



Service: Full Home Inspection

Prepared for: Stella Chapman

WIN Inspector

Rob Blackstone



✉ rblackstone@wini.com

☎ (559) 674-5332

🌐 WIN Home Inspection Madera-Merced

Table Of Content

Inspection Information	3
Explanation Of Terms	4
Summary	6
Full Home Inspection	29
 Exterior	29
 Decks, Balconies, Paved Surfaces	38
 Roof	38
 Garage	43
 Electrical	44
 HVAC	48
 Plumbing	53
 Water Heating Equipment	59
 Interior	60
 Appliances	66
 Fireplace	70
 Structural Components	72
 Insulation And Ventilation	74

Inspection Information

Order Details

Site Address: 1150 3rd Street, Gilroy, CA, 95020

Service Date And Time: March 23, 2026 At 10:00 AM

Property Details

Approximate Year Built: 1973

Bedrooms: 3

Approximate Square Footage: 1540

Baths: 2

Occupied: No

Floors: 1

Main Entry Door Faces: North

Inspector Details

Name: Rob Blackstone

Contact Number: (559) 674-5332

Email: rblackstone@wini.com

Client

Name: Stella Chapman

Email: bwbcchapman@gmail.com

Contact Number: (559) 706-9678

Listing Agent

Name: Alex Salazar

Email: alexsells559@gmail.com

Contact Number: (559) 232-5668

Explanation Of Terms

This report was prepared and written with the age and type of structure taken into consideration. Below is an explanation of the terms used in the report

Action Required

Items marked Action Required appear to be in need of immediate repair or replacement. Delay in repair or replacement may result in a dramatic shortening of the life expectancy of the item, have immediate effect on the item, system, structure, or other related items, or present a potential health and/or safety hazard.

Repairs Recommended

Items marked Repairs Recommended are in need of repair or replacement in order to make the item functional and/or prevent further deterioration.

Attention

Items marked Attention should be monitored or evaluated further. These items may not require immediate repair, but they show signs of wear or minor deficiencies that, if left unaddressed, could develop into more significant issues over time.

Preventive Measures

Items marked Preventive Measure are in need of routine maintenance or service to ensure continued functionality and prevent potential future issues. The inspector may recommend budgeting for this maintenance or obtaining further evaluation from a third-party professional to clarify or assess the condition of the item.

Functional

Items marked Functional appear to be in serviceable condition using normal operating controls. There was no visible indication of failure at the time the services were performed.

Limitation

Items marked limitation have limited access or limited ability to test or inspect fully, We recommend gaining further information on items marked as a limitation from the owner of the property or from a third party.

Not Inspected

Items marked Not Inspected may be present at the time the services were performed and were not inspected due to obstruction, accessibility, visibility, limitation, weather conditions or the inspection of the item is not within the scope of the services performed.

Informational

Items marked informational are included in the inspection as a courtesy or to add information to the customer to help them live in and maintain their home.

Summary

We have identified various items on the subject structure that either require maintenance now or require periodic maintenance in the normal course of ownership. This is only a summary report and is intended as a guide to be used in both short and long term scheduling of maintenance items. Please read the complete report carefully as additional information and details are contained therein. It is always advisable to use experienced tradespeople or a qualified handyperson when contracting for work that may not be within the scope of your capabilities.

Summary

Exterior

1 Minor Trim Damage

Attention

Location: Front of Home

The area has minor trim damage. It is recommended to evaluate and repair the damaged trim to prevent further deterioration. A qualified carpenter can help repair the trim as needed.



2 Chipping And Peeling Paint

Attention

The exterior of the structure has chipping and peeling paint. The inspector recommends further evaluation and repainting by a qualified painter who will properly prepare the surface, sand, apply primer and apply fresh coats of paint.



3 Damaged Window Screen

Attention

One or more of the window screens were damaged or not seated properly within the window frame. Repairing/replacing the damaged screens is recommended. Evaluation and repair by a qualified window professional is advised.



4 Rubber Seal Displacement

🔧 Repairs Recommended

The rubber seal between the window panes is displaced. This is a cosmetic issue however, this can lead to air and water leaks and reducing energy efficiency. It is recommended to repair or replace the rubber seal to ensure proper insulation and protection against the elements.



5 Rust On Metal Roof Eaves

⚠️ Attention

The metal roof eaves are showing signs of rust indicating possible leaks or elevated moisture levels. This issue can lead to structural deterioration if not addressed, affecting the integrity of the eaves over time. It is recommended to evaluate and repair the rusted areas to prevent further corrosion and maintain the functionality of the eaves. A qualified roofer should assess the extent of the rust and recommend appropriate treatment.



6 Damaged Fascia Board

Repairs Recommended

Location: Back of Home

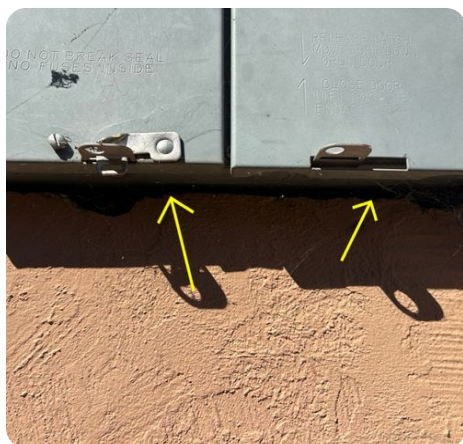
The fascia boards on the exterior of the structure have moisture damaged. Refer to a recent pest report or contact a qualified contractor for proper repair.



7 Void Around Electrical Panel

Repairs Recommended

The void around the electrical panel should be filled to prevent potential entry points for pests or moisture infiltration. This issue can lead to safety hazards and should be addressed promptly. It is recommended to consult a qualified electrician to evaluate and seal the void effectively.



8 Damaged Vent Screen

✚ Repairs Recommended

There is a damaged vent screen at the structure which should be replaced/repaired. Tight vent screens should be provided to allow proper ventilation to the area, and to prevent pests from entering. Appropriate repairs are recommended.



9 General Fence Damage Observed

✚ Repairs Recommended

Damage was observed on the property's fences, such as loose or missing boards, broken or leaning posts, and signs of rot or decay. To maintain the integrity and security of the fences, it is advisable to assess and fix the affected areas as required. If necessary, a qualified fence contractor should be reached out to for further assessment and repairs.



Roof

10 Granule Loss And Exposed Fibers At Edges

Attention

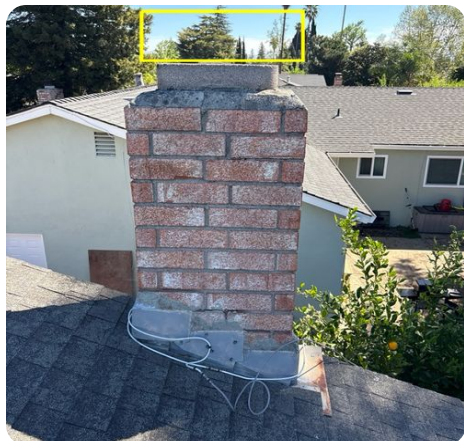
The roof covering is showing signs of granule loss and exposed fibers, indicating normal wear and aging. There appears to be serviceable life remaining. Further assessment and recommendations for future replacement by a qualified roofing company may be considered.



11 Missing Rain Cap/Spark Arrester

Attention

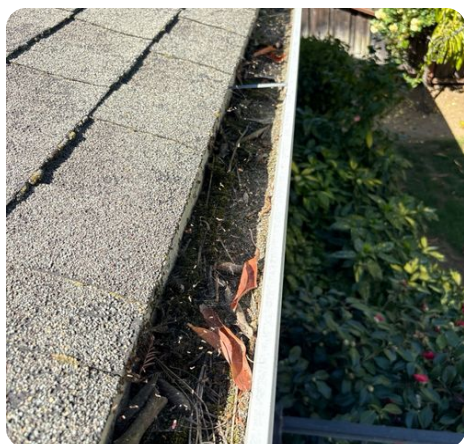
The chimney flue does not have a rain cap/spark arrester installed. A rain cap/spark arrester is recommended to prevent rainwater ingress and pest entry. Rainwater entering the flue can accelerate the degradation of the chimney's brick and mortar. It is advised to contact a qualified contractor or roofing professional for installation.



12 Debris In Gutters

🔧 Repairs Recommended

The gutters have debris buildup which should be cleaned to prevent clogging of the gutters, downspouts, and/or drainage systems. It is recommended to clean the gutters semi-annually for proper care and maintenance of the gutter system. Contacting a qualified professional for this maintenance is advised.



Garage

13 Garage Door Spring Adjustment

ⓘ Attention

The garage door is somewhat difficult to lift open manually indicating spring tension adjustment needed. This adjustment is typically required to improve the balance and operation of your garage door. It is recommended to have a qualified garage door technician evaluate the spring adjustment to ensure the door functions properly and safely. Avoid attempting to adjust the spring yourself as it can be dangerous due to the high tension involved.

14 Spring Hinge Needs Adjustment

🔧 **Repairs Recommended**

📍 Location: **Garage/House Door**

The spring hinge on the garage door to the structure is not adjusted to allow for automatic closure. Adjusting or replacing the spring-loaded hinge is recommended to provide the intended firewall safety function between the living area and the garage. It is suggested to contact a qualified professional for this maintenance.



Electrical

15 Main Panel Gaps

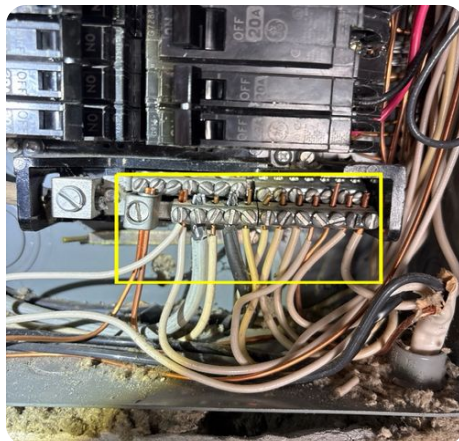
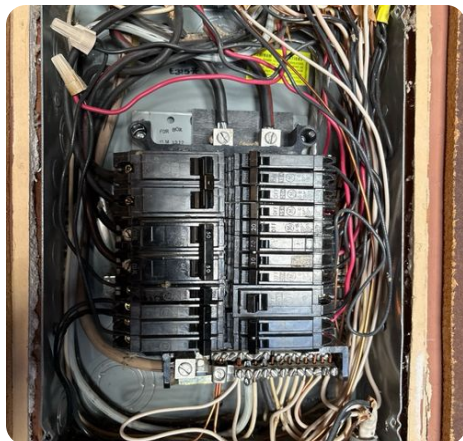
ⓘ **Attention**

The gaps at the main panel should be sealed to prevent any foreign objects from entering. Proper sealing is essential to maintain the integrity and safety of the electrical panel. We recommend sealing the gap to ensure the panel functions effectively and to prevent any potential hazards.

