


EXISTING SINGLE FAMILY RESIDENCE
JADU & SFR REMODEL PROJECT

ADDITIONAL BUILDING NOTES:

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION UTILITIES (POWER POLES, PULL-BOXES, TRANSFORMER VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES—WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING(PER ORDINANCE 170.158)(SEPARATE PLUMBING PERMIT IS REQUIRED.)
3. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
4. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
5. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
6. PROVIDE ULTRA-HIGH FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION.. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
7. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING.
8. WATER HEATER MUST BE STRAPPED TO A WALL.
9. FOR EXISTING POOL ON SITE, PROVIDE AN ALARM FOR DOORS TO THE SWELLING THAT FORM A PART OF THE POOL ENCLOSURE. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MIN. OF 30 SECONDS WHEN THE DOOR IS OPENED. IT SHALL AUTOMATICALLY RESET AND BE EQUIPPED WITH A MANUAL MEANS TO DEACTIVATE (FOR 15 SECONDS MAX) FOR A SINGLE OPENING. THE DEACTIVATION SWITCH SHALL BE AT LEAST 54" ABOVE THE FLOOR.
10. FOR EXISTING POOL ON SITE, PROVIDE ANTI-ENTRAPMENT COVER MEETING THE CURRENT ASTM OR ASME FOR ALL SUCCTION UTILITIES OF THE SWIMMING POOL, TODDLER POOL AND SPA FOR SINGLE FAMILY DWELLINGS PER ASSEMBLY NO. 78.
11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL SWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS.
13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R312.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED.
14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABE AT THE JOB SITE.
16. SMOKE ALARMS & CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM TEH BUILDIN WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED – PER SECTION R314.6 AND R315.5.
17. WEEPSCREENED FOR EXTERIOR PLASTER SHALL BE PLACED 4" MINIMUM ABOVE THE EARTH OR 2" ABOVE PAVED AREAS PER SECTION R703.7.2.1.
18. USE 2 LAYERS OF GRADE D PAPER BARRIER FOR STUCCO APPLIED OVER WOOD-BASED SHEATHING PER SECTION R703.7.3.1.
19. DWELLING UNIT SHALL HAVE AT LEAST ONE EGRESS DOOR THAT MEETS THE FOLLOWING: A CLEAR WIDTH OF NOT LESS THAN 32", SIDE-HINGED, READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER SECTION R311.2.
20. LANDING AT EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2" LOWER THAN TOP OF THRESHOLD, (EXCEPTION: THRESHOLD HEIGHT CAN BE 7.5" MAX IF DOOR IS NOT A REQUIRED EXIT OR DOOR DOES NOT SWING OVER THE LANDING) PER SECTION R311.3.1.
21. EXISTING NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES FOR A RESIDENTIAL BUILDING UNDERGOING ADDITION OR ALTERATION PER SECTION 4.303.1 OF 2022 CGSBC.

[illegible]

PROJECT INDEX:
A&E SERVICES (ENGINEERS):
 **AFFINITY
 DESIGN GROUP**
 AFFINITY DESIGN GROUP
 1100 TOWN & COUNTRY ROAD,
 SUITE 1250
 ORANGE, CALIFORNIA 92867
 CONTACT: DANIEL G. DE WITTE, P.E.
 PHONE: 714-215-7413

GENERAL PROJECT NOTES:

1. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE SCOPE OF WORK AND ALL CONDITIONS AFFECTING THE NEW PROJECT.
2. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND DIMENSIONS OF THE EXISTING SITE AND DETERMINE THAT WORK AS INDICATED ON THESE CONSTRUCTION DOCUMENTS CAN BE ACCOMPLISHED AS SHOWN PRIOR TO COMMENCEMENT OF ANY WORK.
3. ALL FIELD MODIFICATIONS BEFORE, DURING, OR AFTER CONSTRUCTION SHALL BE APPROVED IN WRITING BY CLIENT AND ENGINEER.
4. INSTALL ALL EQUIPMENT AND MATERIALS PER THE MANUFACTURER'S RECOMMENDATIONS, UNLESS INDICATED OTHERWISE.
5. NOTIFY ENGINEER, IN WRITING, OF ANY MAJOR DISCREPANCIES REGARDING THE CONTRACT DOCUMENTS, EXISTING CONDITIONS, AND DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATIONS FROM ENGINEER AND CLIENT AND ADJUSTING THE BID ACCORDINGLY.
6. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK UNDER THE CONTRACT.
7. CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS AND FINISHES THAT ARE TO REMAIN. CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY OCCUR DURING THE CONSTRUCTION TO THE SATISFACTION OF THE CLIENT.
8. THE CONTRACTOR IS RESPONSIBLE FOR RED-LINING THE CONSTRUCTION PLANS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE FOLLOWING THE FINAL INSPECTION BY CLIENT. THE CONTRACTOR SHALL PROVIDE CLIENT & ENGINEER WITH ONE COPY OF ALL RED-LINED DRAWINGS.

| PROJECT INFORMATION: | |
|----------------------|---|
| OWNER: | DYSON WORTH 1561 2ND STREET MANHATTAN BEACH, CA 90266 |
| PARCEL #: | 4164-025-027 |

| PROJECT COORDINATES: | |
|----------------------|-------------|
| LATITUDE | N 33.8803° |
| LONGITUDE | W 118.3853° |

| PARCEL INFORMATION: | |
|----------------------|---------------------|
| LOT SIZE: | 3,281 SQ. FT. |
| (E) DWELLING: | 812 SQ. FT. |
| (N) JADU: | 203 SQ. FT. |
| TRACT / BLOCK / LOT: | B / 51 / 27 |
| ZONE: | RS, AREA DISTRICT I |
| OCCUPANCY GROUP: | R-3 |
| CONSTRUCTION TYPE: | TYPE V-B |
| NUMBER OF STORIES: | ONE |
| FIRE SPRINKLERS: | NO |

| CODE COMPLIANCE: | |
|------------------|---|
| 2022 | CALIFORNIA BUILDING CODE |
| 2022 | CALIFORNIA RESIDENTIAL CODE |
| 2022 | CALIFORNIA ELECTRICAL CODE |
| 2022 | CALIFORNIA PLUMBING CODE |
| 2022 | CALIFORNIA EXISTING BUILDING CODE |
| 2022 | CALIFORNIA MECHANICAL CODE |
| 2022 | CALIFORNIA ENERGY CODE |
| 2022 | CALIFORNIA FIRE CODE |
| 2023 | CITY OF MANHATTAN BEACH BUILDING CODE & CODE AMENDMENTS |

SCOPE OF WORK:

THIS PROJECT CONSISTS OF THE FOLLOWING:

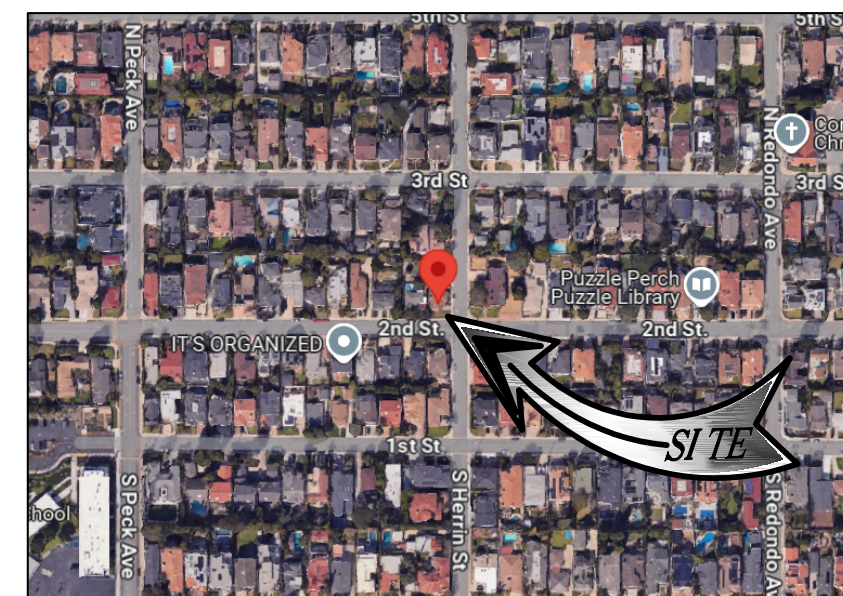
THIS IS A RESIDENTIAL SINGLE CAR GARAGE TO JUNIOR ADU (JADU) CONVERSION AND SINGLE FAMILY RESIDENCE REMODEL PROJECT. NO ADDITIONAL SQUARE FOOTAGE ADDED.

DEMOLISH:

- DEMOLISH (E) GARAGE DOOR OPENING TO PREPARE FOR (N) STUD WALL AND FILL.
- DEMOLISH (E) INTERIOR STUCCO FINISH IN GARAGE. EXTERIOR STUCCO TO REMAIN AS-IS.
- DEMOLISH (E) EXTERIOR STUCCO ON STREET-FACING WALLS.
- DEMOLISH (E) 40 GAL WATER HEATER TO MAKE ROOM FOR TANKLESS WATER HEATER PER PLAN.
- DEMOLISH (E) KITCHEN CABINETRY, COUNTERS, & SINK.

CONSTRUCT/INSTALL:

- CONVERT (E) SINGLE CAR GARAGE TO JUNIOR ADU.
- INSTALL (N) EXTERIOR INFILL STUD WALL IN PLACE OF (E) GARAGE DOOR. (N) STUCCO TO MATCH (E)
- INSTALL (N) PARTITION WALLS PER PLAN INCLUDING (N) PLUMBING WALL IN (N) BATHROOM.
- INSTALL (N) DOORS AND WINDOWS PER PLAN.
- INSTALL SMOKE DETECTORS, CO2 ALARMS, ELECTRICAL RECEPTACLE, LIGHTS, AND SWITCHES PER PLAN.
- INSTALL 6'x20' CONCRETE PATIO PAD PER PLAN.
- INSTALL (N) SIDING ON STREET-FACING EXTERIOR WALLS PER PLAN.
- REPLACE (E) DRIVEWAY CONCRETE (LIKE-FOR-LIKE).
- REPLACE (E) EXHAUST VENT ABOVE STOVE PER PLAN.
- REPLACE (E) ELEC PANEL, METER, & ELECTRICAL WEATHERHEAD PER PLAN
- INSTALL (N) TANKLESS WATER HEATER PER PLAN.
- INSTALL (N) KITCHEN CABINETRY, COUNTERS, & SINK PER PLAN.
- REPLACE (E) SINK, TOILET, AND LIGHT FIXTURE IN (E) BATHROOM.
- REPLACE (E) GAS MAIN LINE W/ 1" DIA. LINE.
- INSTALL 1.5" DIA. WATER LINES TO KITCHEN SINK
- INSTALL (N) ELEC & GAS SERVICE FOR LAUNDRY ROOM
- INSTALL (N) GAS SERVICE FOR (N) STOVE
- INSTALL IRRIGATION PLUMBING & CHANGEOUTS IN (E) RESIDENCE.
- VERIFY CEILING JOIST LOCATION AND CONNECTION TO (E) CEILING BEAM PER PLAN.



VICINITY MAP
SCALE: N.T.S.

PROJECT STATUS

APPROVED FOR
B.P. SUBMITTAL

PROFESSIONAL SEAL

REGISTERED PROFESSIONAL
ENGINEER
STATE OF CALIFORNIA
CIVIL
C82726
EXP. 09/30/26

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WRITTEN CONSENT OF AFFINITY DESIGN GROUP.

DESIGNED FOR:

THE WORTH FAMILY

DESIGNED BY:

AFFINITY DESIGN GROUP
ARCHITECTURE & ENGINEERING

PROJECT NAME:

WORTH RESIDENCE
EXISTING SINGLE FAMILY RESIDENCE
JADU & SFR REMODEL PROJECT

PROJECT ADDRESS:

JADU: 1561 2ND STREET
MAIN RESIDENCE: 201 N. HERRIN STREET
MANHATTAN BEACH, CA 90266
LOS ANGELES COUNTY

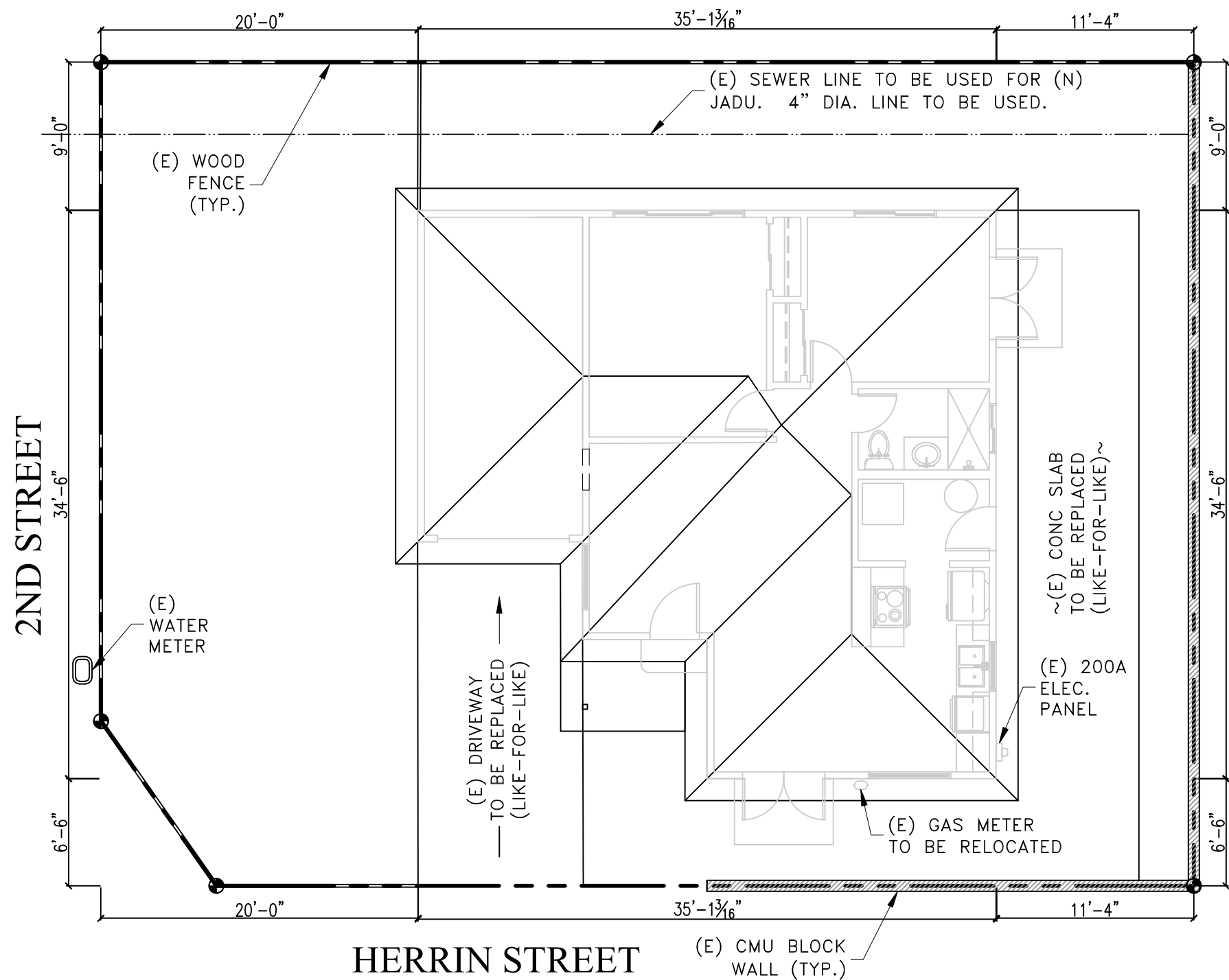
SHEET TITLE:

