



Inspection Report

Karin Traber

Property Address:
560 S. 12th St.
Grover Beach CA 93433

6/13/2025



Harper Homes: Home Inspection Services

Dylan Linnenkamp
3940 Broad Street Suite 7 PMB 200
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Summary

The following items or discoveries are either **defective** and **do not function as intended** or to be considered **health and safety items**. Recommend further evaluation and repair by a **licensed contractor or specialty tradesperson**. This summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer **read the complete report**.

2. Exterior

Defect / Functionally Deficient Items:

2.4 SIDING / TRIM

Action Required

(3) FURTHER EVALUATION

Moisture damage noted at the trim and garage doors. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.

2.5 EXTERIOR DOORS

Action Required

REPAIR NEEDED

Moisture damage noted on the door at the right exterior door and jamb. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.

4. Plumbing System

Safety / Health Deficient Items:

4.3 GAS LINES (VISIBLE ONLY)

Action Required

(4) ALTERATION NEEDED

An older-style brass flexible gas connector was observed at the wall heater in the rear unit. These connectors are considered outdated and may be prone to failure over time. Replacement with an approved, modern connector by a qualified plumbing or HVAC contractor is recommended for improved safety.

5. Electrical System

Safety / Health Deficient Items:

5.1 MAIN / SUB-PANELS

Action Required

(1) FURTHER EVALUATION

Zinsco brand electrical panel noted for the sub panels. This brand of panel has been known to fail prematurely or not trip properly, creating an unsafe condition. No signs of failure were noted at the time of inspection. Recommend further evaluation, as needed, by a qualified licensed electrician.

(3) INSTALLATION NEEDED

Front cover screw missing at the rear unit sub panel and needs to be installed to prevent a possible unsafe condition.

5.3 CIRCUIT WIRING (where visible)

Action Required

ALTERATION NEEDED

Wiring installed improperly and exposed where damage could occur, noted at the right garage. Recommend the wiring be installed inside conduit or behind walls.

6(A) . Rear Unit Bathroom

Defect / Functionally Deficient Items:**6.1.A TOILETS****Action Required****REPAIR NEEDED**

The toilet is excessively loose and needs removed and properly re-installed with a new wax ring to insure connection to the floor and prevent future leaks.

7. Interiors

Safety / Health Deficient Items:**7.0 CEILINGS, WALLS****Action Required****(3) FURTHER EVALUATION**

Sprayed acoustic ceilings were noted in the building. Some acoustic ceiling materials contain asbestos fibers, depending on the age of the material. Removal or alteration should be performed by a qualified professional.

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Date: 6/13/2025	Time: 09:30:00 AM	Report ID: 061325DL2
Property: 560 S. 12th St. Grover Beach CA 93433	Customer: Karin Traber	Real Estate Professional: Melissa Tierney

In the report the location of items will be referred to as being located on the front, rear, left and right of the property. Our perspective is from the exterior of the building looking at the home from the street.

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

APPEARS SERVICEABLE = This component or system was visually observed and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

MAINTENANCE NEEDED = This area, system or component is in need of maintenance which should be considered typical of the age or style of construction.

ALTERATION NEEDED = The necessary components are installed but need adjusted or altered to function as intended.

INSTALLATION NEEDED = The necessary components are not installed.

REPAIR NEEDED = The item, component or unit is not functioning as intended and needs repaired or replaced. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

FURTHER EVALUATION = The condition of the system or component is beyond the expertise of the inspector and further evaluation by a qualified licensed contractor is advised.

This home is older than 40 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since

this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

This inspection was performed for the home owner selling this home and was inspected according to standards and practices. The comments made in this report were based on the condition of the home at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the home again. As this inspection report ages, the condition of this home and its components can change.

Standards of Practice: CREIA California Real Estate Inspection Association	In Attendance: Inspector, Listing Agent, Tennants	Type of building: Duplex Residential
Square Footage Approximate: 1620	Approximate year of construction: 1975	Temperature: Over 60
Weather: Clear	Ground/Soil surface condition: Dry	Rain in last 7 days: No
Property is: Occupied, Furnished		

1. Grounds

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of the foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not part of our inspection. Fences gates and retaining walls are not part of this inspection but may be reported on. Our inspection of the driveway or parking area is limited to within 100 feet of the building.