16 Ground And Neutral Wires Combined

🔧 **Repairs Recommended**

Ground and neutral wires were found on the same terminal bar in the sub-panel, which can pose a potential health and safety hazard. It is important to separate ground and neutral wires in all sub-panels, with a few exceptions. We advise reaching out to a qualified electrician to assess the situation and provide recommendations for necessary repairs.



17 GFCI Receptacle Ungrounded

Repairs Recommended

Location: **Bathroom**

The GFCI receptacle is ungrounded, indicating it is not connected to the grounding system. While ungrounded GFCIs can offer some safety protection in older services, updating the wiring to include a ground is recommended to enhance overall safety. Grounding is crucial for electrical safety as it helps prevent electrical shocks. It is advised to contact a qualified electrician to discuss potential options for upgrading the service.



18 GFCI Receptacle Failed Test

Repairs Recommended

Location: **Kitchen**

The GFCI receptacle did not operate properly or 'trip' when tested. GFCI receptacles are designed to protect against electrical shock and should be in proper working condition. It is recommended to have a qualified electrician evaluate and repair or replace the receptacle.



19 Loose Outlet

✚ Repairs Recommended

There is a loose outlet in the home which could lead to connectivity issues and pose a safety hazard. It is recommended to evaluate and repair the outlet as soon as possible. A qualified electrician should be contacted to properly address and fix the loose outlet to ensure safety and functionality.



HVAC

20 Noise/Vibration From Condensing Fan Of The Furnace (Hhe-Mty)

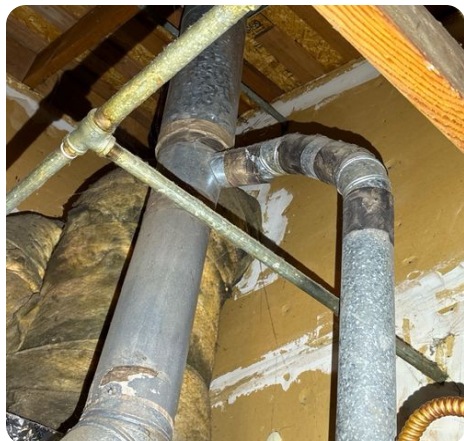
ⓘ Attention

There was a vibration or whining noise observed from the furnace. This may be indicating wear or an issue with the condensing fan. It is recommended to have a qualified HVAC technician evaluate and repair the situation to prevent any potential breakdown or further damage to the furnace.

21 Combined Vent Pipes

✚ Repairs Recommended

The vent pipes for different exhaust systems are sharing a common exit. It is recommended to have separate vent pipes for each system to avoid interference with proper ventilation. Consult with a qualified HVAC technician to evaluate and repair as necessary.

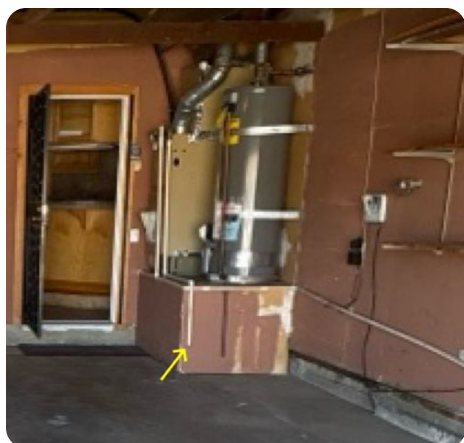


22 Condensate System Not Draining To Exterior

🚧 Repairs Recommended

📍 Location: Garage

The condensate system is not draining to the exterior, which can lead to water accumulation and potential water damage. It is recommended to have a qualified HVAC technician evaluate and repair the system to ensure proper drainage. Standing water can cause mold growth and affect indoor air quality.



23 HVAC System Age Evaluation

ⓘ Attention

The entire HVAC system, which includes the heater and air conditioner, is over 30 years old and beyond its expected serviceable life. It is recommended to consider a thorough evaluation by a qualified HVAC technician to assess its current condition and efficiency.

24 Room Addition Not Conditioned

ⓘ Attention

The room addition is not conditioned, which means it lacks proper heating, ventilation, and air conditioning. This can result in uncomfortable temperatures, poor air quality, and increased energy costs. It is recommended to consult with an HVAC professional to evaluate the existing system's capacity and provide options for conditioning the room addition.

Plumbing

25 Reduced Water Pressure

🔧 Repairs Recommended

📍 Location: Kitchen

The water pressure is low, noticeable at faucets and fixtures. This may indicate a blocked supply line, a faulty pressure regulator, or an issue with the municipal water supply. Repair is suggested to restore normal water flow. Consider contacting a qualified plumber for further assessment and necessary repairs.



26 Presence Of Black Sediment In Water

⚠️ Attention

The presence of black sediment in the water supply can indicate the deterioration of pipes or the water heater lining. It is recommended to have a licensed plumber evaluate the water piping system to identify the source of the sediment and take appropriate measures to address it, such as cleaning or replacing affected components. Regularly flushing the water heater and conducting maintenance can help prevent further buildup of sediment. ALSO NOTED-The water pressure was low, noticeable at some of the interior fixtures. This could be due to clogged screens, clogged orifices and/or issues with the well system. Repair is suggested to restore normal water flow. Consider contacting a qualified plumber for further assessment.



27 Waste Plumbing Leak

🔧 Repairs Recommended

📍 Location: Crawl Space

The waste plumbing system is experiencing leakage. Evaluate and repair the leak to prevent further issues. It is recommended to hire a licensed plumber for this repair to ensure it is properly fixed.



28 Defective Tank Valve In Toilet

🔧 Repairs Recommended

📍 Location: Master Bathroom, Guest Bathroom

The tank valve in the toilet is defective, leading to issues with flushing. This can result in inconsistent flushing or no flushing at all, causing inconvenience and disruption to normal usage. It is recommended to have a qualified plumber evaluate and repair the tank valve to ensure proper functioning of the toilet.



29 Tub Valve Leak

🔧 Repairs Recommended

📍 Location: Guest Bathroom

The tub valve is experiencing a leak when in the off position. It is recommended to evaluate and repair this leak to prevent further issues. Contact a licensed plumber to address this issue and ensure proper functioning of the tub valve.



30 Low Or No Flow At Vanity Faucet

✚ Repairs Recommended

📍 Location: Master Bathroom

The issue is a low or no flow at the vanity faucet. This can be caused by a clogged aerator, issues with the water supply valves, or sediment buildup in the faucet. It is recommended to check and clean the aerator, inspect the water supply valves for any blockages, and consider flushing the faucet to remove sediment. If the problem persists, a licensed plumber should evaluate and repair the faucet to restore proper water flow.



31 Diverter Valve

✚ Repairs Recommended

📍 Location: Guest Bathroom

The diverter valve is in need of repair. A malfunctioning diverter valve can result in inadequate water flow or difficulty switching between fixtures. It is recommended to have a qualified plumber repair the fixture to ensure proper functioning and to avoid any water flow issues in the future.



Interior

32 Carpet Stains And Damage

🔧 Repairs Recommended

📍 Location: Additional Room

The carpet shows significant staining and damage. It is recommended to evaluate the extent of the damage and consider repairing or replacing the carpet to improve the overall appearance and comfort of the space.



33 Microbial Stains Noted

🔧 Repairs Recommended

📍 Location: Additional Room

The presence of possible microbial stains has been observed in the specified area. Testing by a lab would be needed to determine if it is microbial growth and what type. It is recommended to evaluate the extent of the issue and consider repair if necessary to prevent further growth and maintain a healthy indoor environment. A qualified mold remediation specialist should be contacted for further assessment and appropriate treatment.

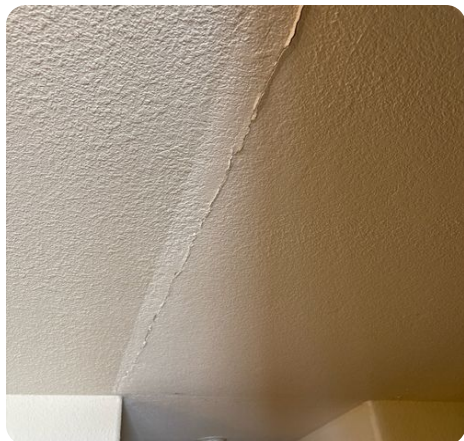


34 Ceiling Cracks

Attention

Location: Main Hall

Ceiling cracks may indicate normal settling of the house over time, but it is recommended to evaluate them further to ensure they are not a sign of a more serious structural issue. Depending on the severity, a qualified contractor should repair the cracks to prevent any water leakage or further damage. Keeping an eye on these cracks and repairing them promptly can help maintain the integrity of the ceiling.



35 Wall Damage

🔧 **Repairs Recommended**

📍 Location: **Main Hall**

The interior walls show signs of damage. It is recommended to evaluate the extent of the damage and repair to prevent further deterioration. A qualified contractor can assess the cause and make necessary repairs to restore the wall to its proper condition.



36 Carbon Monoxide Alarms

🔧 **Repairs Recommended**

Carbon monoxide alarms should be installed in the appropriate locations throughout the structure. Fire safety officials recommend that Carbon Monoxide detectors be placed on each level of the structure, near sleeping areas, be hard-wired to power and have battery back-up. Any carbon monoxide detector over 10yrs old should be replaced regardless as to whether the alarm sounds when tested. The date of manufacture can typically be found on the inside of the unit. Testing these alarms is not within the scope of this inspection, however the inspection may or may not test them if accessible. It is recommended that these units be tested upon moving in and monthly thereafter.

37 Missing Cabinet Trim

🔧 **Repairs Recommended**

The cabinet trim is missing, which can detract from the overall aesthetic appeal of the cabinets. It is recommended to have a qualified specialist install the missing trim to provide a finished look.



38 Caulking, Grout And Enclosures Evaluated

Attention

The caulking and grout at the tub/shower enclosures, vanities, countertops and floors have been evaluated. Any deteriorated or missing caulking or grout can lead to water intrusion and damage. It is recommended to repair any damaged caulking or grout to prevent water damage and maintain the integrity of the enclosures, vanities, countertops and floors.

39 Cracked Shower Tile

Attention

The shower tile is cracked on the step up at the entrance way. Repair by a tile specialist recommended. The inspector cannot determine if any water damage was present below the tile. A more invasive inspection would be needed to make this determination.



40 Moisture Build-Up Around Window

Repairs Recommended

Location: **Additional Room**

Moisture build-up around the window was observed. This may indicate poor insulation or ventilation, potentially leading to mold growth or damage to the window frame and surrounding areas. It is recommended to evaluate the window seals, improve ventilation in the area, and consider recaulking or weatherstripping the window to prevent further moisture intrusion. If needed, consult with a qualified contractor to address any underlying issues.

