot be inspected. Automatic pool fill float valves and electronic chlorine dispensers are excluded from this report. Ultraviolet light and/or salt chlorine generator type water treatment systems not included in this inspection. Water chemistry is not tested. Control panels/fixtures on the side of the pool or spa and any remote controls are not included in this inspection. Portable spas have a limited inspection - no internal parts are inspected. The inspector cannot determine if a pool or spa leaks. The inspector cannot determine the remaining life of any of the pool equipment. Safety pressure relief valves (if present) are not operated and are excluded from inspection; an internal evaluation of the heater parts is beyond the scope of this inspection. It is the buyer's full responsibility to ensure the pool area is in full compliance with the safety laws and codes. If there is no self containing fence around the pool, all doors from the structure leading to the pool and spa must be equipped with safety alarms and secondary latches above the reach of children. All gates leading to the pool must self close and be equipped with a latch five feet or higher from the ground. The fencing in all cases must be five feet tall.

Plumbing: Plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed). Corrosion or rust is often a sign of slow leaking and should be further evaluated by a plumber if detected in the inspection or photos. If galvanized or cast iron plumbing is present in any part of the structure it is recommended that plumber further evaluate the plumbing system due to the age of the materials. Underground piping is not visible to the inspector, therefore cannot be evaluated by the inspector. Slab foundation leaks cannot be determined by the home inspector. The "plumbing type" section of the report includes a percentage approximation of the plumbing type, it is not a guarantee of the plumbing type in all areas. The inspector cannot see plumbing type or pinhole leaks inside walls, floors, slabs or other areas that may be covered. Leaks can occur after the inspection and are not the responsibility of the Inspector. Existing leaks, hidden leaks, or other leaks that occur from normal testing/inspection and subsequent damage from plumbing leaks are not the responsibility of the Inspector. This inspection also does not determine or identify geographic areas that are prone to defective materials or pinhole leaking issues. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area. Septic tanks, wells, pumps and associated equipment, water supply quantity and quality are not included in this inspection.

***Contractor References:** This report may contain a contractor reference and contractor contact information. Choosing a contractor is done solely at the risk of the client. The Company Home Inspection Group, Inc. cannot control the events that take place between contractors and customers and therefore cannot be held liable for any problems that may occur. References to contractors, their products and services, are provided "as is" without warranty of any kind, either expressed or implied. In no event shall The Company Home Inspection Group, Inc. be held liable for any incidental, indirect or consequential damages of any kind resulting from the information provided by each company and any business conducted as a result of such information. It is highly recommended that you check with your local licensing or business board for up to date and accurate information. When you contact a contractor you should:

1. Ask for and contact at least two customer references.
2. Find out how long they have worked in your area (familiarity with local building codes is important).
3. Ask if they are bonded (insured for damages and injuries on the job) Get a signed estimate for all parts and labor/installation.
4. You may wish to contact more than one contractor to ensure you are getting the best service and materials for your money.

This disclaimer applies to all references found on any and all of our report pages.

SEE CONTRACT FOR ADDITIONAL INFORMATION AND DESCRIPTION OF ITEMS