

# ***Superior Property Inspections***

## **Property Inspection Report**



4224 Falcon, Long Beach, CA 90807

Inspection prepared for: Horning Family Trust

Date of Inspection: 2/27/2025 Time: 9 am

Age of Home: 1942 Size: 1916 sq ft.

Inspector: Jeffrey M. Salcedo

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[MyHouseNeedsFixin.com](http://MyHouseNeedsFixin.com)



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# Inspection Details

## 1. Attendance

In Attendance: Client present • Seller's Agent present

## 2. Home Type

Home Type: Single Family Dwelling • Single Story

## 3. Occupancy

Occupancy: Occupied - Furnished: Heavy volume of personal and household items observed. • FYI: The client requested an inspection to review interior plaster cracks in walls and ceiling and to determine if there were any significant concerns with the foundation or framing.

After reviewing several areas of the structure, it appears that the interior cracks in many straight lines are simply from past seismic activity that shakes the house. There were no large cracks in the foundation footings. There was no separation from the wood framing sill plate to the concrete foundation footings when inspected from the crawlspace. When checking in the attic, the roof rafters are not separating from the Ridge beams in the middle of the peak. We all know that a house shakes and the interior plaster walls primarily are showing straight hairline cracks that are following the drywall tape, etc. Literally in the shape of the gypsum and wood framing. None of the cracks opened up wide as if there was movement in the wall or foundation. These cracks are typical of the flexing wood framing during seismic activity and the rigid plaster producing cracks and then settling back to the original location.

The client also stated that the property interior has not been painted in many years, etc. There were also no large cracks in the exterior stucco in any of the areas that would highlight a concern. There are photographs included in this report to document the conditions stated.

# Foundation

## 1. Foundation Walls

Observations:

- NOTE: Weather conditions, drainage, leakage and other adverse factors are able to affect structures and differential movements are likely to occur. The Inspectors opinion is based upon visual observations of accessible and unobstructed areas of the foundation at the time of inspection. Future performance of the structure cannot be predicted or warranted.
- There are Flowerbeds next to the structure. Over-watering can allow moisture to seep into the crawlspace. No excavation was conducted to determine if there is a proper moisture barrier to prevent moisture intrusion into the foundation and/or structure.
- The general condition of the concrete perimeter foundation appears serviceable.
- There are common cracks visible in random areas of the foundation. Most small cracks and poured concrete walls less than 3/16 of an inch usually indicate normal shrinkage and settlement. These cracks can be sealed with injected cement or epoxy to prevent water penetration. It is recommended to monitor the cracks for moisture intrusion or further movement.
- FYI: There were no signs of lifting or settling at the wood sill on top of the concrete footing/foundation.
- FYI: There are areas of efflorescence observed. This is a mineral deposit left behind from exterior water infiltration or standing water from plumbing leaks, etc.



The general condition of the concrete perimeter foundation appears serviceable.



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## 2. Cripple Walls

### Observations:

- FYI: This structure has a solid perimeter concrete foundation without cripple walls.

## 3. Post and Girders

### Observations:

- This structure has continuous concrete foundations with the "clear span" of floor joists between the concrete footings.
- FYI: Having a "Clear Span" floor structure is not an issue. There is a concern when rigid tile flooring is installed over a clear span design. The Tile may crack because there will be the natural flexing and "bounce" of a wooden raised foundation floor and tile does not flex. Additional supports can be installed under the floor joists if tile flooring is installed. Just FYI.
- \*There appears to be a couple of non-professional supports installed. Loose concrete blocks in specific areas are not a concern. This may have been installed to minimize flexing floors, etc., but is not a concern.



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This simply highlights that the construction appears serviceable and this building has a clear span instead of numerous posts. When building a "clear span", the floor joist will be larger than 2 x 6s. Also note they are all level showing no shifting up or down despite seismic activity.

#### 4. Sub Flooring

##### Observations:

- The general condition of the visible sub floor appear serviceable except where noted.
- There were no active leaks or damaged framing at the time of the inspection under the bathtub. It is recommended to install screen material under the tub at the plumbing to prevent pests from entering the wall cavity.
- **\*\*Wood rot, moisture damage observed at the Front bathroom toilet.**



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**\*\*Wood rot, moisture damage observed at the Front bathroom toilet.**



This simply shows past, old evidence of subterranean termites. There was no significant damage to the floor joist by the crawlspace entrance in the closet.