Appliances

41 Stove Exhaust Not Functioning

🔧 Repairs Recommended

The stove exhaust at the cooktop did not function. Questioning the seller as to its operation and functionality is suggested. It is recommended to evaluate and repair the exhaust fan for intended use and ventilation in the event that smoke is produced from cooking. A qualified appliance specialist should be consulted for further evaluation and repair.



42 Non-Functioning Stove Top Burner

🔧 Repairs Recommended

The stove top burner is not working properly. We recommend evaluating and repairing the burner to ensure all burners are functioning correctly. This issue can impact the cooking ability and efficiency of the stove. It is recommended to have a appliance repair technician inspect and repair the non-working burner.



43 Not Functional

🔧 Repairs Recommended

The microwave oven was not functional. It is recommended to have any necessary repairs done by a qualified professional and verify functionality before closing.



44 Garbage Disposal Not Functional

🔧 **Repairs Recommended**

The garbage disposal was not functional at the time of the inspection. The unit may be jammed or need repairs. Contact a qualified professional to make needed repairs or replace the disposal.



45 Active Leak

🔧 **Repairs Recommended**

An active drip leak was observed at the clothes washer valves. Repair is recommended to prevent possible water damage.



Fireplace

46 Pellet Stove Not Tested

Attention

The pellet stove was not tested. It is recommended to have a qualified technician evaluate the pellet stove to ensure it is functioning properly and safely before regular use. Regular maintenance and cleaning of the pellet stove are also recommended to prevent potential issues.



47 Chimney Flue Cleaning Recommended

Repairs Recommended

The chimney flue should be cleaned. It is recommended to have a qualified chimney sweep clean the chimney flue to ensure proper ventilation and prevent any potential fire hazards. Regular cleaning also helps in maintaining the efficiency of the fireplace.



Structural Components

48 Moisture Stains On Floor Structure

Attention

Location: Crawl Space

The presence of moisture stains on the floor structure indicates possible water intrusion. It is recommended to evaluate the source of the moisture and repair any leaks to prevent further damage to the structural integrity of the floor. Refer the recent pest inspection reports for further details and recommendations.



49 Evidence Of Rodent Activity

Repairs Recommended

Evidence of rodent activity in the form of droppings and/or rodent control devices were observed within the home at the time of the inspection. It is recommended that the current homeowner be consulted for additional information regarding the extent or history of any known activity. Further evaluation by a licensed/certified pest control professional may be warranted.

Insulation and Ventilation

50 Settled And Matted Insulation

Attention

The insulation in the attic has settled and become matted, which can result in reduced energy efficiency. It is recommended to evaluate and repair by adding more insulation to ensure proper coverage and maximize the insulation's effectiveness. A qualified insulation contractor can assess and add more insulation as needed to improve energy efficiency.



51 Crawl Space Ventilating Into Room Addition

Repairs Recommended

Location: Additional Room

The crawl space ventilating into the room addition is a concerning issue as it can lead to poor indoor air quality and potential health hazards. This situation can also cause temperature imbalances and moisture problems in the room addition. It is recommended to consult with a qualified HVAC professional to evaluate and repair the crawl space ventilation system to ensure proper ventilation and prevent further issues.



Full Home Inspection

Full Home Inspection

1.1 Exterior > Siding and Trim

About the Siding and Trim

Siding Material: Engineered Wood Siding, Metal Siding, Stucco

Loose Metal Trim

🚩 Repairs Recommended

📍 Location: Back of Home

The metal trim on the exterior of the property is loose. This can lead to water penetration and further damage if not addressed. It is recommended to secure or repair the loose metal trim to prevent any potential issues in the future.



Minor Trim Damage

(Included in Summary)

ⓘ Attention

📍 Location: Front of Home

The area has minor trim damage. It is recommended to evaluate and repair the damaged trim to prevent further deterioration. A qualified carpenter can help repair the trim as needed.



Stucco Cracks

Preventive Measure

The stucco shows minor cracking. This is common with stucco applications and typically not a major concern. It is recommended to monitor the cracks for any widening or water penetration. If cracks become larger than 1/8th", further assessment and repair by a qualified professional should be considered.



Siding And Trim Evaluated

Informational

The siding and trim were evaluated for signs of damage, deterioration, or installation issues. It is important to proactively maintain these materials to preserve the integrity, weather protection, and aesthetics of your home. Regular maintenance such as cleaning, re-painting and general repairs can help prevent damage and ensure the longevity of the exterior surfaces.

Stucco To Grade

Informational

The stucco siding covers the foundation and extends into the soil. This is typical with older structures due to building standards at the time of initial construction. This is a conducive environment for pest and moisture intrusion between the stucco and foundation wall. We recommend periodic inspections by a qualified professional pest and dry rot inspection company and/or modifications to the installation by a qualified building contractor.

1.2 Exterior > Paint/Coating and Caulking

Chipping And Peeling Paint

 (Included in Summary)

 Attention

The exterior of the structure has chipping and peeling paint. The inspector recommends further evaluation and repainting by a qualified painter who will properly prepare the surface, sand, apply primer and apply fresh coats of paint.



Paint And Caulk Evaluated

 Informational

The exterior paint and caulk have been evaluated. Having the exterior paint periodically touched up is recommended as needed. Touching up the structure caulking around windows and doors is recommended as needed. The caulking helps keep rainwater from penetrating behind the siding material and causing premature deterioration of the substrate material. Fresh paint and caulk provides protection and enhances the overall appearance of the structure.

1.3 Exterior > Exterior Windows

About the Exterior Windows

Window Type: Single-Pane, Dual-Pane

Rubber Seal Displacement

 (Included in Summary)

 Repairs Recommended

The rubber seal between the window panes is displaced. This is a cosmetic issue however, this can lead to air and water leaks and reducing energy efficiency. It is recommended to repair or replace the rubber seal to ensure proper insulation and protection against the elements.



Damaged Window Screen



(Included in
Summary)



Attention

One or more of the window screens were damaged or not seated properly within the window frame. Repairing/replacing the damaged screens is recommended. Evaluation and repair by a qualified window professional is advised.



Exterior Windows Evaluated



Informational

The exterior window frames, seals, and glazing were inspected for proper installation, damage or wear. The visual inspection of the windows may not disclose failed seals in between the panes of glass, or other deficiencies with the windows, UV coatings or films. These deficiencies are sometimes only visible under certain climatic conditions. It is not always possible to see all windows or seals during a home inspection due to furnishings, obstructions, film, or debris on the glass.

Single Pane



Informational

The windows in the home are single pane, which are less energy efficient and can lead to higher energy costs. Replacing the single pane windows with double or triple pane windows in the future should be considered in order to help improve energy efficiency and lower heating and cooling costs. Contacting a qualified window contractor for a cost estimate is recommended.



1.4 Exterior > Eaves, Soffits, and Fascia

Damaged Fascia Board

 (Included in Summary)

 Repairs Recommended

 Location: Back of Home

The fascia boards on the exterior of the structure have moisture damaged. Refer to a recent pest report or contact a qualified contractor for proper repair.



Rust On Metal Roof Eaves

 (Included in Summary)

 Attention

The metal roof eaves are showing signs of rust indicating possible leaks or elevated moisture levels. This issue can lead to structural deterioration if not addressed, affecting the integrity of the eaves over time. It is recommended to evaluate and repair the rusted areas to prevent further corrosion and maintain the functionality of the eaves. A qualified roofer should assess the extent of the rust and recommend appropriate treatment.



Eaves, Soffits And Fascia

Informational

The eaves, soffits, and fascias were evaluated. We recommend regular maintenance to ensure they remain in optimal condition and help protect the exterior of the home.

1.5 Exterior > Vegetation, Grading, Surface Drainage

Vegetation Recommendations

Preventive Measure

All vegetation should be kept trimmed 12 inches away from the structure to eliminate a common avenue for pest infestation and damage to the exterior structure material. Maintenance of overhanging trees, vines and other plant material is recommended.

Grading Recommendations

Informational

The grading around the perimeter of the foundation should be maintained to adequately drain excessive run-off of landscape and roof-runoff water naturally away from the structure. Flat lots may hold water due to the type of soil and/or amount of water from surrounding areas. It is recommended the grade slope away from the structure a minimum 6" for the first 6'-10' away from the foundation.

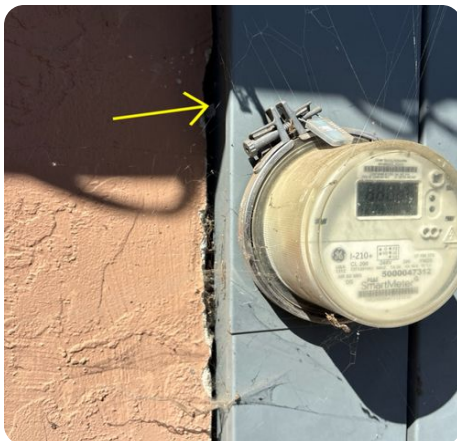
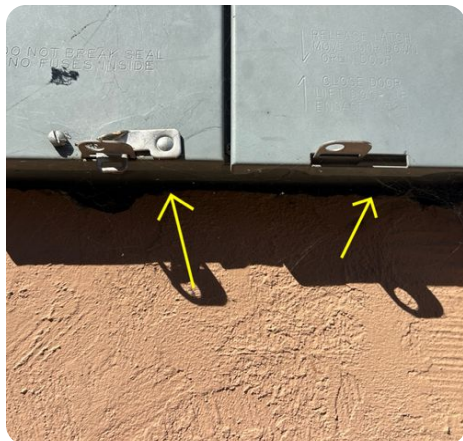
1.6 Exterior > Exhaust Hoods, Vents, and Other Penetrations

Void Around Electrical Panel

(Included in Summary)

Repairs Recommended

The void around the electrical panel should be filled to prevent potential entry points for pests or moisture infiltration. This issue can lead to safety hazards and should be addressed promptly. It is recommended to consult a qualified electrician to evaluate and seal the void effectively.



Damaged Vent Screen

 (Included in Summary)

 Repairs Recommended

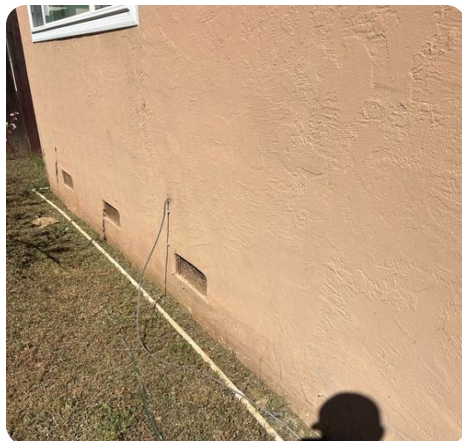
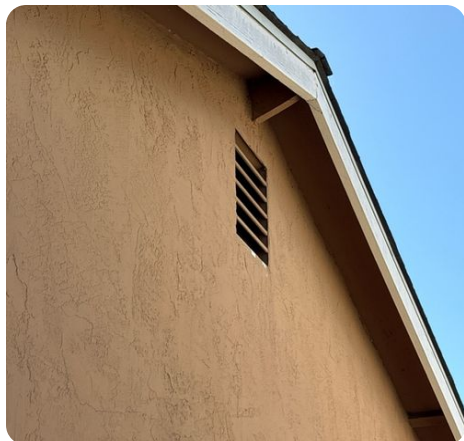
There is a damaged vent screen at the structure which should be replaced/repaired. Tight vent screens should be provided to allow proper ventilation to the area, and to prevent pests from entering. Appropriate repairs are recommended.



