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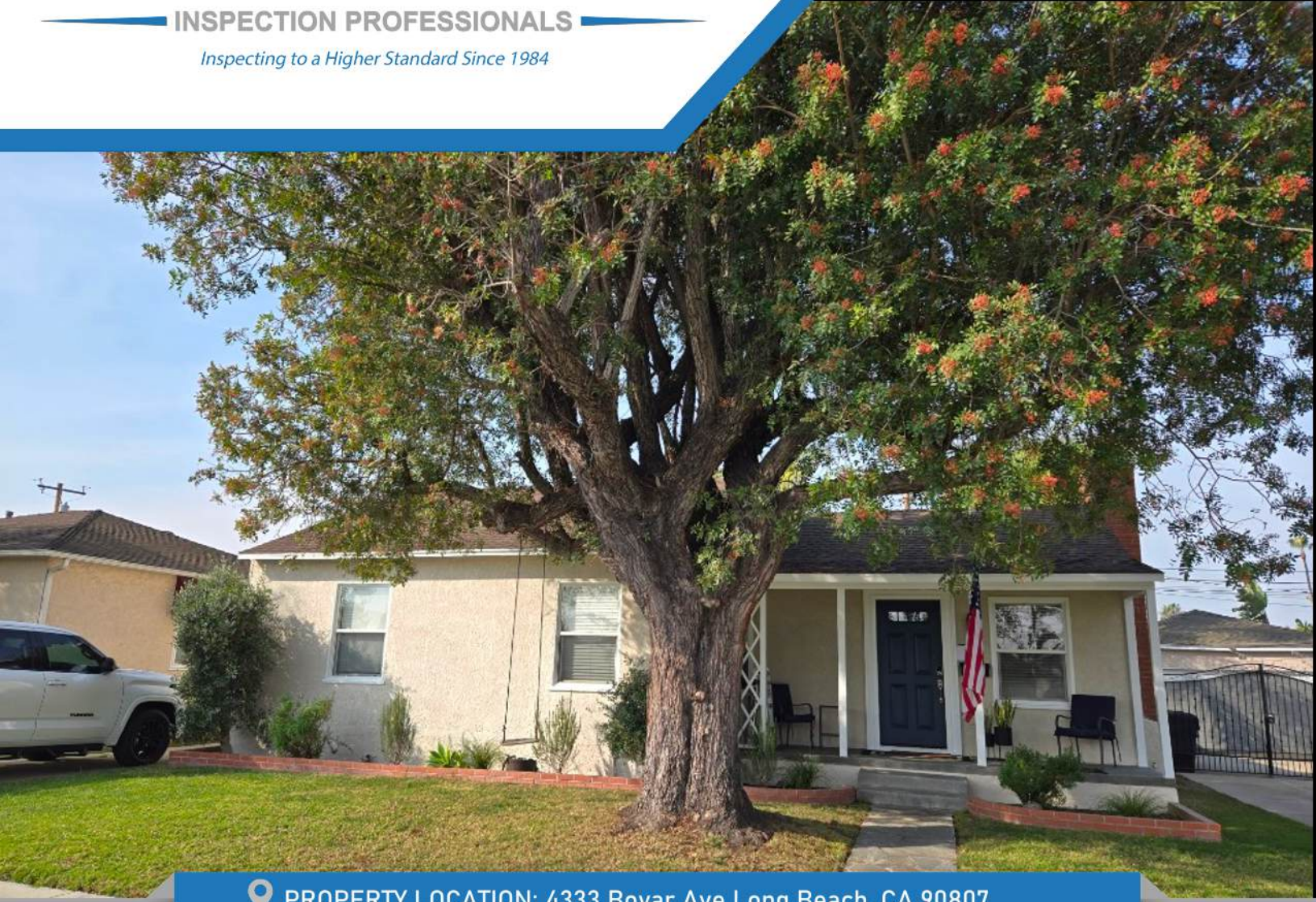
INSPECTION PROFESSIONALS

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RESIDENTIAL



PROPERTY LOCATION: 4333 Boyar Ave Long Beach, CA 90807

INSPECTION REPORT

CLIENT: Pablo Perez -AGENT: Leslie Teater Keller Williams

Date of Inspection: 1/31/2025 at 10:00 AM

Year Built: 1944 Sq Ft: 1164

Weather: sunny, cold, dry

Order ID: 358996

Inspector: Joseph Pedregon

949-723-9101

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customerservice@eliteinspections.com



www.eliteinspections.com



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About HomeBinder

Our goal is to simplify homeownership by centralizing information and connections. With HomeBinder, you can keep everything about your home in one simple and secure platform. Supported by thousands of business partnerships, HomeBinder was founded in 2012 and is a division of iGo.



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Summary Page

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expenses to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all of the pages of the report as the summary alone does not explain all the issues. Further evaluation is recommended for any item written in red text or marked "needs to be serviced" or "recommend servicing" on this report -- further evaluation often times will allow a contractor to find additional items needing repair beyond the scope of the inspection. Failure to further evaluate any item as recommended releases us of any liability.

INTERIOR		
Page 14 Item: 3	Ceiling Conditions	<ul style="list-style-type: none"> • Sagging materials observed - recommend further evaluation - at master closet
Page 17 Item: 6	Window Conditions	<ul style="list-style-type: none"> • Frame separating from glass - possible safety concern - needs to be serviced - at bedroom southeast • Loose/broken sash springs or cables - possible safety concern - recommend service - at bedroom southeast, master bathroom, living room
Page 18 Item: 7	Doors	<ul style="list-style-type: none"> • Loose hardware or hinges - needs to be serviced - at master bathroom • Sticks at jamb - recommend servicing - at master bathroom
Page 19 Item: 8	Sliding Glass Doors	<ul style="list-style-type: none"> • Not square in jamb - recommend servicing
Page 20 Item: 10	Fireplaces	<ul style="list-style-type: none"> • Heavy cracks in bricks - needs to be serviced by CSIA certified chimney sweep
Page 21 Item: 11	Electrical	<ul style="list-style-type: none"> • Three prong outlet(s) not grounded in areas - recommend further evaluation by a licensed electrician
Page 24 Item: 15	Smoke Detectors	<ul style="list-style-type: none"> • Missing - needs to be installed - at bedroom northeast
Page 24 Item: 16	Carbon Monoxide Detectors	<ul style="list-style-type: none"> • Missing at hall - needs to be installed
BATHROOMS		
Page 27 Item: 8	Shower Walls	<ul style="list-style-type: none"> • Chipped/peeling paint - recommend service - at master
Page 28 Item: 9	Enclosures / Shower doors	<ul style="list-style-type: none"> • Difficult to slide or operate - recommend maintenance and adjustment
KITCHEN		
Page 34 Item: 6	Garbage Disposals	<ul style="list-style-type: none"> • Irregular materials/installation/workmanship used - needs to be serviced - control button located in cabinet below sink/not properly secured
Page 36 Item: 12	Electrical	<ul style="list-style-type: none"> • Missing outlet cover above microwave - recommend installation/replacement of all covers for safety • Exposed wires - potential hazard - needs to be serviced - above microwave
Page 37 Item: 13	GFCIs	<ul style="list-style-type: none"> • One GFC outlet hot wired in reverse with neutral - recommend further evaluation by a licensed electrician



LAUNDRY AREA		
Page 39 Item: 6	GFCIs	<ul style="list-style-type: none"> • Test did not operate - needs to be serviced
HEATING/AIR CONDITIONING		
Page 42 Item: 8	Filters	<ul style="list-style-type: none"> • Filter(s) heavily soiled and restricting air flow to blower motor - recommend immediate replacement or cleaning
WATER HEATERS		
Page 46 Item: 4	Electrical	<ul style="list-style-type: none"> • Outlet cover missing- needs to be serviced
Page 46 Item: 7	Strapping	<ul style="list-style-type: none"> • Missing lag bolts and using screws instead, structural stability concern - needs to be serviced • Tankless water heater present, loose at wall/unit not level at wall - worn/cracked wood - needs to be serviced - recommend plumber for further evaluation
ATTIC AREA		
Page 51 Item: 2	Structure	<ul style="list-style-type: none"> • Stains present on wood members of structure - evidence of past moisture entering structure - monitor for future moisture intrusion
Page 53 Item: 5	Vent Screens	<ul style="list-style-type: none"> • Damaged/tear - needs to be serviced
GARAGE AND/OR CARPORT		
Page 56 Item: 1	Roof Condition	<ul style="list-style-type: none"> • Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads • Shingles exhibited extensive/abnormal granule loss - needs to be serviced/evaluated by a roofer • Materials appear to be nearing end of useful life - consult with a licensed roofer to determine remaining life • Missing/damaged shingles/tiles at ridge/hip - needs to be serviced • Missing/damaged shingles/tiles in areas - recommend servicing • Recommend roofing contractor to further evaluate • Tree touching against roof / structure - needs to be serviced • Partial rain gutter present - restricted / clogged with debris - needs to be serviced
Page 58 Item: 3	Main Automotive Doors	<ul style="list-style-type: none"> • Deteriorated wood at jamb - needs to be serviced
Page 61 Item: 12	Slab	<ul style="list-style-type: none"> • Cracked more than typical - needs to be serviced • Irregular cracking - needs to be further evaluated • Uneven/lipage in areas trip hazards present – needs to be serviced • Evidence of past movement in slab - needs to be further evaluated • Recommend licensed concrete contractor to further evaluate
EXTERIOR AREAS		
Page 63 Item: 2	Lower Half of Chimney	<ul style="list-style-type: none"> • Worn/cracked/missing grout/mortar - recommend grout/mortar maintenance and exterior water tight sealant to prevent possible moisture intrusion • Large cracking or chipping observed - needs to be serviced • Deteriorated mortar at chimney - recommend servicing • Loose mortar at chimney - recommend servicing
Page 64 Item: 3	Wood Trim	<ul style="list-style-type: none"> • Deteriorated wood - consult termite report - recommend service - at roof area, back yard closet/storage areas