TITLE SHEET

| REV | DESCRIPTION | DATE | BY | C |
|------------------|--------------------------------------|---------------|-----|-----|
| 0 | GARAGE-TO-JADU CONSTRUCTION DRAWINGS | 12/7/24 | FDN | FDN |
| 1 | REVISED PER COMMENTS | 1/28/25 | FDN | FDN |
| 2 | REVISED PER COMMENTS | 2/25/25 | FDN | FDN |
| 3 | REVISED PER COMMENTS | 8/1/25 | FDN | FDN |
| SAVE DATE: | | SHEET NUMBER: | | |
| 8/1/2025 7:05 AM | | T1 | | |

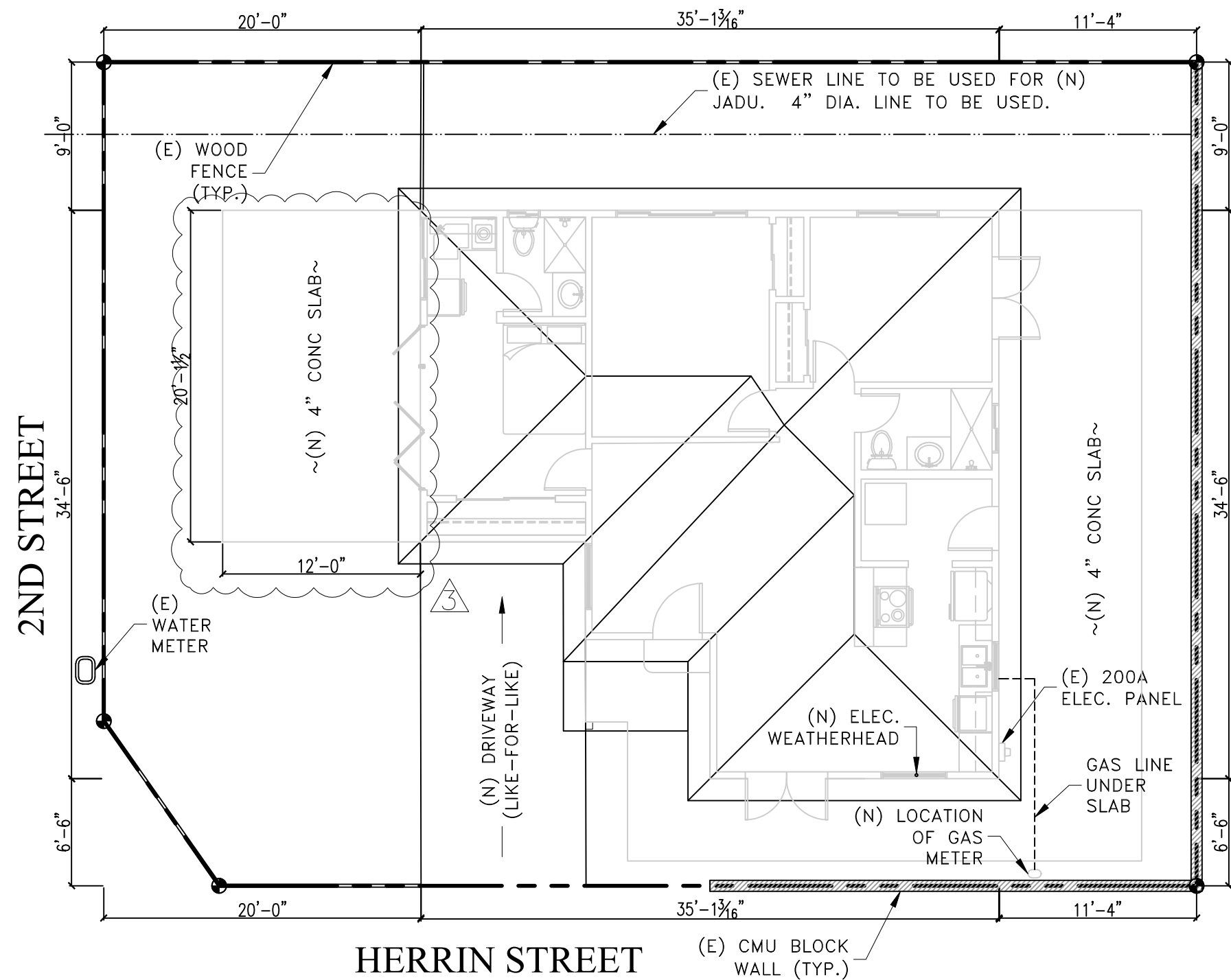
GENERAL SITE PLAN NOTES:

1. INFORMATION SHOWN BELOW FOR DEPICTION PURPOSES ONLY. ALL DATA GATHERED FROM PUBLIC RECORDS, AERIAL IMAGES, AND SITE VISITS. INFORMATION DOES NOT CONSTITUTE A LEGAL BOUNDARY SURVEY AND SHOULD NOT BE USED FOR SURVEYING OR OTHER RELATED PURPOSES.
2. SITE PLAN DATA AS SHOWN IS BASED UPON A LIMITED SITE MAPPING OF THE SURROUNDING AREA AND ARCHIVED APPRAISAL DOCUMENTS. DATA AS SHOWN IS FOR REFERENCE ONLY. CONFIRMATION AND PROOF OF PROPERTY AREA AND/OR EASEMENTS IS BEYOND THE SCOPE OF THIS PROJECT.
3. ALL GRADE SLOPES SHALL BE AT LEAST 5% WITHIN 10 FEET OF THE RESIDENCE AND 2% OTHERWISE. ALL SLOPES TO BE AWAY FROM THE RESIDENCE TO OBTAIN ADEQUATE DRAINAGE REQUIREMENTS.
4. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED, OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.



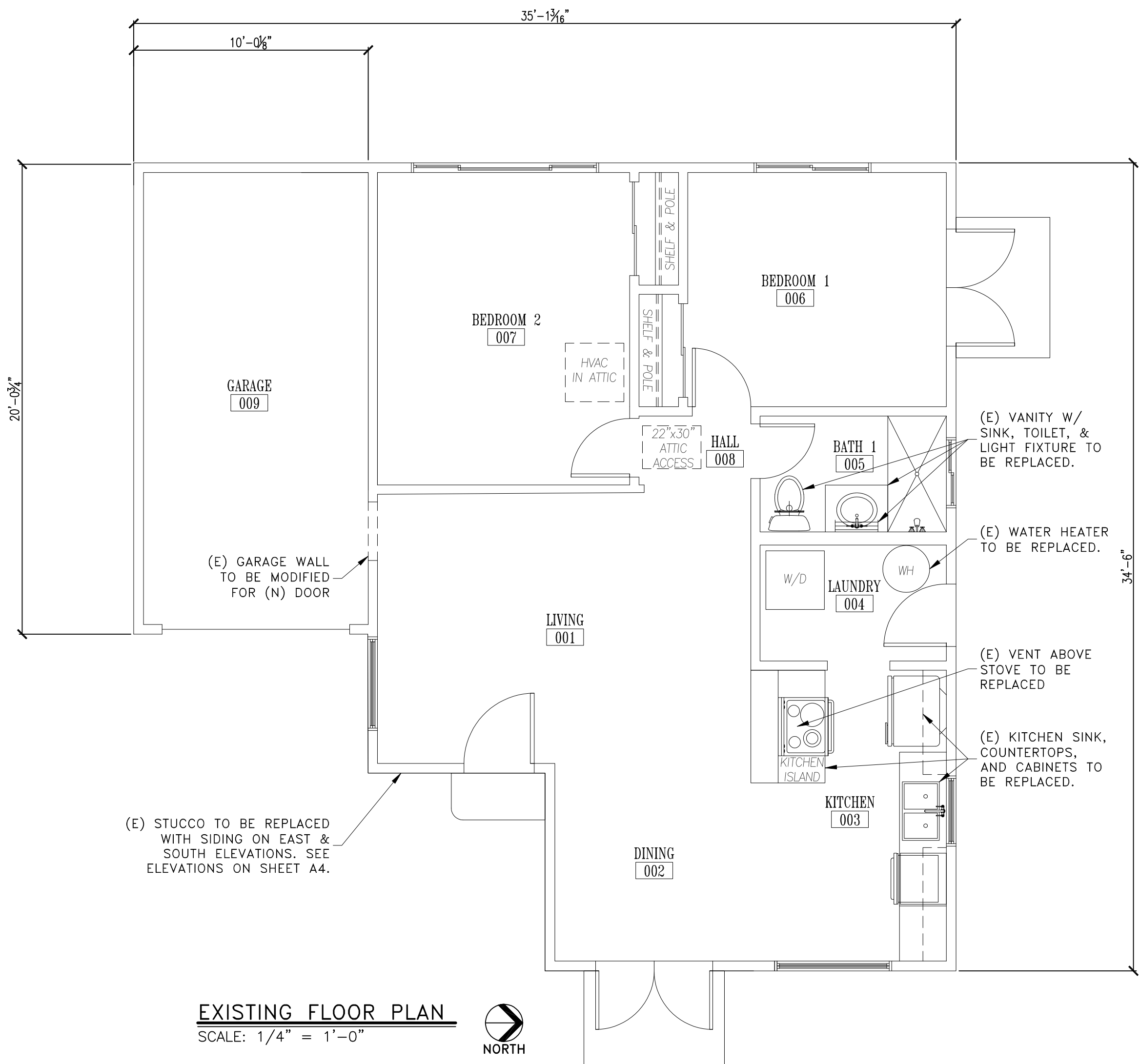
EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



PROPOSED SITE PLAN

SCALE: 1/8" = 1'-0"



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



DOOR NOTES:

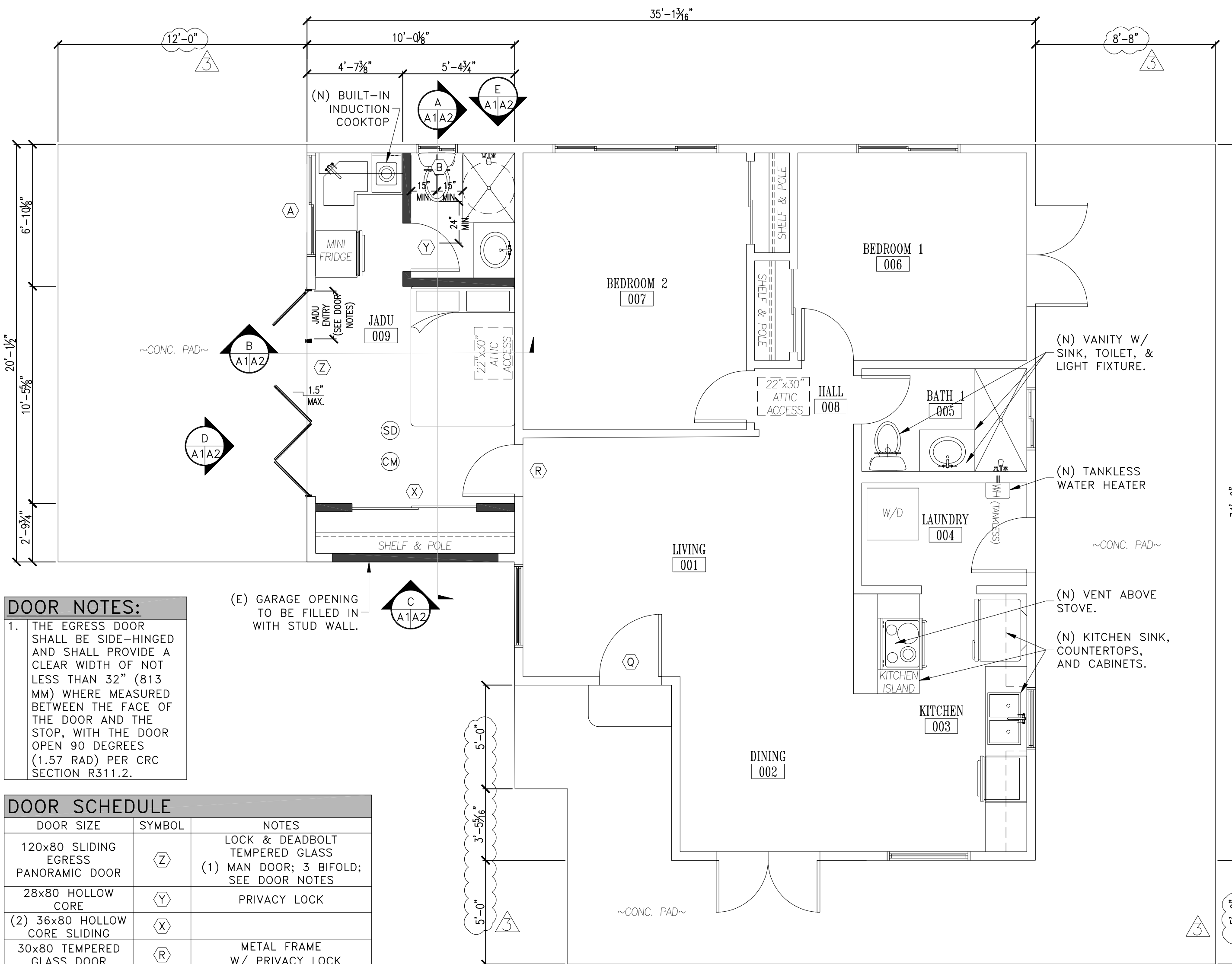
1. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32" (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD) PER CRC SECTION R311.2.