Styles & Materials

Grading & Drainage:	Fences and Gates:	Walkways / Parking:
Above or at grade to road	Wood	Concrete
Flat pad / site		Paver stones
Exterior Decks:		
Concrete patio		

Items

1.0 GRADE / DRAINAGE

Comments: Action Required

ALTERATION NEEDED

Soil or landscape materials are pushed up against the stucco siding at various areas around the home. Landscape maintenance is needed to remove material from holding moisture at the siding while maintaining functional drainage away from the foundation.



1.0 Item 1(Picture)

1.1 DECKS / PATIOS

Comments: Appears Serviceable

1.2 DRIVEWAY / WALKWAYS

Comments: Action Required

REPAIR NEEDED

Concrete cracks were noted on the walkways, likely due to tree roots or expansive soil. Walkway cracking is not affecting the structure. Any walkway height variance over 3/4" should be altered or repaired to prevent a possible trip hazard.



1.2 Item 1(Picture)

1.3 FENCES / GATES

Comments: Action Required

REPAIR AS NEEDED

Several fence posts are loose or broken and fence boards are damaged or unattached. Recommend repairing or replacing fence as needed.



1.3 Item 1(Picture)

1.4 SHRUBBERY / PLANTER / RETAINING WALLS

Comments: Action Required

MAINTENANCE NEEDED

Foliage needs trimmed back from contacting the siding. This will decrease the probability of moisture and pest intrusion.

2. Exterior

The foregoing is an opinion of the general quality and condition of the roofing, siding, and exterior building materials. The inspector cannot and does not offer an opinion or warranty as to whether the these components and systems may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Determining the condition of insulated glass windows is not always possible due to dirty windows, temperature, weather and lighting conditions.

Styles & Materials

Roof Deck Styles:	Roof Covering Material:	Roof Flashing:
Flat	Roll roofing	Metal flashings
Low pitch roof (up to 3 in 12)		Tar flashings
Viewed Roof Covering From:	Gutters / Roof Drains:	Exterior Siding:
Fully traversed and viewed	Metal gutters	Stucco
Trim:	Window / Skylights:	Garage Door and Safety Reverse:
Wood fascia	Vinyl frame dual pane	Wood
	Metal frame single pane	Tilt up

Items

2.0 ROOF

Comments: Action Required

REPAIR AS NEEDED

Areas of the roofing material are weathered and showing signs of age. No signs of active leaks were noted in the interior.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

2.1 FLASHINGS

Comments: Appears Serviceable

2.2 CHIMNEYS AND ROOF PENETRATIONS

Comments: Appears Serviceable

2.3 GUTTERS / DOWNSPOUTS

Comments: Action Required

(1) MAINTENANCE NEEDED

The gutters contain debris in areas and need cleaned and an annual maintenance schedule established to allow intended drainage of roof runoff water away from the home.

(2) INSTALLATION NEEDED

Downspout extension needed at various locations to channel rain water away from the foundation and help promote functional drainage.

(3) MAINTENANCE NEEDED

Gutter seams show signs of leaking. Recommend cleaning and sealing the seams with gutter sealant to prevent continued moisture exposure at the fascia.



2.3 Item 1(Picture)

2.4 SIDING / TRIM

Comments: Action Required

(1) MAINTENANCE NEEDED

Slight stucco cracking noted at various areas around the building. This can be typical with stucco siding, and cracks should be sealed at the next paint maintenance interval to improve cosmetics and prevent further weather exposure.

(2) ALTERATION NEEDED

Stucco extending into the soil, typical for the era of construction. Recommend drainage improved to limit the significance of this condition and limit the opportunity of run off water to wick up into the walls.

(3) FURTHER EVALUATION

Moisture damage noted at the trim and garage doors. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.



2.4 Item 1(Picture)



2.4 Item 2(Picture)



2.4 Item 3(Picture)

2.5 EXTERIOR DOORS

Comments: Action Required

REPAIR NEEDED

Moisture damage noted on the door at the right exterior door and jamb. Recommend further evaluation by a structural pest control operator and make repairs as prescribed.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

2.6 WINDOWS / SKYLIGHTS

Comments: Action Required

REPAIR AS NEEDED

Damaged screen noted at various locations and can be repaired as needed.

2.7 GARAGE / CARPORT

Comments: Action Required

(1) FURTHER EVALUATION

Access impaired to the garage. Storage blocked complete inspection. Recommend further inspection, as needed.

(2) RECOMMENDED IMPROVEMENT

Garage door springs have no containment device to prevent displacement if the spring were to break, which can create an unsafe condition. While this may have been acceptable at the time of original installation, installation of spring containment devices at the garage door return springs would improve safety at the garage door mechanism.

