

LUMBER

- ALL LUMBER SHALL BE GRADE MARKED DOUGLAS FIR CONFORMING TO DIVISION 23 (2022 C.B.C.)
- RAFTER, BEAMS, FURLINS SHALL BE DOUGLAS FIR NO. UNLESS OTHERWISE NOTED : GRADE NO1
- JOIST, FURLINS 2' TO 4' WIDE, 6' 4' DEEPER NO1
BEAMS, FURLINS OVER 4' WIDE NO1
SUBFURLINS 2' TO 4' WIDE, 6' 4' DEEPER NO1
LEDGERS NO2
- STUDS 2' x 4' OR 3' x 4' STUDS
STUDS 2' x 6' NO1
POSTS 5' x 5' AND LARGER NO1
SILLS, PLATES AND BLOCKING NO2
- SILLS AND PLATES IN CONTACT WITH CONCRETE OR MASONRY AND WITHIN 48" OF GROUND SHALL BE PRESSURE TREATED DOUGLAS FIR (PTDF). SILLS SHALL BE BOLTED TO THE FOUNDATION WITH 5/8" DIAMETER x 10' BOLTS AT 48" ON CENTER, 12" MINIMUM FROM ENDS OR 2 BOLTS MINIMUM PER PIECE, UNLESS NOTED OTHERWISE.
- STUD WALLS ABUTTING A CONCRETE OR MASONRY WALL SHALL BE BOLTED TO THE WALL WITH 5/8" ANCHOR BOLTS AT 24" ON CENTER.
- ALL NON BEARING STUD WALLS SHALL BE 2 x STUDS AT 16" O.C. WITH 5/8" GYP. BOARD EACH SIDE, UNLESS OTHERWISE NOTED.
- ALL STUD WALLS SHALL HAVE FULL HEIGHT 1 x 6 DIAGONAL LET-IN BRACES AT ENDS AT INTERVALS NOT EXCEEDING 25 FT. O.C. UNLESS OTHERWISE NOTED ON PLANS. BRACES SHALL COVER A MINIMUM OF SIX STUD SPACES.
- COMMON NAILS SHALL BE USED.
- FIRE BLOCKING 2 x 1 1/2" THICK, SHALL BE PLACED IN STUD WALLS AT CEILING AND FLOOR LEVELS, AT EACH 10' HEIGHT OF STUDS, AND BETWEEN STAIR STRINGERS AT SUPPORTS.
- JOISTS SHALL BE BLOCKED AT SUPPORTS AND BRIDGED OR BLOCKED AT INTERVALS OF 8' WHERE JOISTS ARE 2 x 12 OR DEEPER.
- MAXIMUM UNSUPPORTED HEIGHT FOR NON-BEARING PARTITION SHALL BE :
2 x 4 @ 16' O.C. UP TO 14'-0"
2 x 6 @ 16' O.C. UP TO 20'-0"
2 x 8 @ 16' O.C. UP TO 26'-0"
- PROVIDE DOUBLE JOISTS UNDER PARALLEL BEARING PARTITION WALLS.
- BOLT HOLES IN WOOD MEMBERS SHALL BE A MINIMUM 1/32" AND A MAXIMUM 1/16" LARGER THAN THE BOLT DIAMETER.

GENERAL NOTES (CONT.)

- ALL WORK SHALL BE DONE IN ACCORDANCE W/ THE 2022 C.B.C., PLUMBING AND MECHANICAL CODES, THE CEC AND LOCAL ORDINANCES.
- VERIFY ALL DIMENSIONS, DO NOT SCALE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS ON THE SITE PRIOR TO COMMENCING WORK AND IS TO NOTIFY THE OWNER AT ONCE UPON DISCOVERY OF ANY OMISSIONS OR CONFLICTS IN THE DRAWINGS.
- ALL NAILING TO COMPLY W/ TABLE 23-B-1 C.B.C.
- SHOW ON THE PLANS, THAT A SMOOTH, HARD, NONABSORBENT SURFACE IS PROVIDED TO A HEIGHT OF 10' ABOVE THE DRAIN INLET OF THE SHOWER OR TUB/SHOWER COMBINATION (Sec. 2071.2). MATERIALS SHALL OF A TYPE NOT AFFECTED BY MOISTURE (SEE Sec. 2071.3, UBC).
- TWO LAYERS OF 1/2" FELT ARE REQUIRED OVER EXTERIOR PLYWOOD SHEATHING USED UNDER EXTERIOR LATH
- ALL HOSEBIBS SHALL BE ANTI-FRIZION TYPE.
- GLAZED PANELS IN PATIO DOORS, SHOWER DOORS AND STORM DOORS SHALL BE TEMPERED SAFETY GLASS (Sec. 2406)
- AT LEAST ONE WALL SWITCH CONTROLLED LIGHTING (FIXTURE) SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED GARAGES AND DETACHED GARAGES WITH ELECTRIC POWER AND OUTDOOR ENTRANCES OR EXITS, NEC 210-10a
- ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLES IN DWELLING BEDROOMS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTOR PER NEC 210-8(a)(5)
- RELOCATED 50 GAL WATER HEATER ON 18" PLYWOOD PLATFORM. PROVIDE FUEL GAS, NON-RIGID CONNECTION AND SEISMIC STRAPS. DOOR TO BE 20x8 6C W/ 12 SQ. IN. LOUVERED VENTS WITHIN THE TOP & BOTTOM 12 IN. OF THE DOOR

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TYPE OF CONSTRUCTION : IV
OCCUPANCY: SFR

APPLICABLE BUILDING CODE: 2022
CAC, CBC, CRC, CEC, CMC, CPC, CEC, CFC, CHBC, CFC, CEBC, CALGreen,
CALIFORNIA REFERENCE STANDARDS CODE

BUILDING SECURITY NOTES:

- PROVISIONS OF THIS CHAPTER SHALL APPLY TO NEW CONSTRUCTION AND TO BUILDINGS OR STRUCTURES TO WHICH ADDITIONS OR ALTERATIONS ARE MADE EXCEPT AS SPECIFICALLY PROVIDED BY THIS CHAPTER. WHEN ADDITIONS OR ALTERATIONS ARE MADE WITHIN ANY TWELVE-MONTH PERIOD EXCEED FIFTY PERCENT OF THE VALUE OF THE EXISTING BUILDINGS OR STRUCTURE, SUCH BUILDINGS OR STRUCTURES SHALL BE MADE TO CONFORM THE SECURITY REQUIREMENTS FOR NEW BUILDINGS AND STRUCTURES.
- ANY BUILDING AS DEFINED IN THE UBC TITLE 19 OF THE CALIFORNIA ADMINISTRATIVE CODE, REQUIRING SPECIAL TYPE RELEASING, LATCHING OR LOCKING DEVICES, OTHER THAN DESCRIBED HEREIN, SHALL BE EXEMPT FROM PROVISIONS HEREOF RELATING TO LOCKING DEVICES OF INTERIOR AND/OR EXTERIOR DOORS

INSTALLATION AND CONSTRUCTION OF FRAMES, JAMBS, STRIKES AND HINGES SHALL BE AS FOLLOWS:

- DOOR JAMBS SHALL BE INSTALLED WITH SOLID BACKING IN SUCH A MANNER THAT NO VOIDS EXIST BETWEEN THE STRIKE SIDE OF THE JAMB AND THE FRAME OPENING FOR A VERTICAL DISTANCE OF SIX INCHES EACH SIDE OF THE STRIKE.
- IN WOOD FRAMING, HORIZONTAL BLOCKING SHALL BE PLACED BETWEEN STUDS AT DOOR LOCK HEIGHT FOR THREE STUDS SPACES EACH SIDE OF THE DOOR OPENINGS. TRIMMERS SHALL BE FULL LENGTH FROM HEADER TO THE FLOOR WITH SOLID BACKING AGAINST SOLE PLATES.
- DOOR STOPS ON WOODEN JAMBS FOR IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB. JAMBS FOR ALL DOORS SHALL BE CONSTRUCTED OR PROTECTED SO AS TO PREVENT VIOLATION OF STRIKE.
- THE STRIKE PLATE FOR DEADBOLTS ON ALL WOOD-FRAMED DOORS SHALL BE CONSTRUCTED OF MINIMUM SIXTEEN US GAUGE STEEL, BRONZE OR BRASS, AND SECURED TO THE JAMB BY A MINIMUM OF TWO SCREWS, WHICH PENETRATE AT LEAST TWO INCHES INTO SOLID BACKING BEYOND THE SURFACE TO WHICH THE STRIKE IS ATTACHED.
- HINGES OR OUT-SWINGING DOORS SHALL BE EQUIPPED WITH NONREMOVABLE HINGE PINS OR A MECHANICAL INTERLOCK TO PRECLUDE REMOVAL OF THE DOOR FROM THE EXTERIOR BY REMOVING THE HINGE PINS

THE FOLLOWING REQUIREMENTS SHALL BE MET FOR WINDOWS, SLIDING GLASS DOORS, OTHER DOORS AND LOCKING DEVICES:

- TESTING STANDARDS
- EXCEPT AS OTHERWISE SPECIFIED IN SECTION 19.08.100 (SPECIAL BUILDING PROVISIONS) AND SECTION 19.08.110 (SPECIAL COMMERCIAL PROVISIONS), ALL OPERABLE EXTERIOR WINDOWS AND SLIDING GLASS DOORS SHALL COMPLY WITH APPROVED STANDARDS.
- LOUVERED WINDOWS SHALL NOT BE USED WHEN ANY PORTION OF THE WINDOW IS LESS THAN TWELVE FEET VERTICALLY OR SIX FEET HORIZONTALLY FROM AND ACCESSIBLE SURFACE OR ANY ADJOINING ROOF, BALCONY, LANDING, STAIR TREAD, PLATFORM, OR SIMILAR STRUCTURE.

THE GARAGE-TYPE DOORS, ROLLING OVERHEAD, SOLID OVERHEAD, SWING, SLIDING OR ACCORDION, SHALL CONFORM TO THE FOLLOWING STANDARDS:

- WOOD DOORS SHALL HAVE PANELS A MINIMUM THICKNESS OF THREE-EIGHTHS INCH IN THICKNESS, WITH THE LOCKING HARDWARE BEING ATTACHED TO THE SUPPORT FRAMING. VERTICAL SUPPORT FRAMING MEMBERS SHALL BE SPACED AT TWENTY-FOUR INCHES MAX. ON CENTER.
- ALUMINUM DOORS SHALL BE A MINIMUM THICKNESS OF 0.215 INCHES AND RIVETED TOGETHER A MIN. OF 18" O.C. ALONG THE OUTSIDE BEAM. THERE SHALL BE A FULL WIDTH HORIZONTAL BEAM ATTACHED TO THE MAIN DOOR STRUCTURE, WHICH SHALL MEET THE PILOT OR PEDESTRIAN ACCESS, DOOR FRAMING WITHIN 3' OF THE STRIKE AREA OF THE PILOT OR PEDESTRIAN ACCESS DOOR.
- FIBERGLASS DOORS SHALL HAVE PANELS A MIN. DENSITY OF SIX OUNCES PER SQUARE FOOT FROM THE BOTTOM OF THE DOOR TO A HEIGHT OF SEVEN FEET. PANELS ABOVE SEVEN FEET AND PANELS IN RESIDENTIAL STRUCTURES SHALL HAVE A DENSITY OF NOT LESS THAN FIVE OUNCES PER SQUARE FOOT.
- DOORS UTILIZING A CYLINDER LOCK SHALL HAVE A MIN. FIVE-PIN TUMBLER OPERATION WITH THE LOCKING BAR OR BOLT EXTENDING INTO THE RECEIVING GUIDE A MINIMUM OF ONE INCH.
- DOORS THAT EXCEED SIXTEEN FEET IN WIDTH SHALL HAVE TWO LOCK RECEIVING POINTS; OR IF THE DOOR DOES NOT EXCEED NINETEEN FEET, A SINGLE BOLT MAY BE USED IF PLACED IN THE CENTER OF THE DOOR WITH THE LOCKING POINT LOCATED EITHER AT THE FLOOR OR DOOR FRAME HEADER OR TORSION SPRING COUNTER BALANCE TYPE HARDWARE MAY BE USED.
- DOORS WITH SLIDE BOLT ASSEMBLIES SHALL HAVE FRAMES A MIN. OF 120 INCHES THICKNESS WITH A MIN. BOLT DIAMETER OF ONE-HALF INCH AND PROTRUDE AT LEAST ONE AND ONE-HALF INCHES INTO THE RECEIVING GUIDE. A BOLT DIAMETER OF THREE-EIGHTHS INCH MAY BE USED IN RESIDENTIAL BUILDING. THE SLIDE BOLT SHALL BE ATTACHED TO THE DOOR WITH NONREMOVABLE BOLTS FROM THE OUTSIDE. RIVETS SHALL NOT BE USED TO ATTACH SLIDE BOLT ASSEMBLIES.
- EXCEPT IN RESIDENTIAL BUILDING, PADLOCK(S) USED WITH EXTERIOR-MOUNTED SLIDE BOLT(S) SHALL HAVE A HARDENED STEEL SHACKLE LOCKING BOTH AT THE HEEL AND TOE AND MIN. FIVE -PIN TUMBLER OPERATION WITH NONREMOVABLE KEY WHEN IN AN UNLOCKED POSITION. PADLOCK USED WITH INTERIOR-MOUNTED SLIDE BOLT(S) SHALL HAVE A HARDENED STEEL SHACKLE WITH A MIN. FOUR-PIN TUMBLER OPERATION

EVERY PERSON WHO OWNS, OPERATES OR MAINTAINS ANY HOTEL, APARTMENT HOUSE OR DWELLING ON WHICH SECURITY BARS, GRILLS OR SCREENS EXIST, OR ARE HEREINAFTER INSTALLED SHALL INSTALL OR MODIFY THE SECURITY BARS, GRILLS OR SCREENS SO THAT THE SAME ARE REMOVABLE OR CAN BE OPENED FROM THE INSIDE OF THE BUILDING WITHOUT THE NEED OF A KEY, TOOL OR EXCESSIVE FORCE WHEN IN THE REMOVED OR OPEN POSITION, THE NET UNOBSTRUCTED OPEN AREA SHALL NOT BE LESS THAN THAT WHICH WOULD EXIST IF SUCH BARS, GRILLS OR SCREENS WERE NOT IN PLACE. THE PROVISIONS OF THIS SECTION SHALL APPLY TO THE EXTERIOR DOORS AND ONE WINDOW AT LEAST FIVE SQUARE FEET IN SIZE LOCATED IN EACH BEDROOM OR OTHER ROOM UTILIZED FOR SLEEPING PURPOSES.