Page 65 Item: 4	Weep Screeds	<ul style="list-style-type: none"> • Weep screed does not have proper clearance from soil/concrete/grading in areas • Weep screeds should be minimum 4-inches from grade - needs to be serviced
Page 65 Item: 5	Eaves & Fascia	<ul style="list-style-type: none"> • Deteriorated in areas - needs to be serviced - consult the termite report • Condensation/moisture damage - needs to be serviced - consult the termite report • Recommend appropriate licensed contractor for further evaluation
Page 66 Item: 7	Exterior Doors	<ul style="list-style-type: none"> • Moisture damage/deteriorated wood at exterior door/door jamb - needs to be serviced - west
Page 68 Item: 9	Exterior Closet(s)	<ul style="list-style-type: none"> • Deteriorated wood observed - recommend servicing
FOUNDATION		
Page 70 Item: 2	Foundation Walls	<ul style="list-style-type: none"> • Brick at chimney hearth cracked/chipped/loose - loose/missing mortar - recommend service/further evaluation
Page 73 Item: 5	Posts and Girders	<ul style="list-style-type: none"> • Pier blocks do not appear to be set in footings - needs to be serviced • Irregular installation/patching/workmanship - needs to be serviced • Recommend foundation contractor or structural engineer to further evaluate
Page 75 Item: 9	Vent Screens	<ul style="list-style-type: none"> • Torn screens - recommend maintenance and repairs to prevent pest intrusion
GROUNDS		
Page 78 Item: 1	Driveways and Walkways	<ul style="list-style-type: none"> • Worn/cracked/missing grout/mortar - recommend grout/mortar maintenance and exterior water tight sealant to prolong the life • Bricks/Pavers/Stone are loose laid and may have movement when walked on - recommend maintenance to prevent a possible trip hazard • Evidence of past ground movement - consult concrete contractor or soil engineer to determine possible causes • Driveway displacement/uplifted/uneven areas - trip hazard - needs to be serviced • Walkway displacement/uplifted/uneven areas - potential trip hazard - needs to be serviced • Bricks/Pavers/Stone are uneven in areas - potential trip hazards - needs to be serviced • Tree/roots affecting driveway/walkways in areas - recommend servicing • Recommend consulting with a concrete/landscape/hardscape contractor to determine possible cause and repair options • Large cracks in areas - needs to be serviced
Page 79 Item: 2	Patio and Porch Roofs	<ul style="list-style-type: none"> • Wood deterioration observed - consult termite report • Heavy wood deterioration/moisture damage in areas - consult termite report - needs to be serviced • Deteriorated wood at support post(s) - Needs to be further evaluated by a licensed contractor for safety • Staining/fungus on wood - consult termite report for all wood areas • Loose/damaged/missing trim at base - needs to be serviced

Page 80 Item: 3	Patio and Porch Decks	<ul style="list-style-type: none"> • Cracking/chipping large - needs to be serviced • Displaced/lifted/uneven areas trip hazard - needs to be serviced • Recommend appropriate licensed contractor for further evaluation
Page 82 Item: 6	GFCIs	<ul style="list-style-type: none"> • GFCI not grounded - recommend servicing • Missing/damaged exterior cover - recommend servicing - by water heater
Page 84 Item: 12	Fencing and Walls	<ul style="list-style-type: none"> • Loose/leaning areas of fencing/walls – needs to be serviced • Damaged fencing/walls - needs to be serviced • Deteriorated wood present - consult termite report - Fencing in need of maintenance • Cracking large/separation cracks present - needs to be serviced • Loose/damaged block(s) - needs to be serviced
Page 85 Item: 13	Gates	<ul style="list-style-type: none"> • Gate sticks - recommend servicing • Gate not closing properly - recommend servicing • Gate rubs at side/bottom - recommend servicing
Page 86 Item: 15	Grading	<ul style="list-style-type: none"> • Standing/ponding water in areas – signs of poor drainage
ROOF		
Page 88 Item: 1	Condition	<ul style="list-style-type: none"> • Satellite dish/brackets fastened directly to the roof - screws will need periodic sealant and maintenance to prevent possible damage or moisture intrusion • Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads • Shingles exhibited extensive/abnormal granule loss in areas - needs to be serviced/evaluated by a roofer • Materials appear to be nearing end of useful life - needs to be further evaluated by a licensed roofer • Tree branches rub roof - needs to be cut back • Shingles are curling/lifting - evidence of abnormal wear - needs to be serviced • Missing/damaged shingles/tiles at ridge/hip - needs to be serviced • Missing/damaged shingles/tiles in areas - needs to be serviced • Ponding or evidence of ponding in areas - needs to be serviced • Signs of poor slope or drainage on roof - needs to be serviced • Recommend roofing contractor to further evaluate
Page 90 Item: 2	Flashings	<ul style="list-style-type: none"> • Irregular installation at electrical feeds - needs to be serviced/further evaluated
Page 91 Item: 5	Chimneys	<ul style="list-style-type: none"> • Chimney cap is cracked in areas - recommend repairs and sealing all areas to prevent moisture entry • Mortar deteriorated/loose/missing in areas - needs to be serviced • Loose bricks/mortar - needs to be evaluated by a CSIA or other certified chimney sweep

ABOUT YOUR INSPECTION - [PLEASE READ ALL OF THE INFORMATION WE PROVIDE BELOW](#)

In order for you to receive the full value of this inspection, please read all of the information we have provided.

ALL ITEMS IN RED PRINT ARE OF IMMEDIATE CONCERN TO THIS STRUCTURE AND SHOULD BE FURTHER EVALUATED BEFORE THE CLOSE IN ESCROW. HOWEVER, THE ENTIRE REPORT MUST BE READ FOR FULL DISCLOSURE, AS OTHER ITEMS WRITTEN IN THE REPORT MAY REQUIRE FURTHER EVALUATION AS DEEMED BY THE OPINION OF THE READER. IF A FURTHER EVALUATION IS NOT PERFORMED AND ADDITIONAL DEFECTS ARE FOUND AFTER THE CONTINGENCY PERIOD HAS EXPIRED, THEN ANY DISPUTES OR CLAIMS AGAINST THE INSPECTION WILL BE DENIED. SIMPLY PUT, IF YOU DO NOT FOLLOW THE ADVICE IN THIS REPORT, THEN YOU CANNOT HOLD THE INSPECTOR OR THE INSPECTION REPORT LIABLE AFTER YOU MOVE INTO THE INSPECTED STRUCTURE OR PROPERTY.

This IS a limited Inspection: It is impossible to inspect every square inch of every area of a home in a limited time frame. A home inspection is designed to reflect, as accurately as possible, the visible condition of the home at the time of the inspection only and does NOT reflect, anticipate or predict future conditions. Conditions at a home for sale can change radically in only a day or two, so a home inspection is not meant to guarantee what condition a home will be in when the transaction closes. It's not uncommon for conditions to change between the time of the inspection and the closing date. During this inspection your inspector did not dismantle equipment, dismantle any structural items, apply stress or destructive testing. Areas that are hidden, painted over, disguised and/or not readily visible are not covered in this report. Our report is not a guarantee or warranty on the condition of your property or its contents. This report provides an unbiased visual inspection only. Elite Group Inspection Professionals inspections are performed with consideration given to the age of the structure. Defects will be indicated and marked as such, even though the condition may be normal for the age, and should be inspected by the appropriate licensed contractor. Opinions vary from person to person and this report is the opinion of the inspector and must be considered as such. The Inspector does not determine the age or remaining life of any system or building material during this inspection. Cosmetic items are considered obvious and are often not included in your report. Your report does not include all items covered in the REAL ESTATE TRANSFER DISCLOSURE FORM. We recommend that you read the Disclaimers page in complete detail to understand the limitations of a Home Inspection.

An attorney and/or real estate broker should be consulted on additional items not included in this report.

ENVIRONMENTAL DISCLAIMER: Mold spores, asbestos, formaldehyde, radon, lead paint, Chinese drywall, poria and all other toxic items of concern cannot be identified as toxic and/or dangerous with this inspection report. Your inspector is not certified to identify any of these toxic or dangerous items and will not include any information on them in this report. It's recommended the client have the property tested by a certified expert in these areas, in all cases.

Houses/structures built between 1965 and 1974 have the possibility of aluminum wiring present throughout structure. It is recommend that a licensed electrician further evaluate houses built in this era for aluminum wiring. Houses/structures with galvanized or cast iron plumbing present are highly recommended to be further evaluated by a plumbing contractor regardless of the age of the plumbing.*

Houses/structures built prior to 1978 can contain asbestos materials. It is recommend that a licensed asbestos contractor/inspector further evaluate houses/structures built in this era for asbestos materials. The Home Inspector will not determine or include in the report if asbestos is present at any structure or in any materials at a structure.*

Houses/structures built prior to 1978 can contain lead paint. It is recommend that a licensed lead inspector further evaluate houses/structures built in this era for lead paint materials.*

***Elite Group Inspection Professionals will not engage in any claims regarding aluminum wiring, asbestos or lead paint.**

PHOTO DOCUMENTATION: Your report may include digitally imaged photos of certain problem areas (should they exist). Also included are pictures (General Views) to establish location and identification. It is not a requirement that your Home Inspector photograph every area or defect of the home; additional photos may be taken and included in your report as a courtesy. The Inspector CANNOT use photos provided by anyone else for the inspection report. Any photos included in the report must be taken by the Inspector only, with the Inspector's camera only!



ABOUT YOUR INSPECTION CONTINUED

Please carefully read your entire Inspection Report. Call your inspector after you have reviewed your report, so we can go over any questions you may have. Remember, when the inspection is completed and the report is delivered, we are still available to you for any questions you may have, throughout the entire closing process.

Properties being inspected do not "Pass" or "Fail." - The following report is based on an inspection of the visible areas of the structure; inspection may be limited by vegetation, height restrictions, weather and possessions. Depending on the age of the structure, some items like GFCI outlets may not be installed; this report will focus on safety and function, not current building codes. This report identifies specific non-building code, non-cosmetic concerns that the inspector feels may need further investigation or repair. It is NOT a requirement that a home being sold be brought up to today's building code standards.

We advise you to check all building permits for all areas of the structures present, a home inspection is NOT a building code violation inspection. If the proper building permits have not been obtained and/or do not have final building inspection signatures, then you cannot assume that these areas were installed to applicable building codes. Further investigation beyond the scope of the home inspection may be needed.

"Needs to be serviced" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed and the item should be further evaluated. Often the items discovered by the Inspector are only clues to a potentially larger issue, further evaluation may uncover other items the inspector did not see or disclose during the inspection.

For your safety and liability purposes, we recommend that licensed contractors further evaluate and repair any and all concerns and defects noted in the report.

Lateral Sewer Line Camera Inspection: Underground drains cannot be viewed by the Inspector and can often have internal issues that do not reveal themselves during the home inspection. We highly advise you to have a sewer camera inspection prior to the release of inspection contingencies.

Every home or structure is different, therefore may be inspected in various formats. Inspections can take anywhere from 1 to 4 hours depending on the size of the structure or the age of the structure being inspected. The condition of the home or structure being inspected may also play a role in the time it takes for the inspection; the more defects there are to document, the longer the inspection will take. Inspection methods are generally the same among all inspectors, however experience and inspector's personal preferences may differ between Inspectors. This is the same for report writing. While Inspectors are provided with common statements to use in their report, they are also given the freedom to narrate or edit comments as they see fit for each inspection. The Inspector cannot predict or find every defect in a structure being inspected. The time frame for an inspection only allows the Inspector to examine areas in a location by location order. If a defect arises in another area of the structure (including the exterior) for which this defect was not present or visible at the time of the inspection, then the Inspector cannot be liable for notifying you of the defect. *For example:* The inspector evaluates the exterior of the home first and finds no defects...but later runs the water at the kitchen sink and the water is not visibly leaking under the kitchen sink, but somehow is leaking through the exterior wall to the exterior, the Inspector will not back-track and re-inspect the exterior and will likely not see this or note the defect.