Exterior Vents And Penetrations Evaluated

 Informational

The exterior vents and siding penetrations have been evaluated. It is recommended to routinely check and maintain these areas to prevent blockages, damage, and optimize ventilation. Routine visual inspections and cleaning can help maintain efficiency and avoid potential issues.



1.7 Exterior > Exterior Doors

Sliding Glass Door Adjustment

 Limitation

 Location: Rear Patio, Master Bedroom

The sliding glass door requires adjustment to ensure smooth operation. We recommend evaluating and repairing the sliding door mechanism to prevent any further issues. A qualified carpenter or handyman can assist in adjusting the door to improve functionality.



Exterior Entry Doors

 Informational

All Exterior doors were evaluated. It is recommended to routinely evaluate the condition of the exterior doors to ensure they are functioning properly and providing adequate security. Regular maintenance such as lubricating hinges, checking weather stripping, securing all hardware and repairing any cracks or gaps can help prolong the lifespan and security of the doors.

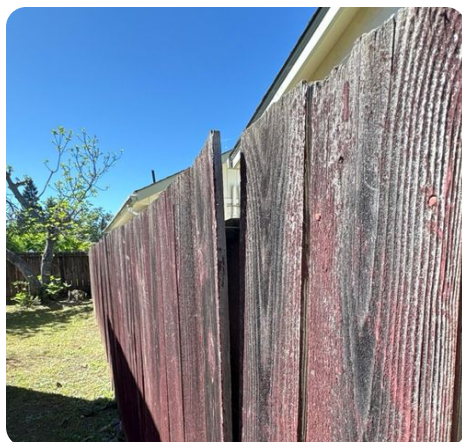
1.8 Exterior > Fencing and Gates

General Fence Damage Observed

 (Included in Summary)

 **Repairs Recommended**

Damage was observed on the property's fences, such as loose or missing boards, broken or leaning posts, and signs of rot or decay. To maintain the integrity and security of the fences, it is advisable to assess and fix the affected areas as required. If necessary, a qualified fence contractor should be reached out to for further assessment and repairs.



1.9 Exterior > Additional Information

Watering System

 **Informational**

Testing the watering/irrigations system is not within the scope of the inspection. It is recommended to evaluate the watering/irrigation system to ensure proper functioning. Check for any leaks or clogs in the hoses, sprinklers, or drip lines. Proper maintenance can help prevent water wastage and ensure efficient watering of your landscaping. If repairs are needed, consider hiring a qualified irrigation specialist for professional assistance. You may wish to have the spray pattern of the system evaluated to verify that all areas of the yard are receiving the proper amount of water.

Additional Room/Addition Recommended

 **Informational**

The inspector noted that the home includes a bonus room or addition. Determining whether this area was constructed with the proper permits and in compliance with local building codes is beyond the scope of this inspection. The inspector recommends that the client verify permit status and final approvals with the local building department to ensure the addition was completed according to applicable regulations and safety standards.



2.1 Decks, Balconies, Paved Surfaces > Walkways, Driveway

About the Walkways, Driveway

Address Identification: Visible

Visible: The property's address is visible from the street, facilitating easy location by first responders. It's advisable to verify the visibility of house numbers twice annually to ensure they remain clear.

Walkways And Driveways Evaluated

✓ Functional

The inspection of the walkways and driveway included checking for cracks, uneven surfaces, and proper drainage to prevent standing water. Both the walkways and the driveway were found to be in serviceable condition.



3.1 Roof > Roof Covering

About the Roof Covering

Pitch: Pitched

Pitched: A pitched roof is characterized by sloped surfaces that meet at an angle, designed to facilitate water runoff and add architectural appeal.

Roof Covering Material: Composition Shingle, Metal

Composition Shingle: Asphalt shingles are categorized by their warranty duration, such as 20, 25, 30, 40, and 50 years.

Metal: Metal roofs are known for their durability, with a life expectancy of about 40-60 years. Regular inspections and repairs, especially of the seams, are essential for maintaining their condition and extending their lifespan.

Apparent Number of Layers: Approx. 1 Layer

Approx. 1 Layer: Most times multiple layered roofs are difficult to determine without damaging the material, as well as layers of roofing felt.

Approximate Age of Roof: 16-20 Years Old

Granule Loss And Exposed Fibers At Edges

 (Included in Summary)

 Attention

The roof covering is showing signs of granule loss and exposed fibers, indicating normal wear and aging. There appears to be serviceable life remaining. Further assessment and recommendations for future replacement by a qualified roofing company may be considered.



Not A Roof Warranty

 Limitation

The inspector is NOT a licensed roofing contractor, and does not provide a leak-tight guarantee or a warranty for the roof system. The inspector only provides a general condition report on the visible surface areas based on his experience. For a more detailed inspection of the installation and remaining service life of the roof cover, contact a qualified roofing contractor for further review.

Asphalt Composition Roof

 Informational

The material used on this roof has an approximate life expectancy of 20 to 30 years from the date of installation if properly and regularly maintained. Proper care, regular inspection, and preventative maintenance will ensure the longevity of the roof materials.



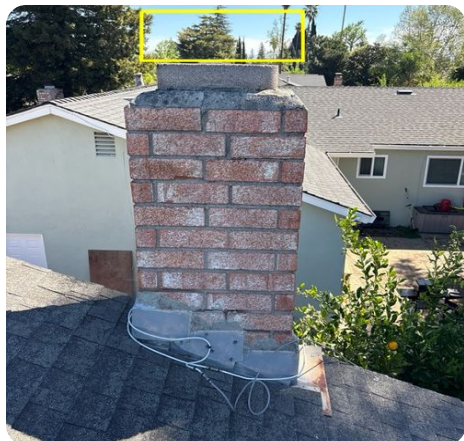
3.2 Roof > Exterior Chimney

Missing Rain Cap/Spark Arrestor

 (Included in Summary)

 Attention

The chimney flue does not have a rain cap/spark arrester installed. A rain cap/spark arrester is recommended to prevent rainwater ingress and pest entry. Rainwater entering the flue can accelerate the degradation of the chimney's brick and mortar. It is advised to contact a qualified contractor or roofing professional for installation.

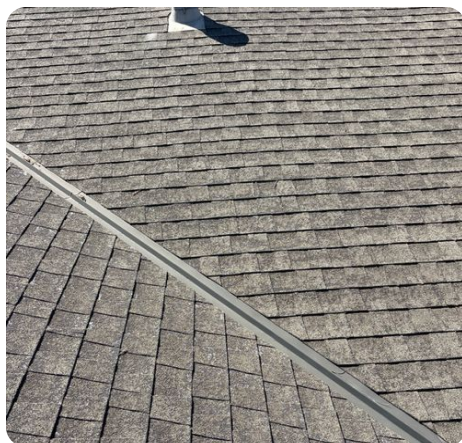


3.3 Roof > Flashing and Valleys

Roof Flashing And Valley Maintenance

 Preventive Measure

Any build-up, corrosion/rust or debris build-up in the valleys or flashing areas should be removed as needed. It is recommended to perform preventative maintenance of the flashings and valleys every 3-5 years to allow water to flow to the gutters and/or from the roof as intended. Contact a qualified roofing company for this maintenance.



3.4 Roof > Roof Vents and Penetrations

Roof Vents And Penetrations Maintenance

 Informational

Periodic maintenance for roof vents and penetrations is recommended to ensure they remain in good condition and prevent potential leaks. It is advised to annually inspect for any signs of damage such as cracks or gaps and repair or replace any deteriorating components. Keeping these areas well-maintained can help prolong the life of your roof and prevent water infiltration.



3.5 Roof > Skylights

Solar Tube Skylights

✓ Functional

The solar tube roof skylights were inspected for indications of leaking or deterioration of the installation. There were no visible signs of defect at the time of the inspection.

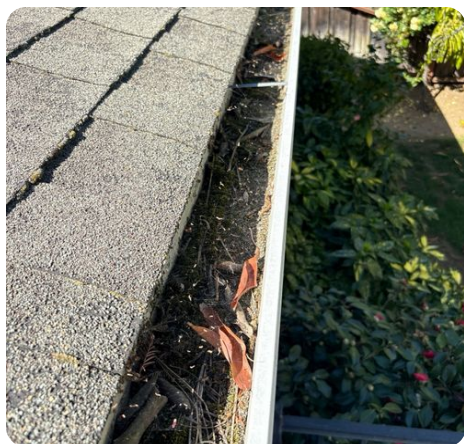
3.6 Roof > Gutters, Downspouts, and Drainage

Debris In Gutters

(Included in Summary)

✚ Repairs Recommended

The gutters have debris buildup which should be cleaned to prevent clogging of the gutters, downspouts, and/or drainage systems. It is recommended to clean the gutters semi-annually for proper care and maintenance of the gutter system. Contacting a qualified professional for this maintenance is advised.



3.7 Roof > Evaluation Method

About the Evaluation Method

Method of Inspection: Walked Surface

Roof Cover Evaluation From Rooftop

Informational

The roof was evaluated from the rooftop. It is recommended to periodically inspect the roof cover for any signs of damage or wear to ensure its functionality and prolong its lifespan.

4.1 Garage > Garage Vehicle Door

About the Garage Vehicle Door

Size of Garage: 2 Car

Type of Garage Door: Metal

Garage Door Spring Adjustment

 (Included in Summary)

Attention

The garage door is somewhat difficult to lift open manually indicating spring tension adjustment needed. This adjustment is typically required to improve the balance and operation of your garage door. It is recommended to have a qualified garage door technician evaluate the spring adjustment to ensure the door functions properly and safely. Avoid attempting to adjust the spring yourself as it can be dangerous due to the high tension involved.

Garage Vehicle Door Evaluated

Functional

The garage vehicle door was evaluated. Periodic adjustment/maintenance of the doors and track may be needed to insure continued smooth operation.



4.2 Garage > Garage Door Opener and Safety

Automatic Garage Door Opener Evaluated

Functional

The automatic garage door opener was evaluated and tested using normal operating controls. Periodic inspections, greasing, adjustments, and tightening of brackets are suggested as part of normal preventative maintenance. We recommend contacting the manufacturer or an overhead door company for routine maintenance.