ANY EXISTING FACILITIES NOT IN CONFORMITY WITH THE PROVISIONS HEREOF SHALL BE MODIFIED TO CONFORM TO THE REQUIREMENTS OF THIS SECTION WITHIN ONE YEAR FOLLOWING THE EFFECTIVE DATE THEREOF.

PROJECT INFORMATION	PROJECT DESCRIPTION:
OWNER: 886 SANDALWOOD DR. LAKE ARROWHEAD, CA 92352	CONVERT EXISTING LOWER 3RD FLOOR STORAGE ROOM INTO A J.A.D.U. 500 SQFT
DESIGNER: DANIEL SALMERON 11355 ATLANTIC AVE. LYNWOOD, CA, 90262 (323) 443-5749	

PROPERTY DATA TABLE

VICINITY MAP

APN: _____

TR#: _____

ZONING: _____

LOT COVERAGE: % _____

LOT#: _____

LOT SQ FT: 9,596

EXISTING TABULATIONS

(E) S.F.R. CABIN	1,708 SQ. FT.
(E) GARAGE	371 SQ. FT.
(E) STORAGE	683 SQ. FT.
(E) TOTAL LIVABLE AREA	1,708 SQ. FT.
(E) TOTAL COVERAGE AREA	1,231 SQ. FT.

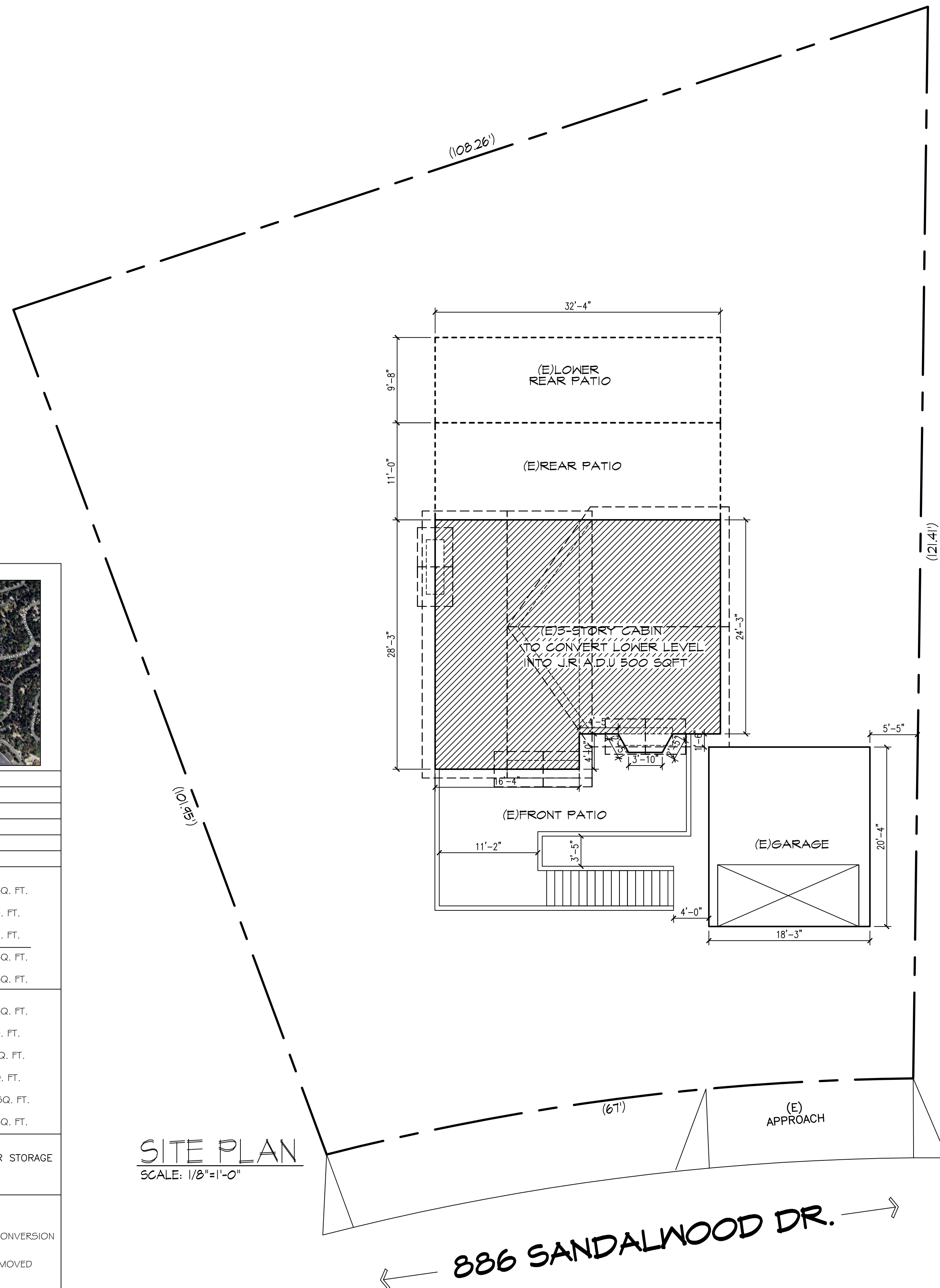
NEW TABULATIONS

(E) S.F.R. CABIN	1,708 SQ. FT.
(E) GARAGE	371 SQ. FT.
(N) STORAGE	131 SQ. FT.
(N) J.A.D.U.	544 SQ. FT.
(N) TOTAL LIVABLE AREA	2,252 SQ. FT.
(N) TOTAL COVERAGE AREA	1,231 SQ. FT.

SCOPE OF WORK
CONVERT EXISTING LOWER 3RD FLOOR STORAGE ROOM INTO A J.A.D.U. 500 SQFT

LEGEND:
 J.A.D.U. CONVERSION
 TO BE REMOVED

SITE PLAN
SCALE: 1/8"=1'-0"



ANY ERRORS, OMISSION OR DISCREPANCIES OCCURRING WITHIN THESE DOCUMENTS REQUIRE IMMEDIATE WRITTEN NOTIFICATION TO THE DESIGNER, OWNER OR CONTRACTOR. PROPER INSTRUCTION SHALL BE ISSUED PRIOR TO PROCEEDING WITH ANY SUCH WORK.

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PROJECT TITLE: STORAGE CONV. TO J.A.D.U., 886 SANDALWOOD, DR., LAKE ARROWHEAD, CA 92352

AGENCY PROJECT NO.: _____

ARCH. PROJECT NO.: _____

DATE: _____

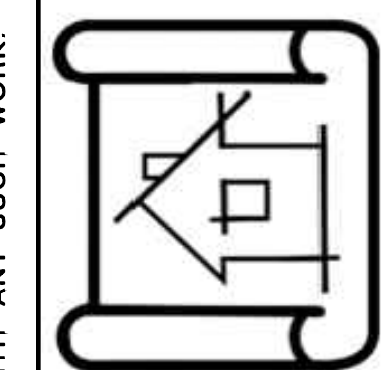
SHEET NO.: T-1

REVISIONS

NO.	DATE	REVISIONS
1		

DESIGN BY: DANNY
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CHECKED BY: DANNY

SITE PLAN / GEN. NOTES



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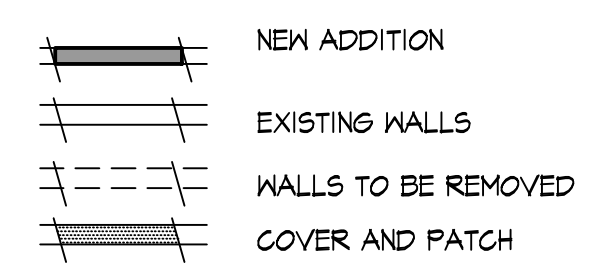
ELECTRICAL NOTE:
 A MINIMUM OF 200 AMPERE ELECTRICAL SERVICE PANEL WITH 1/2" DIAMETER x 20" LONG REBAR FOR BACKUP UFER GROUND BONDED TO COLD WATER PIPE. EDISON TO BE CONTACTED FOR METER LOCATION AND UNDERGROUND SERVICE IF REQUIRED.

MARK	DOOR				DESCRIPTION
	WD	HGT	THK	MATL	
1	3'-0"	6'-8"	1-3/8"	WOOD	SOLID CORE
2	2'-8"	6'-8"	1-3/8"	WOOD	HOLLOW CORE
3	6'-0"	6'-8"	1-3/8"	WOOD	SLIDING DOUBLE

MARK	SIZE		TYPE	MATERIAL	VALUE	SHGC	U-FACTOR
	WIDTH	HEIGHT					
1	4'-0"	4'-0"	SLIDING	VYNIL	LOW E	.23	.30
2	3'-0"	3'-0"	SLIDING	VYNIL	LOW E	.23	.30

FLOOR LEGEND

- 2x6 PLUMBING WALL
- F.6 TUB & SHOWER
- TOILET (1.28 GAL PER FLUSH MAX)
- LAVATORY
- 30" x 30" ATTIC ACCESS
- SHELF AND POLE
- 32" x 34" SHOWER
- 30" MIN. DIAMETER (Section 412.1 of CPC)
- 1024 SQ. IN (Section 412.1 of CPC)



PLUMBING FIXTURE NOTE:
 ALL NEWLY INSTALLED PLUMBING FIXTURES SHALL COMPLY WITH TABLE 4.309.2

ELECTRICAL LEGEND:

- FLUORESCENT LIGHT
- ⊞ MECHANICAL FAN, 1/2" AIR CHANGES PER HR, 1/4" MIN. OF 15 cu. FT PER MIN (1 L/s) OF OUTSIDE AIR PER OCCUPANT, HUMIDISTAT CONTROLLED, 50 CFM
- ⊞ GFCI GROUND-FAULT-CIRCUIT INTERRUPTER
- ⊞ AFCI ARC FAULT-CIRCUIT INTERRUPTER "ALL BEDROOMS LIGHTS, OUTLETS AND SMOKE DETECTORS SHALL BE AFCI PROTECTED"
- ⊞ 110 V OUTLET
- ⊞ WATER-PROOF GFI OUTLET
- ⊞ WALL MOUNTED HIGH EFFICACY LUMINAIRES W/ MOTION SENSOR COMBINATION
- ⊞ CEILING MOUNTED LIGHT
- ⊞ RECESSED CAN
- ⊞ FLUORESCENT RECESSED LIGHT
- ⊞ CEILING FAN
- ⊞ SWITCH
- ⊞ SWITCH CONTROLLED BY AN OCCUPANT SENSOR DIMMER
- ⊞ CONTROLLED BY OCCUPANT SENSOR
- +H/B HOSE BIBBS
NOTE: SHALL BE FITTED W/ NON REMOVABLE BACKFLOW DEVICE

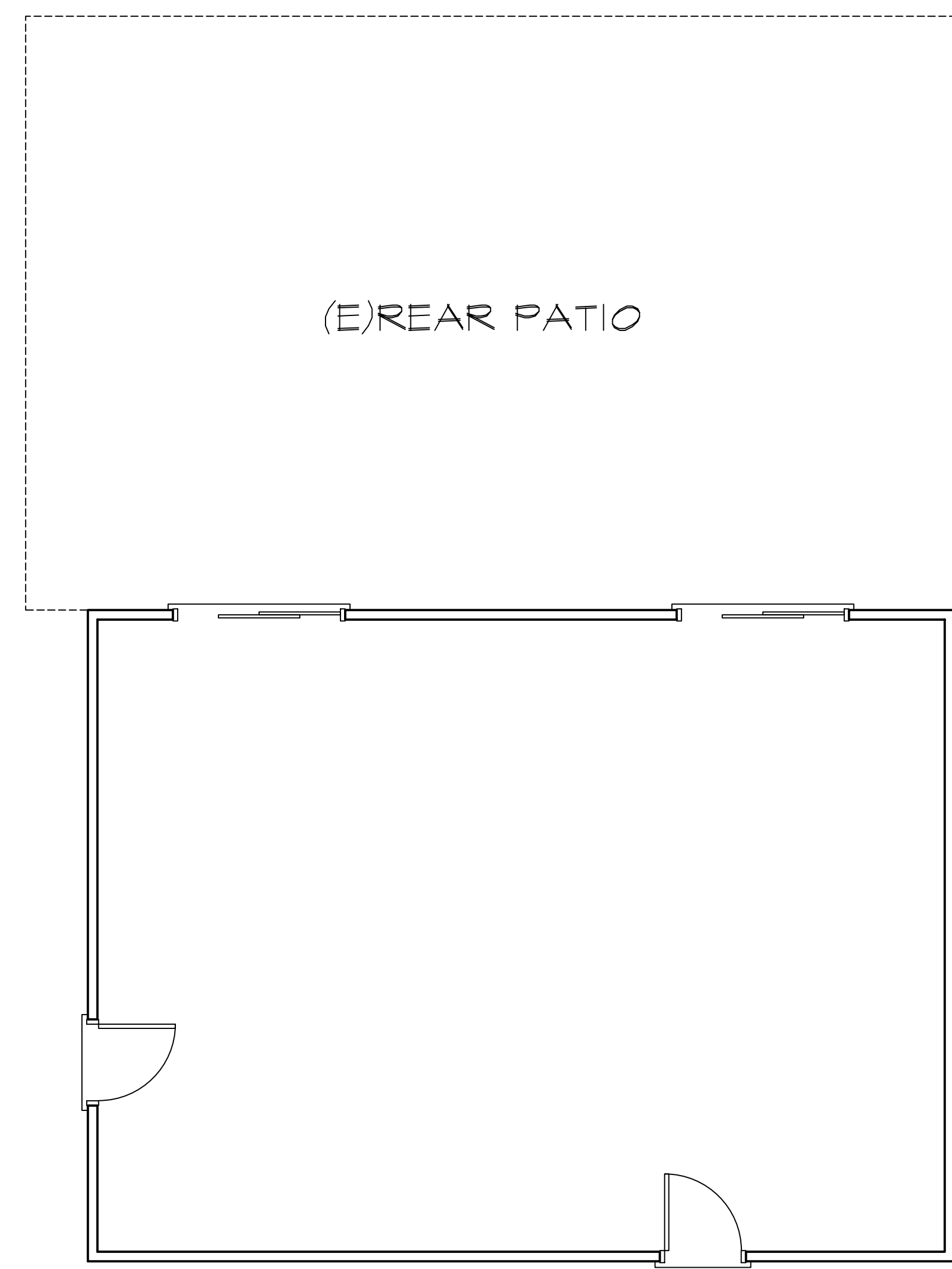
NOTE:
 SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED 110 V W/ BATTERY BACK-UP
 INTERCONNECTION, WHERE MORE THAN ONE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE WITH ALL INTERVENING DOORS CLOSED.

SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED WHERE REPAIRS OR ALTERATIONS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC OR CRAWL SPACE OR WHERE NO CONSTRUCTION IS TAKEN PLACE.

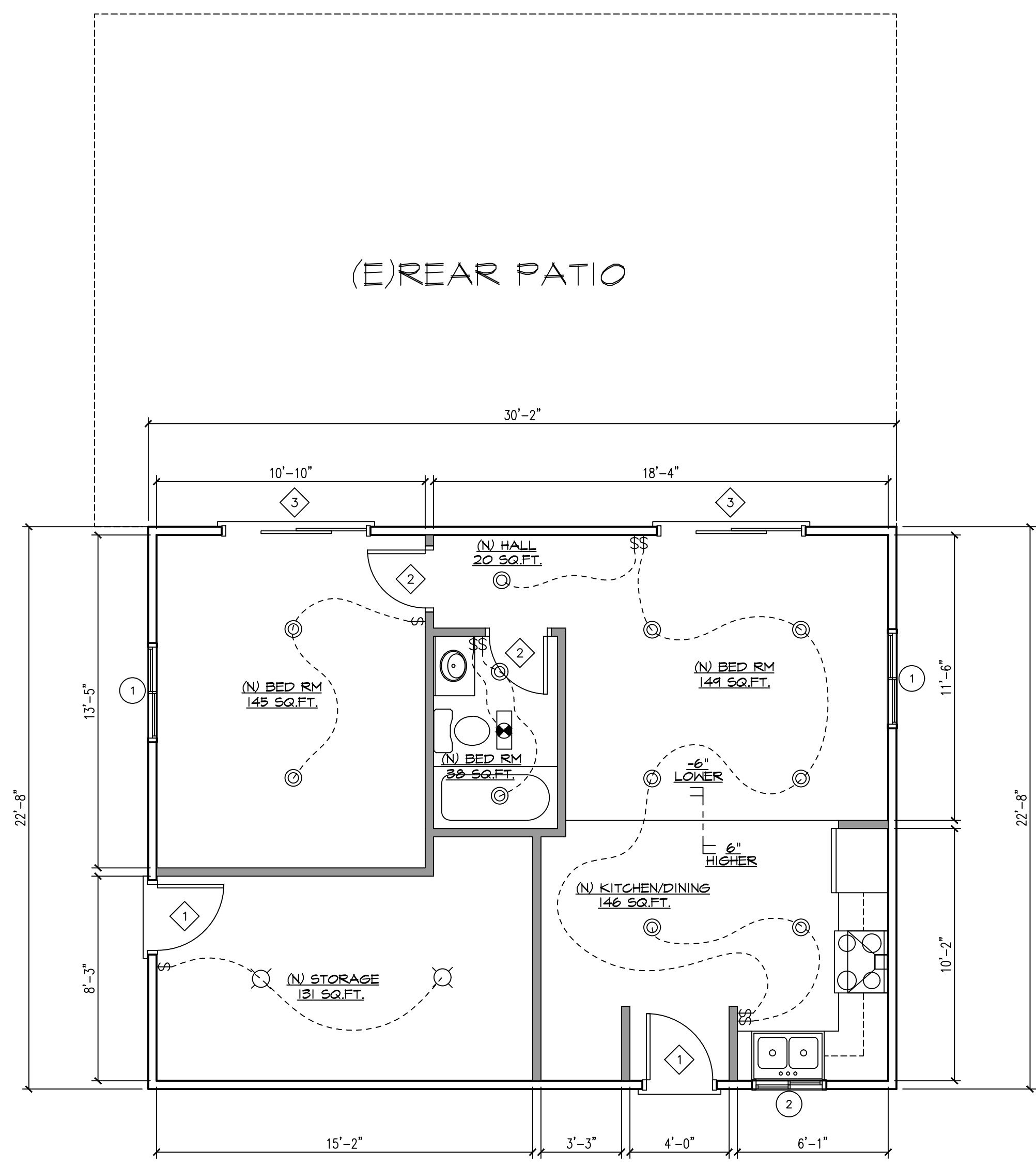
SD/CM CARBON MONOXIDE AND SMOKE DETECTOR COMBINATION INTERCONNECTED W/ BATTERY BACK-UP.

A.F.C.I. FOR ALL DHELLING OUTLETS, (RECEPTACLES, SWITCHES, LIGHTS) ALL NEW RECEPTACLES MUST BE TEMPER PROOF.

EMERGENCY AGRESS NOTES:
 20" WIDTH
 24" HT.
 51 SQFT
 44" SILL



(E) THIRD/BOTTOM FLOOR
 SCALE: 1/4"=1'-0"



(P) THIRD/BOTTOM FLOOR
 SCALE: 1/4"=1'-0"

CITY STAMP

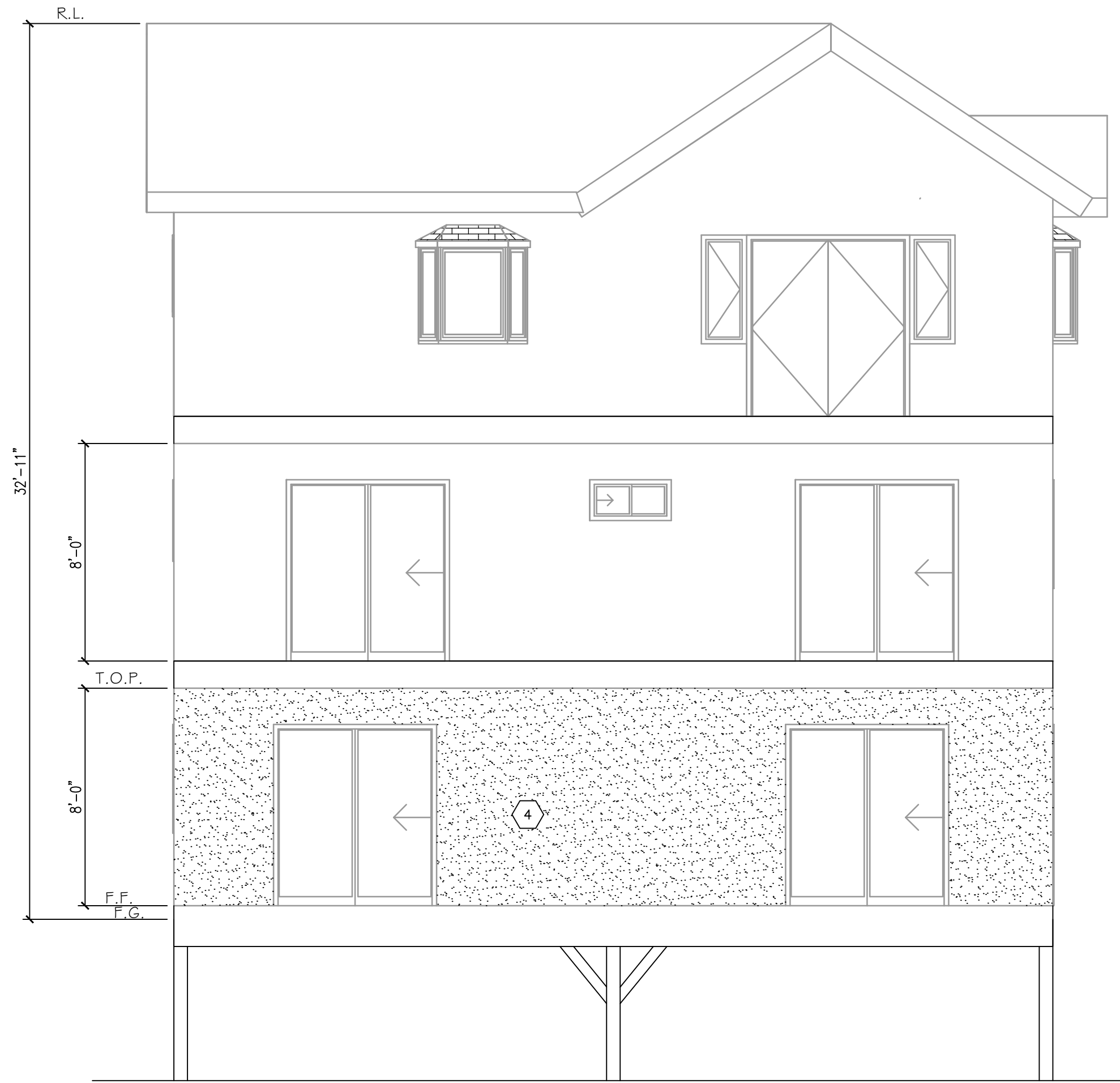
REVISIONS	
DATE	REMARKS

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 DRAWN BY: DANNY
 CHECKED BY: DANNY

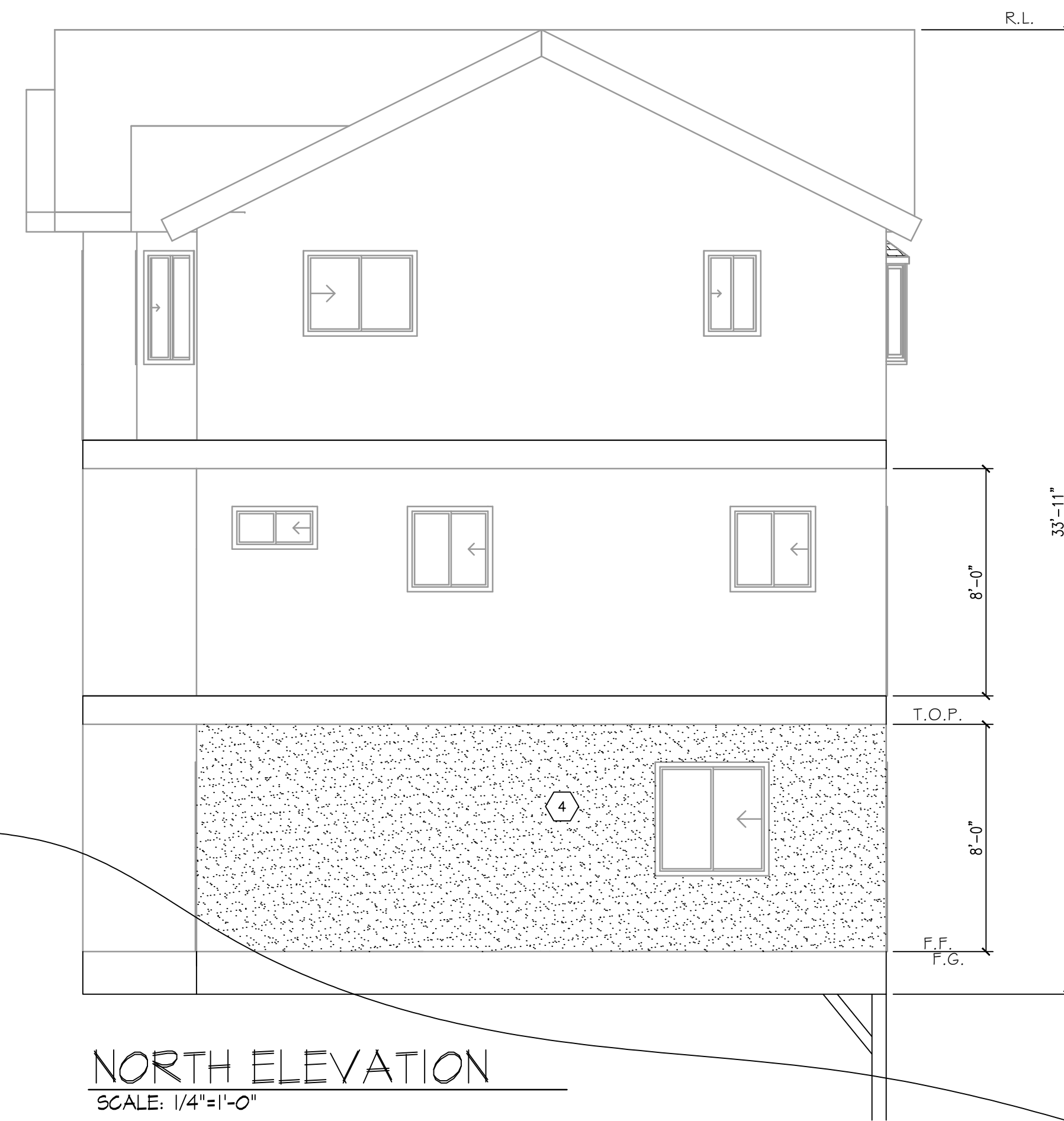
PROJECT TITLE:
STORAGE CONV. TO J.A.D.U.
 886 SANDALWOOD, DR.
 LAKE ARROWHEAD, CA 92352
 DRAWING TITLE:
PROPOSED J.A.D.U. FLOOR PLAN