During the inspection, the water is turned on at all visible and/or accessible fixtures at the structure. In most cases, no water fixtures should be left unattended while turned on. There is no set standard time frame for how long each fixture should be operated. The Inspector will operate the water fixtures as long as is needed to determine if both the hot and/or cold water is operating at the designated fixture. Leaks can only be documented if they are visible at the time of operating the designated fixture. Future leaks cannot be predicted! A home inspector cannot determine if there are plumbing leaks inside walls or ceilings unless visible moisture or explicit signs of moisture are present and visible at the time of the inspection. This inspection does not include confirmation of water conservation devices at any fixture.

Note that this report is a snapshot in time and not a prediction of future conditions. We recommend that you or your representative carry out a final walk-through inspection immediately before closing to check the condition of the property, using this report as a guide. Conditions can change at any time during escrow time periods. You are 100% responsible for verifying all conditions prior to close of escrow.

THIS REPORT IS NON-TRANSFERABLE TO ANOTHER PARTY, NO EXCEPTIONS.

THANK YOU FOR USING ELITE GROUP INSPECTION PROFESSIONALS



INSPECTION AGREEMENT

BY ACCEPTANCE OF OUR INSPECTION REPORT YOU AGREE TO THE TERMS OF THIS AGREEMENT AND THE TERMS AND CONDITIONS OF THE CONTRACT. YOU FURTHER AGREE THAT YOU UNDERSTAND THE LIMITATIONS OF A HOME INSPECTION AND HAVE READ THE DISCLAIMER PAGE OF THIS REPORT.

SCOPE OF THE INSPECTION / REPORT

We will perform a non-invasive visual examination designed to identify material defects in the systems, structures, and components of buildings located on the property to be inspected, as they exist at the time of the inspection. Our inspection will be limited to those specific systems, structures and components that are present and visually accessible. We will only operate components and systems with normal user controls and as conditions permit. Unless we agree otherwise, we will only inspect the primary building, and its associated primary parking structure on the property. Out structures are not included in our inspection: this exclusion encompasses exterior BBQs, appliances, fire pits, fire places, play equipment, ponds or fountains, sheds, workshops, lean-to structures, barns, etc.. We will also provide you with a written report that describes and identifies the inspected systems, structures and components and any visible material defects observed at the time of the inspection. We may amend the report within twenty-four (24) hours after completing the inspection.

RE-INSPECTION: A re-inspection may be scheduled with our office as needed to re-evaluate specific items that may have been repaired since our original inspection or that may have been obstructed and not visible or accessible during the original inspection. The fee for a re-inspection varies upon how many items are to be re-inspected and/or the length of time required to perform the re-inspection. A re-inspection is completed only for the items specified in writing by the buyer or buyer's Agent at the time of the re-inspection. A re-inspection does not include a complete inspection of the entire home or property, however the Inspector may update the inspection report with additional defects observed at the re-inspection that may not have been visible or accessible during the original inspection. It is recommended that you obtain all the necessary building permits, contractor receipts and any warranties provided by the manufacturer/installer/contractor for the repaired or replaced items. Unless we agree otherwise, we will perform the inspection, and issue the report, in accordance with the mandatory parts of the current Standards of Practice (Residential Standards - Four or Less Units) of the International Association of Certified Home Inspectors ("the InterNACHI Standards") and subject to the Definitions, Scope, Limitations, Exceptions and Exclusions in the InterNACHI Standards. Terms in this Agreement have the same meaning as the defined terms in the InterNACHI Standards. The InterNACHI Standards are available from InterNACHI's website: <http://www.nachi.org/>

IF YOU DISCOVER A DEFECT FOR WHICH YOU THINK WE MAY BE LIABLE TO YOU, YOU MUST NOTIFY US AND GIVE US A REASONABLE OPPORTUNITY TO RE-INSPECT THE PROPERTY BEFORE YOU REPAIR THE DEFECT. FAILURE TO FOLLOW THIS PROCESS WILL RESULT IN VOIDING THIS AGREEMENT AND CONTRACT. YOUR NOTICE MUST BE IN WRITING, INCLUDE A SIGNED COPY OF THIS AGREEMENT, AND BE MAILED TO OUR CORPORATE OFFICE:

Elite Group Inspection Professionals/Attn: Inspector Supervisor 9480 Utica Ave Ste 608 Rancho Cucamonga, CA 91730

OUR LIABILITY TO YOU FOR CLAIMS ARISING FROM OUR INSPECTION OR OUR REPORT, WHETHER SOUNDING IN TORT OR CONTRACT, WILL NOT BE MORE THAN THE LESSER OF ACTUAL DAMAGES OR THREE (3) TIMES THE INSPECTION FEE.

TEGPIS (The Elite Group Property Inspection Service, Inc.) AND CLIENT AGREE THAT CLIENT CANNOT FILE A LEGAL ACTION AGAINST TEGPIS OR ITS EMPLOYEES, WHETHER SOUNDING IN TORT OR CONTRACT, MORE THAN ONE YEAR AFTER THE CLIENT DISCOVERS, OR WITH THE EXERCISE OF REASONABLE DILIGENCE SHOULD HAVE DISCOVERED THE BREACH OR MATERIAL DEFECT.

Our report is NOT a warranty of the items inspected. However, The Elite Group may offer you additional warranties through a third party service provider. In all cases, you must contact your home warranty company first for any issues that arise after the date of the original home inspection. Failure to do so may result in voiding your home warranty.

Additional questions or concerns can be addressed through our Customer Service website: <https://eliteinspections.com/explanation-of-limited-guarantee>

Please read the "About Your Inspection" and "Disclaimers" pages prior to filing any online claims as this will help you to determine if your claim is valid and within the scope of the home inspection.

CONFLICT OF INTEREST DISCLOSURE AND STATEMENT OF COMMITMENT

Our goal is to provide valuable and unbiased information that helps consumers make informed decisions. A portion of our business may be based on relationships with other professions- real estate sales professionals, lawyers, lenders, vendors, etc., and our reports sometimes conflict with the business interests of these parties. We do not allow these relationships to compromise the integrity of our service. However, they do enable us to deliver more value to our clients. Our reports are intended to accurately reflect our impartial professional opinion, without exception.

YOU MUST PAY THE INSPECTION FEE AND SIGN THE CONTRACT BEFORE WE CAN DELIVER THE REPORT TO YOU.



OVERVIEW

1. Inspection Package - Directional Marker - Utilities Status - Occupancy - Other Info

Inspection type: Elite Home Inspection (Standard Inspection)

Single Family Residence

Front door faces East (approximate)

All Utilities are ON for this inspection

Occupied structure - personal items throughout the structure may prevent access or view to some areas. Personal property, furniture and moving boxes are not moved and will prevent a complete inspection and limit visible access to some areas (this applies to all areas inside and outside of the structure being inspected).

Evidence of major remodeling present - check all building permits for all areas of the structure to ensure that all remodeled areas were completed properly to city/county code

2. Main Utilities Location

- Main water valve shut off location: East side of structure
- Main gas valve shut off location: North side of structure
- Main electrical panel location: West side of structure

3. Who is present at the inspection?

- Owner present during inspection

4. Wall materials throughout the structure

Drywall • Plaster

5. Ceiling materials throughout the structure

Drywall • Plaster

6. Floor materials throughout the structure

Tile • Wood laminate

7. Window materials/type throughout the structure

Double pane • Vinyl framed • Vertical sliding type (one window slides while the other remains stationary)

8. IMPORTANT NOTES

- This inspection is intended to identify major material defects only. Minor and cosmetic issues are excluded from inspection and report, but may be included in some comments as a courtesy. Small nail holes, drywall nail pops, small cracks, chipped areas, dirty areas and cosmetic blemishes are considered cosmetic in most cases.
- Small cracking may be found throughout the structure, this is normal for California construction and generally caused by settling, earthquake, and wind conditions.
- It is common for many Sellers to patch, paint or touch up areas of the structure prior to selling. Recent paint or patching may cover known past defects not detectable by the Inspector - consult the seller/disclosures for all past repairs. It is beyond the scope of the inspection for the Inspector to note all patched areas locations or to try to determine the reason for any patches or past repairs.
- **NO MOLD VISIBLE AT TIME OF INSPECTION:** No visible signs of microbial growth were found at the time of this inspection, further testing above and beyond this inspection may be required to identify other signs of microbial growth. Contact our offices at 800-494-8998 to schedule a complete Microbial Growth And Moisture evaluation by one of our IAC2 Mold & Indoor Air Quality Specialists.



Although no visible microbial growth was found at the time of this inspection, we recommend that you monitor all moisture related areas as part of your ongoing and routine home **maintenance**. The following areas should be checked regularly for mold: cabinets and walls below any sinks (kitchen, bathrooms, wet bar, laundry), both sides of any walls that have plumbing (shower walls, sink walls, laundry walls), walls and base areas around the water heater and central heating systems, walls around swamp coolers and wall/window **A/C** units, behind base floor/wall base moldings and any other areas where moisture may be located.

- There is evidence to suggest that this structure has been modified, altered or additions have been added to the original structure. Do not mistake this inspection for a building CODE inspection. You are advised to check all necessary building permits for this structure and all associated components. You are further advised to consult with your Realtor and the Seller to understand the details of any and all alterations to the structure and / or contractor warranties that may apply to the alterations.

INTERIOR

Interior page will include all bedroom items and the walls ceilings, floors, windows, and doors of bathrooms, kitchen, and laundry area. "Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required.

1. Bedroom Locations

Master • Northeast • Southeast

2. Wall Conditions

Observations:

- Some areas not accessible or visible due to access limitations or personal items/furnishings
- No major visible defects observed at the time of inspection
- Small cracks/holes/chipped/dirty areas/protruding nails/cosmetic blemishes observed - typical for age of structure
- Patched/partial painted areas present - consult seller regarding patched areas

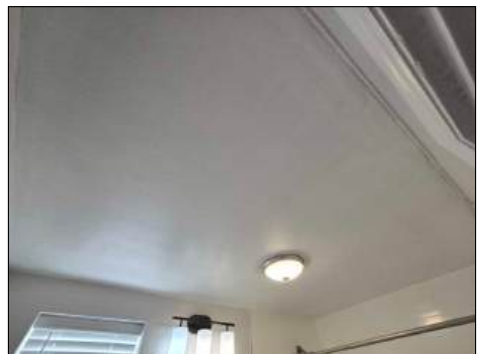
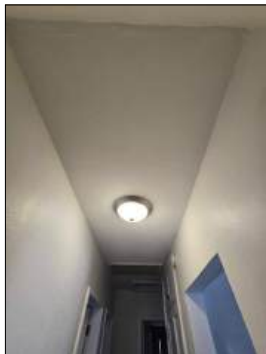