4.3 Garage > Fire Separation

Spring Hinge Needs Adjustment

(Included in Summary)

Repairs Recommended

Location: **Garage/House Door**

The spring hinge on the garage door to the structure is not adjusted to allow for automatic closure. Adjusting or replacing the spring-loaded hinge is recommended to provide the intended firewall safety function between the living area and the garage. It is suggested to contact a qualified professional for this maintenance.



4.4 Garage > Garage Floor and Surfaces

Garage Floor And Surfaces

Functional

The garage floor, walls, and ceiling were found in functional condition.

Garage Floor, Stored Materials

Informational

Visible portions of the garage floor appeared functional but not all areas were visible due to stored materials (cabinets, trim, doors, etc).

5.1 Electrical > Service Entrance and Grounding

About the Service Entrance and Grounding

Main Service: Underground

Main Service Conductor: Multi-Stranded Aluminum, Multi-Stranded Copper

Underground Service Entrance And Grounding Evaluated

Functional

The service entrance and grounding system has been evaluated. The home contains underground service connections which is not completely visible. The grounding system was not visible as it may be concealed within the wall.

5.2 Electrical > Main Service Panels and Disconnects

About the Main Service Panels and Disconnects

Main Panel Location: Exterior

Main Panel Capacity: 100 amps/240 Volt

Subpanel Capacity: 100 amps

Main Panel Gaps

 (Included in Summary)

 Attention

The gaps at the main panel should be sealed to prevent any foreign objects from entering. Proper sealing is essential to maintain the integrity and safety of the electrical panel. We recommend sealing the gap to ensure the panel functions effectively and to prevent any potential hazards.

Electrical Panel Evaluated

 Functional

The electrical service panel and main disconnect were evaluated. It is recommended to periodically evaluate these components, especially as they age to ensure continued safe and efficient operation.

5.3 Electrical > Interior Components of Main Service Panels

About the Interior Components of Main Service Panels

Panel Cover Removed: Yes

Interior Components Evaluated

 Functional

The interior components of the electrical service panels were evaluated during the inspection. It is recommended to conduct regular maintenance and/or evaluation on the electrical panels to ensure continued safe performance.



5.4 Electrical > Interior Components of Subpanels

About the Interior Components of Subpanels

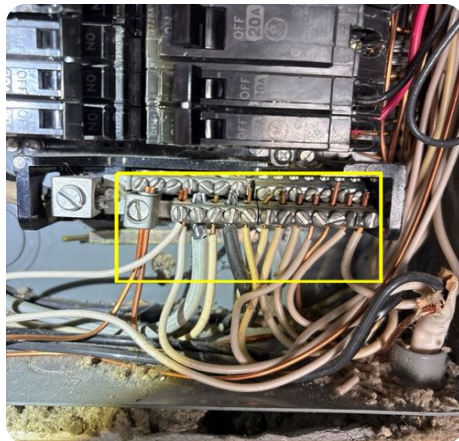
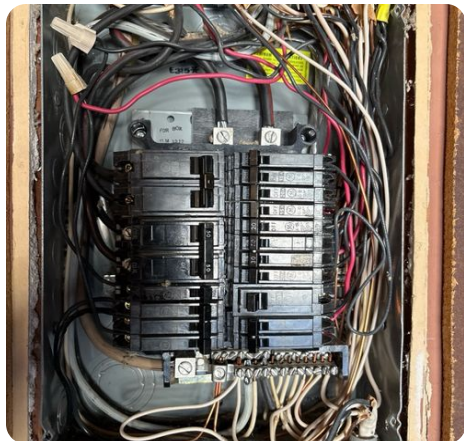
Subpanel Location: Garage

Ground And Neutral Wires Combined

 (Included in Summary)

 **Repairs Recommended**

Ground and neutral wires were found on the same terminal bar in the sub-panel, which can pose a potential health and safety hazard. It is important to separate ground and neutral wires in all sub-panels, with a few exceptions. We advise reaching out to a qualified electrician to assess the situation and provide recommendations for necessary repairs.



Interior Components Evaluated

 **Informational**

The interior components of the subpanels were evaluated during the inspection, and they were found to be in working condition. It is always recommended to conduct regular maintenance and/or evaluation on the electrical panels to ensure continued performance.

5.5 Electrical > Breakers/Fuses

Over Current Protection Devices Evaluated

 **Functional**

The overcurrent protection devices in the electrical system were evaluated. It is essential to ensure these devices are kept in good working condition to protect the electrical system from overloads and short circuits. Note: The inspector does not operate or physically test any of the breakers during this visual examination.

5.6 Electrical > Wiring

About the Wiring

Wire Type: Non-Metallic Sheathed (Romex)

Wire Material: Copper, Multi-Strand Aluminum

Electrical Wiring Evaluated

 **Informational**

The visible and accessible electrical wiring was evaluated. Properly maintained wiring is crucial for the safety and functionality of the home's electrical system. Much of the wiring in the home is enclosed behind walls or ceilings and is not visible to inspect. It is recommended to conduct regular inspections to ensure the system is compliant with electrical safety standards.

5.7 Electrical > GFCIs

GFCI Receptacle Failed Test

 (Included in Summary)

 Repairs Recommended

 Location: Kitchen

The GFCI receptacle did not operate properly or 'trip' when tested. GFCI receptacles are designed to protect against electrical shock and should be in proper working condition. It is recommended to have a qualified electrician evaluate and repair or replace the receptacle.



GFCI Receptacle Ungrounded

 (Included in Summary)

 Repairs Recommended

 Location: Bathroom

The GFCI receptacle is ungrounded, indicating it is not connected to the grounding system. While ungrounded GFCIs can offer some safety protection in older services, updating the wiring to include a ground is recommended to enhance overall safety. Grounding is crucial for electrical safety as it helps prevent electrical shocks. It is advised to contact a qualified electrician to discuss potential options for upgrading the service.



GFCI Outlet Information

 Informational

Ground Fault Circuit Interrupter (GFCI) is a protection feature that allows a circuit or receptacle to "trip" or "shut off" if as little as a 5 milliamp differential is detected between the "hot" and "neutral" conductors. This protection is recommended for receptacles within 6 feet of the edge of a sink or where something plugged into a receptacle could come into contact with water, including bathrooms, kitchens, on the exterior, in garages, laundry rooms, and basements and crawl spaces. Although GFCI protection may not have been required in some or all of these areas when the home was built, their installation is highly recommended and is typically inexpensive.

5.8 Electrical > Fixtures, Switches, and Receptacles

Loose Outlet

 (Included in Summary)

 Repairs Recommended

There is a loose outlet in the home which could lead to connectivity issues and pose a safety hazard. It is recommended to evaluate and repair the outlet as soon as possible. A qualified electrician should be contacted to properly address and fix the loose outlet to ensure safety and functionality.



5.9 Electrical > Additional Information

Electrical Service General Statement

 Informational

An electrical system consist of the service, distribution wiring and convenience outlets. This includes switches, lights and receptacles. Our examination of the electrical system includes the exposed, inaccessible conductors, branch, circuitry panels, overcurrent, production devices, and a random sampling of convenient outlets. We look for adverse conditions such as improper installation of aluminum wiring, lack of grounding over fusing exposed wiring, running splices, reversed polarity, and other substandard or outdated installations. The hidden nature of electrical wiring prevents inspection of all the electrical system. Components, that are concealed from view are considered inaccessible. If the structure is occupied, furniture and/or storage may have restricted access to some electrical components which are then also considered inaccessible.

6.1 HVAC > Heating Equipment

About the Heating Equipment

Location of Heating System: Garage

Heating Method: Forced Air

Heating System Energy Source: Natural Gas

Approximate Manufactured Date of Heating System: 1998

Service Notes: Not Recently Serviced

Noise/Vibration From Condensing Fan Of The Furnace (Hhe-Mty)

 (Included in Summary)

 Attention

There was a vibration or whining noise observed from the furnace. This may be indicating wear or an issue with the condensing fan. It is recommended to have a qualified HVAC technician evaluate and repair the situation to prevent any potential breakdown or further damage to the furnace.

Heating System Evaluated

 Functional

The heating system was operated and found to be in functional condition. Having the system serviced annually by a qualified HVAC contractor is recommended to help ensure continued functional operation.



Heating System Average Life Expectancy

 Informational

The average life expectancy of a heating system is approximately 15-25 years depending on the type and maintenance of the system. If the system is near or over this life span, consideration into saving for a replacement or a more efficient model, should be considered. The inspector is not required to remove flame guards or view/identify the condition of the heat exchanger. This inspection checks on the general function of the heating system and in no way guarantees any mechanical components for useful life, serviceability, or efficiency. It is also recommended you contact an HVAC company annually, or as needed, to perform servicing and maintenance on the unit.



6.2 HVAC > Cooling Equipment

About the Cooling Equipment

Location of Cooling System: Exterior and Garage

Cooling Method: Central Air Conditioner

Approximate Manufactured Date of Cooling System: Over 20 Years

Service Notes : None Visible

Approximate Tonnage : 3 Ton

Delta Tb (Temperature Drop): Adequate

Cooling Equipment Evaluated

✓ Functional

The air conditioning system was evaluated and appeared to be functional. Annual maintenance of all HVAC equipment is vital to prolonged lifespan.



Cooling Equipment Life Expectancy

i Informational

The average life expectancy of cooling equipment in a home is typically around 15-25 years. Regular maintenance and timely repairs can help extend the lifespan of the cooling system. We recommend servicing by a qualified HVAC technician to ensure optimal performance and longevity of the equipment.



6.3 HVAC > Thermostats and Controls

About the Thermostats and Controls

Thermostat Location: Main Hall

Thermostat Evaluated

✓ Functional

The thermostats in the home were evaluated. Properly functioning thermostats are essential for maintaining a comfortable temperature in the house and can help save energy costs. It is recommended to continue regular maintenance and setting appropriate temperatures for optimal performance.

6.4 HVAC > Distribution/Return Ducts and Systems

About the Distribution/Return Ducts and Systems

Filter Size: 14 × 20 × 1

Location of Filter: Kitchen

Number of Filters Present: 1

Visible Ducting And Returns Evaluated

✓ Functional

The visible portions of the ducts/returns have been evaluated. Dust and debris can reside inside air ducts, if the occupants have allergies or other breathing-related issues, a duct cleaning may be warranted by a qualified contractor.



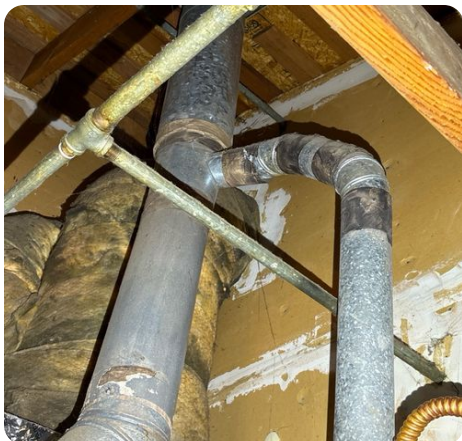
6.5 HVAC > Exhaust Vents and Flues

Combined Vent Pipes

(Included in Summary)

✚ Repairs Recommended

The vent pipes for different exhaust systems are sharing a common exit. It is recommended to have separate vent pipes for each system to avoid interference with proper ventilation. Consult with a qualified HVAC technician to evaluate and repair as necessary.