2.8 PAINT / CAULK / SEAL / MISCELLANEOUS.

Comments: Appears Serviceable

3. Heating / Air Conditioning

The inspector is not equipped to inspect heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that the inspection is almost impossible. The inspector cannot light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos material have been commonly used in heating systems. Determining the presence of asbestos can only be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or even distribution of air through out a home cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on cooling systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not part of the inspection. Normal service and maintenance is recommended on a yearly basis. It is suggested that all homes with fuel burning systems have a carbon monoxide installed for added safety. All fireplaces should be cleaned on a regular basis to make sure no cracks have developed.

Styles & Materials

Heat Type/Power Source/Age:	Cooling Equipment Type/Size/Age:
Natural Gas	No A/C in home
Wall Heaters	
MFG 1994	

Items

3.0 HEATING EQUIPMENT

Comments: Action Required

(1) REPAIR AS NEEDED

The wall heater in the front unit appears to be in working condition, but is over 30 years old and at or near the end of it's serviceable life. Recommend service performed by a qualified HVAC contractor to help conserve the remaining life of the unit and have replaced as necessary.



3.0 Item 1(Picture)

(2) FURTHER EVALUATION

Main control valve was off at the time of inspection and the rear unit wall heater was not operated. Recommend further evaluation of the furnace and venting system, as needed. The unit is over 40 years old and at the end of its serviceable life.

3.1 THERMOSTATS

Comments: Appears Serviceable

4. Plumbing System

Water quality or hazardous materials (lead) is available from local labs. All underground piping related water supply, waste or sprinkler use are excluded from this inspection. City sewer service, septic systems and all underground pipes are not part of this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. Only the hose faucets which are attached to the home are tested during our inspection. You may wish to test any which are away from the home. The temperature pressure relief valve, at the upper portion of the water heater is a required safety valve which should be connected to a drain line of proper size terminating just above the floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The stem caused by a blow off can cause scalding. Improper installations should be corrected. Laundry appliances are not tested or moved. We highly recommend removal and cleaning of the dryer vent at least once a year. Cleaning the vent pipe can significantly reduce the risk of a fire.

Styles & Materials

Water Shut Off Location:	Water Supply Aproximate Size / Material:	Plumbing Water Distribution:
Handle shut off	3/4"	Copper
Pressure regulator	Copper	
Front exterior of the home		
Water Source:	Water Pressure (normal is 40 to 80 psi):	Plumbing Waste (visible only):
Public	Water pressure aprox. 55PSI (Normal)	ABS
		Galvanized
Gas Type / Primary Energy Heat Source:	Gas Shut Off Location:	Gas Line Type:
Natural gas	Right exterior of the building	Galvanized gas pipe
		Steel gas pipe
Water Heater Power Source / Vent Type:	Water Heater Capacity / Age:	Water Heater Location:
Pressure relief valve not tested	40 Gallon	In the garage
Natural gas	MFG 2019	
Sheet metal vent	MFG 2015	
Laundry Type Venting and Accessories:		
Washer connections		
Gas dryer connection		
Dryer vents at exterior wall		

Items

4.0 WATER HEATERS

Comments: Action Required

REPAIR AS NEEDED
The water heater in the right garage appears to be in working condition, but is 10 years old, past the warranty period, and at or near the end of it's usable life. Recommend replacement as needed.

4.1 SEWER / DRAINS / VENTS (VISIBLE ONLY)

Comments: Appears Serviceable

4.2 WATER LINES (VISIBLE ONLY)

Comments: Appears Serviceable

4.3 GAS LINES (VISIBLE ONLY)

Comments: Action Required

(1) INFORMATIONAL NOTE

The gas shutoff is located at the right exterior of the home. To turn the gas off turn the valve perpendicular to the piping.



4.3 Item 1(Picture)

(2) RECOMMENDED IMPROVEMENT

Recommend gas meter wrench permanently located near the gas meter. This upgrade will improve safety in the event of an emergency.

(3) RECOMMENDED IMPROVEMENT

Gas line sediment trap not installed near the water heaters, and should be installed to help prevent the possibility of gas line debris from entering the gas appliances.

(4) ALTERATION NEEDED

An older-style brass flexible gas connector was observed at the wall heater in the rear unit. These connectors are considered outdated and may be prone to failure over time. Replacement with an approved, modern connector by a qualified plumbing or HVAC contractor is recommended for improved safety.