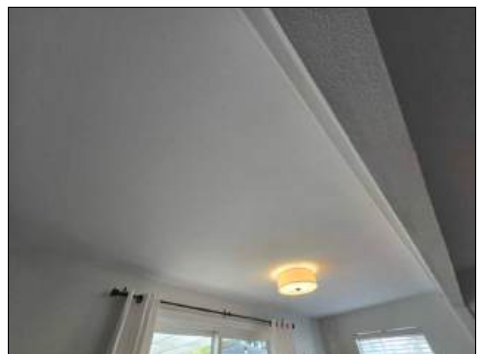
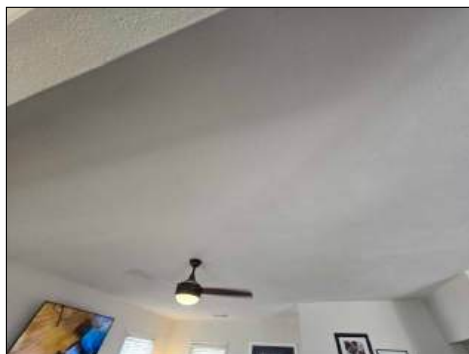
3. Ceiling Conditions

Observations:

- Small cracks/holes/chipped/dirty areas/protruding nails/cosmetic blemishes observed - typical for age of structure
- Patched/partial painted areas present - consult seller regarding patched areas
- **Sagging materials observed - recommend further evaluation - at master closet**



Sagging materials observed - recommend further evaluation - at master closet





4. Ceiling Fans

Observations:

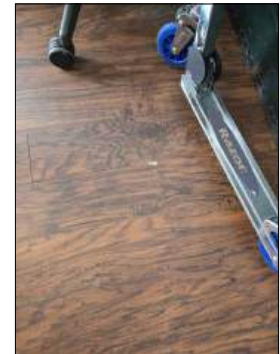
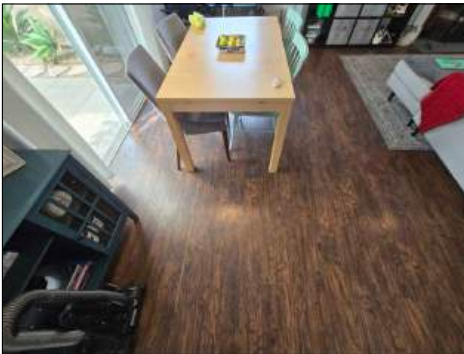
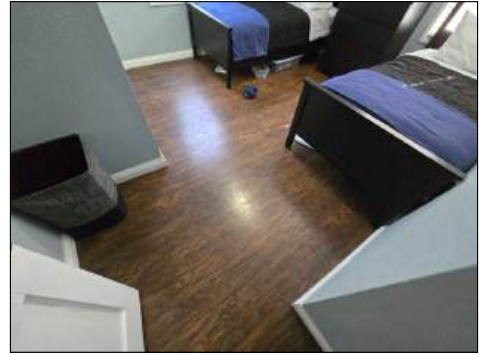
- Operated at time of inspection
- Normal wear for age, no major visible defects



5. Floor Conditions

Observations:

- Personal items/furnishings/area rugs prevent complete inspection in areas
- Normal wear for age - no major visible defects at the time of the inspection
- Recommend regular grout/mortar sealant maintenance to prolong the life of the material
- Scratched/worn/chipped/small staining - flooring in need of minor maintenance
- Flooring not level in areas - did not affect the performance of the floor, but monitor
- Squeaks experienced in locations - did not affect the performance of the floor, but monitor
- Open seams/gaps in areas - recommend sealing any cracks or voids in flooring
- Soft areas - reason unknown but did not effect performance



6. Window Conditions

Observations:

- Only visible and accessible windows are tested and evaluated, windows not accessible due to any access limitations are not inspected or evaluated.
- Interior window shutters/blinds/coverings are not tested or inspected as part of this home inspection (this includes all windows at the structure)
- Accessible windows were tested and operated at time of inspection
- Visible/accessible windows have worn frames/hardware/sills/tracks - typical for age
- Recommend periodic general window maintenance/lubrication and weather tight service
- Dirty tracks/hardware - recommend general lubrication and maintenance to prolong the life and proper operation

- Windows are dirty in areas - internal condensation is not determinable - recommend cleaning and further inspection
- Recommend window contractor for further evaluation
- **Frame separating from glass - possible safety concern - needs to be serviced - at bedroom southeast**
- **Loose/broken sash springs or cables - possible safety concern - recommend service - at bedroom southeast, master bathroom, living room**



Frame separating from glass - possible safety concern - needs to be serviced - at bedroom southeast

Loose/broken sash springs or cables - possible safety concern - recommend service - at bedroom southeast, master bathroom, living room



Loose/broken sash springs or cables - possible safety concern - recommend service - at bedroom southeast, master bathroom, living room



Loose/broken sash springs or cables - possible safety concern - recommend service - at bedroom southeast, master bathroom, living room



Loose/broken sash springs or cables - possible safety concern - recommend service - at bedroom southeast, master bathroom, living room

7. Doors

Observations:

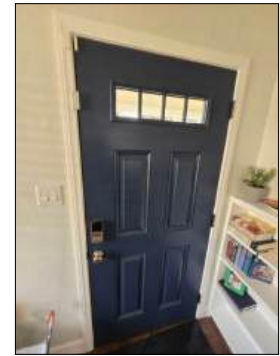
- Operated at time of inspection
- Weathered/worn door(s) - typical for age
- Loose/worn hardware needs minor service - typical for age
- Recommend routine maintenance on hardware and weather seals on all exterior doors
- Small cracks/dents/holes/cosmetic blemishes - recommend paint and patch as needed
- Drags on floor - recommend servicing - at kitchen
- Recommend door contractor to further evaluate
- Inner seals at double pane windows are bulging/moving due to heat - recommend servicing - at kitchen
- Moisture damage/deteriorated wood at exterior door/door jamb - needs to be serviced - at kitchen
- Loose hardware or hinges - needs to be serviced - at master bathroom
- Sticks at jamb - recommend servicing - at master bathroom



Sticks at jamb - recommend servicing - at master bathroom



Loose hardware or hinges - needs to be serviced - at master bathroom



Moisture damage/deteriorated wood at exterior door/door jamb - needs to be serviced - at kitchen



Inner seals at double pane windows are bulging/moving due to heat - recommend servicing - at kitchen

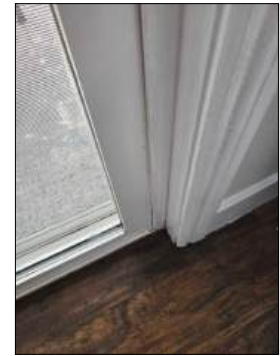


Drags on floor - recommend servicing - at kitchen

8. Sliding Glass Doors

Observations:

- Slider operated at the time of the inspection
- Normal wear at the time of the inspection with no major visible defects
- Recommend appropriate licensed contractor for further evaluation
- **Not square in jamb - recommend servicing**



Not square in jamb - recommend servicing

9. Sliding Door Screens

Observations:

- Operated at time of inspection
- Normal wear at the time of the inspection with no major visible defects
- Not Square in frame - recommend service



10. Fireplaces

Location/s: Living room

Mason built

Observations:

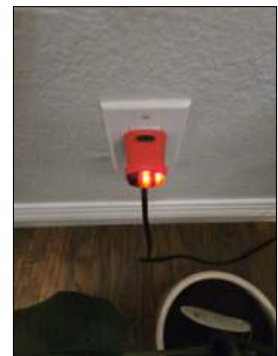
- The fireplace is visually inspected only, the fireplace is not lit to test flame color or condition. The internal cavity of the fireplace is not inspected. It is recommended that you have an internal inspection of the chimney and a Gas Company evaluation of the fireplace prior to operating the fireplace.
- No gas present/visible
- Recommend fire caulk/sealing any holes/gaps/cracks
- Damper was tested and operated at the time of the inspection
- Damper was worn/rusted/dirty - recommend cleaning
- Glass/screen door operated at the time of the inspection
- Hearth tiles worn/chipped - recommend maintenance
- Heat damage - aesthetic
- Loose bricks/mortar in firebox - needs to be serviced by **CSIA** certified chimney sweep
- Recommend further evaluation by CSIA certified chimney sweep
- Recommend evaluation by licensed masonry contractor
- **Heavy cracks in bricks - needs to be serviced by CSIA certified chimney sweep**



11. Electrical

Observations:

- Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.
- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Outlets/switches had normal wear for age - no major visible defects
- Ungrounded outlets present - typical for the age of the structure - consider upgrading electrical services
- Recommend licensed electrician to further evaluate
- Light fixture did not function / pull chain stuck in position - recommend service - at bedroom closet northeast
- **Three prong outlet(s) not grounded in areas - recommend further evaluation by a licensed electrician**





Light fixture did not function / pull chain stuck in position - recommend service - at bedroom closet northeast

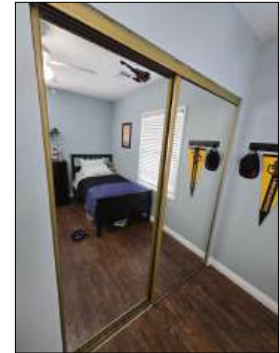
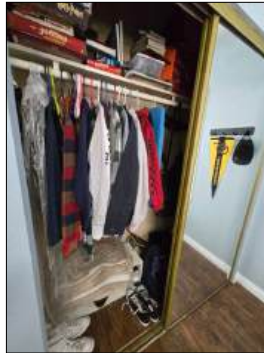


Ungrounded outlets present - typical for the age of the structure - consider upgrading electrical services

12. Closets

Observations:

- Some closet areas not visible for inspection due to personal storage
- Worn closets with loose/worn hardware - typical for age
- Worn/dirty/bent/slightly loose bypass door track - recommend minor maintenance or replacement
- Missing closet doors - inquire with seller regarding location - at master bedroom
- Closet door did not latch properly/hardware installed backwards - service needed - at bedroom northeast





Closet door did not latch properly/hardware insalled backwards - service needed - at bedroom northeast

13. Cabinets

Observations:

- Some interior cabinet areas not visible for inspection due to personal storage
- Worn cabinets with loose/worn hardware - typical for age
- Door or drawers did not open/close/not aligned properly - normal for age - needs minor maintenance and adjustment
- No visible microbial growth/irregular staining found at the time of the inspection



14. Door Bells

Observations:

- Operated at time of inspection front, video type doorbell present



15. Smoke Detectors

Observations:

- For safety purposes we recommend that smoke detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple smoke detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert.
- Operational at time of inspection via factory installed test button

- Missing - needs to be installed - at bedroom northeast



16. Carbon Monoxide Detectors

Observations:

- For safety purposes we recommend that carbon monoxide detectors be placed in all hallways outside of sleeping areas (bedrooms) and on all levels of multi-level dwellings. For longer hallways and/or oddly located bedrooms, multiple carbon monoxide detectors are suggested and should be placed at each end of the hallways to ensure optimum safety alert.