Vents And Flues Evaluated

✓ Functional

The homes visible vents and flues were evaluated. Proper functioning vents and flues are crucial for the efficient operation of the heating system, ensuring the safety and comfort of the occupants. To ensure continued performance and reliability, regular maintenance and inspections are strongly recommended

6.6 HVAC > Condensate System

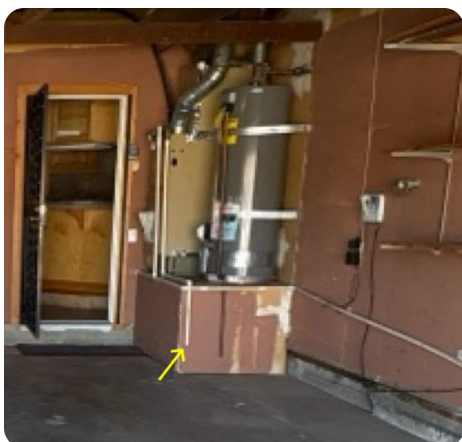
Condensate System Not Draining To Exterior

 (Included in Summary)

✚ Repairs Recommended

📍 Location: Garage

The condensate system is not draining to the exterior, which can lead to water accumulation and potential water damage. It is recommended to have a qualified HVAC technician evaluate and repair the system to ensure proper drainage. Standing water can cause mold growth and affect indoor air quality.



6.7 HVAC > Additional information

HVAC System Age Evaluation

(Included in Summary)

Attention

The entire HVAC system, which includes the heater and air conditioner, is over 30 years old and beyond its expected serviceable life. It is recommended to consider a thorough evaluation by a qualified HVAC technician to assess its current condition and efficiency.

Room Addition Not Conditioned

(Included in Summary)

Attention

The room addition is not conditioned, which means it lacks proper heating, ventilation, and air conditioning. This can result in uncomfortable temperatures, poor air quality, and increased energy costs. It is recommended to consult with an HVAC professional to evaluate the existing system's capacity and provide options for conditioning the room addition.

7.1 Plumbing > Water Supply and Piping

About the Water Supply and Piping

Structure Pipe Material: Copper, Galvanized Steel

Incoming Water Line Pipe Material: Galvanized

Galvanized: Galvanized piping is present and typically has a life expectancy of 30 to 50 years. Over time, rust accumulation inside the pipes can restrict their diameter. Upgrading to copper or another approved material may be considered to improve water quality and flow.

Water Source: City Water

Static Water Pressure: Between 40-80 PSI

Reduced Water Pressure

(Included in Summary)

Repairs Recommended

Location: Kitchen

The water pressure is low, noticeable at faucets and fixtures. This may indicate a blocked supply line, a faulty pressure regulator, or an issue with the municipal water supply. Repair is suggested to restore normal water flow. Consider contacting a qualified plumber for further assessment and necessary repairs.



Presence Of Black Sediment In Water

(Included in Summary)

Attention

The presence of black sediment in the water supply can indicate the deterioration of pipes or the water heater lining. It is recommended to have a licensed plumber evaluate the water piping system to identify the source of the sediment and take appropriate measures to address it, such as cleaning or replacing affected components. Regularly flushing the water heater and conducting maintenance can help prevent further buildup of sediment. ALSO NOTED-The water pressure was low, noticeable at some of the interior fixtures. This could be due to clogged screens, clogged orifices and/or issues with the well system. Repair is suggested to restore normal water flow. Consider contacting a qualified plumber for further assessment.



Water Supply System Evaluated

Informational

This is an evaluation of the readily accessible sections of the plumbing water supply, waste pipes, faucets and fixtures. Exterior water fixtures are spot tested. Interior faucets are turned on for a reasonable period of time to evaluate flow, identify leaks and other adverse conditions. We recommend all visible pipes, fixtures, and plumbing systems be re-examined prior to the close. Regular inspections should take place in order to identify any visible leaks to as a preventative measure.

7.2 Plumbing > Main Water Shutoff

About the Main Water Shutoff

Water Meter Location: Near Street

Water Shutoff Location: Front of Structure

Water Main Shut-Off

Functional

The water main shut-off valve was located and evaluated. It is important to know the location and condition of the shut-off valve in case of emergencies or repairs. We recommend testing the shut-off valve periodically to ensure proper functionality.



7.3 Plumbing > Drain, Waste, and Vent Systems

About the Drain, Waste, and Vent Systems

Waste Pipe Material: ABS

Main Sewer Clean-Out Location: Crawl Space

Sewer Type: Public

Waste Plumbing Leak

 (Included in Summary)

 Repairs Recommended

 Location: Crawl Space

The waste plumbing system is experiencing leakage. Evaluate and repair the leak to prevent further issues. It is recommended to hire a licensed plumber for this repair to ensure it is properly fixed.



Shower Drain Blockage

 Repairs Recommended

Debris was found in the shower drain. This blockage can lead to slow drainage or backups. It is recommended to have a qualified plumber remove the debris to prevent any further issues.



Plumbing Drainage System Evaluated

i Informational

The visible portions of the plumbing drain, waste, and vent system were evaluated for proper installation, pipe material condition and drain flow. To ensure continued functionality and avoid potential issues, regular maintenance and periodic inspections by a qualified professional is recommended.

7.4 Plumbing > Fuel Supply

About the Fuel Supply

Fuel Service: Natural Gas

Natural Gas: Gas line inspections are typically conducted only if problems are suspected. Corrosion on visible lines should prompt an inspection by the utility provider.

Fuel Shut Off Location: At Gas Meter and Appliances

Gas Supply Information

i Informational

Gas line inspections for leaks occur only if issues are detected. For older homes, upgrading gas flex lines and shut-off valves is advised for safety. If visible lines show corrosion, a detailed check by your utility supplier is recommended. Note 1: Gas appliances may lack a "Sediment Trap", crucial for trapping debris in gas lines. Despite the age of the structure, installing these traps near appliance inlets is advised for system protection. Note 2: For new homes or remodels check current local regulations, and confirm installation requirements with local authorities or your utility provider. Note 3: Gas systems using standard yellow or uncoated CSST require direct bonding, regardless of the electrical powering of connected equipment. If CSST is used, verify proper bonding through a qualified electrician.



7.5 Plumbing > Toilets

Defective Tank Valve In Toilet

 (Included in Summary)

 Repairs Recommended

 Location: Master Bathroom, Guest Bathroom

The tank valve in the toilet is defective, leading to issues with flushing. This can result in inconsistent flushing or no flushing at all, causing inconvenience and disruption to normal usage. It is recommended to have a qualified plumber evaluate and repair the tank valve to ensure proper functioning of the toilet.



Toilets General Statement

 Informational

The toilets were flushed a minimum of 2-3 times and inspected for cracks, leaks, attachment to the floor and serviceability. The toilets should be inspected periodically for indications of leaks, faulty tank flapper valves, cracking and floor attachment. Periodic replacement of flapper valves and water towers should be expected as typical homeowner maintenance.

7.6 Plumbing > Tubs, Showers, and Fixtures

Tub Valve Leak

 (Included in Summary)

 Repairs Recommended

 Location: Guest Bathroom

The tub valve is experiencing a leak when in the off position. It is recommended to evaluate and repair this leak to prevent further issues. Contact a licensed plumber to address this issue and ensure proper functioning of the tub valve.



Diverter Valve

 (Included in Summary)

 **Repairs Recommended**

 Location: **Guest Bathroom**

The diverter valve is in need of repair. A malfunctioning diverter valve can result in inadequate water flow or difficulty switching between fixtures. It is recommended to have a qualified plumber repair the fixture to ensure proper functioning and to avoid any water flow issues in the future.



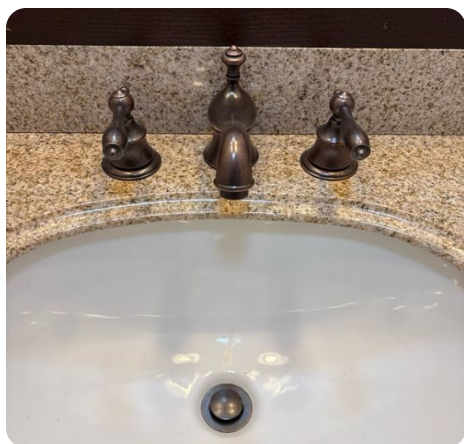
Low Or No Flow At Vanity Faucet

 (Included in Summary)

 **Repairs Recommended**

 Location: **Master Bathroom**

The issue is a low or no flow at the vanity faucet. This can be caused by a clogged aerator, issues with the water supply valves, or sediment buildup in the faucet. It is recommended to check and clean the aerator, inspect the water supply valves for any blockages, and consider flushing the faucet to remove sediment. If the problem persists, a licensed plumber should evaluate and repair the faucet to restore proper water flow.



Filtered Water Faucet

🔧 Repairs Recommended

📍 Location: Kitchen

The filtered water faucet did not function when tested. Contact a qualified handy person or Plumber for further evaluation and repairs.



Plumbing Fixtures Evaluation

📘 Informational

Plumbing fixtures including tubs, showers, sinks and their associated faucets, shower heads and tub spouts have been evaluated. It is recommended to continue monitoring these fixtures for any signs of leaks or wear over time.

7.7 Plumbing > Additional Information

Plumbing General Statements

📘 Informational

A plumbing system consists of the domestic water supply lines, drain, waste, and vent lines. Inspection of the plumbing system is limited to visible faucets, fixtures, valves, drains, traps, exposed pipes, and fittings. These items are examined for proper function, excessive, or unusual wear, leakage, and general state of repair. The hidden nature of piping prevents inspection of every pipe and joint. Conditions may exist that the inspector was unable to observe.

8.1 Water Heating Equipment > Water Heater

About the Water Heater

Water Heater Location: Garage

Water Heater Type: Gas

Water Heater Capacity : Approximately 40 Gallons

Approximate Manufactured Date of Water Heater: 2022

Approximate Water Temperature: Under 120 Degrees

Seismic Strapping: Yes

Water Heater General Statement

✓ Functional

The typical service life of a water heater ranges from 8-12 years from the installation date. While a home inspection assesses the system's general function, it's advisable to have a qualified water heater service company inspect the unit and its anode rod every 3-4 years. Additionally, periodic draining of the water heater is recommended to clear any sediment buildup in the tank. The recommended temperature setting for a residential water heater is 120 Degrees Fahrenheit or below for safety and efficiency purposes.