4.3 Item 2(Picture)

4.4 PLUMBING VALVES / ACCESSORIES

Comments: Appears Serviceable

INFORMATIONAL NOTE

The water shutoff is located at the front exterior of the home. To turn the water off turn the handle perpendicular to the piping.



4.4 Item 1(Picture)

4.5 EXTERIOR WATER FAUCETS

Comments: Action Required

(1) FURTHER EVALUATION

Exterior hose spigot at the left exterior is not functional and no water supply was noted. Recommend repairs as needed.

(2) REPAIR NEEDED

Exterior hose spigot at the right exterior is missing the handle and needs repaired for intended use.

4.6 WASHER / DRYER / LAUNDRY

Comments: Action Required

MAINTENANCE NEEDED

Dryer vent is partially blocked by dryer lint and the vent flap is stuck open. Recommend proper cleaning of the dryer vent to insure maximum efficiency and prevent pest or rodent intrusion.

5. Electrical System

Any electrical repairs should be performed by a licensed electrician. Aluminum wiring, when present, will be noted in this report and requires periodic inspection and maintenance by a licensed electrician. Electrical panels and outlets which are not attached to the home are outside the scope of this inspection. The Main Electrical Disconnect is located inside the Main Panel unless otherwise noted.

Styles & Materials

Panel capacity: 60 AMP each unit	Main Panel/Main Disconnect Location: Right exterior of the building	Electrical Service Conductors: Overhead service 120/240 volt service Exterior main service panel
Sub Panel Location(s): In a bedroom closet	Distribution Systems and Accessories: Sub-panel(s) Circuit breakers Nonmetallic sheathed cable Copper wires	

Items

5.0 SERVICE ENTRANCE CONDUCTORS

Comments: Appears Serviceable

5.1 MAIN / SUB-PANELS

Comments: Action Required

(1) FURTHER EVALUATION

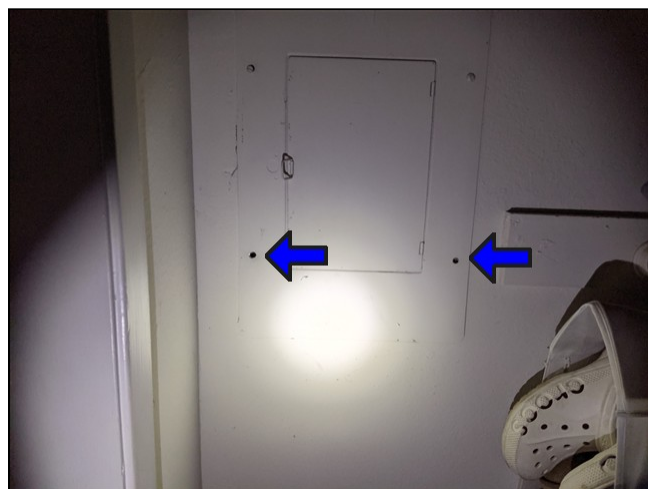
Zinsco brand electrical panel noted for the sub panels. This brand of panel has been known to fail prematurely or not trip properly, creating an unsafe condition. No signs of failure were noted at the time of inspection. Recommend further evaluation, as needed, by a qualified licensed electrician.

(2) INSTALLATION NEEDED

Rear unit sub panel front cover screws have pointed ends and are improper. Recommend proper non-pointed fasteners utilized to prevent damage to the wires and a possible unsafe condition.

(3) INSTALLATION NEEDED

Front cover screw missing at the rear unit sub panel panel and needs to be installed to prevent a possible unsafe condition.



5.1 Item 1(Picture)

5.2 BREAKERS / FUSES

Comments: Appears Serviceable

5.3 CIRCUIT WIRING (where visible)

Comments: Action Required

ALTERATION NEEDED

Wiring installed improperly and exposed where damage could occur, noted at the right garage. Recommend the wiring be installed inside conduit or behind walls.



5.3 Item 1(Picture)

5.4 JUNCTION BOXES / CONDUITS

Comments: Appears Serviceable

5.5 LIGHTING / SWITCHES

Comments: Appears Serviceable

5.6 RECEPTACLE OUTLETS

Comments: Appears Serviceable

5.7 SYSTEM GROUNDING / GROUND FAULT CIRCUIT INTERRUPT

Comments: Action Required

RECOMMENDED IMPROVEMENT

GFCI protection not provided for receptacles at the bathrooms and kitchens. While this was not required at the time of construction, recommend installation of GFCI protection for these receptacles, by a licensed electrician, for improved safety of the home.