- Missing at hall - needs to be installed

BATHROOMS

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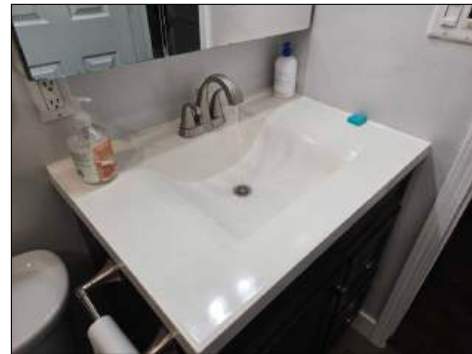
1. Locations

Master • Hall

2. Counters

Observations:

- Some counter areas not visible for inspection due to personal storage
- Counter has normal wear for age at time of inspection with no major visible defects
- Scratched/rough surfaces/worn/chipped/stained areas - signs of age and wear - recommend stone/surface and sealer maintenance
- Recommend adding a back/side splash to prevent possible moisture damage



3. Cabinets

Observations:

- Some interior cabinet areas not visible for inspection due to personal storage
- Worn cabinets with loose/worn hardware - typical for age
- Stained/blistered area(s) - tested dry at time of inspection - monitor area for moisture



4. Sinks

Observations:

- Fixture operated at the time of the inspection
- Fixture/valve handle was in a worn and older condition - typical for the age - recommend upgrading
- Corrosion/rust present at fixtures/drain/plumbing - signs of wear - recommend cleaning or replacement
- Valves are difficult to operate - recommend maintenance or replacement - at master



5. Mirrors

Observations:

- Mirror paneling requires regular maintenance and personal inspection to prevent a possible detach and fall hazard
- Mirror functional at time of inspection
- Normal wear for age of material with no major visible defects
- Fading spots/scratched areas present on mirror(s) - typical of age



6. Bath Tubs

Observations:

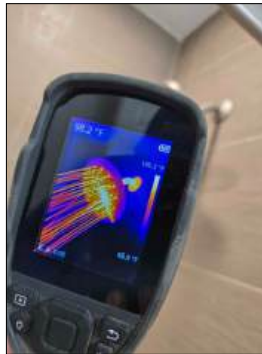
- Fixture was tested and operating at the time of the inspection
- Fixture was in a worn/older condition at the time of the inspection - typical for age
- Drain stopper did not operate properly or missing - recommend installation/maintenance to prevent clogging or slow drain
- Corrosion at fixtures/piping/drain insert - signs of wear - recommend replacement



7. Showers

Observations:

- Fixture was tested and operating at time of inspection via normal fixture controls
- Fixture was in a worn and older condition - typical for the age
- Irregular spray at shower head - recommend cleaning - at hall
- Corrosion at fixtures/piping/drain insert - signs of wear - recommend replacement



8. Shower Walls

Observations:

- The shower pan and shower walls are not waterproof tested for leaks. The Home Inspector cannot determine if shower walls or shower pans leak through or behind tile, fiberglass or other solid surface materials. The Inspector cannot see behind walls, floors or ceilings. We strongly recommend that you have all shower pans water tested for leaks. Cracking/missing grout, degraded or missing caulking may lead to leaks and should be immediately addressed in all cases and discoveries.
- Tile and grout present
- Wall materials in a worn/stained-faded/old condition - typical for age - recommend routine grout and sealer maintenance
- Shower pan has normal wear for age at the time of the inspection - no major visible defects - recommend routine grout and sealer maintenance
- Worn tile/grout/sealant - typical for age - recommend routine grout and sealer maintenance
- Appears material has been painted/stained/refinished - special care may be needed - at master
- Recommend appropriate licensed contractor for further evaluation
- **Chipped/peeling paint - recommend service - at master**



9. Enclosures / Shower doors

Observations:

- Operational at time of inspection - Tempered glass label observed
- Worn rollers/tracks/jamb/hardware - recommend maintenance and adjustment
- Enclosure door(s) in a worn/older condition with loose/worn hardware - typical for the age
- Corrosion present in areas - signs of wear and moisture accumulation
- Adjustment and maintenance is needed at the existing door(s) to ensure proper operation and water tight seals
- Recommend appropriate licensed contractor for further evaluation
- **Difficult to slide or operate - recommend maintenance and adjustment**



10. Toilets

Observations:

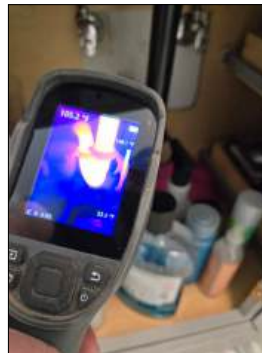
- Tested and operational at time of inspection via normal fixture controls, flush test performed
- Toilet has normal wear for age at the time of the inspection - no major visible defects
- No visible leaking at the time of inspection and flush testing



11. Plumbing

Observations:

- The plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed).
- Operational at time of inspection via normal fixture controls with no major visible defects
- Angle stops/hoses/drain pipes are in a normal condition for their age - no major visible defects
- No visible leaks found at the time of the inspection after running water at fixtures
- Corrosion is present at plumbing areas - this is a sign of slow leaking and should be further evaluated by a plumber



Corrosion is present at plumbing areas - this is a sign of slow leaking and should be further evaluated by a plumber



12. Electrical

Observations:

- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Outlets/switches had normal wear for age - no major visible defects



13. GFCIs

Observations:

- Tested and operational at time of inspection via normal control
- Master control **GFC** located in: master bathroom



14. Exhaust Fans

Observations:

- No exhaust fan is present - it is recommended to install an exhaust fan for optimal moisture ventilation - at master
- Operated at time of inspection- at hall
- Worn/older fan - typical wear for age
- Dirty/dusty unit - recommend cleaning to prevent premature failure of the fan motor



15. Heating

Observations:

- No heating element present in the bathroom - recommend heating element be installed for optimum comfort - at master
- See HVAC page for more information about this section
- Central unit - at hall

KITCHEN

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1. Counters

Observations:

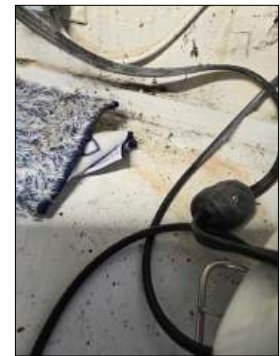
- Some counter areas not visible for inspection due to personal storage
- Scratched/rough surfaces/worn/chipped/stained areas - signs of age and wear - recommend stone/surface and sealer maintenance
- Recommend grout/sealer/stone maintenance
- Gap at back splash to counter top joint - needs to be sealed to prevent unwanted moisture entering the cabinet



2. Cabinets

Observations:

- Some interior cabinet areas not visible for inspection due to personal storage
- Worn cabinets with loose/worn hardware - typical for age
- Stained/blistered area(s) - tested dry at time of inspection - monitor area for moisture
- No visible microbial growth/irregular staining found at the time of the inspection
- Door or drawers did not open/close/not aligned properly - normal for age - Needs minor maintenance and adjustment
- Missing cabinet handles - inquire with seller regarding location



Stained/blistered area(s) - tested dry at time of inspection - monitor area for moisture

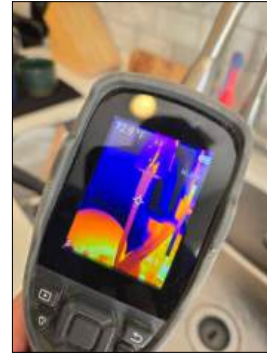


Missing cabinet handles - inquire with seller regarding location

3. Sinks

Observations:

- Fixture operated at the time of the inspection
- Normal wear at fixture/sink for age of material with no major visible defects
- Small chips/scratched/worn areas at sink - did not affect the performance - recommend upgrading
- Corrosion present at fixture(s) - signs of wear



4. Drinking Water Faucets

Observations:

- None installed

5. Spray Wands

Observations:

- Operational at time of inspection



6. Garbage Disposals

Observations:

- The garbage disposal has a limited inspection, the Inspector cannot predict the remaining life of the garbage disposal nor determine how well the garbage disposal disposes of food or other items. The sharpness or adequacies of the internal blades is not determined during the home inspection.
- Tested and operational at time of inspection via normal controls
- Worn/older unit - typical wear for age and use
- No visible leaks at the time of the inspection
- **Unit corroded/rusted - needs to be serviced**
- **Irregular materials/installation/workmanship used - needs to be serviced - control button located in cabinet below sink/not properly secured**



Irregular materials/installation/workmanship used - needs to be serviced - control button located in cabinet below sink/not properly secured

7. Plumbing

Observations:

- The plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed).
- Operational at time of inspection via normal fixture controls with no major visible defects
- Angle stops/hoses/drain pipes are in a normal condition for their age - no major visible defects
- No visible leaks found at the time of the inspection after running water at fixtures



8. Ranges

Observations:

- The range or cooktop has a limited inspection, the Inspector cannot predict the remaining life of the unit nor determine the BTUs output by each burner or if/how well the burners will cook food. For gas units - gas leaks cannot be detected with this inspection - a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection.
- Range(s) turned off after inspection
- Gas supplied unit
- Tested and operational at time of inspection via normal controls

- Normal wear for age - no major visible defects



9. Ovens

Observations:

- The "Bake" feature is the only feature operated during a home inspection; convection, browning, rotisserie, warming drawers and other features are not tested during the oven inspection. Ovens are tested for basic heating element functionality. The oven cannot be tested to each incremental temperature setting or determine if adequate cooking temperatures can be achieved, nor if temperatures are calibrated with oven settings. We cannot determine if or how well the oven cooks food nor can we predict the remaining life left for the unit. For gas units - gas leaks cannot be detected with this inspection - a full evaluation by the Gas Company of all gas supplied appliances is recommended beyond this inspection.
- Oven(s) turned off after inspection
- Gas supplied unit
- Tested and operational at time of inspection via normal controls
- Normal wear for age - no major visible defects
- Stained/dirty inside - needs to be serviced and cleaned



10. Microwaves

Observations:

- The microwave is tested with a microwave tester or damp sponge/cloth only. No other features of the microwave are tested or evaluated for cooking. The home inspector cannot predict the remaining life left in the unit.
- Tested and operational at time of inspection via normal controls
- Normal wear for age - no major visible defects



11. Exhaust Vents

Exterior vented • Microwave with fan

Observations:

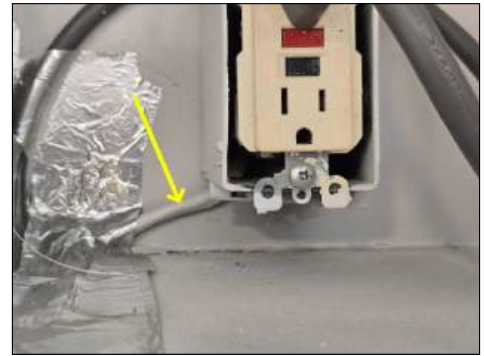
- The exhaust fan/vent is tested using the normal controls only. No smoke testing or other testing is done to determine the CFMs or how well the unit evacuates air. The home inspector cannot predict the remaining life left in the unit.
- Tested and operational at time of inspection via normal controls
- Normal wear for age - no major visible defects
- Worn/dirty filters, recommend cleaning or replacing
- **Improper vent materials used (ribbed flexible) must be smooth metal pipe - recommend further evaluation for safety**



12. Electrical

Observations:

- Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.
- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Outlets/switches had normal wear for age - no major visible defects
- Recommend licensed electrician to further evaluate
- **Missing outlet cover above microwave - recommend installation/replacement of all covers for safety**
- **Exposed wires - potential hazard - needs to be serviced - above microwave**



Missing outlet cover above microwave - recommend installation/replacement of all covers for safety

Exposed wires - potential hazard - needs to be serviced - above microwave

13. GFCIs

Observations:

- Tested and operational at time of inspection via normal control
- One GFCI outlet hot wired in reverse with neutral - recommend further evaluation by a licensed electrician



One GFCI outlet hot wired in reverse with neutral - recommend further evaluation by a licensed electrician

LAUNDRY AREA

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required.