DOOR SCHEDULE

| DOOR SIZE | SYMBOL | NOTES |
|-------------------------------|--------|------------------------------------|
| 120x80 SLIDING EGRESS | (Z) | LOCK & DEADBOLT TEMPERED GLASS |
| PANORAMIC DOOR | (1) | MAN DOOR; 3 BIFOLD; SEE DOOR NOTES |
| 28x80 HOLLOW CORE | (Y) | PRIVACY LOCK |
| (2) 36x80 HOLLOW CORE SLIDING | (X) | |
| 30x80 TEMPERED GLASS DOOR | (R) | METAL FRAME W/ PRIVACY LOCK |
| 36x80 SOLID CORE DUTCH DOOR | (Q) | LOCK & DEADBOLT |

WINDOW SCHEDULE

| WINDOW SIZE | SYMBOL | NOTES | U-FACTOR | SHGC |
|--------------|--------|----------|----------|------|
| 60x36 SLDR | (A) | TEMPERED | 0.3 | 0.23 |
| 24" SQ. SLDR | (B) | TEMPERED | 0.3 | 0.23 |



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROJECT STATUS: **APPROVED FOR B.P. SUBMITTAL**

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DESIGNED FOR: **THE WORTH FAMILY**

DESIGNED BY: **AFFINITY DESIGN GROUP ARCHITECTURE & ENGINEERING**

PROJECT NAME: **WORTH RESIDENCE EXISTING SINGLE FAMILY RESIDENCE JADU & SFR REMODEL PROJECT**

PROJECT ADDRESS: **JADU: 1561 2ND STREET MAIN RESIDENCE: 201 N. HERRIN STREET MANHATTAN BEACH, CA 90266 LOS ANGELES COUNTY**

SHEET TITLE: **SITE PLAN AND FLOOR PLANS**

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|--------------------------------------|---------|-----|-----|
| 0 | GARAGE-TO-JADU CONSTRUCTION DRAWINGS | 12/7/24 | FDN | DGD |
| 1 | REVISED PER COMMENTS | 1/28/25 | FDN | DGD |
| 2 | REVISED PER COMMENTS | 2/25/25 | FDN | DGD |
| 3 | REVISED PER COMMENTS | 8/1/25 | FDN | DGD |

SAVE DATE: 8/1/2025 7:05 AM SHEET NUMBER: **A1**

Kitchen Remodel Code Requirements:

- Plumbing Fixture** - Kitchen Faucets maximum Flow rate = 1.8 gallons per minute at 60 psi.
- Energy and Electrical Requirements**
 - A receptacle for future electric cooking appliance is required, due to mandatory electrification requirement for future electric range. (CEC 160.9(b))
 - Counters 12 inches or larger require outlets. Outlets shall be located so that no point along wall and counter space line is more than 24" from a receptacle.
 - GFCI-AFCI receptacle dual protection required in kitchens where the receptacles serve the countertop surfaces or are located within 5' of a sink or other source of water/moisture. All other new outlets shall be AFCI protected. (CEC 210.12)
 - Peninsula counters 24 inches or longer require minimum one receptacle at the end.
 - Appliances and sinks that create two separate counter tops by reducing the counter width to less than twelve inches behind the appliance or sink shall be considered as separate counter tops for placement receptacle outlets.
 - Electrical outlet requirements include islands, peninsulas, kitchen desktops, wet bars, and serving bars. A large window across the front of a sink does not exempt the countertop from the outlet

- requirements. These outlets may be in a drop front cabinet face or water tight tombstone-type receptacle. GFCI & AFCI protected type.
- Two 20-amp small appliance circuits are required for kitchens. Circuits shall be balanced. All small appliance receptacles shall be both arc-fault and ground fault current interrupter (GFCI-AFCI) protected, tamper proof, and shall be located a maximum of 24 inches to the left and right face of the kitchen sink or counter top appliance.
 - Individual dedicated 20-amp circuits, AFCI protected, are required for all major appliances.
 - 220V Range/cook tops require separate circuits. (If gas, 110V outlet for igniters may be tied to a convenience outlet circuit).
 - Lighting shall comply with the 2022 California Energy Code. Dimming control is required. (150.0(k), CEnC). All luminaries in kitchens shall be high efficacy light fixtures, including (LED) or contain JA8 lamps per code.
 - ICC-rated cans are required for recessed lighting installed in an insulated ceiling.
 - All recessed can type light fixtures shall have a pin base, high efficacy type. Incandescent screw-type base are not approved.
 - Under cabinet lighting shall be switched separately from other lighting.
 - All hot water pipes to kitchen fixtures shall be insulated.
 - 36 inch clearance required around island and counters.
 - Receptacle outlets serving counter and located below the upper cabinets shall not exceed 20" above the counter top.
- Mechanical and Plumbing**
 - Kitchen exhaust fan shall be listed, Energy star type, and ducted directly to the outside with a minimum ventilation rate of 110 cfm, maximum 3 sones noise and terminate a minimum of 3' from any openable window or door or intake. (150.0(G) CEnC)
 - Dishwasher air-gap required above sink flood rim [CPC 807.3]
 - Special venting is required for island venting (CPC 909)
 - Provide installation instruction for all listed equipment to field inspector at time of inspection [CMC 303.1]
Installations shall be per manufacturer instructions. New equipment, appliances, and fixtures shall be UL listed and EnergyStar.
- SB407 Requirements** - All existing non-compliant plumbing fixtures for all residential buildings built and available for use on or before January 1, 1994 must be replaced with water conserving plumbing fixtures. (Compliant Tank-type toilets 1.28 gallons/flush, kitchen faucets 1.8_{gpm}, lavatory faucets 1.2_{gpm} at 60_{psi}, showerhead(s) 1.8_{gpm}, at 80_{psi}) [CGBSC 4.303.1]
- Construction waste management, Recycling and/or salvage** for reuse a minimum of 65% of nonhazardous construction and demolition waste required. [CGBSC 4.408.1]
- Smoke and Carbon Monoxide Alarms** - Kitchen renovations will require smoke and carbon monoxide detectors in conformance with the CRC Section R314 & R315. UL listed Smoke detectors are required in each sleeping room, outside of each sleeping area in the immediate vicinity of the bedrooms, and on each story. Smoke detectors shall be installed a maximum of 12 inches vertically down from the highest point of the ceiling and a minimum of 3 feet horizontally from a supply register or the tip of a ceiling fan blade. UL listed Carbon Monoxide detectors are required on each level and outside of the sleeping rooms and inside every room that contains gas appliances. Detectors shall be hardwired, with battery backup and interconnected. Exception: detectors can be battery operated with 10-year life batteries in existing construction if their installation requires the removal of wall or ceiling coverings.

ELECTRICAL NOTES:

- MANDATORY ELECTRICAL RECEPTACLES FOR REFRIGERATOR, DISHWASHER, WASHER/DRYER, WATER HEATERS, OVENS, ETC. ARE NOT SHOWN FOR CLARITY. THESE RECEPTACLES SHALL BE COVERED UNDER THE CONTRACTORS' MEAN & METHODS AND BE INSTALLED IN ACCORDANCE WITH CURRENT 2019 CALIFORNIA ELECTRICAL CODE.
- ALL LIGHTS IN HABITABLE SPACES SHALL BE OPERABLE PER DIMMER SWITCH.
- ALL LUMINARIES SHALL BE HIGH EFFICACY (SECT. 150.0(K)1A)
- ALL 120-V BRANCH CIRCUITS SUPPLYING OUTLETS IN LAUNDRY ROOM, CLOSETS, HALLWAYS, KITCHEN, BEDROOMS AND OTHER HABITABLE ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PER SECT. 210.12(A).
- ALL RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE SPACED AT 12 FEET ON CENTER MAXIMUM AND SHALL BE LOCATED WITHIN 6 FEET OF WALL ENDS, DOOR OPENINGS, AND AT EVERY 2 FEET OR WIDER WALL – PER CEC SECT. 210.52(A).
- ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE PER CEC SECTION 406.12(A)
- BATHROOM RECEPTACLES SHALL BE SERVED BY A DEDICATED 20-AMP CIRCUIT (CEC SECTION 210.11(C)3).
- ALL LIGHTING TO BE HIGH EFFICACY LED LIGHTING.

Bathroom Remodel Code Requirements:

- Indoor Water Use** – Plumbing fixtures must be water conserving: water closets max 1.28 gallons/flush, showerhead(s) 1.8_{gpm}, multiple showerheads serving one shower- combined flow rate of 1.8 gpm, lavatory faucets 1.2 gpm) [CGBSC 4.303]
- Electrical Requirements**
 - A minimum of one 20-amp circuit is required for bathrooms. This circuit shall not contain other outlets, except, where the 20-amp circuit supplies a single bathroom. Outlets for other equipment within the same bathroom shall be permitted to be supplied in accordance with CEC 210.23(A)(1) and (A)(2).
 - At least one electrical outlet shall be installed within 36" of the outside edge of each bathroom sink basin and be located on the wall adjacent to the sink, on the countertop or installed on the side or face of the basin cabinet not more than 12" below the countertop. Outlets shall be GFCI-AFCI as required per CEC 210.12 (A)(D).
- Mechanical Requirements**
 - Back draft dampers are required on bathroom ventilation fans. Ventilation fans must vent through an approved duct and shall terminate 3' from an opening or property line.
 - Each bathroom that contains a bathtub, shower, or similar source of moisture shall have an exhaust fan with humidity control and ducted to the outside with a minimum ventilation rate of 50 cfm. The ducting shall be sized according to ASHRAE Standard 62.2 Table 7.1. Fans shall be switched separately from lighting.
 - No electrical fixtures located within a zone measured 3' horizontally and 8' vertically from the top of the bathtub rim or shower dam.
 - Recessed lighting at a bathtub shall be suitable for damp locations. When located in showers it shall be suitable for wet locations. A solid lens cover shall be provided.
- Lighting Requirements**
 - Bathroom lighting shall be high efficacy. A vacancy sensor shall control at least one luminaire.
 - Low efficacy lighting is not permitted. Refer to the 2022 CEnC, Section 110.9.
 - Recessed luminaires installed in an insulated ceiling shall be I.C. rated and A.T. shall be sealed and/or gasket between ceiling and housing.
- Plumbing/ Glazing Requirements**
 - Shower stalls shall be a minimum finished interior area of 1.024 square inches and encompass a 30" dia. circle. Shower doors shall swing out of the enclosure and have a minimum clear opening of 22". (CPC 408.6)
 - Shower stalls and bathtubs with showerheads installed, shall have walls finished with a non-absorbent surface for a minimum of 6' (72") above the floor. (CRC R307.2)
 - Water closets are required to be minimum 15" from center to wall; 24" clear in front of toilet.
 - Maximum three water closets on a 3" line.
 - Provide 12"x12" min. access to slip joint trap and whirlpool tub motor.
 - Showers and shower-tubs shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection.
 - Provide a removable panel for the whirlpool bathtub pump. The panel shall be large enough to access and remove the pump. The pigtail receptacle shall face the access door.
 - Any glazing that is within 5' of a shower, bathtub, or Hydro massage tub with the bottom edge of the glazing located less than 60" above the floor shall be safety glazing (i.e. tempered glass) (CRC R308.4.5)
 - Lavatories without overflow outlets shall have a strainer installed in lieu of a stopper.
 - Hot water piping shall be insulated.
- SB407 Requirements** - All existing non-compliant plumbing fixtures for all residential buildings built and available for use on or before January 1, 1994 must be replaced with water conserving plumbing fixtures. [CGBSC 4.303.1]
- Smoke and Carbon Monoxide Alarms** - Kitchen renovations will require smoke and carbon monoxide detectors in conformance with the CRC Section R314 & R315. Smoke detectors are required in each sleeping room, outside of each sleeping area in the immediate vicinity of the bedrooms, and on each story. Smoke detectors shall be installed a maximum of 12 inches vertically down from the highest point of the ceiling and a minimum of 3 feet horizontally from a supply register or the tip of a ceiling fan blade. Carbon Monoxide detectors are required on each level and outside of the sleeping rooms and inside every room that contains gas appliances. New detectors shall be hardwired, with battery backup and interconnected. Exception: detectors can be battery operated with 10-year life batteries in existing construction if their installation requires the removal of wall or ceiling coverings.

LEGEND OF SYMBOLS:

REFERENCE LETTER OR NUMBER

SECTION OR DETAIL

SCALE:

SHEET WHERE DRAWN

SHEET WHERE TAKEN

SECTION LETTER

SHEET WHERE DRAWN

SHEET WHERE TAKEN

DETAIL NUMBER

SHEET WHERE DRAWN

SHEET WHERE TAKEN

⊕ CENTERLINE

d PENNY

EXISTING WALL TO REMAIN

NEW 2x4 WALL (EXTERIOR)

NEW 2x4 WALL (INTERIOR)

DEMOLISHED WALL

(N) 1HR RATED SEPARATION WALL, 5/8" TYPE X GYP BOARD ON GARAGE SIDE W/ FIRE BACKING

~ APPROXIMATELY

SD SMOKE DETECTOR

CM CARBON MONOXIDE DETECTOR

S SINGLE-POLE SWITCH

S₃ THREE-WAY SWITCH

S₁ SINGLE-POLE SWITCH W/ VACANCY SENSOR (VAC)

S_{3V} THREE-WAY SWITCH W/ VACANCY SENSOR (VAC)

S_{1P} SINGLE-POLE SWITCH W/ DIMMER (DIM)

S_{3D} THREE-WAY SWITCH W/ DIMMER (DIM)

◇ EQUIPMENT OR FIXTURE NUMBER

○ KEYED NOTE

T.C. 1631.33 F.L. 1631.00 SPOT ELEVATION

TOP OF WALL 1639.00 CONTROL OR DATUM POINT

--- PROPERTY LINE

- - - - - EXISTING CONTOUR

- - - - - NEW CONTOUR

∅ ROUND/DIAMETER

GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE

ARC FAULT CIRCUIT INTERRUPTER RECEPTACLE

GROUND FAULT / ARC FAULT CIRCUIT INTERRUPTER COMBINATION RECEPTACLE

110V ELECTRICAL RECEPTACLE

220V ELECTRICAL RECEPTACLE

GROUND FAULT CIRCUIT INTERRUPTER/ WATER TIGHT/ TAMPER RESISTANT RECEPTACLE

FAN/LIGHT

EXHAUST FAN (50 CFM W HUMIDITY CONTROL)

CEILING MOUNTED LIGHT

RECESSED LIGHT

WALL MOUNTED LIGHT W/ MOTION SENSOR W/ INTEGRAL PHOTO CONTROL

SPOTLIGHT SINGLE HEAD

FLOURESCENT FIXTURE

ELECTRICAL SPECIFICATIONS:

- ELECTRICAL PANEL/SUBPANEL SHALL NOT BE INSTALLED IN REQUIRED SHEAR WALLS. REVISE THE LOCATION OF THE PANEL OR HAVE THE ENGINEER ADDRESS SHEAR TRANSFER, INCREASED LOADING AND EDGE REINFORCING AROUND THE OPENING IN THE WALL.
- THE CLEAR WORKING SPACE IN FRONT OF THE ELECTRICAL PANEL SHALL BE 30" WIDE BY 36" DEEP WITH A MINIMUM HEADROOM CLEARANCE OF 6'-6" OR THE HEIGHT OF THE EQUIPMENT, WHICHEVER IS GREATER. (CEC 110.26(A))
- FOR PROPOSED PATIO COVER ADDITIONS WHERE EXISTING MAIN SERVICE PANELS ARE BEING ROOFED OVER, COORDINATE WITH SOUTHERN CALIFORNIA EDISON ON THE MINIMUM CLEARANCE REQUIRED FROM THE NEW ROOF TO THE CENTERLINE OF LOAD ON THE OVERHEAD SERVICE DROPS; 66. PROVIDE 2 OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS TO SERVE ALL COUNTERTOP, WALL AND FLOOR RECEPTACLES IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS OF A DWELLING UNIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(1))
- PROVIDE 2 OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS TO SERVE ALL COUNTERTOP, WALL AND FLOOR RECEPTACLES IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS OF A DWELLING UNIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(1))
- PROVIDE AT LEAST ONE 20-AMPERE BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S). SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(2)) AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN AREAS DESIGNATED FOR THE INSTALLATION OF LAUNDRY EQUIPMENT. (CEC 210.52(F)) RECEPTACLES INSTALLED IN LAUNDRY AREAS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. (CEC 210.8(A)(10))
- PROVIDE AT LEAST ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT FOR RECEPTACLES IN DWELLING UNIT BATHROOMS. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(3))
- ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (CEC 210.12)
- RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET. RECEPTACLE OUTLETS ARE REQUIRED IN WALLS 2 FEET OR GREATER IN LENGTH. HALLWAYS OF 10 FEET OR MORE IN LENGTH SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET. (CEC 210.52(A) & 210.52(H))
- RECEPTACLES AT KITCHEN COUNTERS SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" MEASURED HORIZONTALLY FROM A RECEPTACLE OUTLET IN THAT SPACE. AT LEAST ONE RECEPTACLE SHALL BE INSTALLED AT EACH ISLAND COUNTERTOP SPACE. (CEC 210.52(C)) RECEPTACLES INSTALLED TO SERVE THE COUNTERTOP SURFACE SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. (CEC 210.8(A)(6))
- RECEPTACLES THAT SUPPLY DISHWASHERS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. (CEC 210.8(D))
- AT LEAST ONE RECEPTACLE OUTLET SHALL BE INSTALLED IN BATHROOMS WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN OR INSTALLED ON THE COUNTERTOP, ON THE SIDE OR FACE OF THE BASIN CABINET NOT MORE THAN 12" BELOW THE COUNTERTOP. (CEC 210.52(D)) RECEPTACLES INSTALLED WITHIN 6' OF THE OUTSIDE EDGE OF A SINK, BATHTUB OR SHOWER STALL SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. (CEC 210.8(A)(7) & 210.8(A)(9))
- AT LEAST ONE OUTDOOR RECEPTACLE OUTLET READILY ACCESSIBLE FROM GRADE AND NOT MORE THAN 6 1/2 FEET ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING. BALCONIES, DECKS AND PORCHES THAT ARE ATTACHED TO THE DWELLING SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET PROVIDED. (CEC 210.52(E)) RECEPTACLES INSTALLED OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION AND LISTED AS WEATHER RESISTANT WITH WEATHERPROOF ENCLOSURE. (CEC 210.8(A)(3) & 406.9(B)(1))
- AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHALL BE INSTALLED TO PROVIDE ILLUMINATION ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS. (CEC 210.70(A)(2))
- LOCATE SERVICE DISCONNECT(S) AT A READILY ACCESSIBLE LOCATION EITHER OUTSIDE OF BUILDING OR INSIDE NEAREST THE POINT OF ENTRANCE OF THE SERVICE CONDUCTORS. (CEC 230.70(A))
- MAXIMUM HEIGHT OF BREAKERS IN THE MAIN PANEL AND ANY SUBPANELS SHALL NOT EXCEED 6'-7" FROM FINISH FLOOR. (CEC 240.24)
- ALL GROUNDING ELECTRODES AS DESCRIBED IN CEC 250.52(A)(1) THROUGH CEC 250.52(A)(7) THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE ELECTRODES ARE AVAILABLE, ONE OR MORE OF THE GROUNDING ELECTRODES SPECIFIED IN CEC 250.52(A)(4) THROUGH CEC 250.52(A)(8) SHALL BE INSTALLED AND USED. (CEC 250.50)
- LUMINARIES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSION OF THE BATHTUB AND SHOWER TO A HEIGHT OF 8 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD MUST BE LISTED FOR DAMP LOCATIONS OR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. (CEC 410.10(D))
- ALL DWELLINGS MUST HAVE ONE EXTERIOR OUTLET AT THE FRONT AND BACK OF THE DWELLING; SHALL BE GFCI, WR TYPE, WP WITH A BUBBLE COVER. (CEC 210.52(E))
- GFCI OUTLETS ARE REQUIRED: FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES, DISHWASHERS, BATHROOMS, IN UNDER-FLOOR SPACES OR BELOW GRADE LEVEL, IN UNFINISHED BASEMENTS, CRAWL SPACE LIGHTING OUTLETS INCLUDING OUTLETS DEDICATED TO A SINGLE DEVICE OR GARAGE DOOR OPENER (CEC 210.8), THE KITCHEN AND LAUNDRY RECEPTACLE SHALL BE BOTH AFCI AND GFCI PROTECTED.
- ALL OUTLETS ARE TO BE AFCI.
- ALL RECEPTACLES REQUIRING GFCI SHALL BE A COMINATION OF ACFI, GFCI (CEC 210.52(E)(1)).
- ALL NEW RECEPTACLES IN BATHROOM WET AREAS OR OVER THE COUNTER SHALL BE A COMBINATION OF GFCI AND AFCI PER 2019 CODE REQUIREMENTS.
- MINIMUM LIGHTING IS REQUIRED FOR LANDING, STEPS, AND DECKS PER CODE, 1-FOOT CANDLE MIN. PROVIDE LIGHTING WITH MOTION SENSOR OR TIME SCHEDULE SWITCH PER CODE.
- OUTDOOR LIGHTING ATTACHED TO THE BUILDING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH AND BY A MOTION SENSOR WITH INTEGRAL PHOTO CONTROL (SECTION 150.0(K)3).

PROPOSED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

PROJECT STATUS

APPROVED FOR B.P. SUBMITTAL

DESIGNED FOR:

THE WORTH FAMILY

DESIGNED BY:

AFFINITY DESIGN GROUP
ARCHITECTURE & ENGINEERING

PROJECT NAME:

WORTH RESIDENCE
EXISTING SINGLE FAMILY RESIDENCE
JADU & SFR REMODEL PROJECT

PROJECT ADDRESS:

JADU: 1561 2ND STREET
MAIN RESIDENCE: 201 N. HERRIN STREET
MANHATTAN BEACH, CA 90266
LOS ANGELES COUNTY

SHEET TITLE:

ELECTRICAL PLAN &
CITY REMODEL NOTES

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|--------------------------------------|---------|-----|-----|
| 0 | GARAGE-TO-JADU CONSTRUCTION DRAWINGS | 12/7/24 | FDN | DGD |
| 1 | REVISED PER COMMENTS | 1/28/25 | FDN | DGD |
| 2 | REVISED PER COMMENTS | 2/25/25 | FDN | DGD |
| 3 | REVISED PER COMMENTS | 8/1/25 | FDN | DGD |

SAVE DATE:

8/1/2025 7:05 AM

SHEET NUMBER:

A3

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- FOR PROPOSED PATIO COVER ADDITIONS WHERE EXISTING MAIN SERVICE PANELS ARE BEING ROOFED OVER, COORDINATE WITH SOUTHERN CALIFORNIA EDISON ON THE MINIMUM CLEARANCE REQUIRED FROM THE NEW ROOF TO THE CENTERLINE OF LOAD ON THE OVERHEAD SERVICE DROPS. 66. PROVIDE 2 OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS TO SERVE ALL COUNTERTOP, WALL AND FLOOR RECEPTACLES IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS OF A DWELLING UNIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(1))
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- PROVIDE AT LEAST ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT FOR RECEPTACLES IN DWELLING UNIT BATHROOMS. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. (CEC 210.11(C)(3))
- ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC-FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (CEC 210.12)
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- AT LEAST ONE OUTDOOR RECEPTACLE OUTLET READILY ACCESSIBLE FROM GRADE AND NOT MORE THAN 6½ FEET ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING. BALCONIES, DECKS AND PORCHES THAT ARE ATTACHED TO THE DWELLING SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET PROVIDED. (CEC 210.52(E)) RECEPTACLES INSTALLED OUTDOORS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION AND LISTED AS WEATHER RESISTANT WITH WEATHERPROOF ENCLOSURE. (CEC 210.8(A)(3) & 406.9(B)(1))
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- LOCATE SERVICE DISCONNECT(S) AT A READILY ACCESSIBLE LOCATION EITHER OUTSIDE OF BUILDING OR INSIDE NEAREST THE POINT OF ENTRANCE OF THE SERVICE CONDUCTORS. (CEC 230.70(A))
- MAXIMUM HEIGHT OF BREAKERS IN THE MAIN PANEL AND ANY SUBPANELS SHALL NOT EXCEED 6'-7" FROM FINISH FLOOR. (CEC 240.24)
- ALL GROUNDING ELECTRODES AS DESCRIBED IN CEC 250.52(A)(1) THROUGH CEC 250.52(A)(7) THAT ARE PRESENT AT EACH BUILDING OR STRUCTURE SERVED SHALL BE BONDED TOGETHER TO FORM THE GROUNDING ELECTRODE SYSTEM. WHERE NONE OF THESE ELECTRODES ARE AVAILABLE, ONE OR MORE OF THE GROUNDING ELECTRODES SPECIFIED IN CEC 250.52(A)(4) THROUGH CEC 250.52(A)(8) SHALL BE INSTALLED AND USED. (CEC 250.50)
- LUMINARIES LOCATED WITHIN THE ACTUAL OUTSIDE DIMENSION OF THE BATHTUB AND SHOWER TO A HEIGHT OF 8 FEET VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER STALL THRESHOLD MUST BE LISTED FOR DAMP LOCATIONS OR WET LOCATIONS WHERE SUBJECT TO SHOWER SPRAY. (CEC 410.10(D))

VENTILATION NOTES:

- A NEW DWELLING UNIT SHALL HAVE A WHOLE BUILDING VENTILATION SYSTEM USING THE CENTRAL HVAC SYSTEM OR A DEDICATED EXHAUST FAN (SECTION 150.0(O)).
- FAN SWITCH SHALL BE LABELED TO DISPLAY THE FOLLOWING TEXT OR EQUIVALENT TEXT: 'THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE SWITCH IN THE 'ON' POSITION AT ALL TIMES UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR' - PER SECTION 150.0(O)(J).
- ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION AND SHALL BE GASKETED TO PREVENT AIR LEAKAGE - PER SECTION 150.0(A)(2).
- DUCTING AND EXHAUST TO BE CONNECTED TO NEW JADU.
- CONTINUOUS OPERATION IS PROHIBITED - THE CONTINUOUS OPERATION OF A SPACE CONDITIONING AIR HANDLER IS PROHIBITED IN PROVIDING WHOLE-DWELLING UNIT VENTILATION.
- OUTDOOR AIR DAMPER(S) - A MOTORIZED DAMPER MUST BE INSTALLED ON ANY VENTILATION DUCT THAT CONNECTS OUTDOOR AIR TO THE SPACE CONDITIONING DUCT SYSTEM AND MUST PREVENT AIRFLOW INTO OR OUT OF THE SPACE CONDITIONING DUCT SYSTEM WHEN THE DAMPER IS IN THE CLOSED POSITION.
- DAMPER CONTROL - THE OUTDOOR AIR DAMPER MUST BE CONTROLLED TO BE IN THE OPEN POSITION ONLY WHEN OUTDOOR AIR IS REQUIRED FOR WHOLE-DWELLING UNIT VENTILATION AND MUST BE IN THE CLOSED POSITION WHEN OUTDOOR AIR IS NOT REQUIRED. THE DAMPER MUST BE IN THE CLOSED POSITION WHEN THE AIR HANDLER IS NOT OPERATING. IF THE OUTDOOR AIRFLOW IS FAN-POWERED, THEN THE OUTDOOR AIR FAN MUST NOT OPERATE WHEN THE OUTDOOR AIR DAMPER IS IN THE CLOSED POSITION.
- VARIABLE VENTILATION CONTROL - CFI VENTILATION SYSTEMS MUST HAVE CONTROLS THAT TRACK OUTDOOR AIR VENTILATION RUN TIME, AND EITHER OPEN OR CLOSE THE MOTORIZED DAMPER DEPENDING ON WHETHER THE REQUIRED WHOLE-DWELLING UNIT VENTILATION AIRFLOW RATE IS BEING MET. DURING PERIODS WHEN SPACE CONDITIONING IS NOT CALLED FOR BY THE SPACE CONDITIONING THERMOSTAT, THE CONTROLS MUST OPERATE THE AIR HANDLER FAN AND THE OUTDOOR AIR DAMPER(S) WHEN NECESSARY TO ENSURE THE REQUIRED WHOLE-DWELLING UNIT VENTILATION AIRFLOW RATE IS MET. THIS CONTROL STRATEGY MUST BE IN ACCORDANCE WITH ASHRAE 62.2 SECTION 4.5 WHICH REQUIRES CONTROLS TO OPERATE THE FAN AT LEAST ONCE EVERY THREE HOURS, AND THE AVERAGE WHOLE-DWELLING UNIT VENTILATION AIRFLOW RATE OVER ANY 3-HOUR PERIOD MUST BE GREATER THAN OR EQUAL TO THE REQUIRED WHOLE-DWELLING UNIT VENTILATION AIRFLOW RATE.



ELECTRICAL NOTES:

- MANDATORY ELECTRICAL RECEPTACLES FOR REFRIGERATOR, DISHWASHER, WASHER/DRYER, WATER HEATERS, OVENS, ETC. ARE NOT SHOWN FOR CLARITY. THESE RECEPTACLES SHALL BE COVERED UNDER THE CONTRACTORS' MEAN & METHODS AND BE INSTALLED IN ACCORDANCE WITH CURRENT 2019 CALIFORNIA ELECTRICAL CODE.
- ALL LIGHTS IN HABITABLE SPACES SHALL BE OPERABLE PER DIMMER SWITCH.
- ALL LUMINARIES SHALL BE HIGH EFFICACY (SECT. 150.0(K)1A)
- ALL 120-V BRANCH CIRCUITS SUPPLYING OUTLETS IN LAUNDRY ROOM, CLOSETS, HALLWAYS, KITCHEN, BEDROOMS AND OTHER HABITABLE ROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PER SECT. 210.12(A).
- ALL RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE SPACED AT 12 FEET ON CENTER MAXIMUM AND SHALL BE LOCATED WITHIN 6 FEET OF WALL ENDS, DOOR OPENINGS, AND AT EVERY 2 FEET OR WIDER WALL - PER CEC SECT. 210.52(A).
- ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE PER CEC SECTION 406.12(A)
- BATHROOM RECEPTACLES SHALL BE SERVED BY A DEDICATED 20-AMP CIRCUIT (CEC SECTION 210.11(C)3).
- ALL LIGHTING TO BE HIGH EFFICIENCY LED LIGHTING.
- ALL NEW ELECTRICAL OUTLETS INSTALLED IN LOCATIONS DESCRIBED BY CEC SECTION 210.52, SHALL BE TAMPER RESISTANT PER CEC SECTION 406.11.