8.2 Water Heating Equipment > TPR Valve/Discharge Pipe

TPR Valve And Discharge Pipe Evaluated

✓ Functional

The water heater temperature/pressure relief (TPR) valve and discharge pipe were evaluated. but not physically tested as leaks may occur. A TPR valve allows water to escape if the temperature or pressure becomes too high within the water heater. A discharge pipe is installed to prevent someone from being sprayed with hot water in the event the TPR valve discharges. Discharging of a TPR valve is uncommon and usually indicates a water heater is in need of service or replacing.

8.3 Water Heating Equipment > Exhaust Flue Piping

Exhaust Flue Piping Evaluated

✓ Functional

The exhaust flue piping of the water heater was visually examined to ensure proper installation, secure attachments, free from obstruction, and correctly venting exhaust gases to the exterior of the structure.

9.1 Interior > Walls, Ceilings, and Floors

Wall Damage

 (Included in Summary)

 Repairs Recommended

 Location: Main Hall

The interior walls show signs of damage. It is recommended to evaluate the extent of the damage and repair to prevent further deterioration. A qualified contractor can assess the cause and make necessary repairs to restore the wall to its proper condition.



Microbial Stains Noted

 (Included in Summary)

 Repairs Recommended

 Location: Additional Room

The presence of possible microbial stains has been observed in the specified area. Testing by a lab would be needed to determine if it is microbial growth and what type. It is recommended to evaluate the extent of the issue and consider repair if necessary to prevent further growth and maintain a healthy indoor environment. A qualified mold remediation specialist should be contacted for further assessment and appropriate treatment.





Carpet Stains And Damage

 (Included in Summary)

 Repairs Recommended

 Location: Additional Room

The carpet shows significant staining and damage. It is recommended to evaluate the extent of the damage and consider repairing or replacing the carpet to improve the overall appearance and comfort of the space.



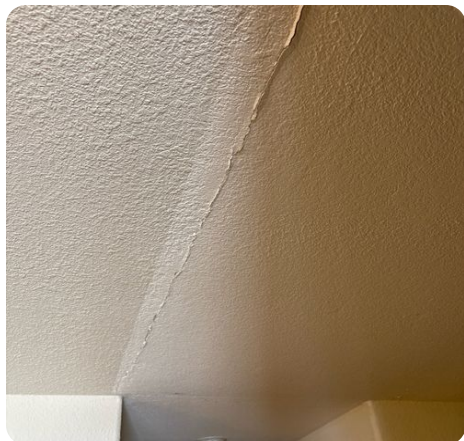
Ceiling Cracks

 (Included in Summary)

 Attention

 Location: Main Hall

Ceiling cracks may indicate normal settling of the house over time, but it is recommended to evaluate them further to ensure they are not a sign of a more serious structural issue. Depending on the severity, a qualified contractor should repair the cracks to prevent any water leakage or further damage. Keeping an eye on these cracks and repairing them promptly can help maintain the integrity of the ceiling.



Walls, Ceilings, And Floors Evaluated

i Informational

The walls, ceilings, and floors have been evaluated for any excessive damage, staining/discoloration, cracking and stability. In used homes, blemishes and minor wear/damage are typical and not reported on.

9.2 Interior > Doors

Interior Doors Evaluation

✓ Functional

The interior doors have been tested and evaluated for alignment, excessive damage, open/close operation, latching and condition of hardware. The doors and door hardware may require repair/adjustments over time to insure continued smooth operation.

9.3 Interior > Smoke Alarms

Smoke Alarms Locations And Recommendations

i Informational

Current standards require the installation of smoke alarms inside every sleeping area, outside each sleeping area, and on every level of the structure including attics and basements. It is advisable to test the units prior to occupying the structure, as well as monthly thereafter to ensure their operation. Smoke detectors over 10 years old, show age or discolorations should be replaced. Determining the actual functionality of the smoke alarms is outside the scope of this inspection, however the inspector may spot test smoke detectors if accessible.

9.4 Interior > Carbon Monoxide Alarms

Carbon Monoxide Alarms

(Included in Summary)

✚ Repairs Recommended

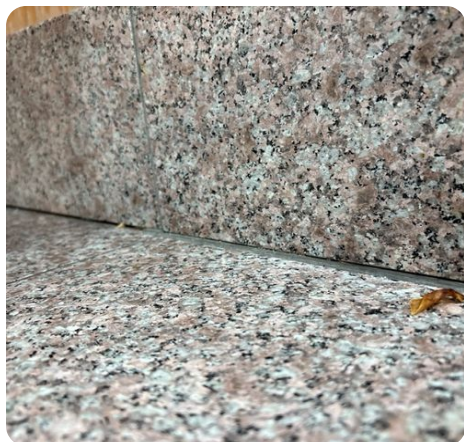
Carbon monoxide alarms should be installed in the appropriate locations throughout the structure. Fire safety officials recommend that Carbon Monoxide detectors be placed on each level of the structure, near sleeping areas, be hard-wired to power and have battery back-up. Any carbon monoxide detector over 10yrs old should be replaced regardless as to whether the alarm sounds when tested. The date of manufacture can typically be found on the inside of the unit. Testing these alarms is not within the scope of this inspection, however the inspection may or may not test them if accessible. It is recommended that these units be tested upon moving in and monthly thereafter.

9.5 Interior > Countertops and Installed Cabinets

Countertop Sidesplash And/Or Backsplash Re-Sealing

🔧 Repairs Recommended

The countertop sidesplash or backsplash requires re-sealing. This issue can lead to water damage and staining the countertop material if not addressed. It is recommended to have a qualified professional evaluate and re-seal the sidesplash to prevent further deterioration.



Missing Cabinet Trim

 (Included in Summary)

🔧 Repairs Recommended

The cabinet trim is missing, which can detract from the overall aesthetic appeal of the cabinets. It is recommended to have a qualified specialist install the missing trim to provide a finished look.



Countertops And Cabinets Evaluated

 Informational

The accessible countertops and installed cabinets were evaluated to assess their installation, stability, surface condition and functionality. Minor defects including, hairline cracks, worn grout, caulking or finishes are common in used homes. Maintaining these surfaces by reapplying or touching up grout, caulking and finishes can help protect and prolong the structure and aesthetics of the cabinets and countertops.

Missing Drawer

 Informational

📍 Location: Kitchen

The bottom drawer is missing from the cabinet. If the drawer is necessary, we recommend repair by qualified cabinet contractor.



9.6 Interior > Caulking, Grout, and Enclosures

Caulking, Grout And Enclosures Evaluated

 (Included in Summary)

 Attention

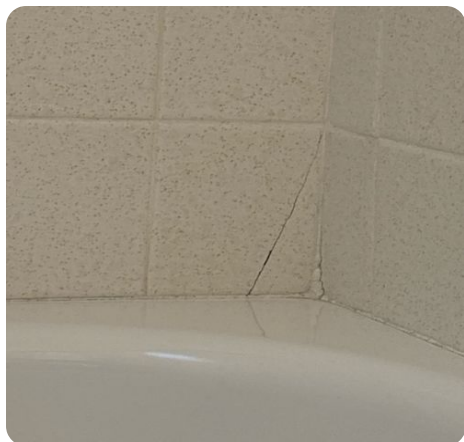
The caulking and grout at the tub/shower enclosures, vanities, countertops and floors have been evaluated. Any deteriorated or missing caulking or grout can lead to water intrusion and damage. It is recommended to repair any damaged caulking or grout to prevent water damage and maintain the integrity of the enclosures, vanities, countertops and floors.

Cracked Shower Tile

 (Included in Summary)

 Attention

The shower tile is cracked on the step up at the entrance way. Repair by a tile specialist recommended. The inspector cannot determine if any water damage was present below the tile. A more invasive inspection would be needed to make this determination.



9.7 Interior > Windows

Moisture Build-Up Around Window

 (Included in Summary)

 Repairs Recommended

 Location: Additional Room

Moisture build-up around the window was observed. This may indicate poor insulation or ventilation, potentially leading to mold growth or damage to the window frame and surrounding areas. It is recommended to evaluate the window seals, improve ventilation in the area, and consider recaulking or weatherstripping the window to prevent further moisture intrusion. If needed, consult with a qualified contractor to address any underlying issues.

Interior Windows Evaluated

 Informational

A representative number of accessible windows were evaluated to assess their condition and functionality. The accessible windows were evaluated and tested for functionality, including opening, closing, and locking mechanisms. Periodic maintenance and cleaning of the windows and tracks is recommended to ensure continued functionality. In occupied homes, it may not be possible to thoroughly examine all windows due to obstructions such as furnishings, window coverings, debris, or films on the glass.

9.8 Interior > Additional Information

Updates/Modifications/Permits

 Informational

Updates and/or modifications have been made to the original structure (which may include but are not limited to foundation, plumbing, electrical, cosmetic upgrades, enclosed patios, additions, wall sections removed, etc.). The inspector recommends questioning the seller, prior to closing, to determine if any permits were needed for the work performed. If so, were proper permits obtained prior to performing the work and if all appropriate inspections were performed by the local building officials. In addition, the inspector recommends requesting any warranty information on the materials installed and workmanship performed.

Mold Disclaimer

 Informational

The inspector is not a qualified mold inspector or expert in bio-organic growth. We are not qualified to inspect, identify, or give opinions regarding molds or airborne agents. Many times, the presence of mold is not readily visible and can appear in a short period. If the residence is vacant, leaks have occurred, past or present evidence of sub-area moisture/dampness, and/or heat has been turned off to the home, molds may be present. This inspection is limited to visible and accessible areas at the time of the inspection. To determine what types of bio-organic agents may be located at the property, we recommend you hire a certified mold inspection company for further evaluations and/or to conduct a thorough inspection before closing.

Asbestos And Lead Paint General Statement

 Informational

The scope of this inspection does not include an asbestos-in-material sampling and/or identification inspection. Houses built before or near 1978 may contain this material in certain substrates (drywall, flooring, acoustic texture, etc.) or building materials (exhaust pipes, insulation, heat registers, etc). If there is a concern, we recommend you contact an appropriate testing facility for further evaluation. The scope of this inspection does not include a lead in materials sampling inspection. The US government Consumer Product Safety Commision banned the production of lead paint in 1978. Homes constructed prior to this date may contain lead paint, and consideration should be given to having the paint tested.

10.1 Appliances > Stove, Cooktop

About the Stove, Cooktop

Energy Source: Electric

Non-Functioning Stove Top Burner

 (Included in Summary)

 Repairs Recommended

The stove top burner is not working properly. We recommend evaluating and repairing the burner to ensure all burners are functioning correctly. This issue can impact the cooking ability and efficiency of the stove. It is recommended to have a appliance repair technician inspect and repair the non-working burner.



Stove Exhaust Not Functioning

 (Included in Summary)

 **Repairs Recommended**

The stove exhaust at the cooktop did not function. Questioning the seller as to its operation and functionality is suggested. It is recommended to evaluate and repair the exhaust fan for intended use and ventilation in the event that smoke is produced from cooking. A qualified appliance specialist should be consulted for further evaluation and repair.