1. Laundry Area Location

See garage area

2. Dryer Vent

Observations:

- Dryer vent should be cleaned periodically to prevent lint fire hazards
- Worn exterior cover - typical for age
- Loose exterior cover - needs to be secured and sealed
- Recommend sealing exterior cover at wall with exterior caulking
- Lint build up present behind washer and dryer - recommend thorough cleaning of the area and sealing any openings in the dryer vent



3. Plumbing

Observations:

- Washer/dryer unit(s) present during inspection and obstruct the view of the wall/plumbing areas
- Drain trap is not visible at the time of the inspection - **n/a** - note: laundry drains are not water or pressure tested during this inspection
- Visible fixtures had normal wear for age at the time of the inspection - no major visible defects
- No visible leaks at time of inspection
- Recommend upgrade to braided steel washing machine supply hoses



4. Gas Valve

Observations:

- Washer/dryer unit(s) present during inspection and obstruct the view of the wall/plumbing areas
- The inspector does not check for gas leaks, consult the Gas Company to evaluate all gas areas prior to occupancy
- Not visible/accessible - not inspected

5. Electrical

Observations:

- Washer/dryer unit(s) present during inspection and obstruct the view of the wall/electrical areas
- Representative number of receptacles and switches tested and operational at time of inspection
- Visible switches/outlets have normal wear for their age - no major visible defects visible at the time of the inspection



6. GFCIs

Observations:

- Test did not operate - needs to be serviced



7. Exhaust Fan

Observations:

- No exhaust fan is present - it is recommended to install an exhaust fan for optimal moisture ventilation

HEATING/AIR CONDITIONING

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required.

1. Heaters

Location: Attic

Type: Gas fired forced hot air • Split system

Observations:

- Inspector does not examine heat exchanger or determine the presence of a cracked heat exchanger - this is not a complete evaluation of the internal areas of the heater - consult an HVAC contractor for further evaluation if you have concerns about the heat exchanger.
- Newer unit/not original to the structure - check all installation permits to ensure that this unit was installed to proper code
- Operated at time of inspection
- Visible areas of unit have normal wear for age at the time of the inspection - no major visible defects - recommend seasonal service and maintenance to extend the life of the unit



2. A/C Evaporator Coil Box

Observations:

- The a/c coil box is only examined on the exterior - an internal inspection is not completed on the coil box - consult a HVAC contractor to further evaluate as needed
- This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size - consult a HVAC contractor for further evaluation as needed
- The visible areas of the coil box have normal wear at the time of inspection - no major visible defects
- Condensation lines cannot be traced to all locations by the inspector, often times there are several areas of the condensate lines that are not visible to the inspector - consult a HVAC contractor to further evaluate as needed



3. Venting

Observations:

- The visible areas of the vent have normal wear at the inspection - no major visible defects



4. Air Supply

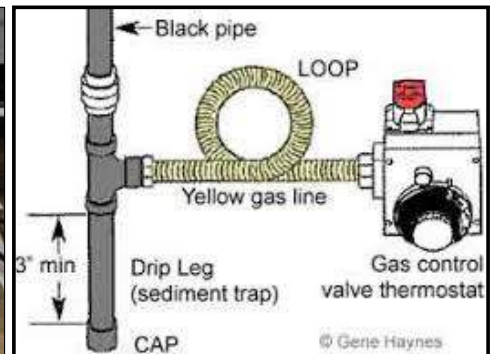
Observations:

- Recommend seasonal service and maintenance to ensure that all areas are sealed/cleaned/dry and functioning normally at all times
- Some areas not visible due access limitations or insulation outer wrapping
- Visible areas have normal at time of inspection - no major visible defects
- Could not access/see all areas within the air return chamber - recommend routine cleaning of this area as part of preventative maintenance
- Air return chamber is dirty/loose tape/chipping paint - recommend cleaning and minor maintenance

5. Gas Supply Valves and Pipes

Observations:

- Normal wear at time of inspection - no major visible defects
- No sediment trap at gas supply - may have not been required at time of original installation, but is recommended



6. Electrical

Observations:

- Operating properly at the time of the inspection - no major visible defects



7. Thermostats

Observations:

- Digital type present - functional day of the inspection



8. Filters

Location: Located in a filter grill in hall ceiling

Observations:

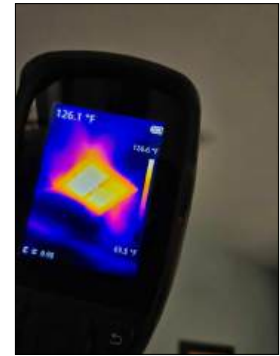
- A seasonal HVAC service contract is recommended to ensure that all filters are changed/cleaned regularly or as needed
- We recommend that the filters be changed or cleaned every 3 to 6 months depending on the usage of the heating and air conditioning systems
- **Filter(s) heavily soiled and restricting air flow to blower motor - recommend immediate replacement or cleaning**



9. Registers

Observations:

- Adjustable louvers in registers are not tested for functionality - those closed for long periods of time may not operate properly
- Heater Temperature at Registers: 120 degrees
- A/C Temperature at Registers: 49 degrees
- Temperature at Air Return: 69 degrees
- Representative number tested and functional day of the inspection
- All visible register covers have normal wear at the time of the inspection - no major visible defects
- Dirty/dusty registers - possible sign that ducts need cleaning - needs to be serviced
- Loose register cover(s) - recommend maintenance to prevent a possible detach and fall hazard



10. Combustion Air

Observations:

- **Combustion air** appears to be adequate at the time of the inspection - attic unit has proper clearance or interior closet unit has proper upper and lower combustion air vents are present or general space allows for good combustion air flow

11. Platforms/Bases

Observations:

- Visible areas have normal wear at time of inspection - no major visible defects - recommend seasonal servicing and maintenance to ensure sealing holes and gaps in the heater base
- Horizontal heater in the attic, we recommend adding a heat shield below this unit to prevent any heat damage to the materials below the unit.



12. Refrigerant Lines

Observations:

- Normal wear day of the inspection - no major visible defects - recommend annual/seasonal maintenance to check and service insulation on refrigerant lines as needed



13. Air Conditioning Compressors

Location: Electric unit - exterior north

Observations:

- Unit is a newer unit/not original to the structure - check all installation permits to ensure that this unit was installed to code
- Operated at the time of inspection
- Visible areas of unit have normal wear for age at the time of the inspection - no major visible defects - recommend seasonal service and maintenance to extend the life of the unit



WATER HEATERS

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1. Water Heaters Condition

Number of gallons: Tankless demand unit (**not original to this structure - check all installation permits to ensure that this unit was installed to city code and manufacturer specifications**)

Location/s: Exterior wall west

Observations:

- Operated at the time of the inspection - Gas unit
- This is a newer unit (not original to this structure) - check all installation permits to ensure that this unit was installed to city code and manufacturer specifications



2. Venting

Observations:

- Normal wear day of the inspection - no major visible defects



3. Plumbing

Material type: Copper

Observation:

- Normal wear at time of inspection - no major visible defects or leaks found at the time of the inspection
- No visible leaks detected at the time of inspection - recommend installing a digital moisture sensing system
- Water distribution pipes not insulated - recommend upgrade
- **Check permits** for any alterations/upgrades



4. Electrical

Observations:

- Normal wear on the day of the inspection - no major visible defects
- **Outlet cover missing- needs to be serviced**



5. Temperature Pressure Release Valves

Observations:

- Normal wear on the day of the inspection - no major visible defects



6. Overflow Line/s

Material type: None/Missing - needs to be installed

7. Strapping

Observations:

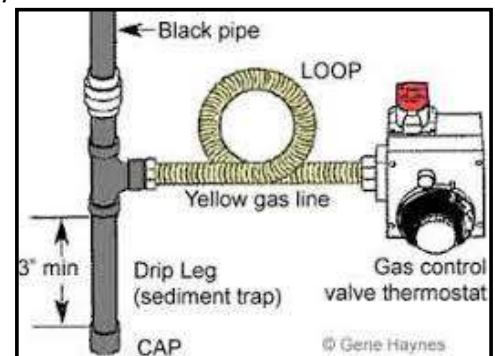
- Recommend further evaluation by a licensed plumber
- **Missing lag bolts and using screws instead, structural stability concern - needs to be serviced**
- **Tankless water heater present, loose at wall/unit not level at wall - worn/cracked wood - needs to be serviced - recommend plumber for further evaluation**



8. Gas Supply Valves and Pipes

Observations:

- Normal wear at time of inspection - no major visible defects
- No sediment trap at gas supply - may have not been required at time of original installation, but is recommended
- Visible rust on the gas/fuel line - recommend rust treatment service
- Check permits for any alterations
- Recommend licensed plumbing contractor or Gas Co. to evaluate
- Gas piping does not appear protected in ground - recommend service / further evaluation



Gas piping does not appear protected in ground - recommend service / further evaluation

9. Combustion Air

Observations:

- Combustion air appears to be adequate at the time of the inspection

10. Platforms/Bases

Observations:

- No base installed - Tankless water heater mounted to the wall

ELECTRICAL/GAS SERVICE

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1. Main Panel

Location/s: West side of the structure

Observations:

- Panels are visually inspected only, the inspector does not perform a load calculation to determine service capacity adequacy
- Panel appears to have been upgraded/newer panel present – check all installation permits for electrical upgrades to ensure that all items are installed to code
- Normal wear for age at time of inspection - no major visible defects
- Minor rusting - typical for age - recommend rust treatment and weather tight service



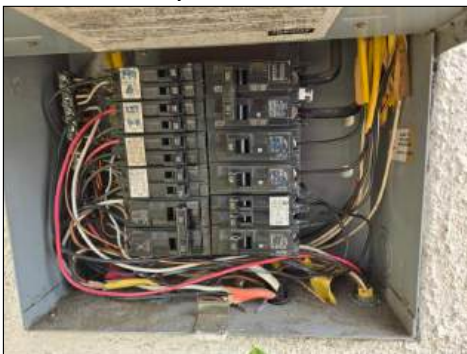
2. Sub Panels

Location: No sub panel present

3. Panel Wiring

Observations:

- Wiring type: copper
- Wiring method: non-metallic sheathed cable (romex)
- Grounded panel - main ground/bonding wire observed and appears to be normal for the age of the panel
- Visible wiring has normal wear for age with no major visible defects at the time of the inspection
- Spliced/taped/wire nut connections present are evidence of alterations to panel – consider further evaluation by an electrician to ensure that splices are not bypassing or overloading breakers