## Chimney

### 1. Chimney Exterior

#### Observations:

- The chimney is not fully visible.
- The chimney does not have a built in ash dump door in this design.
- The flashing around the chimney needs to be monitored and resealed as needed.
- The visible Foundation under the chimney appears serviceable when viewed from the crawlspace. There were no signs of deteriorated mortar or displaced bricks.



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# Electrical

## 1. Wiring

### Observations:

- Where electrical outlets are filled with electrical appliances, Superior Property Inspections does not remove any appliance to test. This is done for the convenience of the property owner and to avoid disrupting timers, clocks and any pre-setting that may exist.

Electrical components concealed behind finished surfaces are not inspected. Furniture and/or storage may restrict access to some electrical components. This inspection does not include remote control devices, alarm systems and components, low voltage wiring systems and components, ancillary wiring systems, telephone wiring, antenna, satellite or cable TV systems and other components that are not part of the Primary Electrical Power distribution system unless noted.

- Live knob and tube wiring present.
- **\*Exposed wire splices were visible in the attic.**



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Live knob and tube wiring present.

# Plumbing

## 1. Drains/Vents Condition

Materials: The visible drain lines and vent pipes are plastic, galvanized steel and cast iron.

### Observations:

- **\*There are ABS plastic drains that have metal supports that can abrade/damage plastic pipes.** These should be replaced with the industry standard plastic supports or wood, etc. to prevent damage.
- **\*\*There is a disconnected plumbing line creating an active leak in a drain below the bathroom and adjacent to the crawlspace access in the front bedroom closet.**



\*\*There is a disconnected plumbing line creating an active leak in a drain below the bathroom.



As the inspector is pointing to the damaged fitting, the pipe is actually disconnected, and any blockage of the drains will overflow into the crawlspace.



No major concerns with the plumbing beneath the kitchen when viewed from the crawlspace.

## Heat/AC

The heating, ventilation, and air conditioning and cooling system (often referred to as HVAC) is the climate control system for the structure. The goal of these systems is to keep the occupants at a comfortable level while maintaining indoor air quality, ventilation while keeping maintenance costs at a minimum. The HVAC system is usually powered by electricity and natural gas, but can also be powered by other sources such as butane, oil, propane, solar panels, or wood.

The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system please contact a licensed HVAC service person.

### 1. Heater Condition

Materials: The wall heater is located in the living room/hallway.

Materials: The data label was not visible/legible to determine the BTU rating. The size of unit is usually rated at 45,000 to 54,000 BTUs.

Observations:

- It is recommended that a licensed HVAC contractor further evaluate and service the unit to determine what repairs are necessary and/or recommended.

- **\*\* it is currently not safe to operate the floor heater. The exhaust vent is disconnected in the crawlspace, and this would allow exhaust gases to enter the living space.**

### 2. Venting

Observations:

- FYI: "Asbestos-like" materials are used in the old exhaust vent ducting.

- FYI: When viewing the floor heater from the crawlspace, there was no damage to the exhaust chamber.

- **\*\* it is currently not safe to operate the floor heater. The exhaust vent is disconnected in the crawlspace, and this would allow exhaust gases to enter the living space.**



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FYI: When viewing the floor heater from the crawlspace, there was no damage to the exhaust chamber.

### 3. Filters

Location: The heat source is not a forced air unit and there is no filtration/filter in this design.

## Interior Areas

The Interior section covers areas of the house that are not considered part of the Bathrooms, Bedrooms, Kitchen or areas covered elsewhere in the report. Interior areas usually consist of hallways, foyer, and other open areas. Within these areas the inspector is performing a visual inspection and will report visible damage, wear and tear, and moisture problems if seen. Personal items in the structure may prevent the inspector from viewing all areas on the interior.

The inspector does not usually test for mold or other hazardous materials. A qualified expert should be consulted if you would like further testing.

### 1. Wall Condition

Materials: Plaster walls noted.