ADDITIONAL ELECTRICAL NOTES:

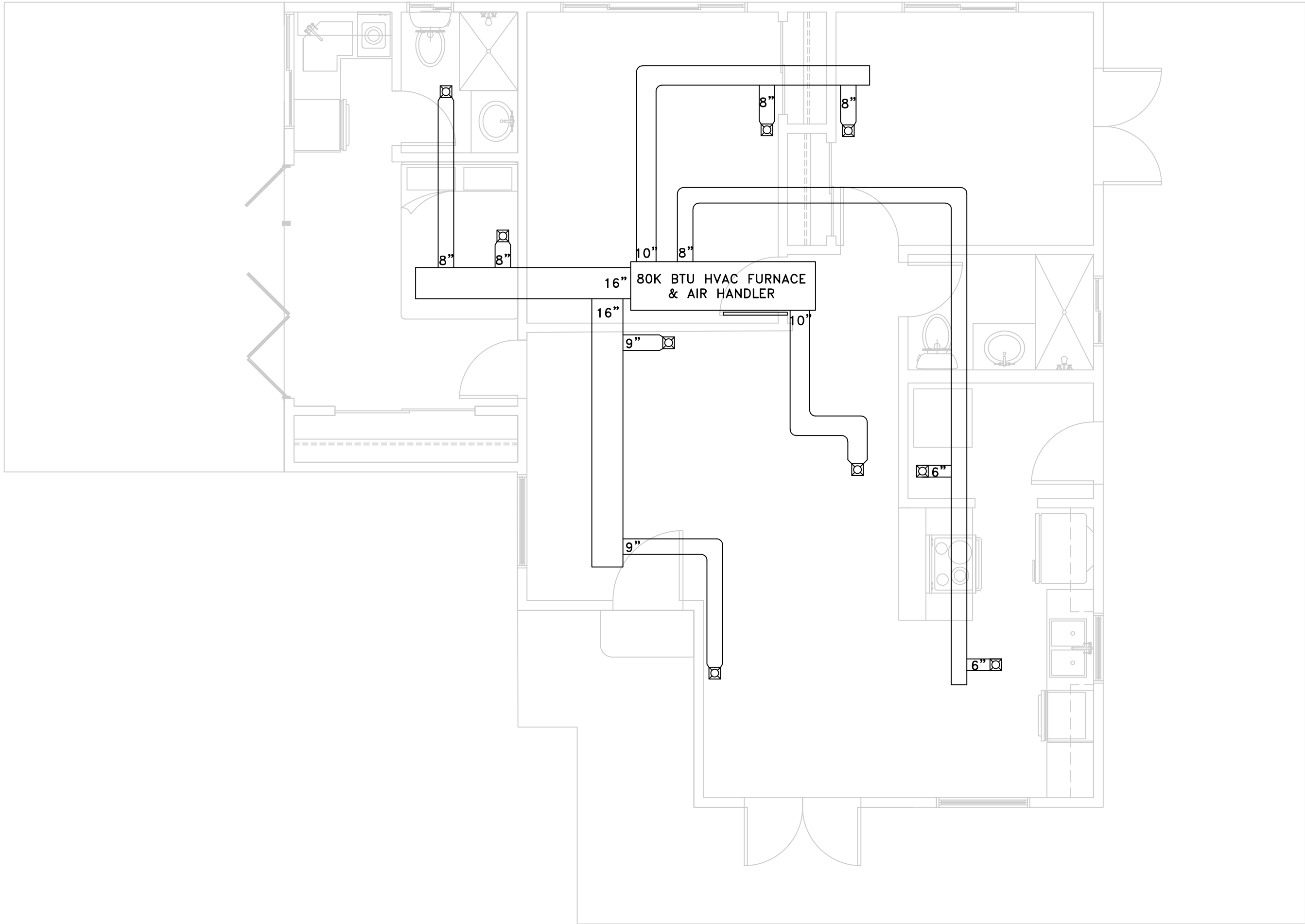
- NEW APPLIANCES SHALL BE UL LISTED ENERGY EFFICIENT PER CODE.
- PROVIDE 30" CLEARANCE WIDTH, 36" CLEARANCE IN FRONT, AND 6-1/2 FT. CLEAR FROM THE FLOOR TO THE TOP OF THE RELOCATED ELECTRICAL PANEL. IF RELOCATION IS OVER 3 FT, UL LISTING IS REQUIRED AND PROPER GROUNDING PER CODE (CEC 110.26(E)1,2,3).
- BUILDING SHALL HAVE ALL INTERIOR METAL PIPING BONDED TOGETHER AND MADE ELECTRICALLY CONTINUOUS TO STRUCTURE GROUNDING ELECTRODE. INTERIOR METAL WATER PIPING LOCATED MORE THAN 5 FEET SHALL NOT BE USED AS A PART OF GROUNDING ELECTRODE SYSTEM (CEC 250.52(A)1).

HVAC SYMBOLS:

-  WALL-MOUNTED AIR REGISTER
-  CEILING-MOUNTED AIR REGISTER

HVAC NOTES:

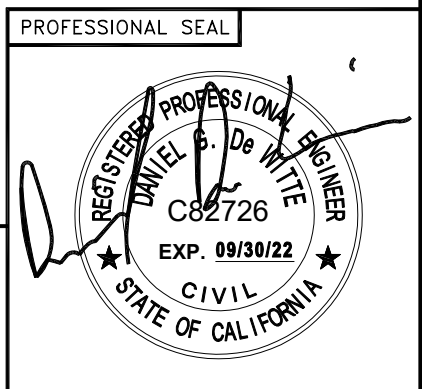
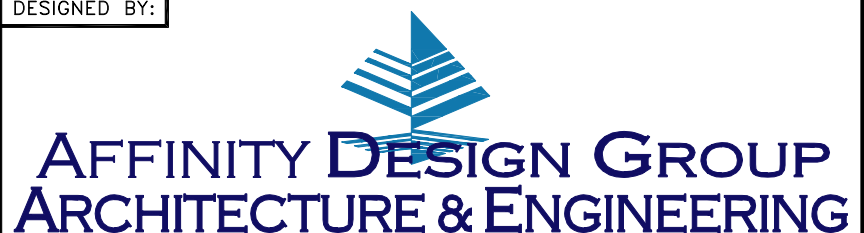
- CONTRACTOR SHALL FURNISH AND INSTALL ALL HVAC EQUIPMENT, DUCTWORK, GRILLES, REGISTERS, CONTROLS, REFRIGERANT PIPING, CONDENSATE DRAINS, AND ACCESSORIES REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM AS SHOWN ON THE DRAWINGS AND AS SPECIFIED
- ALL HVAC WORK SHALL COMPLY WITH THE LATEST ADOPTED EDITIONS OF:
 - CALIFORNIA MECHANICAL CODE (CMC)
 - CALIFORNIA ENERGY CONSERVATION CODE (CECC)
 - LOCAL BUILDING AND ENERGY CODES
 - MANUFACTURER'S INSTALLATION INSTRUCTIONS
- CONTRACTOR SHALL OBTAIN ALL NECESSARY MECHANICAL PERMITS AND ARRANGE FOR REQUIRED INSPECTIONS AND APPROVALS.
- HVAC CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES. VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO FABRICATION OR INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATION OF STRUCTURAL MEMBERS, CEILING HEIGHTS, AND OBSTRUCTIONS BEFORE INSTALLING EQUIPMENT AND DUCTWORK.
- ALL DUCTWORK SHALL BE SIZED AS SHOWN ON DRAWINGS OR PER MANUAL D (RESIDENTIAL).
- DUCTS SHALL BE FABRICATED AND INSTALLED PER SMACNA STANDARDS.
- ALL SUPPLY AND RETURN DUCTWORK SHALL BE SEALED AND INSULATED WITH A MINIMUM OF R-8 INSULATION IN UNCONDITIONED SPACES AND R-6 IN CONDITIONED SPACES.
- FLEX DUCT RUNS SHALL BE LIMITED TO 6 FEET UNLESS OTHERWISE NOTED.
- ALL HVAC EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE VIBRATION ISOLATORS FOR ALL EQUIPMENT AS REQUIRED.
- EQUIPMENT SHALL BE UL LISTED AND AHRI CERTIFIED.
- PROVIDE CONDENSATE DRAIN PIPING TO AN APPROVED DISCHARGE LOCATION.
- INSTALL SECONDARY DRAIN PAN OR OVERFLOW SHUTOFF SWITCH AT ALL UNITS LOCATED ABOVE FINISHED CEILINGS OR LIVING SPACES.
- PROVIDE PROPER COMBUSTION AIR FOR GAS APPLIANCES PER CODE.
- FLUE VENTING SHALL COMPLY WITH NFPA 54 AND MANUFACTURER'S REQUIREMENTS.
- PROVIDE PROGRAMMABLE THERMOSTATS WHERE REQUIRED. MOUNT THERMOSTATS AT 60" AFF (ABOVE FINISHED FLOOR) IN A CENTRAL LOCATION, AWAY FROM DIRECT SUNLIGHT OR SUPPLY/RETURN VENTS.
- CONTRACTOR SHALL TEST AND BALANCE THE HVAC SYSTEM TO ENSURE PROPER AIRFLOW AT ALL REGISTERS. PROVIDE AIR BALANCING REPORT TO THE ARCHITECT/OWNER UPON COMPLETION.
- Provide and install fire and smoke dampers as required by code at rated wall or floor penetrations.
- PROVIDE AND INSTALL FIRE AND SMOKE DAMPERS AS REQUIRED BY CODE AT RATED WALL OR FLOOR PENETRATIONS. DAMPERS MUST BE ACCESSIBLE FOR INSPECTION AND SERVICE.
- PROVIDE MECHANICAL VENTILATION PER ASHRAE 62.2 OR 62.1 AS APPLICABLE. ALL INTAKE AND EXHAUST OPENINGS MUST BE COVERED WITH CORROSION-RESISTANT SCREENS.
- ALL WALL, FLOOR, OR ROOF PENETRATIONS MUST BE SEALED WATERTIGHT AND FIRESTOPPED AS REQUIRED.
- ALL EQUIPMENT, DUCTWORK, DAMPERS, AND ACCESS PANELS SHALL BE CLEARLY LABELED. DUCTS ABOVE ACCESSIBLE CEILINGS SHALL BE IDENTIFIED PER CODE.
- HVAC CONTRACTOR SHALL PROVIDE A MINIMUM ONE-YEAR WARRANTY ON LABOR AND INSTALLATION. EQUIPMENT SHALL CARRY THE MANUFACTURER'S STANDARD WARRANTY.