AGENCY PROJECT NO.
 ARCH. PROJECT NO.
 DATE:

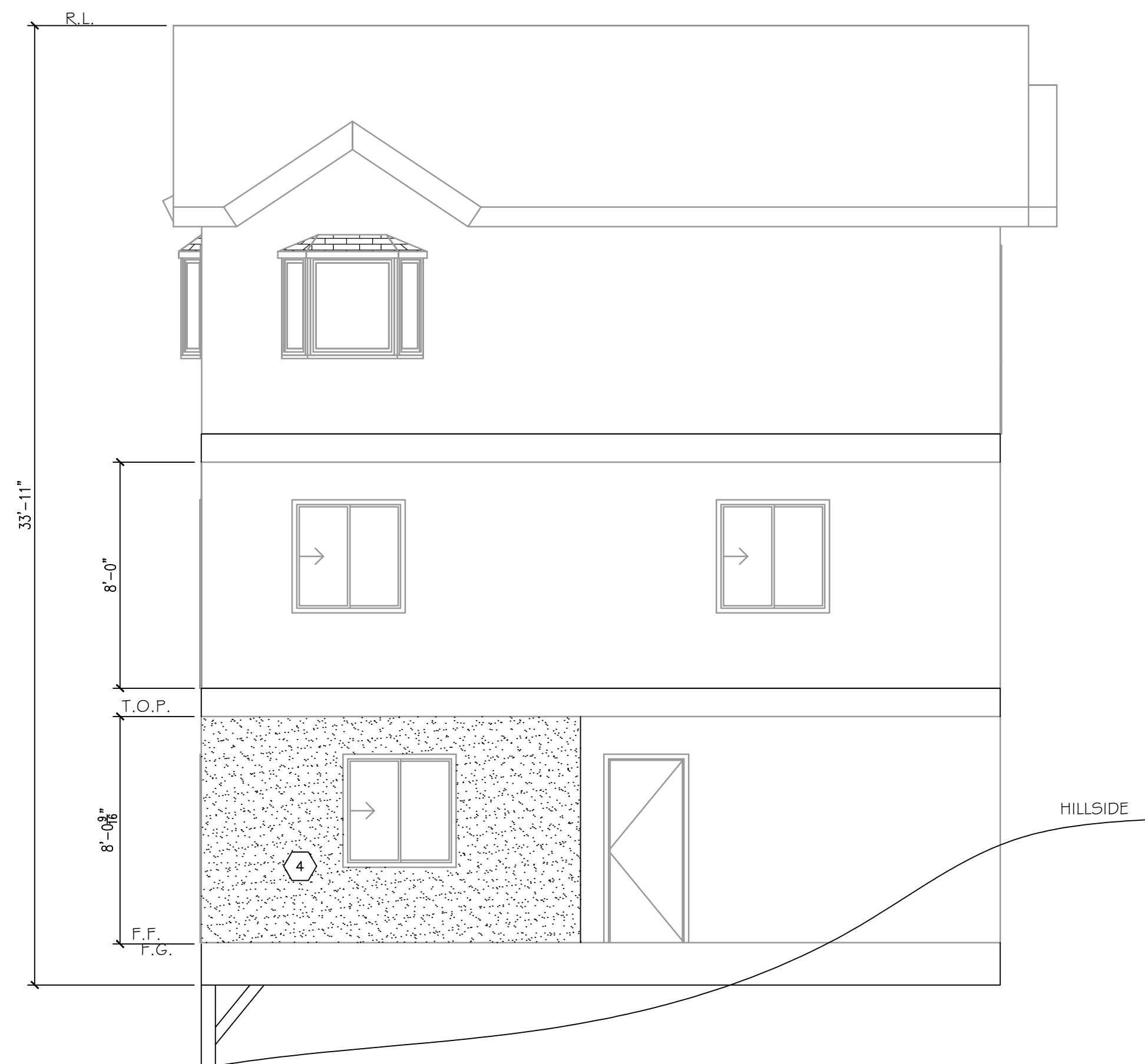
SHEET NO.
A-2



WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"



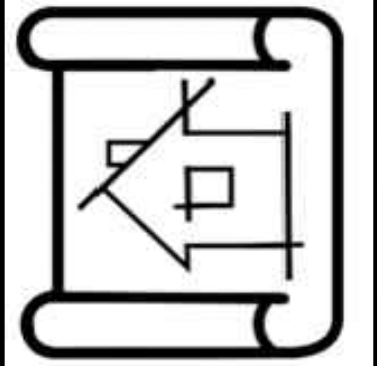
SOUTH ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

1. 2X RO. SO. FASCIA BOARD TO MATCH EXISTING
2. WEEP SCREED
3. COMP. SHINGLES CLASS "A" NO SECONDS ALLOWED
4. STUCCO TO MATCH EXISTING
5. 14"X 7" DORMER LOUVERS
6. 14"X4" VENTS
7. 24"X 14" GABLE LOUVERES
8. RADIENT BARRIER



EAST ELEVATION
SCALE: 1/4"=1'-0"



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REVISIONS		CITY STAMP
DATE	REMARKS	

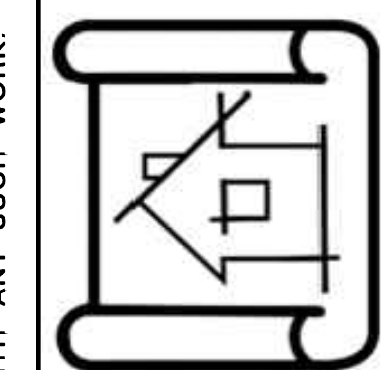
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PROJECT TITLE:
STORAGE CONV. TO J.A.D.U.
886 SANDALWOOD, DR.
LAKE ARROWHEAD, CA 92352

AGENCY PROJECT NO.	
ARCH. PROJECT NO.	
DATE:	

SHEET NO.
A-3

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- SEE SHEETS SD1 FOR GENERAL NOTES AND TYPICAL DETAILS.
- TYPICAL FLOOR SHEATHING: 23/32" WOOD STRUCTURAL PANEL * 24" oc SPAN RATING TRG UNDERLAYMENT, EXPOSURE 1 B.N.: 10d AT 6" oc E.N.: 10d AT 6" oc F.N.: 10d AT 10" oc
- TYPICAL ROOF SHEATHING: 15/32" WOOD STRUCTURAL PANEL 24" oc SPAN RATING EXPOSURE 1 B.N.: 8d AT 6" oc E.N.: 8d AT 6" oc F.N.: 8d AT 12" oc

USE RING SHANK NAILS OR SCREW NAILS AND GLUE PLYWOOD TO FRAMING.
 *WOOD STRUCTURAL PANELS SHALL CONFORM TO UBC STANDARD 23-2 & 23-3

- S.P.N. = SOLE PLATE NAILING. USE 16d BOX NAILS AT 16" oc, UNO
- # indicates SHEAR WALL. SEE THIS SHEET FOR SCHEDULE. ALL NAILING APPLIES FULL HEIGHT AND FULL LENGTH OF WALL, U.N.O.

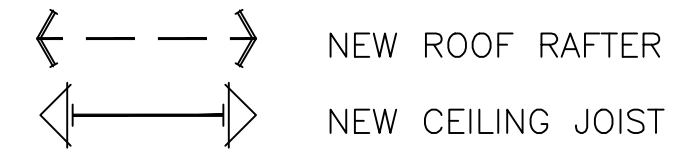
5. SPLICE PLATES OF EXTERIOR WALLS AND SHEAR WALLS PER

6. INTERIOR NON-BEARING WALL HEADER SCHEDULE

HEADER SIZE	MAX SPAN < 5'-0" WALL ABOVE	MAX SPAN < 10'-0" WALL ABOVE
2x4 FLAT	3'-0"	N/A
(2) 2x4 ON EDGE	6'-0"	4'-0"
4x4 STD # BTR	6'-6"	4'-6"
4x6 DF #2	10'-0"	9'-6"

7. CEILING JOIST SCHEDULE

JOIST SIZE	12" SPACING	16" SPACING	24" SPACING
2x4	10'-9"	9'-9"	8'-6"
2x6	16'-11"	15'-4"	13'-5"
2x8	22'-4"	20'-3"	17'-8"



SHEAR WALL SCHEDULE

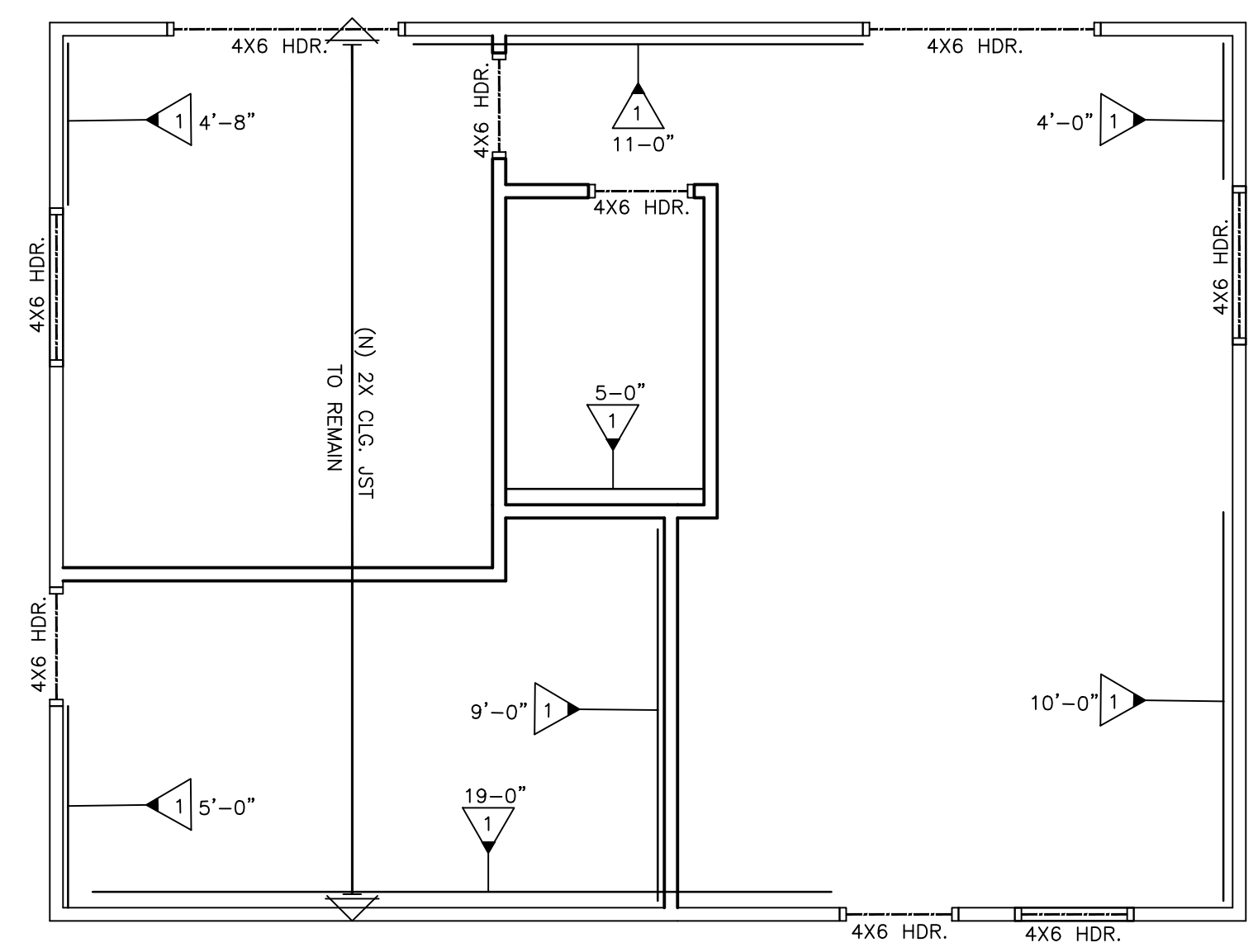
SYM.	MATERIAL	PANEL NAILING	S.P.N. (1)	PLF
1	5/32" STRUCT. I O.S.B. 5/8" ANCHOR BOLTS OR ALL THREAD @ 32" O.C.	8d @ 6" oc E.N. 8d @ 12" oc F.N.	16d @ 6" oc	210
2	5/32" STRUCT. I W.S.P. P.I.L.=32/16	8d @ 4" oc E.N. 8d @ 12" oc F.N.	16d @ 4" oc	320
3	5/32" STRUCT. I W.S.P. P.I.L.=32/16	8d @ 3" oc E.N. 8d @ 12" oc F.N.	16d @ 3" oc	410
4	5/32" STRUCT. I W.S.P. P.I.L.=32/16	8d @ 2" oc E.N. 8d @ 12" oc F.N.	16d @ 2" oc	550
5	5/32" STRUCT. I W.S.P. P.I.L.=32/16	10d @ 2" oc E.N. 10d @ 12" oc F.N.	SEE PLANS	650

- S.P.N. = SOLE PLATE NAILING. USE BOX NAILS or BETTER AT SPACING SHOWN UNLESS SPECIFIED OTHERWISE ON PLAN.
- ALL EDGES SHALL BE BLOCKED.
- 3" NOMINAL FRAMING SHALL BE USED AT FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING SHEAR PANELS. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED ON 3x MEMBERS

- NOTES:
- W.S.P. INDICATES WOOD STRUCTURAL PANEL. WOOD STRUCTURAL PANELS SHALL CONFORM TO UBC STANDARD 23-2 or 23-3.
 - NAILS FOR WOOD STRUCTURAL PANELS TO BE COMMON WITH FULL HEADS.
 - NAILING APPLIES AT ALL STUDS, PLATES AND BLOCKING.
 - ALL EDGE NAILING AT TOP PLATE SHALL BE TO UPPER TOP PLATE. STAGGERING OF NAILS TO FRAMERS PLATE IS NOT ACCEPTABLE.
 - PROVIDE EDGE NAILING TO POSTS AT HOLDDOWN LOCATIONS.
 - USE 2x STUDS @ 16" oc AT ALL SHEAR WALLS, U.N.O.
 - SEE FOUNDATION PLANS FOR ANCHOR BOLT SIZE AND SPACING.