Observations:

- The general condition of the interior walls appear serviceable except as noted.
- There are some common cracks visible that do not appear to be a structural concern. After further evaluation of the attic/roof and foundation, the interior wall cracks simply reflect past seismic activity and are not from structural failure.
- FYI: The House has been vacated, and the plumbing has not been used for a period of time. There was no wet soil under the house at the time of the inspection. Interior closets can also develop mildew from self introduced moisture on wet golf shoes with grass, sweaty tennis shoes, or wet rain coats hung in the closet, etc. There were no supply line plumbing leaks in this area. There is a damaged drain line under the bathroom that is adjacent to this closet and past moisture concerns would have allowed this mildew growth.
- **\*There are some larger cracks on the walls.**
- **\*\*Mildew/mold-like substance and moisture stains are present inside the closet with the crawlspace entrance directly behind the bathroom.**



This shows a crack that was a concern to the client. This is the door frame between the kitchen and dining room.



This is the same door frame from the kitchen side, showing the identical direction of small cracks.



This is the living room where the original fireplace was sealed. The framing of the original mantle is readily visible as when the fireplace was covered, the wood was not dried and cured like the old original 1942 house. And in the atomic object like a house cannot make a straight line and so the crack is simply following the replaced framing.



\*\*Mildew/mold-like substance and moisture stains are present inside the closet with the crawlspace entrance directly behind the bathroom.

## Attic

### 1. Structure

#### Observations:

- The general construction and framing in the attic appears serviceable.
- The roof construction visible in the attic is conventional framing with skipped (spaced boards) sheathing.
- The skip sheathing is covered with the original wood lath.



The general construction and framing in the attic appears serviceable. Notice all the individual skip shaving boards are hugging the roof rafters. No significant movement or separation is visible.



The roof will swing more than the foundation footing that is bolted. This attempts to show that none of the roof rafters are separating from the center Ridge

## 2. Ventilation

### Observations:

- There is a powered attic fan that has been installed.
- FYI: Attic fan appears to be controlled by a thermostat. No operational test was performed/ the thermostatic control was not moved. It is recommended the buyer ask the seller to disclose any knowledge of the fan and to demonstrate its operation before the close of escrow.



There is a powered attic fan that has been installed.

## 3. Insulation Condition

Materials: Fiberglass batts installed

Depth: Insulation averages about 6-8 inches in depth

### Observations:

- \*Some sections of the attic are missing insulation.

#### 4. Chimney



The original chimney was outside the family room that is in the foreground. The continuation of the roof that has a different color was now an enclosed patio. This also alludes to the living room cracks where the fireplace opening was sealed in another picture in this report.



The current brick chimney is flush against the wall without gaps. This also shows there was original seismic bracing bolted to the chimney.

#### 5. Exhaust Vent



After 80 years and multiple roofs, there are minor stains in the attic, but no damage to the plaster ceiling by the heater and main plumbing vent pipe. Significant plumbing leaks will cause the wood to swell and also create cracks and this is not the condition in this location that could've made cracks anywhere near the living room.



Continuing at the same vent pipes that show moisture stains at the roof line. Normal maintenance of roof mastic around vents is to prevent leaks and moisture stains are visible from past leaks and possibly some current.



This photo taken without the flash camera shows a little bit of ambient light denoting that this one vent needs to be resealed at the roof. Not a cause of cracks in the kitchen or living room wall as this is above the bathroom.

## Glossary

Term	Definition
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.

## Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

Foundation		
Page 4 Item: 4	Sub Flooring	• **Wood rot, moisture damage observed at the Front bathroom toilet.
Electrical		
Page 6 Item: 1	Wiring	• *Exposed wire splices were visible in the attic.
Plumbing		
Page 6 Item: 1	Drains/Vents Condition	• **There is a disconnected plumbing line creating an active leak in a drain below the bathroom and adjacent to the crawlspace access in the front bedroom closet.
Heat/AC		
Page 8 Item: 1	Heater Condition	• ** it is currently not safe to operate the floor heater. The exhaust vent is disconnected in the crawlspace, and this would allow exhaust gases to enter the living space.
Page 8 Item: 2	Venting	• ** it is currently not safe to operate the floor heater. The exhaust vent is disconnected in the crawlspace, and this would allow exhaust gases to enter the living space.
Interior Areas		
Page 9 Item: 1	Wall Condition	• *There are some larger cracks on the walls. • **Mildew/mold-like substance and moisture stains are present inside the closet with the crawlspace entrance directly behind the bathroom.