10.2 Appliances > Oven

About the Oven

Energy Source: Electric

Oven General Statement

 **Functional**

The oven was tested to determine its functionality. The tests are designed to determine basic functionality and should not be considered a verification of actual temperatures achieved. Timers, clocks, convection fans, and self-cleaning systems are not tested and are outside the scope of this inspection. Periodic cleaning and maintenance is recommended for continued use.

10.3 Appliances > Dishwasher

Dishwasher Tested ✓ Functional

A on/off check of the dishwasher was performed to determine if it was operational. A full cycle check is often not possible at the time of this inspection; therefore, we cannot comment on the full extent of its functions or its ability to clean. The average life of a dishwasher is 8-12 years. Periodic cleaning of the interior filters and wasah compartment is required to extended use.

10.4 Appliances > Refrigerator

Refrigerator General Statement i Informational

The interior of the refrigerator and freezer were cold at the time of inspection. If the unit remains within the home, we recommended verifying the age and current condition of the unit.

10.5 Appliances > Microwave

Not Functional

 (Included in Summary)

🔧 Repairs Recommended

The microwave oven was not functional. It is recommended to have any necessary repairs done by a qualified professional and verify functionality before closing.



10.6 Appliances > Garbage Disposal

Garbage Disposal Not Functional

 (Included in Summary)

🔧 Repairs Recommended

The garbage disposal was not functional at the time of the inspection. The unit may be jammed or need repairs. Contact a qualified professional to make needed repairs or replace the disposal.



10.7 Appliances > Washer, Hookups, and Drains

Active Leak

 (Included in Summary)

 Repairs Recommended

An active drip leak was observed at the clothes washer valves. Repair is recommended to prevent possible water damage.



Washer General Statement

 Informational

The washer valves and drain inlet were visibly evaluated. Testing the washer and floor drain is not within the scope of a home inspection. The inspector does not run the clothes washer or drain water. We recommend you ask the current owner if the drain is working properly, or if any past or present issues exist.

10.8 Appliances > Dryer and Vent System

About the Dryer and Vent System

Dryer Energy Source: Electric

Dryer Vent Recommendations

i Informational

Standard home maintenance should include a periodic evaluation and cleaning of the dryer vent to ensure unobstructed airflow, as well as to reduce the chance of internal duct fires. Dryer vents exhaust moisture, lint, and in the case of natural gas powered dryers, combustion fumes, and it is recommended that the dryer vent be thoroughly evaluated and cleaned at the point of occupancy, and periodically thereafter. The entire dryer ventilation system is often not completely visible for examination.

10.9 Appliances > Additional Information

Appliances Average Life Expectancy

i Informational

The life expectancy of kitchen and laundry appliances can vary. On average, refrigerators last about 13 years, dishwashers about 9 years, ovens about 15 years, microwaves about 9 years, and clothes washers and dryers about 10 years. Proper maintenance and usage can help extend the lifespan of these appliances. It is recommended to have them evaluated regularly by a qualified appliance technician to ensure they are operating efficiently.

11.1 Fireplace > Fuel-Burning Equipment

Pellet Stove Not Tested

 (Included in Summary)

i Attention

The pellet stove was not tested. It is recommended to have a qualified technician evaluate the pellet stove to ensure it is functioning properly and safely before regular use. Regular maintenance and cleaning of the pellet stove are also recommended to prevent potential issues.



Code Clearances And Proper Installation

i Informational

This inspection does not cover code clearances and improper installation. Gas fireplaces are not manually lit. Also, any pre-fabricated or manufactured fireplace systems may require additional inspections by a qualified chimney inspection company. If additional information and certification is desired, contact a qualified professional chimney inspection service.



11.2 Fireplace > Firebox and Hearth

Firebox Evaluated

✓ Functional

The firebox was evaluated for cracks, damage, and signs of deterioration. The system appeared to be serviceable at the time of the inspection.

11.3 Fireplace > Flues and Dampers

Chimney Flue Cleaning Recommended

 (Included in Summary)

✚ Repairs Recommended

The chimney flue should be cleaned. It is recommended to have a qualified chimney sweep clean the chimney flue to ensure proper ventilation and prevent any potential fire hazards. Regular cleaning also helps in maintaining the efficiency of the fireplace.



Damper Functional

✓ Functional

The damper was functional. The visible portions of the flue appeared functional.

Visual Inspection

i Informational

Only the firebox, damper, and visible portions of the chimney system are checked for obvious defects. This inspection in no way qualifies as a certification or determines the chimney system as being safe and/or functional. We recommend the system be thoroughly inspected by a qualified chimney contractor prior to use.

12.1 Structural Components > Foundation and Slab

About the Foundation and Slab

Foundation Type: Concrete Block , Raised Foundation/Crawlspace, Slab on Grade

Foundation Anchors: Not Verified

Raised Foundation

✓ Functional

Raised foundations are a type of building foundation where the structure is supported by vertical concrete piers set into the ground and wooden post that support horizontal wooden beams placed on top to create a raised platform for the house, creating a crawl space underneath. This system is evaluated for conditions including stability, levelness, cracking, shifting and water intrusion. Regular monitoring of the foundation is recommended to maintain its current condition.



Slab Foundation Evaluation

✓ Functional

The inspector observes for evidence of foundation movement by evaluating for significant drywall cracks, perimeter foundation cracks, uneven floors, and "sticky" doors and windows. Most of the slab foundation from the interior of the home is not visible due to being covered by interior floor coverings and other obstructions. No indications of significant slab movement were noted at this time. We recommend regular monitoring for any indications of foundation movement to maintain its current condition.

12.2 Structural Components > Joists and Framing

About the Joists and Framing

Wall Structure: Wood Framing

Floor Structure: Wood Framing

Ceiling Structure: Wood Framing

Moisture Stains On Floor Structure

 (Included in Summary)

ⓘ Attention

📍 Location: Crawl Space

The presence of moisture stains on the floor structure indicates possible water intrusion. It is recommended to evaluate the source of the moisture and repair any leaks to prevent further damage to the structural integrity of the floor. Refer the recent pest inspection reports for further details and recommendations.



Joists And Framing Evaluated

i Informational

Joists and framing members are typically concealed within the construction and are not fully visible during a standard home inspection. However, the accessible portions that were inspected appeared to be in satisfactory condition, with no significant issues or concerns identified at the time of the evaluation.

12.3 Structural Components > Roof Structure and Attic Components

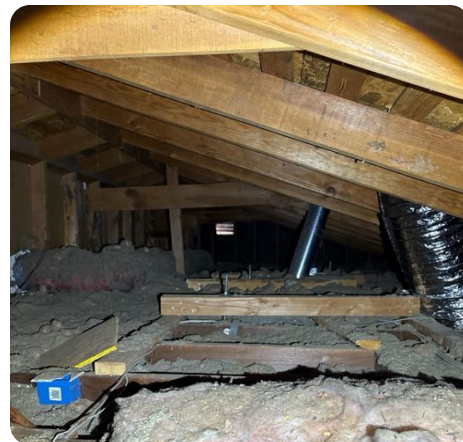
About the Roof Structure and Attic Components

Roof Structure Type: Rafters

Roof Structure And Attic Components Evaluated

✓ Functional

The visible/accessible roof structure and attic components were evaluated including trusses, rafters, and sheathing, were examined. The inspection focused on identifying signs of deflection, deterioration, or damage, such as water staining or wood decay. This report does not include calculations for determining the adequacy of the design of the roof support structure or the detection of "roof framing lift". Due to framing within the attic, not all areas were visible. Any areas not visible/accessible are considered outside the scope of this inspection.





12.4 Structural Components > Additional Information

Evidence Of Rodent Activity

 (Included in Summary)

 Repairs Recommended

Evidence of rodent activity in the form of droppings and/or rodent control devices were observed within the home at the time of the inspection. It is recommended that the current homeowner be consulted for additional information regarding the extent or history of any known activity. Further evaluation by a licensed/certified pest control professional may be warranted.

Inspector Is Not A Structural Expert

 Limitation

The inspector is not a soil or structural engineer but attempts to identify noticeable movement in the structure like sloping floors, foundation cracks, etc. This inspection does not involve using laser levels or calculations to assess movement within the structure. If there are concerns, it is recommended to contact a qualified specialist to evaluate any previous or current property and/or structural movement concerns.

Inaccessible Areas

 Limitation

There are areas of the attic which are inaccessible due to the level of insulation, low clearance, and/or obstructions. Areas which have insulation covering ceiling joists, truss chords, or if there are obstructions, trusses, low clearance, or other detrimental conditions, are not entered unless otherwise noted.

13.1 Insulation and Ventilation > Insulation and Ventilation in Attic

About the Insulation and Ventilation in Attic

Attic Access Location: Hallway Closet

Attic Evaluation Method: Head and Shoulders

Head and Shoulders: The Inspection was limited to at or near the attic entrance due to access issues.

Insulation Type: Loose-Fill

Attic Insulation Approximate Depth: 5-10 Inches

Settled And Matted Insulation

 (Included in Summary)

 Attention

The insulation in the attic has settled and become matted, which can result in reduced energy efficiency. It is recommended to evaluate and repair by adding more insulation to ensure proper coverage and maximize the insulation's effectiveness. A qualified insulation contractor can assess and add more insulation as needed to improve energy efficiency.



Ventilation Recommendations

Informational

Adequate attic ventilation is essential for proper energy efficiency and the health of the structure. Half of the ventilating area should be near the roof's high point, and the other half near the eaves. Precise measurement of ventilation space is outside the scope of this home inspection. We recommend you contact a qualified professional trade for further evaluation.

13.2 Insulation and Ventilation > Insulation and Ventilation in Crawl Space

About the Insulation and Ventilation in Crawl Space

Crawl Space Evaluation Method: Entered

Crawl Space Access Location: Hall Closet

Crawl Space Ventilating Into Room Addition

 (Included in Summary)

Repairs Recommended

 Location: Additional Room

The crawl space ventilating into the room addition is a concerning issue as it can lead to poor indoor air quality and potential health hazards. This situation can also cause temperature imbalances and moisture problems in the room addition. It is recommended to consult with a qualified HVAC professional to evaluate and repair the crawl space ventilation system to ensure proper ventilation and prevent further issues.



13.3 Insulation and Ventilation > Mechanical Exhaust Systems

Exhaust Systems Evaluated

Informational

The exhaust systems in the home were evaluated and appeared to be serviceable at the time of the inspection. All ventilation fans should terminate completely to the exterior of the structure.

13.4 Insulation and Ventilation > Additional Information

Crawlspace Roots System

Preventive Measure

The presence of roots in the crawlspace can indicate potential issues with nearby trees or shrubs. Roots can cause damage to the foundation and interfere with the plumbing system. It is recommended to evaluate and address the root intrusion to prevent further structural damage. A qualified arborist or landscaping professional can assess the situation and recommend proper solutions.