EXTERIOR LATH NOTES
 EXTERIOR LATH SHALL BE INSTALLED AS REQUIRED SECTION 1402.1 OF L.A. Co. BUILDING CODE WHEN APPLIED OVER WOOD BASE SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 'D' PAPER.

ROOFING NOTES
 ROOFING MATERIAL WILL HAVE A MINIMUM CLASS 'A' FIRE RATING. ROOF VALLEY, PROVIDE 28 GAGE GALVANIZED SHEET METAL FLASHING (L.A. Co. BC. Section 1508.2)

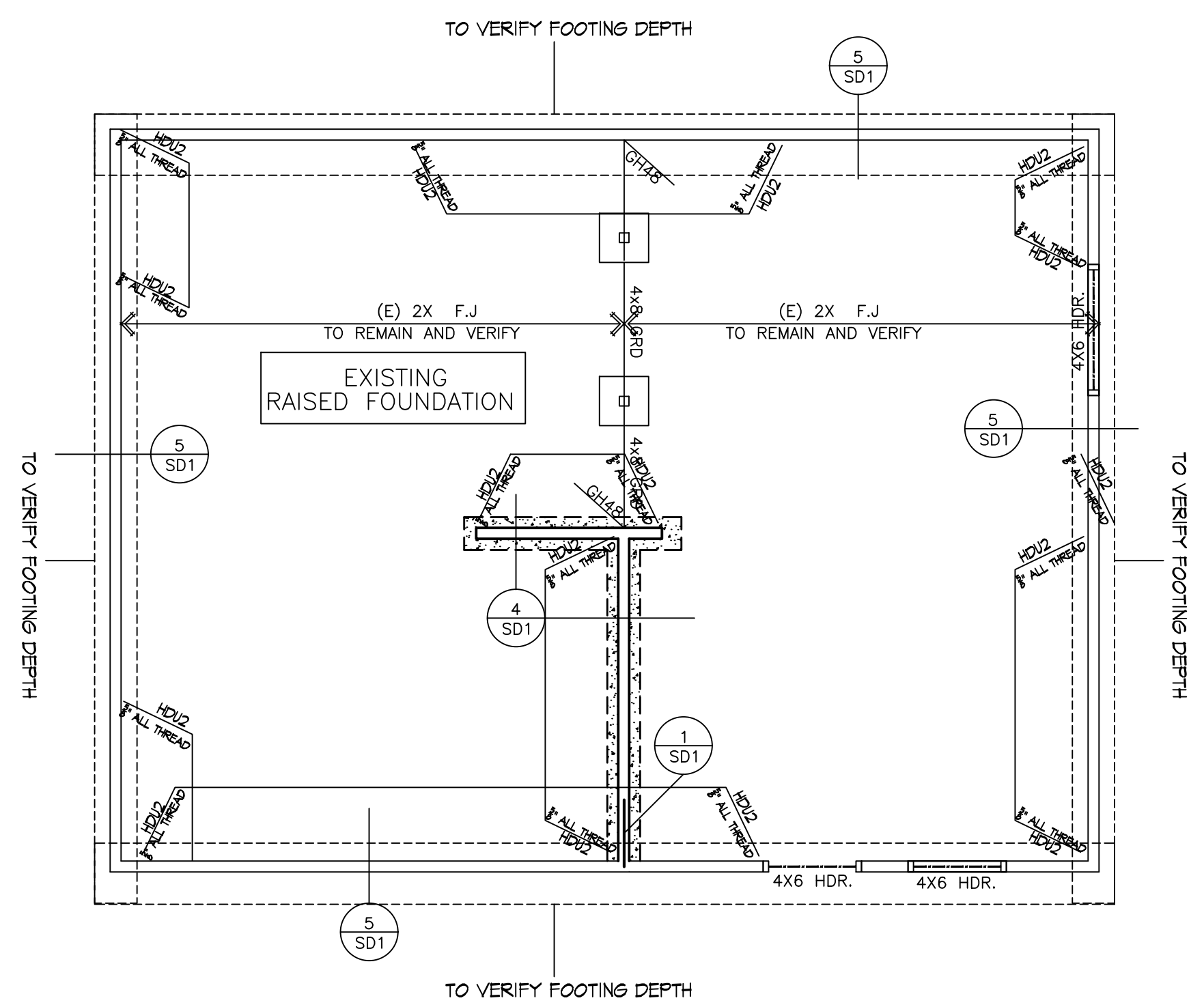
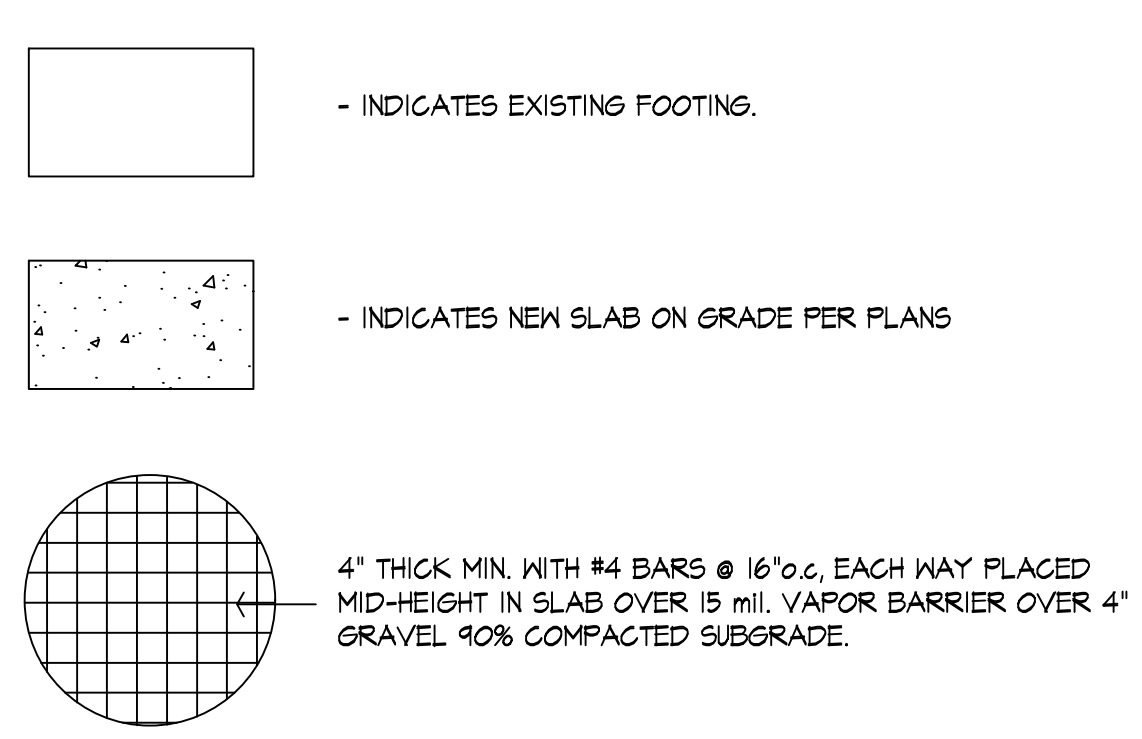


FRAMING PLAN
 SCALE: 1/4"=1'-0"

FOUNDATIONS NOTES

- SEE SHEET SD1 FOR GENERAL NOTES AND TYPICAL DETAILS.
- INDICATES SIMPSON HTT22 or PHD HOLDDOWN
- FOUNDATION SILL PLATES SHALL BE BOLTED TO THE FOUNDATION WITH 5/8" DIAMETER STEEL ANCHOR BOLTS WITH A MINIMUM EMBEDMENT OF 7" INTO THE CONCRETE. ANCHOR BOLT SPACING SHALL NOT EXCEED 4'-0". THERE SHALL BE A MINIMUM OF TWO BOLTS PER PIECE WITH ONE BOLT LOCATED NOT MORE THAN 12" THICK PLATE WASHERS FOR EACH ANCHOR BOLT. 3x SILL PLATES MAY OCCUR. ADJUST BOLT LENGTH AS REQUIRED.
- HOLDDOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- HOLDDOWN CONNECTOR BOLT BOLTS INTO WOOD FRAMING REQUIRE APPROVED PLATE WASHERS.
- HOLDDOWNS SHALL BE TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- 4500 PSI CONCRETE

FOOTING LEGEND:



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"

ANY ERRORS, OMISSION OR DISCREPANCIES OCCURRING WITHIN THESE DOCUMENTS REQUIRE IMMEDIATE WRITTEN NOTIFICATION TO THE DESIGNER, OWNER OR CONTRACTOR. PROPER INSTRUCTION SHALL BE ISSUED PRIOR TO PROCEEDING WITH ANY SUCH WORK.