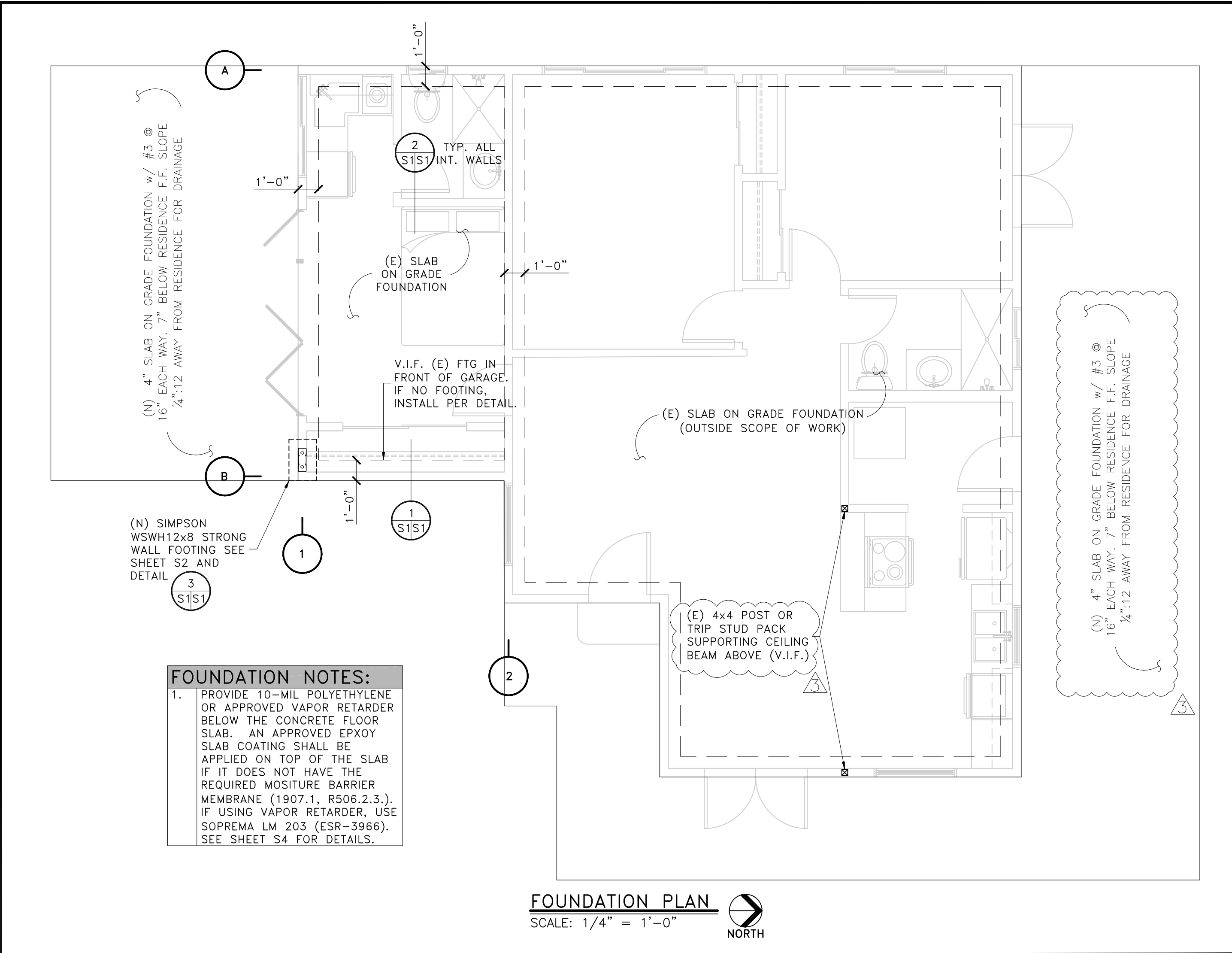


HVAC PLAN

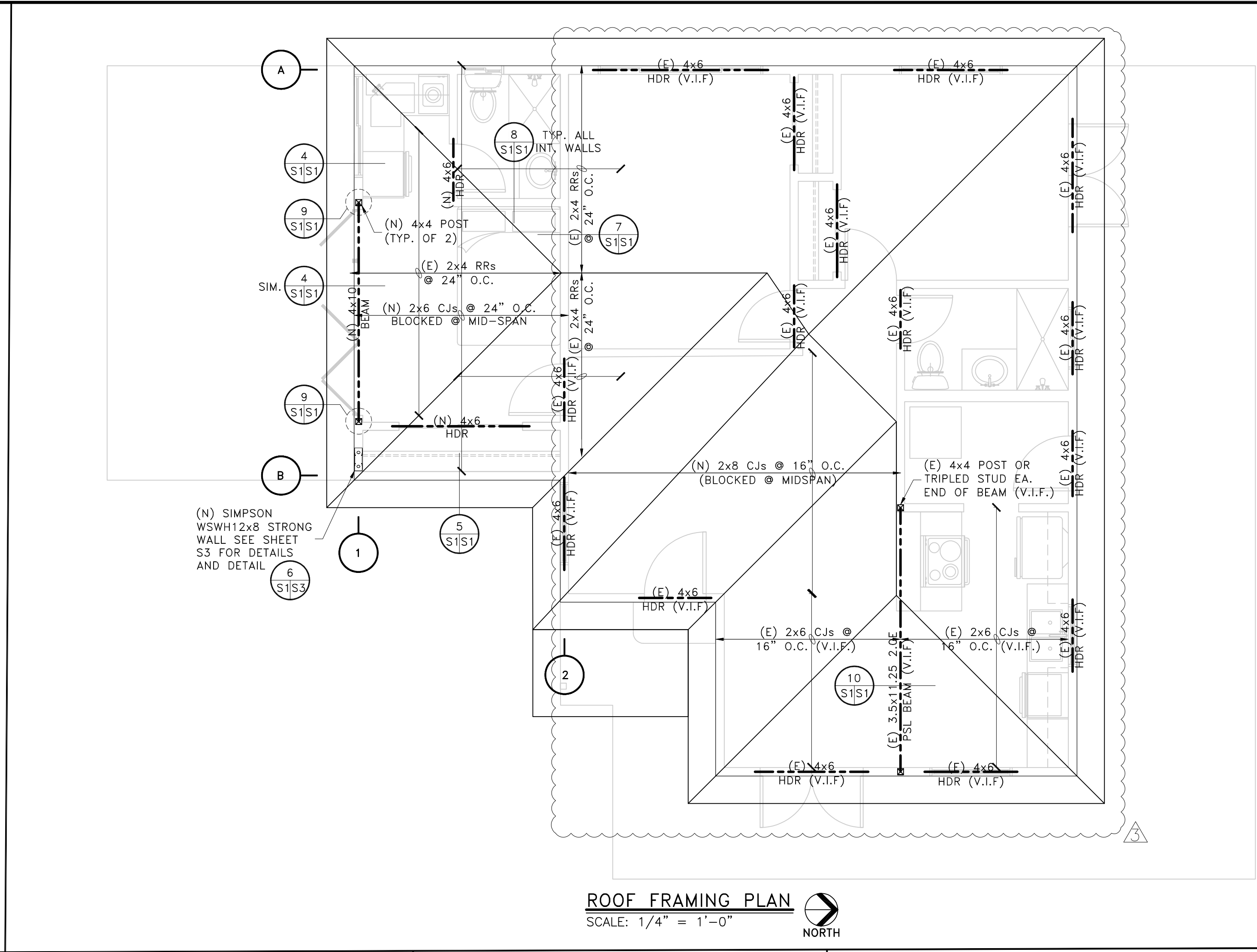
SCALE: 1/4" = 1'-0"



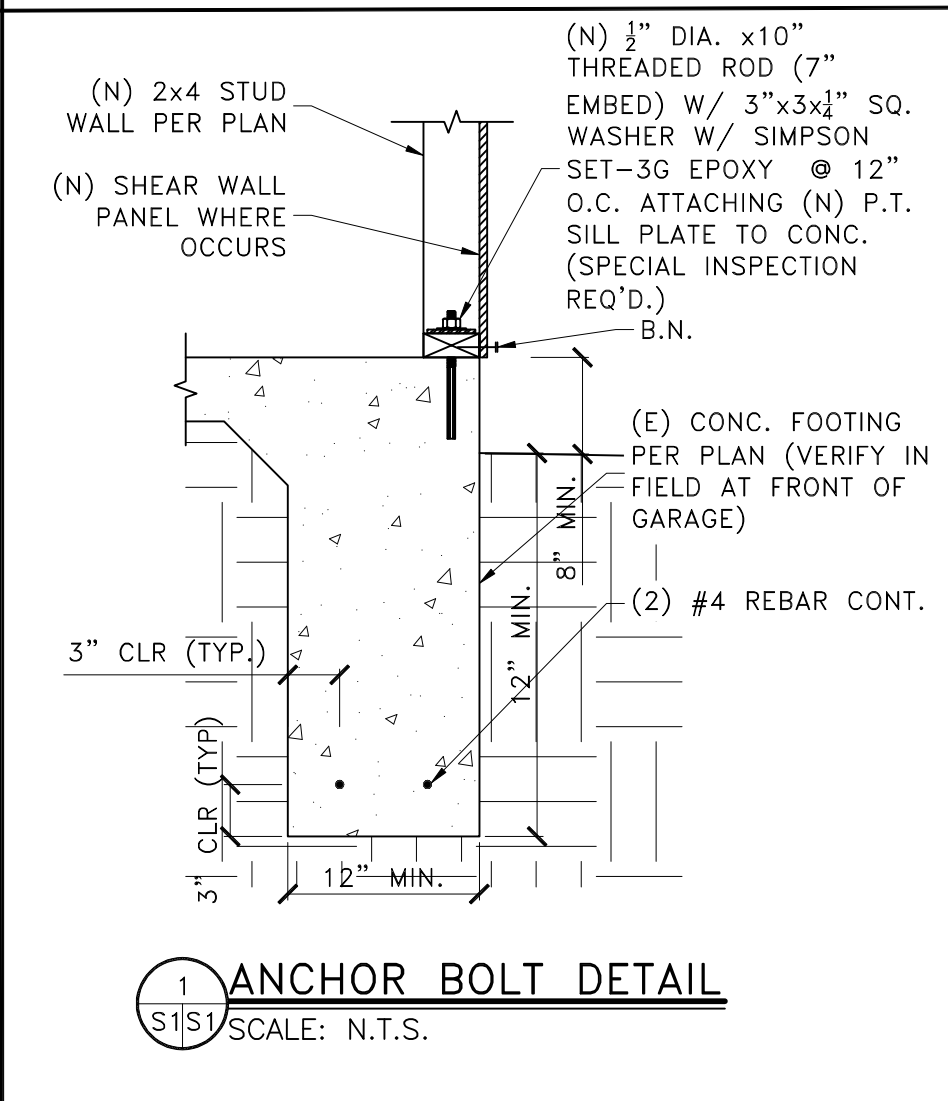
| | | | | |
|--|---|---|-----|-----|
| PROJECT STATUS | | PROFESSIONAL SEAL | | |
| APPROVED FOR B.P. SUBMITTAL | |  | | |
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| DESIGNED FOR: | | | | |
| THE WORTH FAMILY | | | | |
| DESIGNED BY: | | | | |
|  | | | | |
| PROJECT NAME: | | | | |
| WORTH RESIDENCE EXISTING SINGLE FAMILY RESIDENCE JADU & SFR REMODEL PROJECT | | | | |
| PROJECT ADDRESS: | | | | |
| JADU: 1561 2ND STREET MANHATTAN BEACH, CA 90266 LOS ANGELES COUNTY | | | | |
| SHEET TITLE: | | | | |
| HVAC PLAN | | | | |
| REV | DESCRIPTION | DATE | BY | CHK |
| 0 | SFR ROOM ADDITION CONSTRUCTION DRAWINGS | 2/1/22 | DWV | DGD |
| 0 | PER COMMENTS | 8/1/25 | FDN | DGD |
| SAVE DATE: | | SHEET NUMBER: | | |
| 8/1/2025 7:05 AM | | | | M1 |



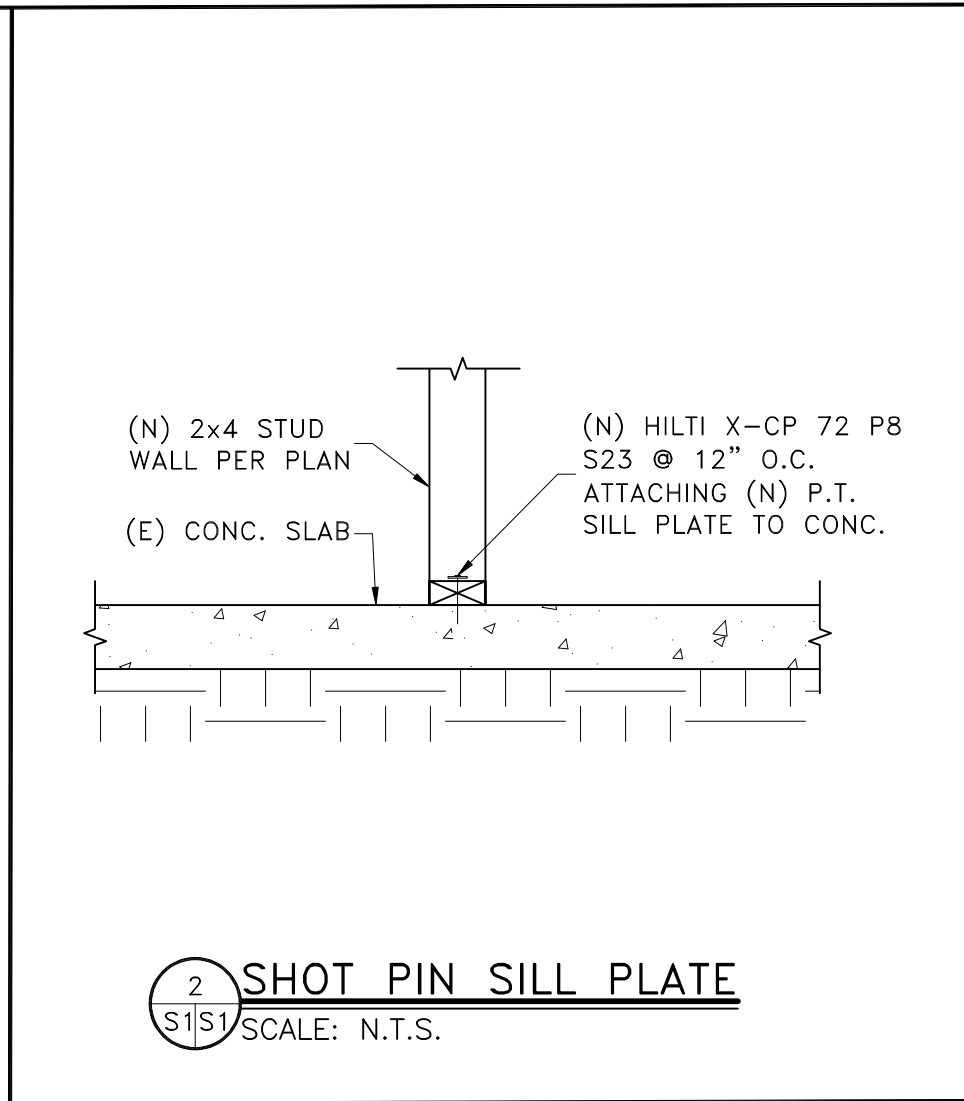
FOUNDATION PLAN
SCALE: 1/4" = 1'-0" NORTH



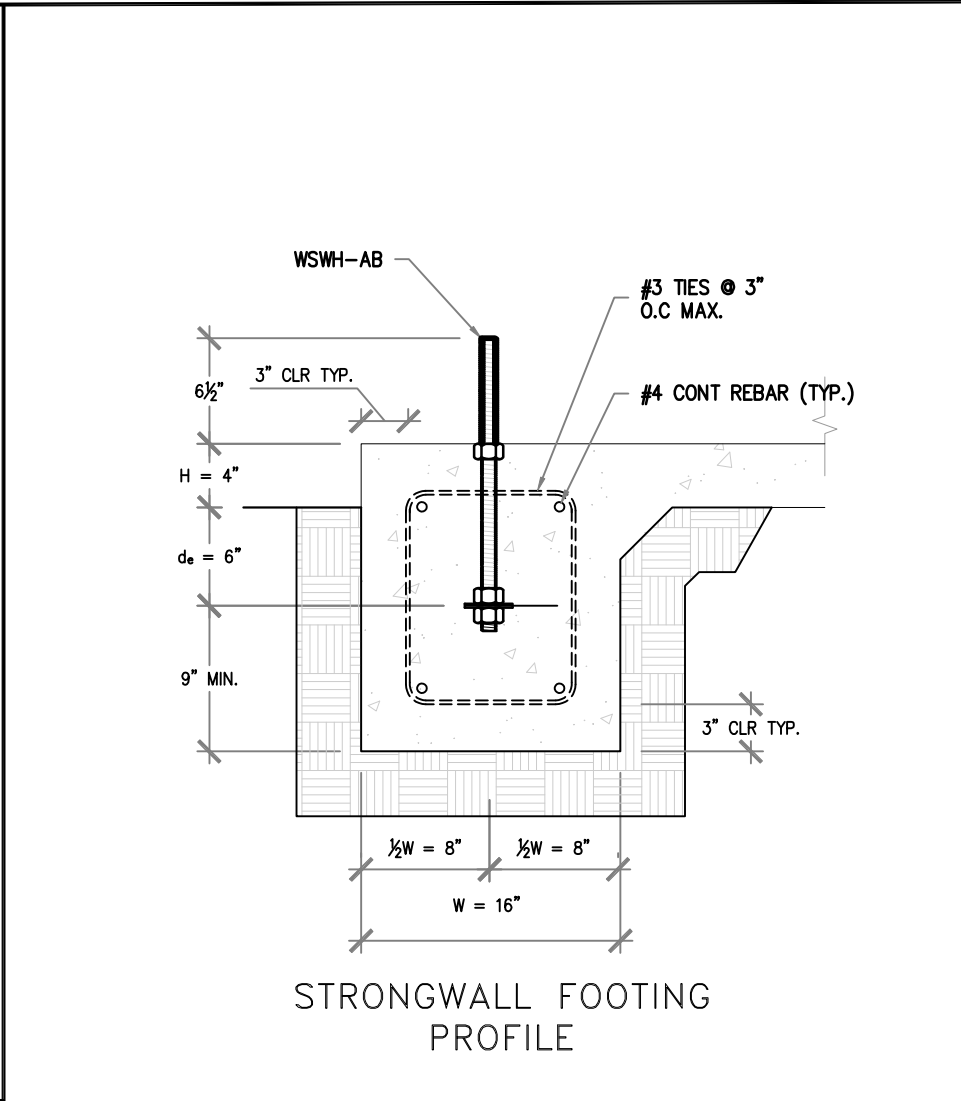
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0" NORTH