6(A) . Rear Unit Bathroom

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surround are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath wet areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper on going maintenance will be required in the future.

Styles & Materials

Bathtub/Shower Types:	Ventilation:	Electrical / GFCI:
Enameled steel tub	Exhaust fan	Counter outlets
Tile surround		No GFCI protection (not required when originally installed)
Bathroom Type/Size:	Toilet Type:	
Full Bath	1.28 GPF Ultra Low Flow	

Items

6.0.A TUBS, SHOWERS

Comments: Action Required

REPAIR NEEDED

Cracked tile noted at the shower surround. Tile remains attached to the mortar beds and in need of proper sealing to prevent further moisture exposure behind the tile. Repair or replacement can be made as needed.



6.0.A Item 1(Picture)

6.1.A TOILETS

Comments: Action Required

REPAIR NEEDED

The toilet is excessively loose and needs removed and properly re-installed with a new wax ring to insure connection to the floor and prevent future leaks.

6.2.A SINKS

Comments: Appears Serviceable

6.3.A VANITYS, COUNTERS

Comments: Appears Serviceable

6.4.A VENTILATION

Comments: Appears Serviceable

6.5.A CEILINGS, WALLS, FLOORS

Comments: Action Required

MAINTENANCE NEEDED

Mildew collection around the wall material above the shower. Recommend proper sterilization/cleaning of the wall materials.



6.5.A Item 1(Picture)

6.6.A CAULKING AND SEALING

Comments: Action Required

MAINTENANCE NEEDED

Grout needs improved at the tub/shower surround. Recommend color matched grout caulk for these areas.

6.7.A TOWEL HOLDERS, MISC

Comments: Appears Serviceable

6(B) . Front Unit Bathroom

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surround are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath wet areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper on going maintenance will be required in the future.

Styles & Materials

Bathtub/Shower Types:	Ventilation:	Electrical / GFCI:
Enameled steel tub	Exhaust fan	Counter outlets
Tile surround		No GFCI protection (not required when originally installed)
Bathroom Type/Size:	Toilet Type:	
Full Bath	1.6 GPF Low Flow	

Items

- 6.0.B TUBS, SHOWERS

Comments: Appears Serviceable
- 6.1.B TOILETS

Comments: Appears Serviceable
- 6.2.B SINKS

Comments: Appears Serviceable
- 6.3.B VANITYS, COUNTERS

Comments: Appears Serviceable
- 6.4.B VENTILATION

Comments: Appears Serviceable
- 6.5.B CEILINGS, WALLS, FLOORS

Comments: Appears Serviceable
- 6.6.B CAULKING AND SEALING

Comments: Action Required

MAINTENANCE NEEDED
Grout needs improved at the tub/shower surround. Recommend color matched grout caulk for these areas.



6.6.B Item 1(Picture)

6.7.B TOWEL HOLDERS, MISC

Comments: Appears Serviceable

7. Interiors

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The paint on the walls is not tested for the presence of lead based paint. Determining the source of odors or like conditions is not part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Window flashings are usually not visible, therefore their condition cannot be reported on. Inspection of window coverings is outside the scope of our inspection. Smoke and CO alarms should be tested monthly and battery replacement yearly.

Styles & Materials

Wall & Ceiling Materials:	Floor Covering(s):	Interior Styles:
Drywall	Carpet	Nominal 8 foot ceilings
Sprayed acoustical ceilings (may contain asbestos)	Vinyl	Furnished and occupied
	Tile	
Alarms / Safety Equip.:		
Smoke alarms		
Carbon monoxide alarms		

Items

7.0 CEILINGS, WALLS

Comments: Action Required

(1) FURTHER EVALUATION
Areas of the interior were not fully viewed or evaluated due to furniture and storage, and should be further evaluated after the contents of the home are removed.

(2) FURTHER EVALUATION
Evidence of previous repairs were noted on the ceiling in the right garage and the front unit. Recommend referring to the sellers disclosures for more information on previous repairs made at these locations.



7.0 Item 1(Picture)



7.0 Item 2(Picture)

(3) FURTHER EVALUATION

Sprayed acoustic ceilings were noted in the building. Some acoustic ceiling materials contain asbestos fibers, depending on the age of the material. Removal or alteration should be performed by a qualified professional.