REVISIONS

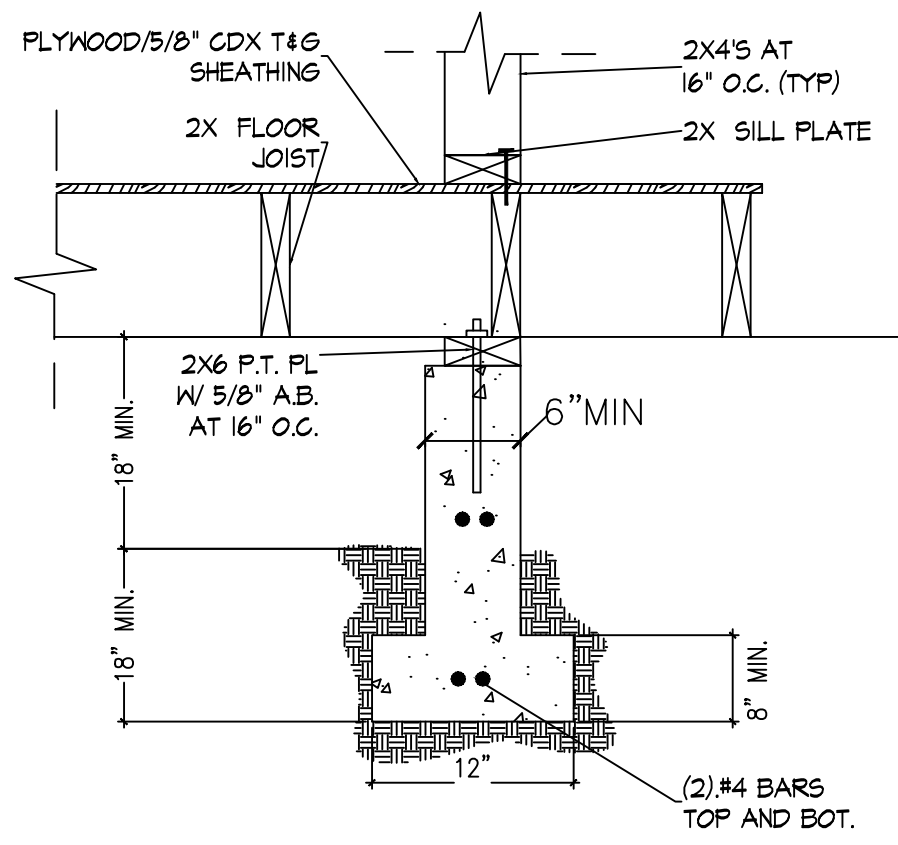
NO.	DATE	REVISIONS

DESIGN BY: DANNY
 DRAWN BY: DANNY
 CHECKED BY: DANNY

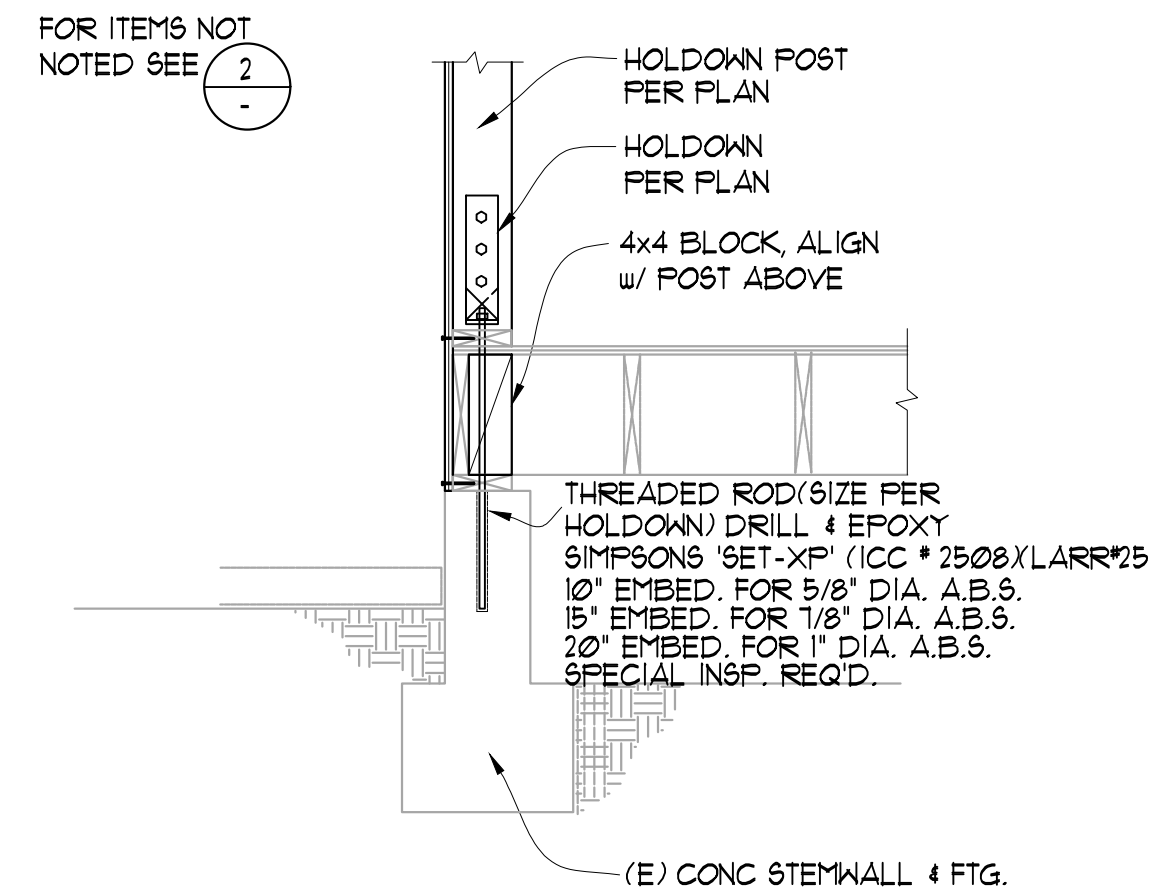
PROJECT TITLE:
STORAGE CONV. TO J.A.D.U.
 886 SANDALWOOD, DR.
 LAKE ARROWHEAD, CA 92352

AGENCY PROJECT NO.
 ARCH. PROJECT NO.
 DATE:
 SHEET NO.

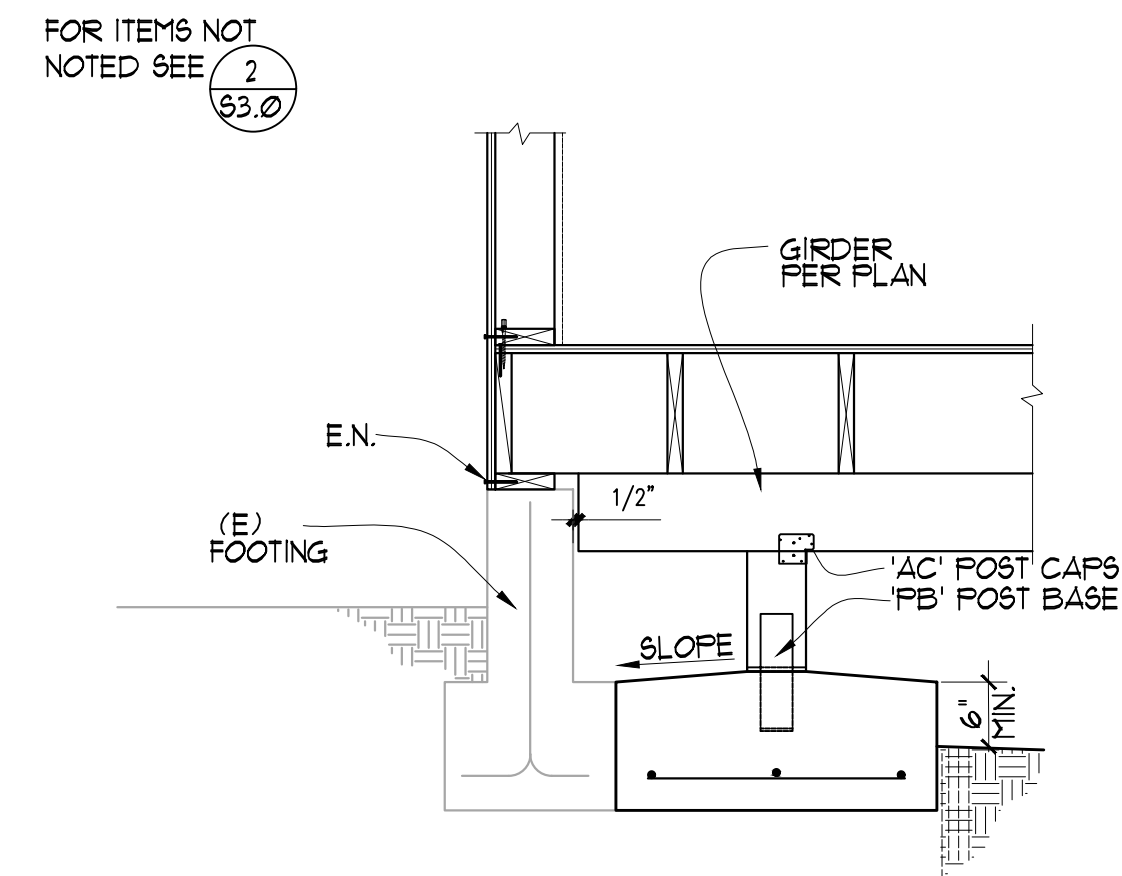
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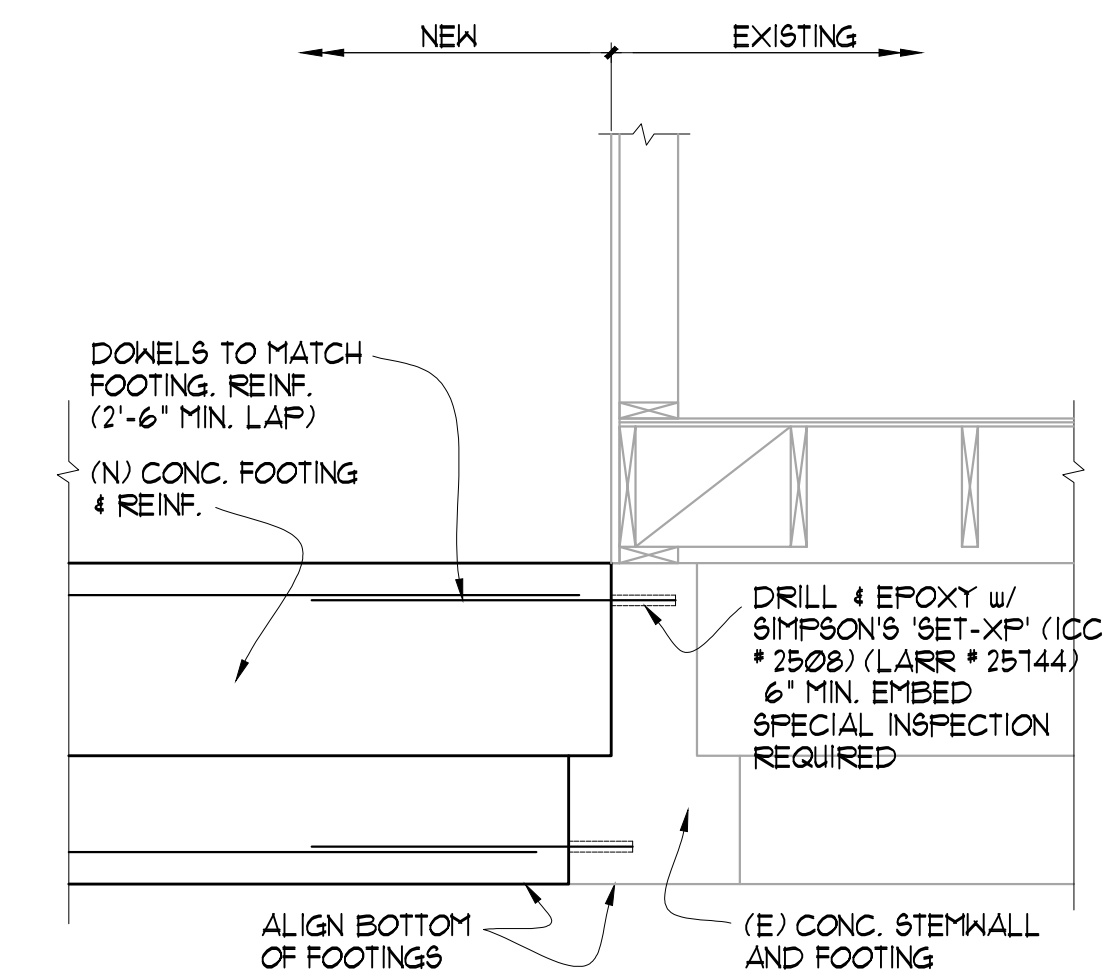
TYPICAL INTERIOR FOOTING



3DETAIL

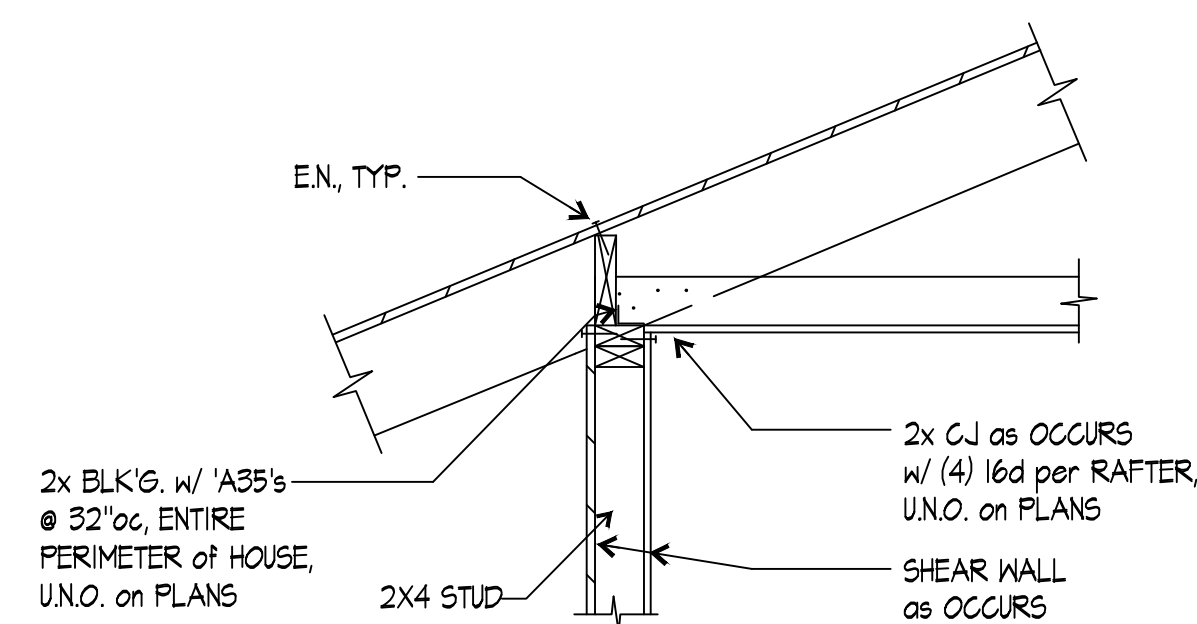


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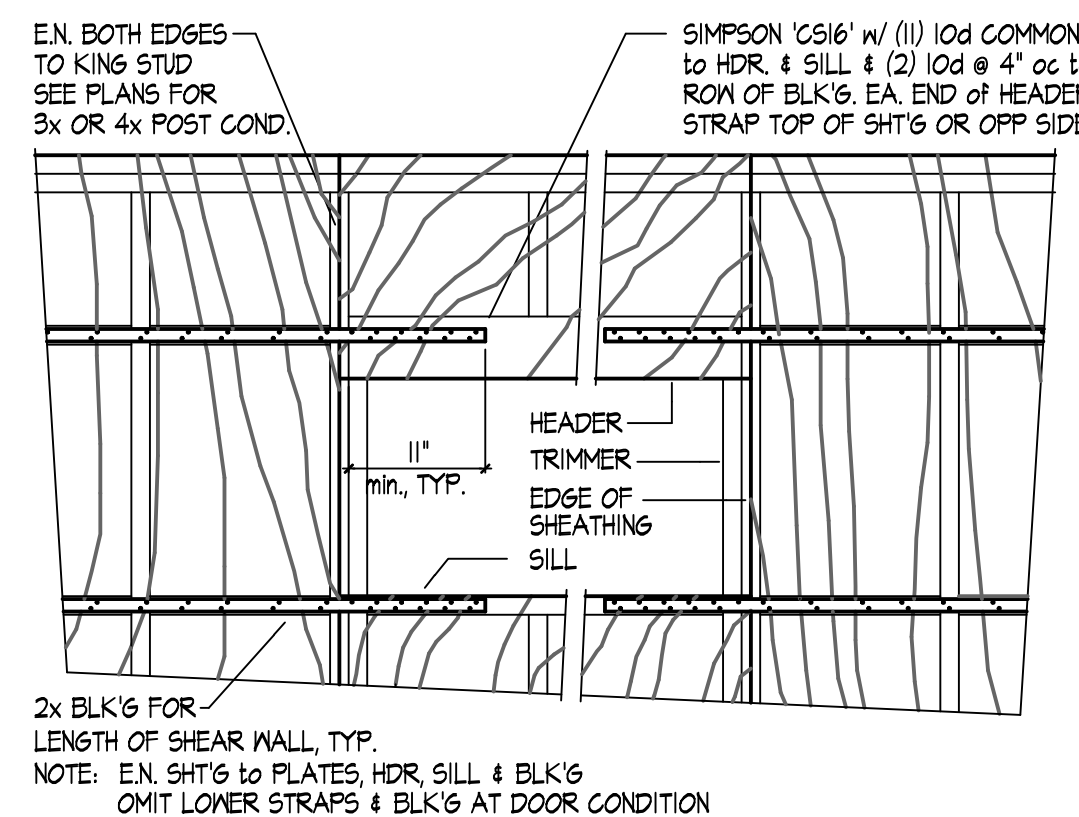