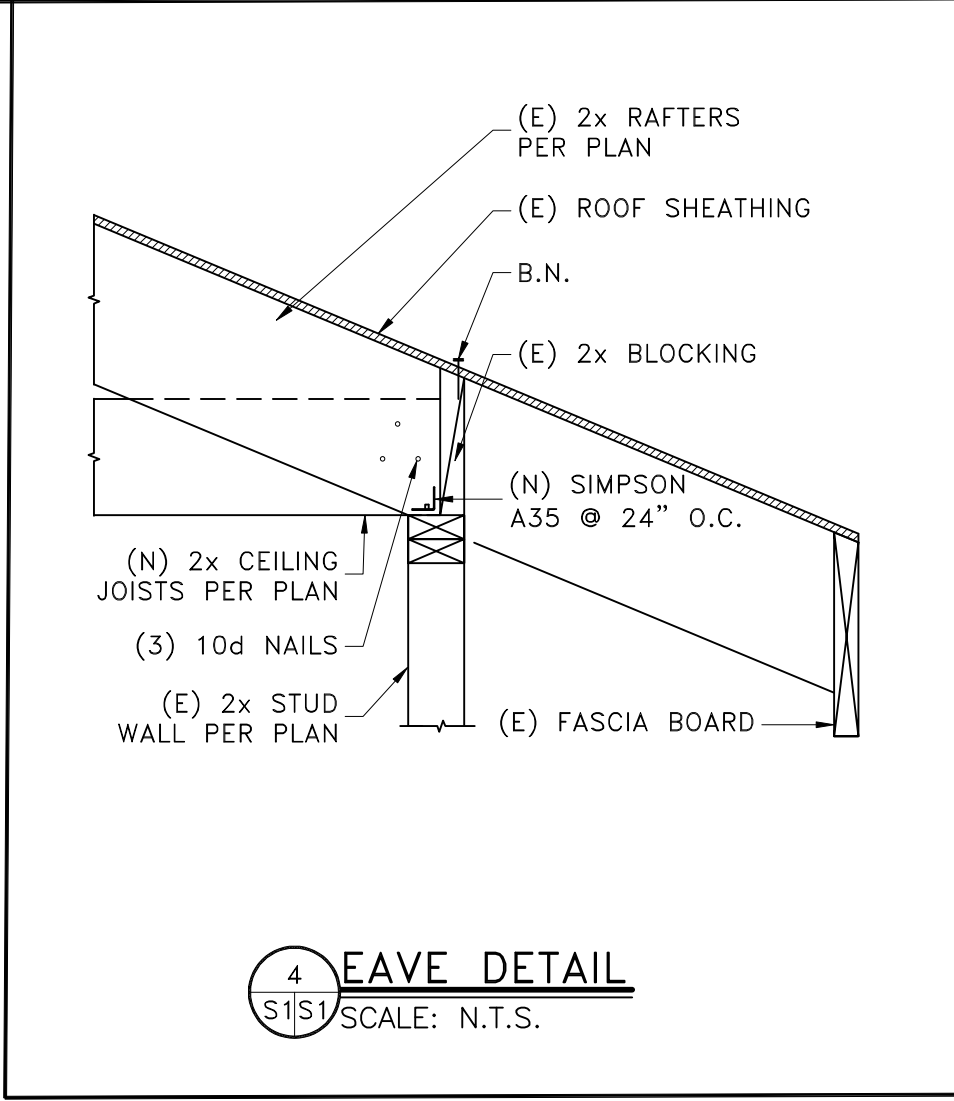
1 ANCHOR BOLT DETAIL
SCALE: N.T.S.



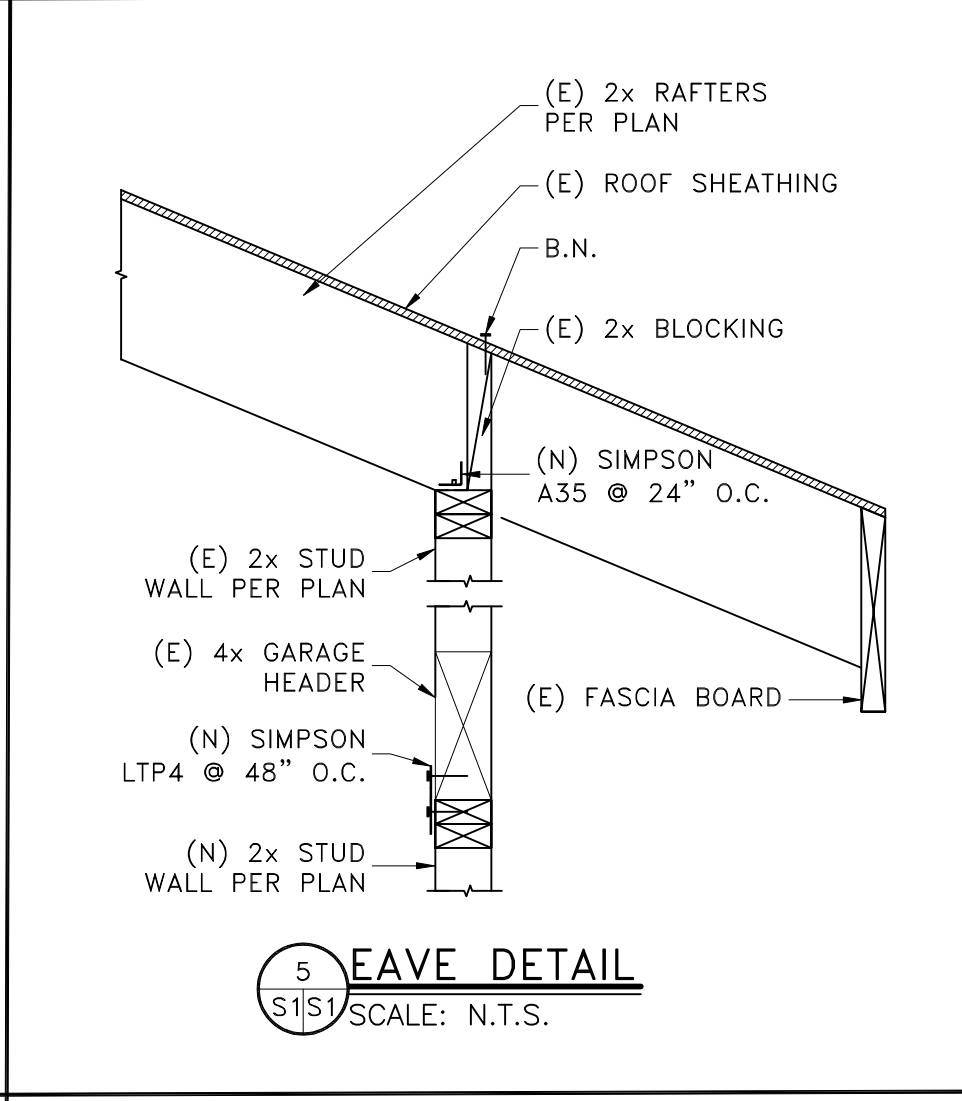
2 SHOT PIN SILL PLATE
SCALE: N.T.S.



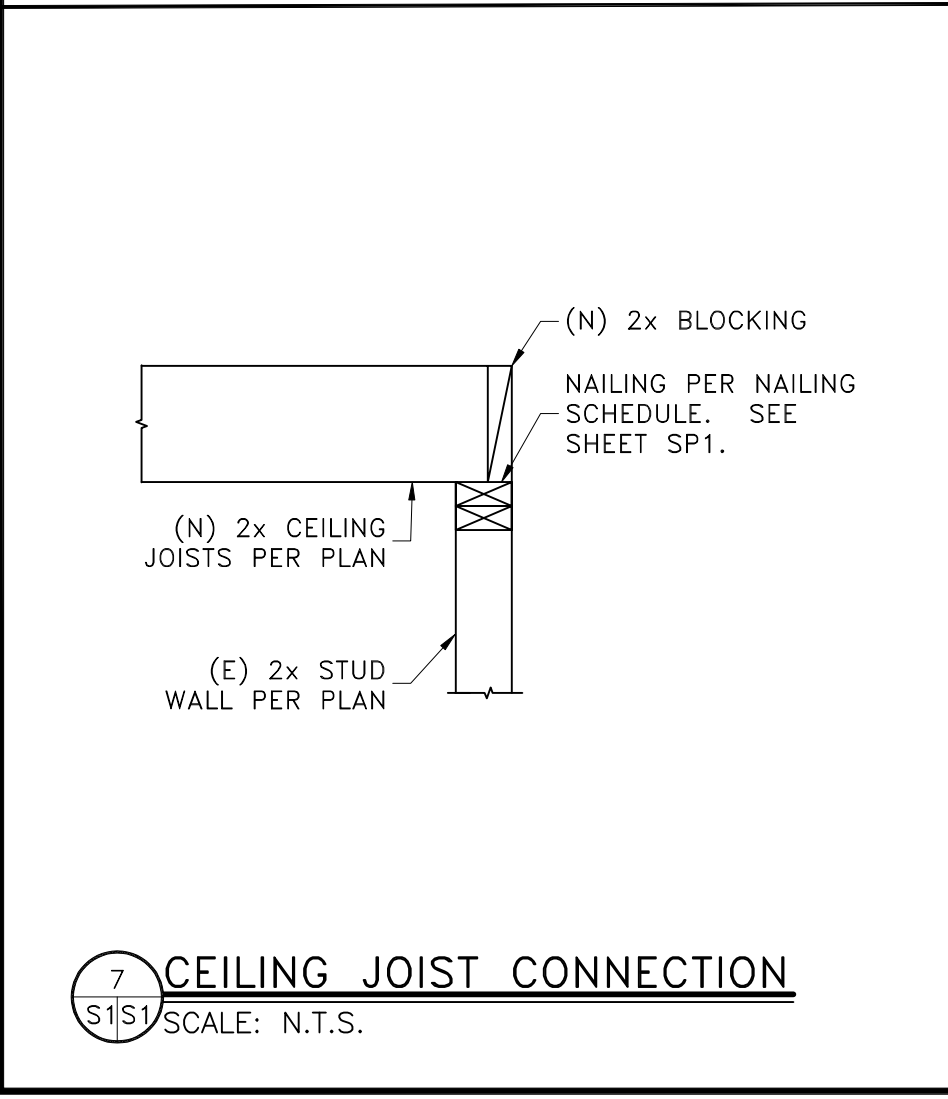
STRONGWALL FOOTING PROFILE



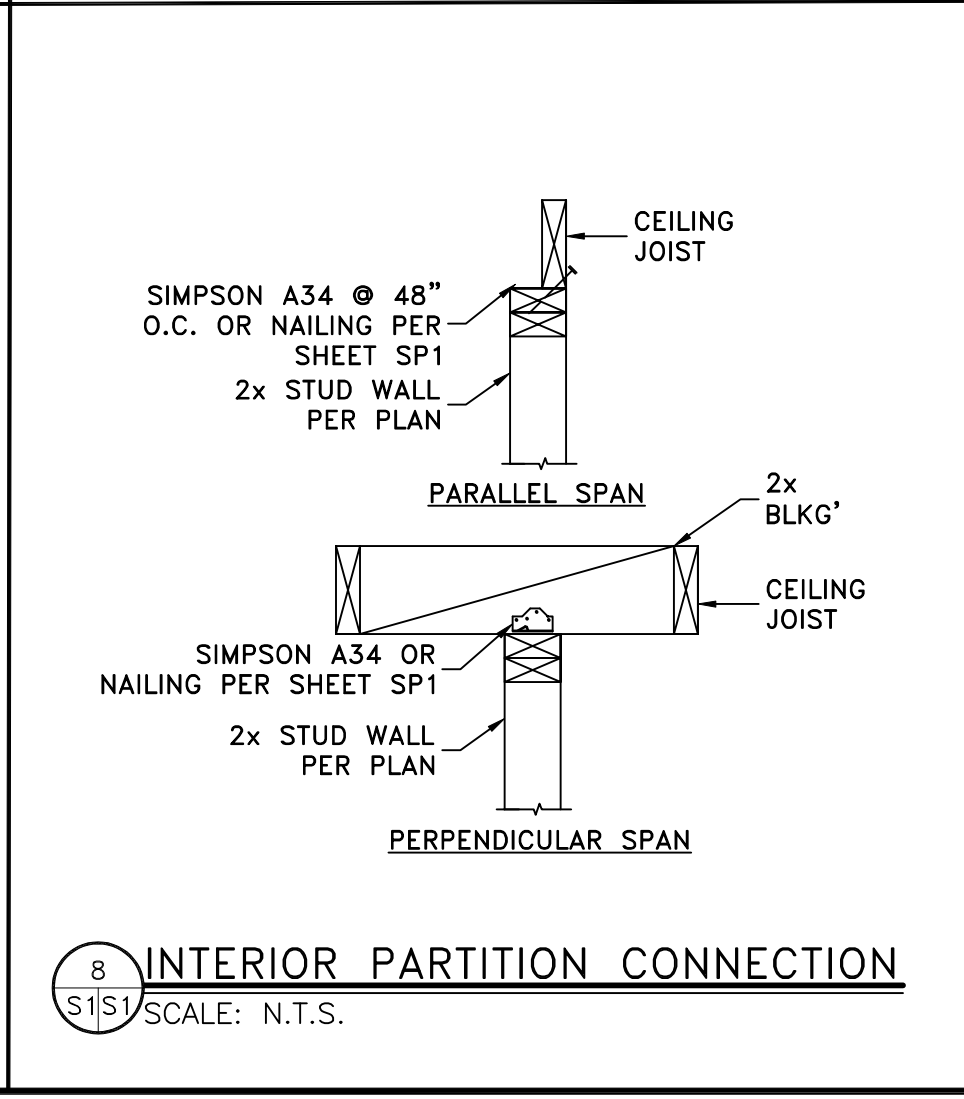
4 EAVE DETAIL
SCALE: N.T.S.