(4) REPAIR AS NEEDED

Common drywall cracking noted in a few areas and can be cosmetically repaired, as needed.

7.1 FLOORS

Comments: Action Required

FURTHER EVALUATION

Areas of the interior were not fully viewed or evaluated due to furniture and storage, and should be further evaluated after the contents of the home are removed.

7.2 DOORS (REPRESENTATIVE NUMBER)

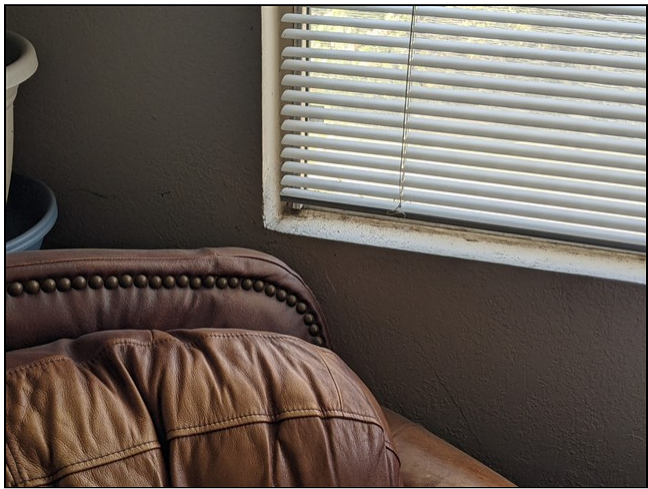
Comments: Appears Serviceable

7.3 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Action Required

REPAIR AS NEEDED

Signs of moisture noted around the interior of the windows at the sill areas. This can be typical when metal single pane windows "sweat" at the interior due to temperature fluctuation. Recommend cosmetic repairs made as needed.



7.3 Item 1(Picture)

7.4 ALARMS / SAFETY / SECURITY

Comments: Appears Serviceable

8(A) . Front Unit Kitchen

Inspection of refrigerators, stand alone freezers and built in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected.

Styles & Materials

Range/Oven/Cooktop: Gas range (slide in)	Ventilation: Mechanical exhaust	Electrical: Counter outlets No GFCI protection (not required when originally installed)
Other Appliances: Garbage disposal		

Items

8.0.A RANGES / OVENS / MICROWAVE

Comments: Action Required

INSTALLATION NEEDED
Anti-tip device not functioning or has not been installed on the range. Recommend alteration or installation of this inexpensive device to help prevent accidental tipping of the range and improved safety.

8.1.A VENTILATION

Comments: Appears Serviceable

8.2.A DISPOSAL / TRASH COMPACTOR

Comments: Appears Serviceable

8.3.A COUNTERS / CABINETS

Comments: Appears Serviceable

8.4.A SINK / FAUCET / DRAIN

Comments: Appears Serviceable

8(B) . Rear Unit Kitchen

Inspection of refrigerators, stand alone freezers and built in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected.

Styles & Materials

Range/Oven/Cooktop: Gas range (slide in)	Ventilation: Mechanical exhaust	Electrical: Counter outlets No GFCI protection (not required when originally installed)
Other Appliances: Garbage disposal		

Items

8.0.B RANGES / OVENS / MICROWAVE

Comments: Action Required

INSTALLATION NEEDED
Anti-tip device not functioning or has not been installed on the range. Recommend alteration or installation of this inexpensive device to help prevent accidental tipping of the range and improved safety.

8.1.B VENTILATION

Comments: Appears Serviceable

8.2.B DISPOSAL / TRASH COMPACTOR

Comments: Appears Serviceable

8.3.B COUNTERS / CABINETS

Comments: Appears Serviceable

8.4.B SINK / FAUCET / DRAIN

Comments: Appears Serviceable

9. Structure

Areas hidden from view by finished walls or stored items cannot be judged and are not part of this inspection. Minor cracks are typical on many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

Styles & Materials

General Description: 4 bedroom 2 bathroom Extra Info : 2 units 1 bed 1 bathroom	Roof Structure: Access impaired, no visual inspection	Ceiling and Wall Structure: Wood framed site built
Floor Structure: Concrete slab floor	Foundation: Concrete slab	Method Used To Observe Attic: No access

Items

9.0 FOUNDATION / SLAB (where visible)

Comments: Appears Serviceable

9.1 BUILDING FRAMING MEMBERS

Comments: Appears Serviceable