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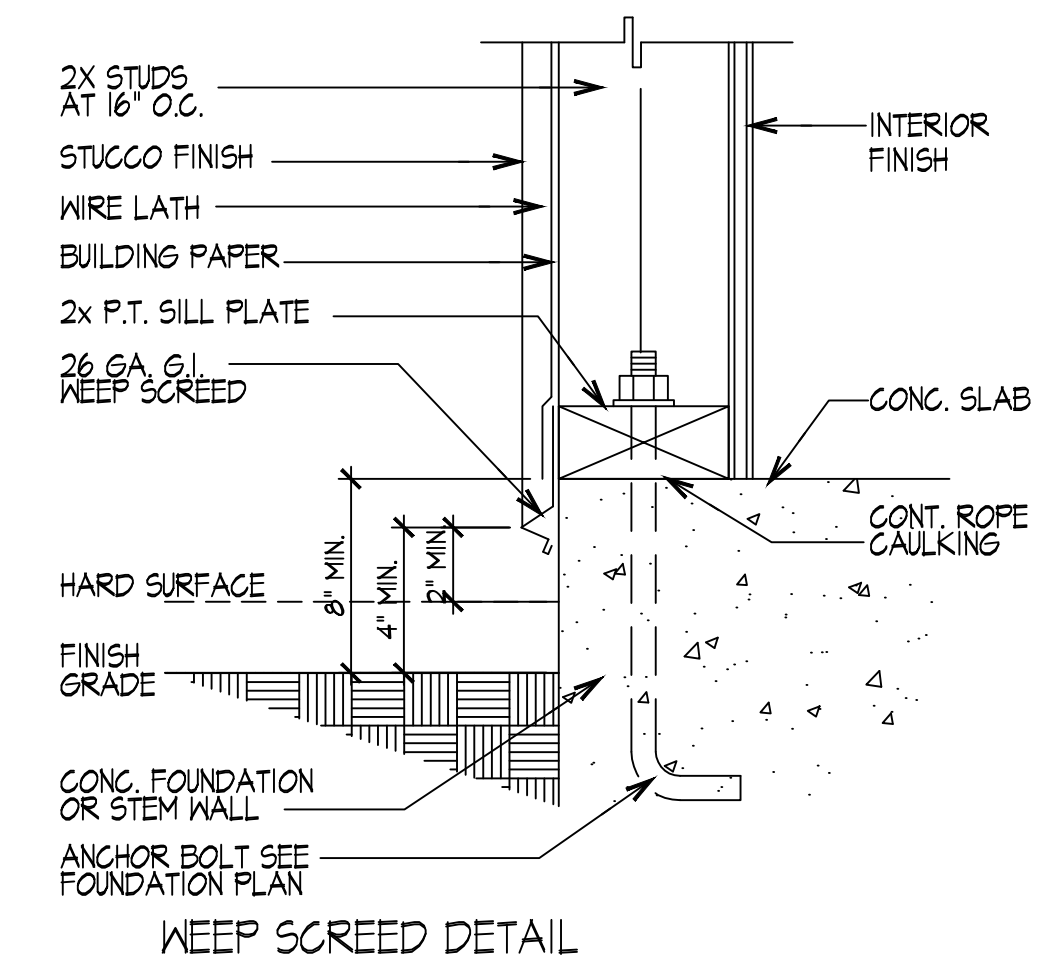
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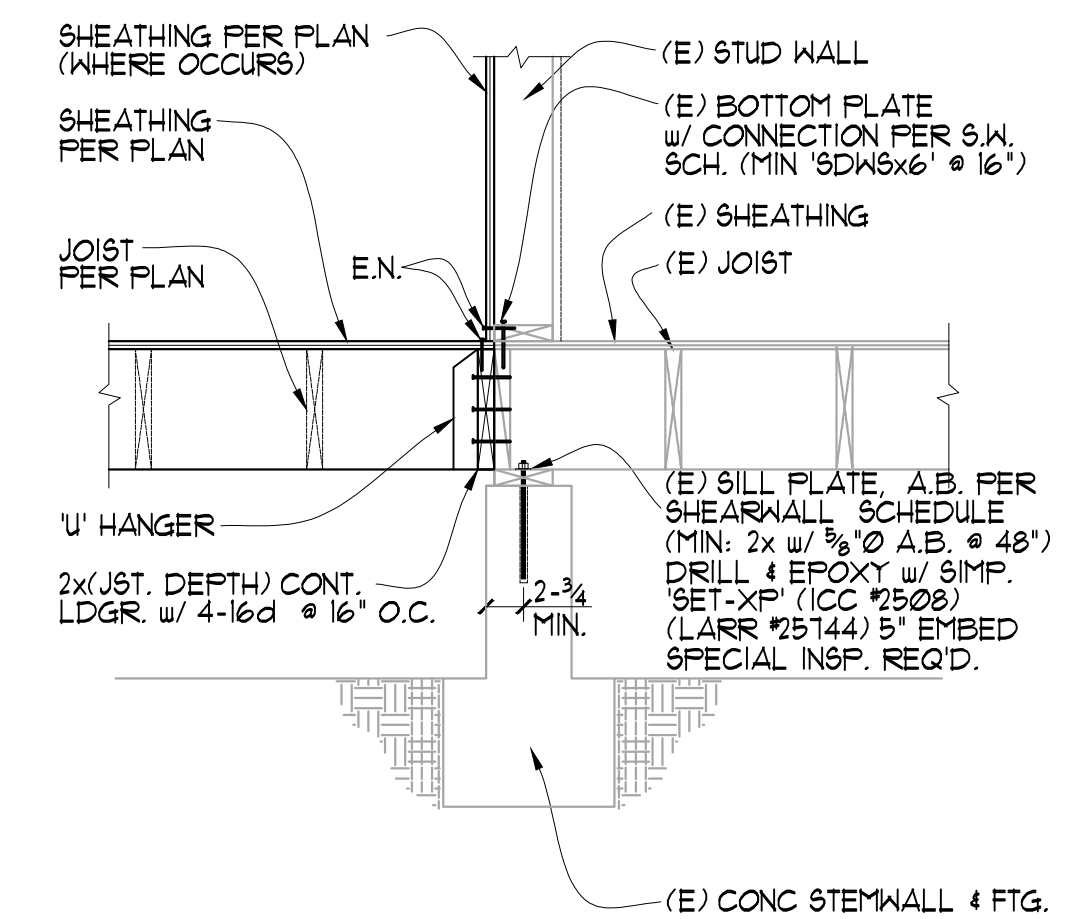
TYPICAL RAFTER to EXTERIOR WALL