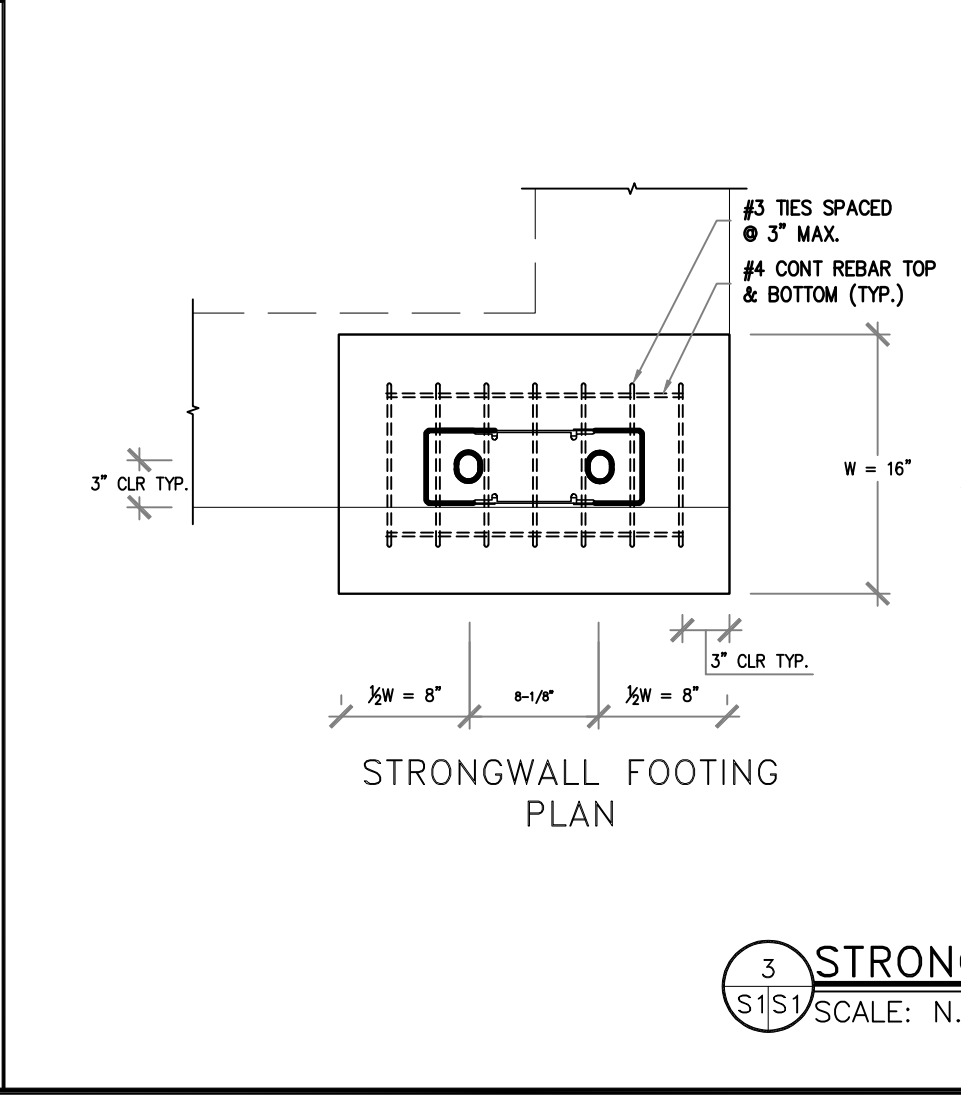
5 EAVE DETAIL
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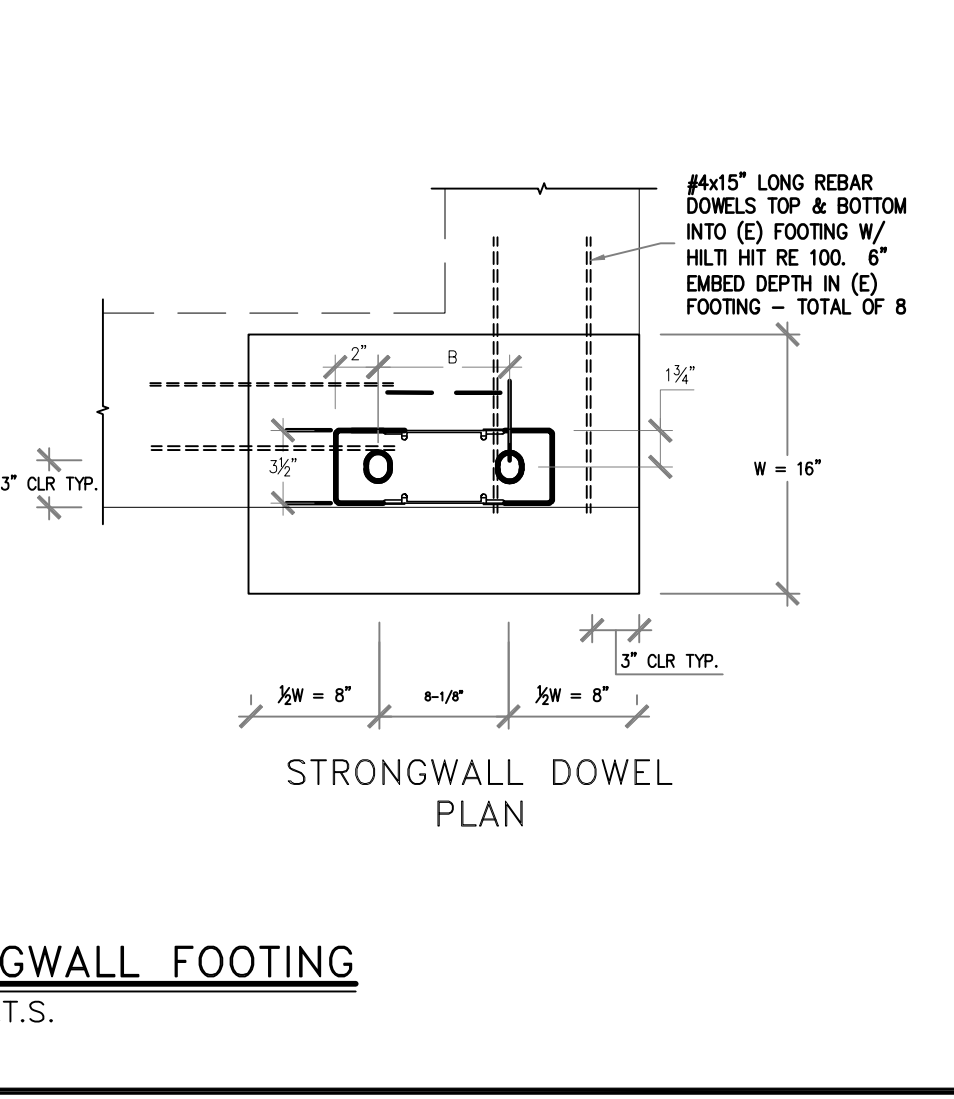
7 CEILING JOIST CONNECTION
SCALE: N.T.S.



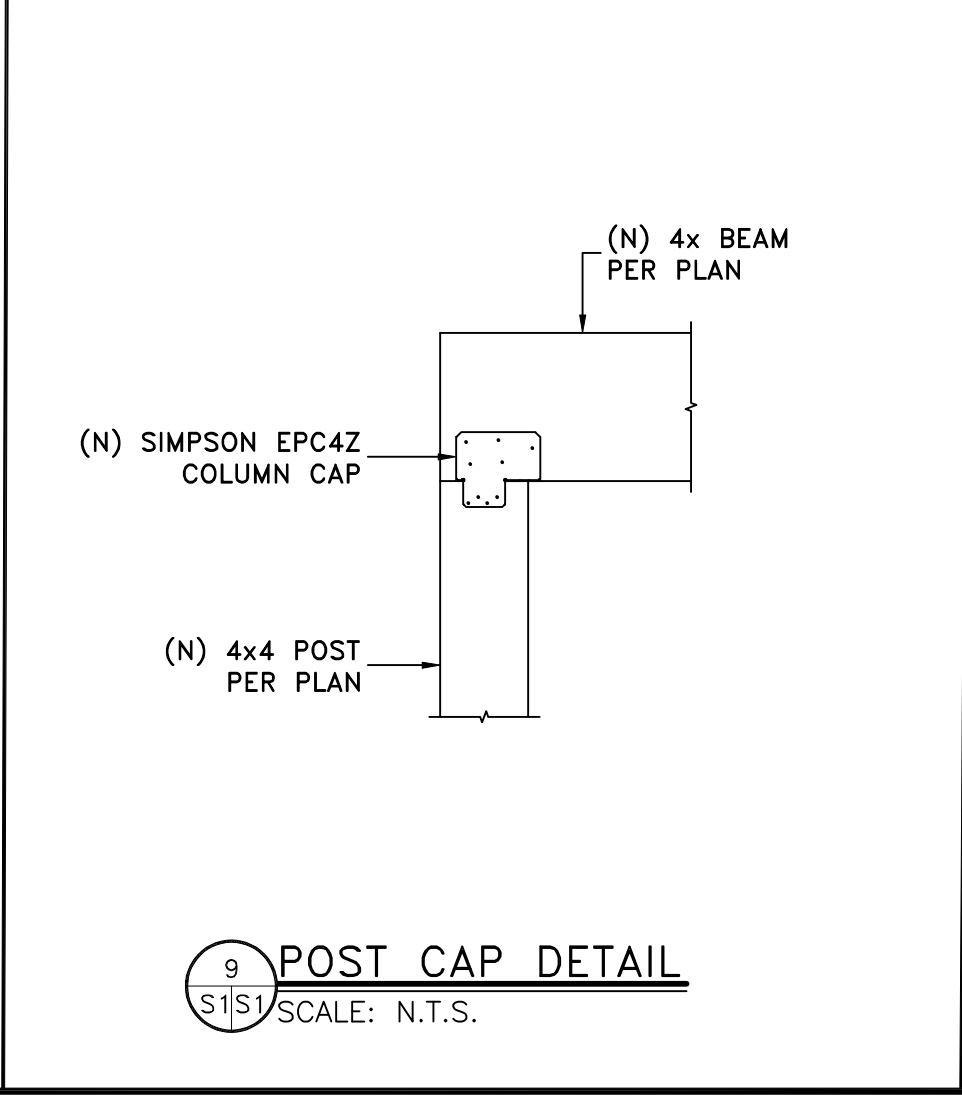
8 INTERIOR PARTITION CONNECTION
SCALE: N.T.S.



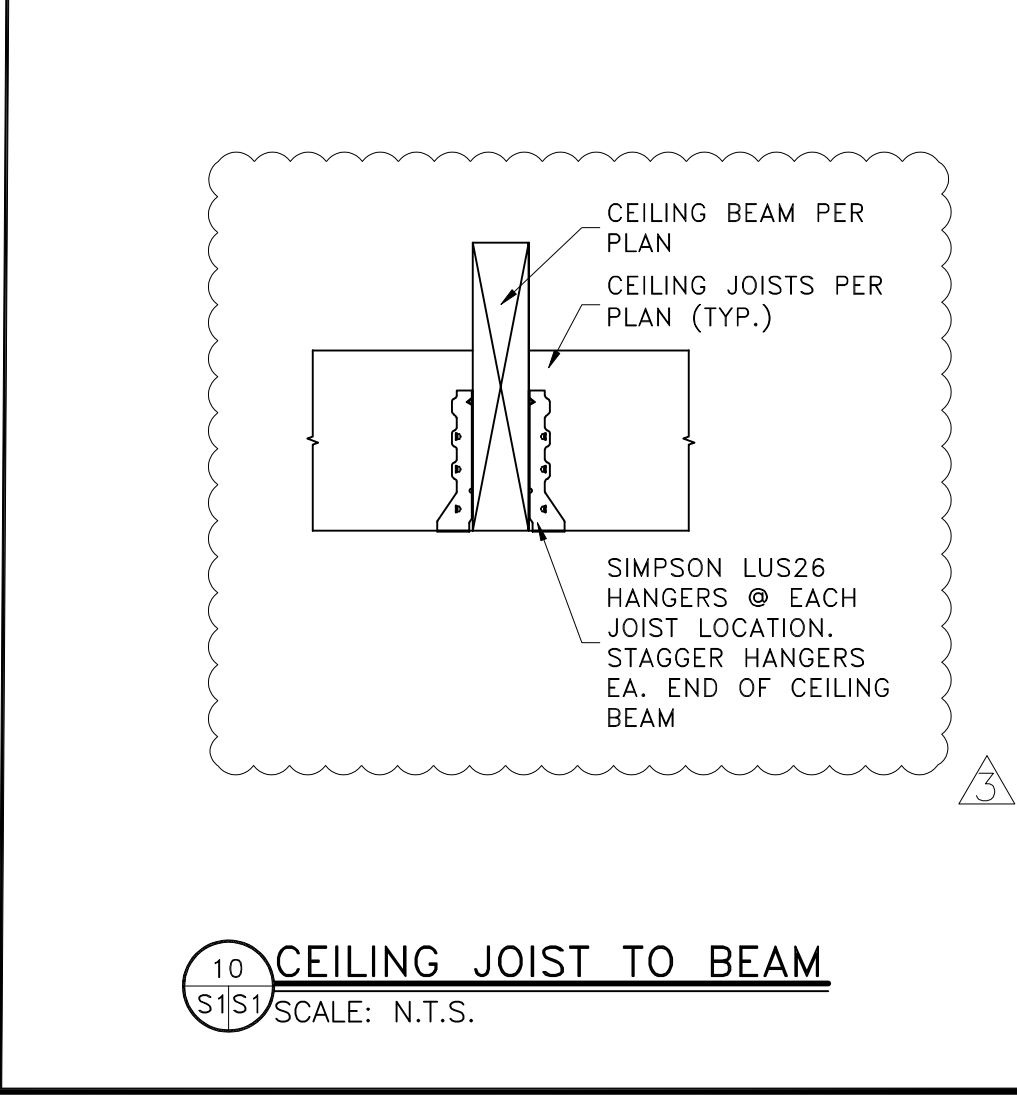
3 STRONGWALL FOOTING
SCALE: N.T.S.



STRONGWALL DOWEL PLAN



9 POST CAP DETAIL
SCALE: N.T.S.



10 CEILING JOIST TO BEAM
SCALE: N.T.S.

PROJECT STATUS: **APPROVED For B.P. SUBMITTAL**

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DESIGNED FOR: **THE WORTH FAMILY**

DESIGNED BY: **AFFINITY DESIGN GROUP ARCHITECTURE & ENGINEERING**

PROJECT NAME: **WORTH RESIDENCE EXISTING SINGLE FAMILY RESIDENCE JADU & SFR REMODEL PROJECT**

PROJECT ADDRESS: **JADU: 1561 2ND STREET MAIN RESIDENCE: 201 N. HERRIN STREET MANHATTAN BEACH, CA 90266 LOS ANGELES COUNTY**

SHEET TITLE: **FLOOR & ROOF FRAMING**

| REV | DESCRIPTION | DATE | BY | CHK |
|-----|--------------------------------------|---------|-----|-----|
| 0 | GARAGE-TO-JADU CONSTRUCTION DRAWINGS | 12/7/24 | FDN | DGD |
| 1 | REVISED PER COMMENTS | 1/28/25 | FDN | DGD |
| 2 | REVISED PER COMMENTS | 2/25/25 | FDN | DGD |
| 3 | REVISED PER COMMENTS | 8/1/25 | FDN | DGD |

SAVE DATE: 8/1/2025 7:05 AM SHEET NUMBER: **51**