7DETAIL

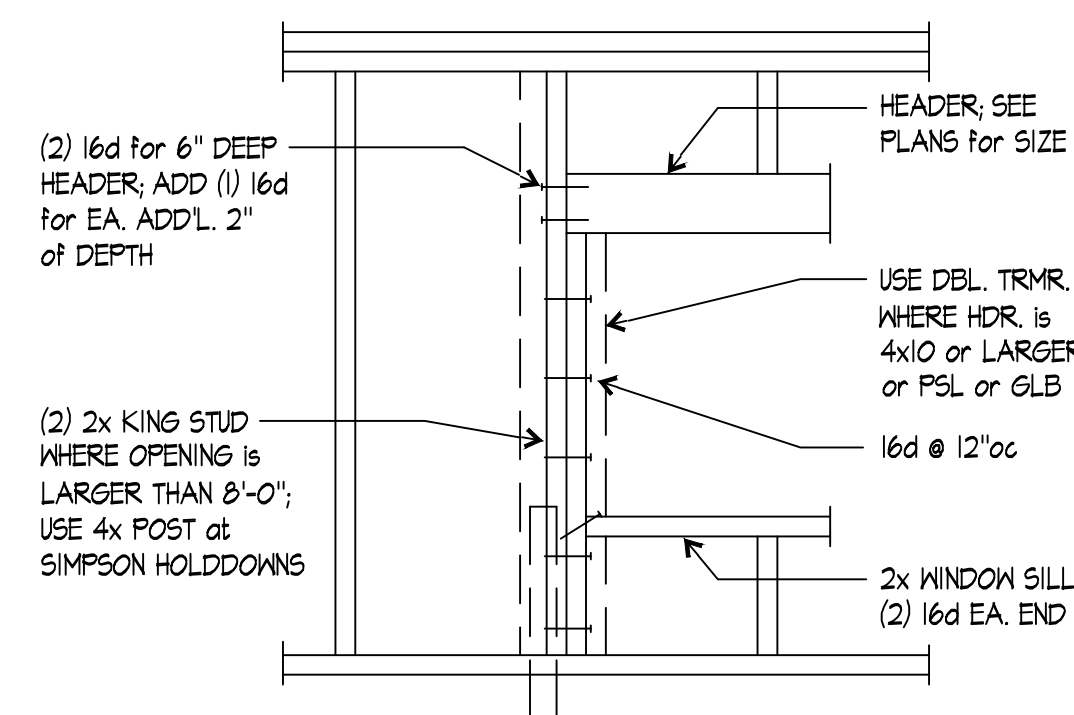


6DETAIL

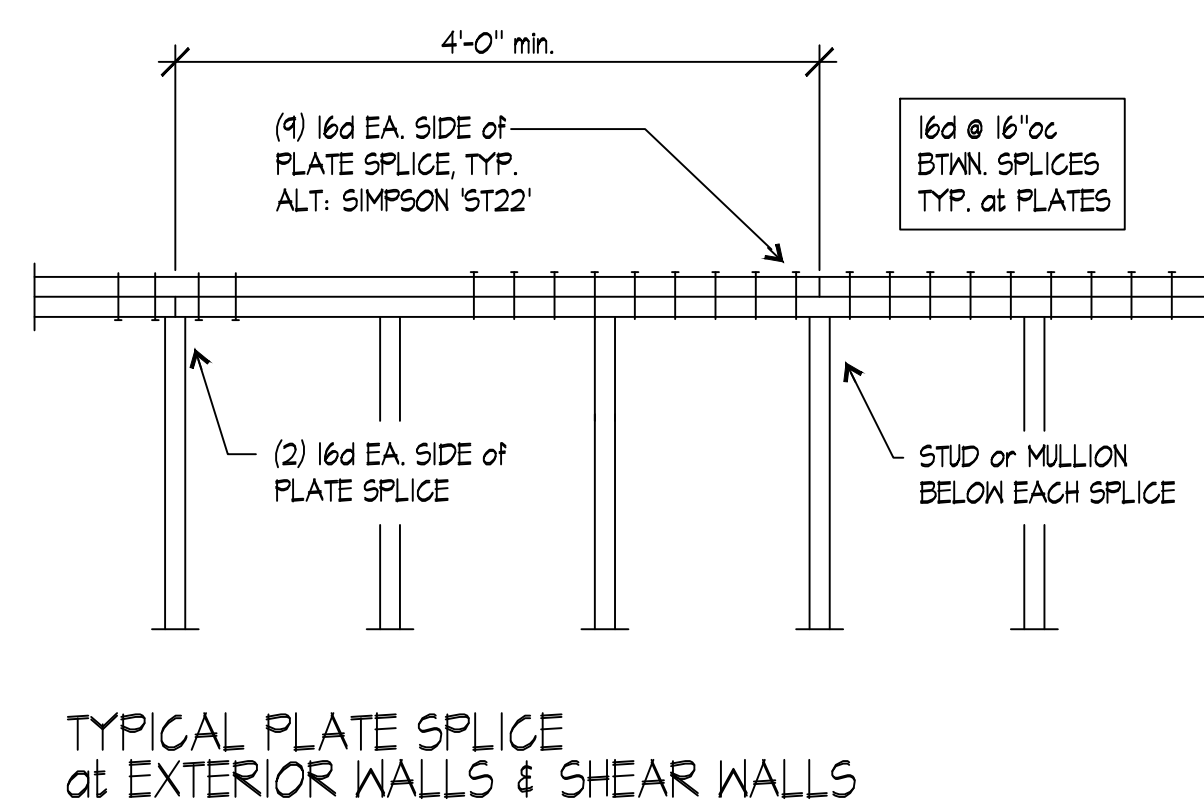


5DETAIL

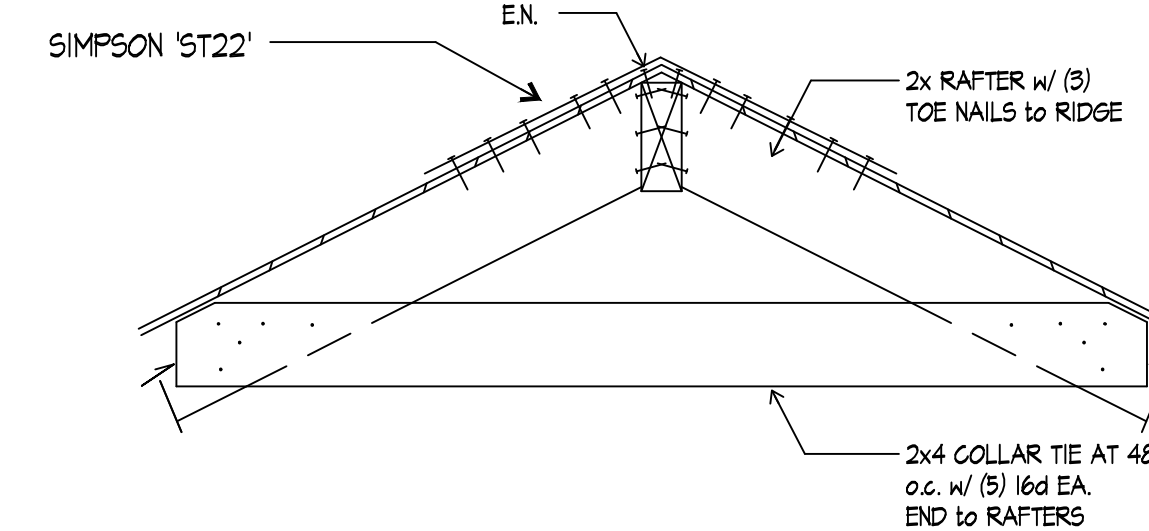
8DETAIL



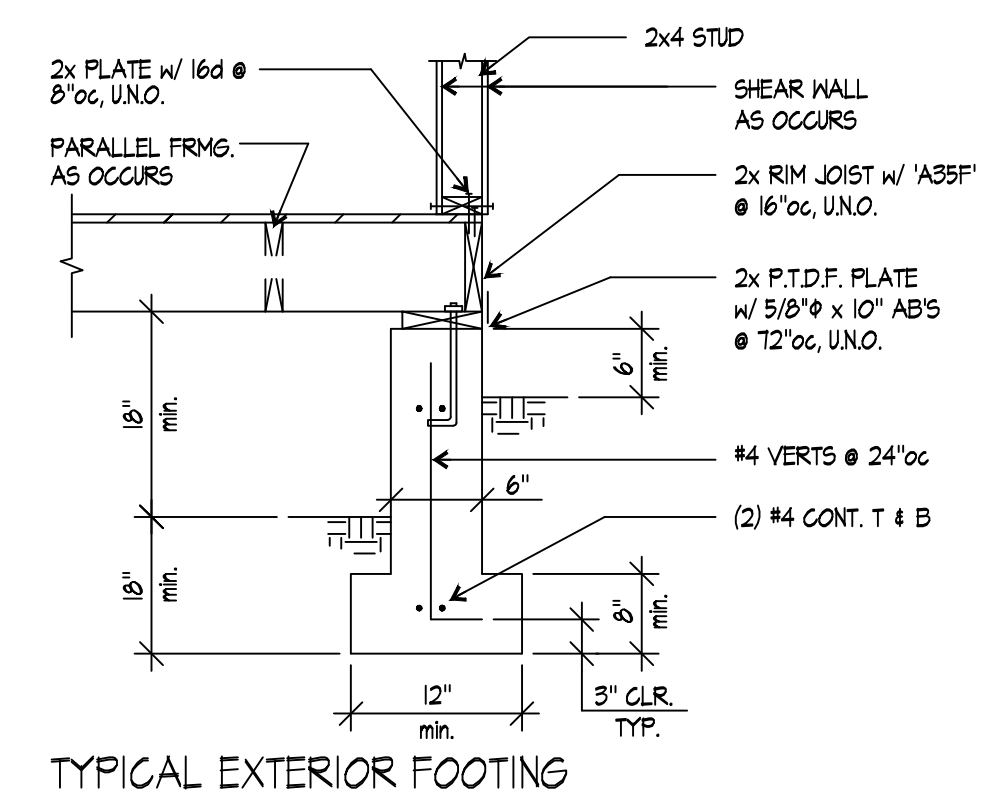
12DETAIL



11DETAIL



10DETAIL



9DETAIL

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SALMERON
DRAFTING & DESIGN
11355 Atlantic Ave. Lynwood, CA 90262
Daniel Salmeron: (323) 443-5749
Email: SalmeronDrafting@yahoo.com

CITY STAMP

REVISIONS	
DATE	REMARKS

DESIGN BY: DANNY
DRAWN BY: DANNY
CHECKED BY: DANNY

PROJECT TITLE: STORAGE CONV. TO J.A.D.U.
886 SANDALWOOD, DR.
LAKE ARROWHEAD, CA 92352

AGENCY PROJECT NO.:
ARCH. PROJECT NO.:
DATE:
SHEET NO.: SD1

CONSTRUCTION DETAILS

GENERAL INFORMATION			
01	Project Name	886 Sandalwood Dr Jr ADU	
02	Run Title	Title 24 Analysis	
03	Project Location	886 Sandalwood Dr	
04	City	05	Standards Version
06	Zip code	07	Software Version
08	Climate Zone	09	Front Orientation (deg/ Cardinal)
10	Building Type	11	Number of Dwelling Units
12	Project Scope	13	Number of Bedrooms
14	Addition Cond. Floor Area (ft ²)	15	Number of Stories
16	Existing Cond. Floor Area (ft ²)	17	Fenestration Average U-factor
18	Total Cond. Floor Area (ft ²)	19	Glazing Percentage (%)
20	ADU Bedroom Count	21	ADU Conditioned Floor Area
22	Is Natural Gas Available?	Yes	

COMPLIANCE RESULTS	
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

ENERGY USE SUMMARY				
Energy Use (KTDU/ft ² -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	291.71	209.52	82.19	28.2
Space Cooling	26.63	18.71	7.92	29.7
IAQ Ventilation	4.92	4.92	0	0
Water Heating	98.16	98.16	0	0
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	421.42	331.31	90.11	21.4

Registration Number: 424-P010101585A-000-000-0000000-0000
 Registration Date/Time: 06/06/2024 21:16
 HERS Provider: CHEERS
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 Report Version: 2019.2.000
 Schema Version: rev 20200901
 Report Generated: 2024-06-06 21:12:27

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
* Variable capacity heat pump compliance option (verification details from VCHP staff report, Appendix B, and RA3)	

HERS FEATURE SUMMARY	
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Ns and CF3Rs are required to be completed in the HERS Registry	
Building-level Verifications:	
* Indoor air quality ventilation	
* Kitchen range hood	
Cooling System Verifications:	
* Verified EER	
* Verified SEER	
* Verified Refrigerant Charge	
* Airflow in habitable rooms (SC3.1.4.1.7)	
Heating System Verifications:	
* Verified HSPF	
* Verified heat pump rated heating capacity	
* Wall-mounted thermostat in zones greater than 150 ft ² (SC3.4.5)	
* Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)	
HVAC Distribution System Verifications:	
* --None--	
Domestic Hot Water System Verifications:	
* --None--	

BUILDING - FEATURES INFORMATION						
01	02	03	04	05	06	07
Project Name	Conditioned Floor Area (ft ²)	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Ventilation Cooling Systems	Number of Water Heating Systems
886 Sandalwood Dr Jr ADU	544	1	1	1	0	1

ZONE INFORMATION						
01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
Zone 1	Conditioned	HVAC System1	544	8	DHW Sys 1	N/A

Registration Number: 424-P010101585A-000-000-0000000-0000
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OPAQUE SURFACES										
01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft ²)	Tilt (deg)	Wall Exceptions	Status	Verified Existing Condition
Front Wall	Zone 1	Default Wall Prior-1978	90	Front	240	37	90	none	Existing	No
Left Wall	Zone 1	Default Wall Prior-1978	180	Left	176	16	90	none	Existing	No
Rear Wall	Zone 1	Default Wall Prior-1978	270	Back	240	80	90	none	Existing	No
Right Wall	Zone 1	Default Wall Prior-1978	0	Right	176	16	90	none	Existing	No
Interior Surface	Zone 1	R-0 Floor No Crawlspace	n/a	n/a	544	n/a	n/a		Existing	No

FENESTRATION / GLAZING															
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition
Windows	Window	Front Wall	Front	90			1	16	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
Window	Window	Left Wall	Left	180			1	16	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a
Glass Doors	Window	Rear Wall	Back	270			1	80	1.04	Table 110.6-A	0.76	Table 110.6-B	Bug Screen	Existing	No
Window 2	Window	Right Wall	Right	0			1	16	0.3	NFRC	0.23	NFRC	Bug Screen	New	n/a

OPAQUE DOORS					
01	02	03	04	05	06
Name	Side of Building	Area (ft ²)	U-factor	Status	Verified Existing Condition
Door	Front Wall	21	0.5	Existing	No

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SLAB FLOORS									
01	02	03	04	05	06	07	08	09	10
Name	Zone	Area (ft ²)	Perimeter (ft)	Edge Insul. R-value and Depth	Edge Insul. R-value and Depth	Carpeted Fraction	Heated	Status	Verified Existing Condition
Slab	Zone 1	544	104	none	0	80%	No	Existing	No

OPAQUE SURFACE CONSTRUCTIONS							
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Default Wall Prior-1978	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-0	None / None	0.361	Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4 Exterior Finish: 3 Coat Stucco
R-0 Floor No Crawlspace	Interior Floors	Wood Framed Floor	2x12 @ 16 in. O. C.	R-0	None / None	0.196	Floor Surface: Carpeted Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: no insul. / 2x12 Ceiling Below Finish: Gypsum Board

BUILDING ENVELOPE - HERS VERIFICATION			
01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFM50
Not Required	Not Required	Not Required	n/a

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WATER HEATING SYSTEMS									
01	02	03	04	05	06	07	08	09	10
Name	System Type	Distribution Type	Water Heater Name (#)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Existing Water Heating System
DHW Sys 1	Domestic Hot Water (DHW)	Standard Distribution System	DHW Heater 1 (1)	n/a	None	n/a	Existing	No	

WATER HEATERS													
01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
DHW Heater 1	Gas	Small Storage	1	50	0.63-EF	<= 75 kBtu/hr	0	80	n/a	n/a	n/a	Existing	No

WATER HEATING - HERS VERIFICATION							
01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Central DHW Distribution	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required	Not Required

SPACE CONDITIONING SYSTEMS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
HVAC System1	Heat pump heating cooling	Heat Pump System 1	Heat Pump System 1	n/a	n/a	Setback	New	No	1	1

Registration Number: 424-P010101585A-000-000-0000000-0000
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HVAC - HEAT PUMPS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Number of Units	HSPF/HSPF2 /CDP	Cap 47	Cap 17	SEER/SEER2	EER/EER2/C EER	Zonally Controlled	Compressor Type	HERS Verification
Heat Pump System 1	VCHP-ductless	1	9.5	18000	16000	17	12.5	Not Zonal	Single Speed	Heat Pump System 1-hers-htpump

HVAC HEAT PUMPS - HERS VERIFICATION								
01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge	Verified HSPF	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Not Required	0	Required	Required	Yes	Yes	Yes	Yes

VARIABLE CAPACITY HEAT PUMP COMPLIANCE OPTION - HERS VERIFICATION									
01	02	03	04	05	06	07	08	09	10
Name	Certified Low-Static VCHP System	Airflow to Habitable Rooms	Ductless Units in Conditioned Space	Wall Mount Thermostat	Air Filter Sizing & Pressure Drop Rating	Low Leakage Ducts in Conditioned Space	Minimum Airflow per RA3.3 and SC3.3.4.1	Certified non-continuous Fan	Indoor Fan not Running Continuously
Heat Pump System 1	Not required	Required	Required	Required	Not required	Not required	Not required	Not required	Not required

IAQ (INDOOR AIR QUALITY) FANS						
01	02	03	04	05	06	07
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness - SRE	IAQ Recovery Effectiveness - ASRE	HERS Verification
SFam ADU IAQVentRpt	31	0.35	Exhaust	n/a	n/a	Yes

Registration Number: 424-P010101585A-000-000-0000000-0000
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886 Sandalwood Dr
 Jr ADU
 Lake Arrowhead, Ca 92352

Project	Sheet
Date	T-24-1
Scale	



2022 Single-Family Residential Mandatory Requirements Summary

NOTE: Single-family residential buildings subject to the Energy Codes must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. (04/2022)

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Sections include: Building Envelope, Fireplaces, Decorative Gas Appliances, and Space Conditioning, Water Heating, and Plumbing System.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Sections include: Pilot Lights, Building Cooling and Heating Loads, Clearances, Liquid Line Drier, Water Piping, Insulation Protection, Gas or Propane Water Heating Systems, and Solar Water-heating Systems.

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Sections include: Ducts and Fans, Field-Verification and Diagnostic Testing, Gravity Ventilation Dampers, Duct System Sealing and Leakage Test, and Air Filtration.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Section: Space Conditioning System Airflow Rate and Fan Efficacy.

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Sections include: Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment, and Lighting.

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Sections include: Lighting (continued), Solar Readiness, and Electric and Energy Storage Ready.

5/6/22



2022 Single-Family Residential Mandatory Requirements Summary

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Sections include: Solar Readiness (continued), Electric and Energy Storage Ready, and Solar Readiness (continued).

Table of 2022 Single-Family Residential Mandatory Requirements Summary. Sections include: Solar Readiness (continued), Electric and Energy Storage Ready, and Solar Readiness (continued).

5/6/22

RESIDENTIAL MEASURES SUMMARY table. Includes project details, fenestration table, HVAC systems table, and water heating table.

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY table. Includes engineering checks, system load, HVAC equipment selection, and psychrometric diagrams for heating and cooling.

CERTIFICATE OF COMPLIANCE table. Includes project name, calculation date, documentation author's declaration, and responsible designer's declaration.

Certificate of Compliance table (continued). Includes project name, calculation date, documentation author's declaration, and responsible designer's declaration.

Project information box: 886 Sandalwood Dr, Jr ADU, Lake Arrowhead, Ca 92352. Includes Project, Sheet, Date, and Scale fields.