Thermal Image View - Normal temperature readings with no visible signs of overheating at time of inspection



Thermal Image View - Normal temperature readings with no visible signs of overheating at time of inspection

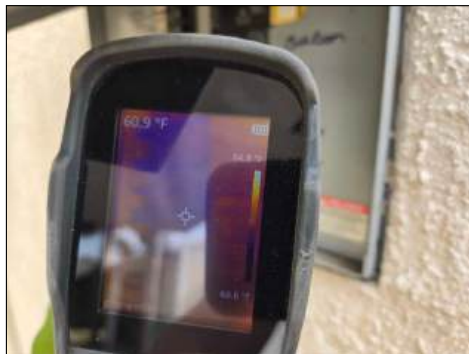


Spliced/taped/wire nut connections present are evidence of alterations to panel – consider further evaluation by an electrician to ensure that splices are not bypassing or overloading breakers

4. Breakers

Observations:

- Labels are present on panel cover - the inspector does not confirm accuracy of labels
- Loose/worn breakers - typical for age
- White or green wires at breaker(s) - needs to be serviced/further evaluated by an electrician



Thermal Image View - Normal temperature readings with no visible signs of overheating at time of inspection



White or green wires at breaker(s) - needs to be serviced/further evaluated by an electrician

5. Breaker Amp Capacity

Observations:

- 100 amp - while common for many structures, this may be considered low capacity for today's electrical uses - consider upgrading services



6. Cable Feeds

Observations:

- Overhead - normal wear for the age on day of the inspection - no major visible defects



7. Main Gas Valve

Location: We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection. • North side of the structure

Observations:

- Natural gas present
- Valve has normal wear for age at the time of inspection - no major visible defects
- Recommend gas valve wrench be placed near valve for optimal preparedness
- No seismic safety valve present - some counties require seismic valves, check residential building codes - recommend installation for increased safety



8. Gas Pipes and Valves

Observations:

- We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances during the contingency period or at least prior to purchase and occupancy. Note: The Inspector cannot determine if a gas leak is present in any area of the home at any time during the inspection. Note: The inspector cannot determine if all gas lines are properly protected in the ground.
- Worn meter/piping - typical for age and exterior weathering
- Minor rusting - typical for age - recommend rust treatment



ATTIC AREA

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1. Access Entries

Observations:

- Limited attic inspection - many areas are not accessible due to limited space, lack of proper walk boards, electrical, plumbing, ductwork, etc.
- Could not access all areas of the attic due to limited space or insulation covering joist chords
- Inspection method: Partially traversed: some areas not accessible or visible due to access limitations
- Inspection method: Partially traversed: Flooring walk boards not installed in attic - inspection limited due to potential for damage to insulation or other components, areas without walk boards or clear footing were not traversed
- Location of access: Hall ceiling
- Access door is dirty with cosmetic blemishes present
- Access door is cracked/chipped/warped - recommend servicing

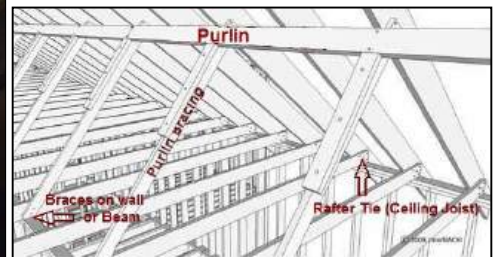
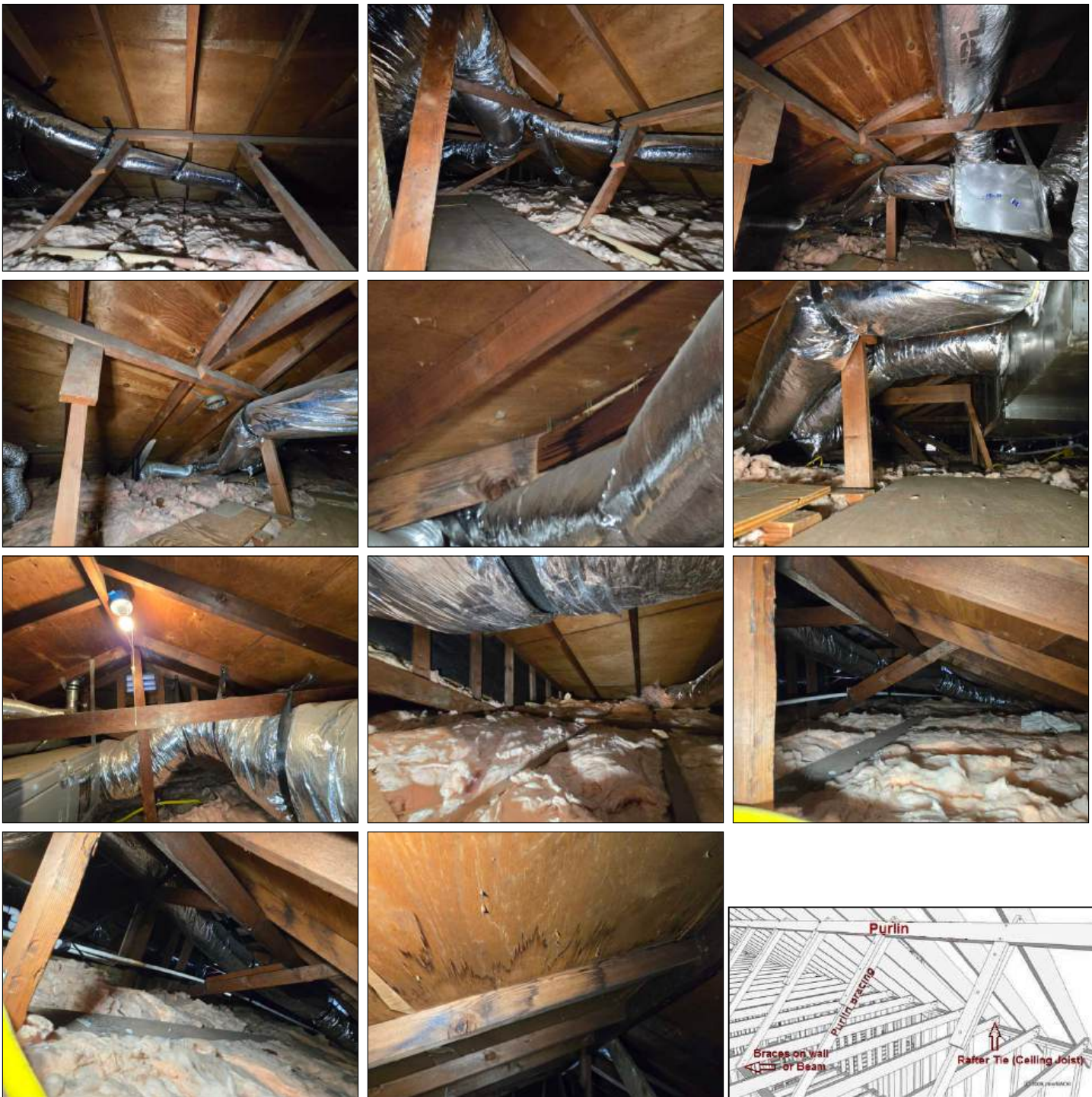


2. Structure

Observations:

- Consult termite report for all wood areas in the attic
- Conventional framing present, normal wear at time of inspection - no major visible defects
- Cracked wood - typical for age
- This structure would benefit from the addition of collar ties, purlin bracing and/or brackets for added support
- **Stains present on wood members of structure - evidence of past moisture entering structure - monitor for future moisture intrusion**





3. Insulation

Material type: Unfinished fiberglass batts

Approximate depth: 4-6 inches in depth - more recommended

Observations:

- The inspector does not determine R-value of the insulation
- Insulation generally blocks visible inspection access to framing or components below level of insulation
- No visible signs of rodents at this inspection - we recommend pest services seasonally as part of your regular home maintenance
- All visible insulation appears to have normal wear for age with no major visible defects at the time of the inspection



4. Ventilation

Observations:

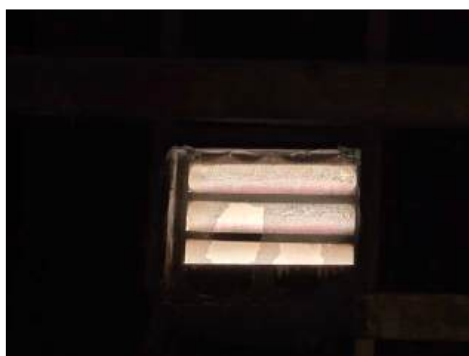
- Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction
- Existing ventilation appeared to be adequate on the day of the inspection



5. Vent Screens

Observations:

- Recommend maintaining vent screen to prevent pest intrusion
- **Recommend appropriate licensed contractor for further evaluation**
- **Damaged/torn - needs to be serviced**



6. Exhaust Vents

Observations:

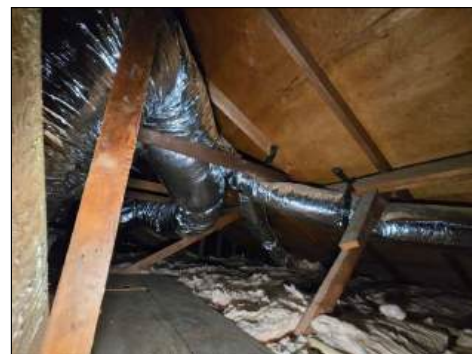
- Note: The inspector does not determine the presence of asbestos or any other hazardous materials in the duct work - if there is any concern about asbestos in the duct work we recommend that the client have the ducts tested as needed.
- Vent(s) appear to be in normal condition where visible - no major visible defects



7. Duct Work

Observations:

- The inspector cannot determine efficiency or effectiveness of the duct layout - check all installation permits
- New/newer duct work present, evidence of alterations observed - check all installation permits to ensure that all areas were installed to city/county building codes
- Ducting areas have normal wear for age at the time of the inspection - no major visible defects



8. Electrical

Observations:

- Areas not visible due to insulation and/or ductwork are not inspected
- Some areas not visible due to access hindrances or limitations
- Visible electrical areas appear to have normal wear for age with no major visible defects at the time of the inspection
- Attic light operated via normal fixture control



9. Plumbing

Observations:

- Some areas not visible due to access hindrances or limitations
- Plumbing Type: Cast iron
- Worn/older piping system present - consider upgrading plumbing
- No visible leaking at the time of inspection



10. Chimneys

Observations:

- Chimney is not fully visible/not accessible for inspection

GARAGE AND/OR CARPORT

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1. Roof Condition

Notes: Detached structure with a separate roof • Inspection method - roof was walked

Constructed of: Asphalt shingles

Observations:

- The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. If there are concerns of possible roof leaks, please contact a licensed roofer to perform an additional inspection and/or roof certification. Remaining roof life can only be determined by a licensed roofer. This applies to all roof areas evaluated during this inspection.
- Recommend seasonal maintenance to extend the life of the current materials
- Worn and weathered materials present - typical for age and weather exposure - recommend maintenance
- Recommend roofer to evaluate and determine remaining life of the roof materials
- Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads
- Shingles exhibited extensive/abnormal granule loss - needs to be serviced/evaluated by a roofer
- Materials appear to be nearing end of useful life - consult with a licensed roofer to determine remaining life
- Missing/damaged shingles/tiles at ridge/hip - needs to be serviced
- Missing/damaged shingles/tiles in areas - recommend servicing
- Recommend roofing contractor to further evaluate
- Tree touching against roof / structure - needs to be serviced
- Partial rain gutter present - restricted / clogged with debris - needs to be serviced



Missing/damaged shingles/tiles in areas - recommend servicing

Missing/damaged shingles/tiles in areas - recommend servicing



Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads

Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads

Missing/damaged shingles/tiles at ridge/hip - needs to be serviced



Tree touching against roof / structure - needs to be serviced



Partial rain gutter present - restricted / clogged with debris - needs to be serviced



2. Rafters & Ceilings

Observations:

- Exposed wood rafters/joists - consult termite report for all wood areas
- Drywall present with attic type access
- Small cracking/cosmetic blemishes/holes/loose seem tape/protruding nails - typical for age - recommend paint and patch as needed
- Stains present - tested dry at time of inspection - monitor for possible moisture intrusion





3. Main Automotive Doors

Type: Metal sectional

Observations:

- Worn/weathered door - typical for age and exposure to weather
- Recommend weather tight service/maintenance to prevent moisture intrusion around main door areas
- Dents/deformed metal - needs to be serviced
- Recommend garage door contractor to further evaluate
- **Deteriorated wood at jamb - needs to be serviced**



Dents/deformed metal - needs to be serviced

Deteriorated wood at jamb - needs to be serviced



4. Hardware/Springs

Observations:

- Garage doors require periodic maintenance and is recommended to ensure that all hardware is properly lubricated and secured
- Door hardware is in a worn/older/loose condition - recommend standard service/lubrication
- Door hardware noisy when operating door - recommend servicing



5. Garage Door Openers

Observations:

- None installed - recommend further evaluation

6. Exterior Doors

Observations:

- Operated at the time of inspection
- Worn/weathered/small cracks/dents/holes/staining/blistered material/cosmetic blemishes - did not affect the performance of the door - recommend paint and patch as needed
- Small cracks/dents/holes/cosmetic blemishes - recommend paint and patch as needed
- Slightly loose/worn/older hardware - recommend minor maintenance/adjustment/replacement
- Visible daylight can be seen at an exterior door - recommend weather tight seals and maintenance
- Missing threshold - needs to be serviced
- Not square in jamb - needs to be serviced
- Recommend contractor to further evaluate



7. Fire Doors

Observations:

- Detached garage - no fire door present - N/A

8. Walls

Observations:

- Personal items/storage/etc. are present and prevent a complete inspection of wall areas
- Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure



9. Anchor Bolts

Observations:

- Could not access or not visible due to wall coverings - not inspected

10. Cabinets

Observations:

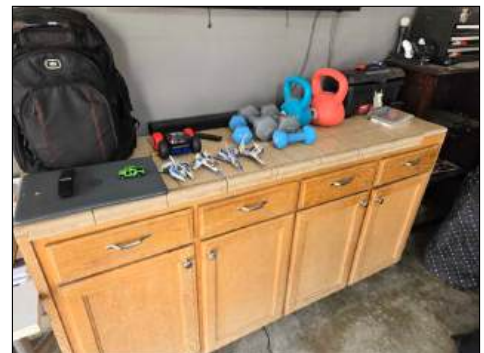
- Some interior cabinet areas not visible for inspection due to personal storage
- Small cracks/holes/chipped/dirty areas/cosmetic blemishes observed - typical for age of structure
- No visible microbial growth/irregular staining found at the time of inspection
- Loose/worn hardware - worn cabinets - typical for age
- Door or drawers did not open/close/not aligned properly - normal for age - Needs minor maintenance and adjustment
- Stained/worn areas at interior of cabinets - dry at the time of inspection, but monitor



11. Counters

Observations:

- Scratched/rough surfaces/worn/chipped/stained areas - signs of age and wear - recommend stone/surface and sealer maintenance
- **Cracked/chipped tiles - recommend servicing**
- *Some counter areas not visible for inspection due to personal storage*
- Check permits at all added storage areas



12. Slab

Observations:

- Personal items/storage/vehicles prevent complete inspection of floor areas
- Worn and stained areas - typical for age of the material
- Cracked more than typical - needs to be serviced
- Irregular cracking - needs to be further evaluated
- Uneven/lipage in areas trip hazards present – needs to be serviced
- Evidence of past movement in slab - needs to be further evaluated
- Recommend licensed concrete contractor to further evaluate



13. Electrical

Observations:

- Evidence of electrical alterations in the garage - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code
- Only the visible and accessible switches/outlets are testing during this inspection, personal items/furnishings are not moved to access any outlets/switches behind them.
- A representative number of receptacles and switches were tested and found to be operational at time of inspection
- Outlets/switches had normal wear for age - no major visible defects



14. GFCIs

Observations:

- Recommend upgrading all accessible receptacles below 8 feet to GFCI protection within 6 feet of all potential wet locations or where potential ungrounded power tools may be used, unless these outlets are on dedicated circuits meant for appliances.

15. 240 Volt Receptacle

Observations:

- Not present/visible - not inspected or tested

16. Ventilation

Observations:

- None present/present at attic space only - consult local building department/authority regarding ventilation requirements

17. Vent Screens

Observations:

- **Damaged/torn - needs to be serviced**



18. Windows

Constructed of: Single pane • Wood framed • Fixed framed

Observations:

- Normal wear at the time of inspection - no major visible defects



19. Wash Basin/Plumbing



20. Electrical Chase/Soffit

Observations:

- No soffit or chase present - N/A

EXTERIOR AREAS

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1. Stucco

Observations:

- Some not accessible for inspection due to vegetation/personal items/height/limited access - these areas cannot be visually inspected
- Exterior stucco is worn/weathered/stained - did not appear to affect the performance of the material - recommend maintenance as needed
- Recommend sealing any holes/gaps or cracks to prevent moisture or pest entry
- Small cracking/chipping/holes present in areas - recommend stucco service/maintenance
- Stained/discolored areas - recommend rain gutters or ground cover in these areas to prevent splashing and staining
- Pet door installed - damaged/loose/missing hardware - recommend replacement/minor maintenance/replacement
- Stucco requires periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions
- Inspector does not use specialized instruments to detect moisture, if any, under stucco surface



2. Lower Half of Chimney

Observations:

- Worn/weathered at time of inspection where visible - typical for age
- Small cracking or chipping observed - typical of age - recommend maintenance/sealing
- **Recommend appropriate licensed contractor for further evaluation**
- Chimney clean out door worn/rusted/loose - recommend service
- **Worn/cracked/missing grout/mortar - recommend grout/mortar maintenance and exterior water tight sealant to prevent possible moisture intrusion**
- **Large cracking or chipping observed - needs to be serviced**
- **Deteriorated mortar at chimney - recommend servicing**
- **Loose mortar at chimney - recommend servicing**



Chimney clean out door worn/rusted/loose - recommend service

3. Wood Trim

Observations:

- Consult termite report for all exterior wood
- Weathering, cracking and staining present - typical for age and weather exposure - recommend maintenance
- Recommend general trim maintenance and sealing any holes/gaps
- Small cracking/chipping/holes present in areas - recommend service/maintenance to prolong the life
- For damaged wooden areas and moisture problems always obtain a structural pest control inspection; Inspector does not determine wood destroying organism presence or damage - always obtain a structural pest control inspection; Inspector does not use specialized instruments to detect moisture, if any, under siding/trim surface
- **Deteriorated wood - consult termite report - recommend service - at roof area, back yard closet/storage areas**



Deteriorated wood - consult termite report - recommend service - at roof area, back yard closet/storage areas



Deteriorated wood - consult termite report - recommend service - at roof area, back yard closet/storage areas



Deteriorated wood - consult termite report - recommend service - at roof area, back yard closet/storage areas



Deteriorated wood - consult termite report - recommend service - at roof area, back yard closet/storage areas

4. Weep Screeds

Observations:

- Worn/weathered areas - typical for the age
- Exposed areas of weep screed due to stucco chipping - recommend servicing/covering these areas
- No weep screeds present at original structure - typical for age
- **Recommend appropriate licensed contractor for further evaluation**
- **Weep screed does not have proper clearance from soil/concrete/grading in areas**
- **Weep screeds should be minimum 4-inches from grade - needs to be serviced**



5. Eaves & Fascia

Observations:

- Consult termite report for all wood areas at the structure
- Cracking/weathering/worn where visible - typical for age and weather exposure
- Weathering and staining present in areas
- Recommend paint and maintenance repair
- Exposed exterior wood requires periodic seasonal maintenance and paint - recommend servicing
- Inspector does not determine wood destroying organism presence or damage - always obtain a structural pest control inspection
- Inspector does not use specialized instruments to detect moisture, if any, under siding/trim surface
- **Deteriorated in areas - needs to be serviced - consult the termite report**
- **Condensation/moisture damage - needs to be serviced - consult the termite report**
- **Recommend appropriate licensed contractor for further evaluation**



Deteriorated in areas - needs to be serviced - consult the termite report



Deteriorated in areas - needs to be serviced - consult the termite report

6. Exterior Paint

Observations:

- Weathered and worn areas - typical for age and weather exposure
- Paint is recommended to help maintain and seal the exterior areas of the structure
- Exterior paint will require maintenance every 3-5 years

7. Exterior Doors

Observations:

- Consult the termite report for all wood doors/frames at this structure
- Exterior doors require seasonal maintenance to extend lifespan and maintain weather tight seals
- All visible and accessible doors were tested during this inspection
- Worn/weathered – recommend weather tight service/maintenance
- Loose/worn hardware/hinges - needs minor service and/or adjustment
- **Recommend appropriate licensed contractor for further evaluation**
- **Moisture damage/deteriorated wood at exterior door/door jamb - needs to be serviced - west**



Moisture damage/deteriorated wood at exterior door/door jamb - needs to be serviced - west



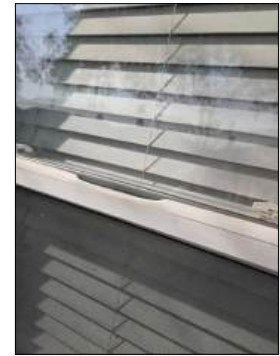
Moisture damage/deteriorated wood at exterior door/door jamb - needs to be serviced - west

8. Exterior Windows

Observations:

- Exterior windows require seasonal maintenance to extend lifespan and maintain weather tight seals
- Windows are not original to structure – check permits for all replacements to ensure proper installation in accordance with local building codes (may not include all windows at the structure)
- Worn windows/screens - typical for age
- Torn/bent/worn screens - needs maintenance/repair
- Windows are dirty in areas - internal condensation is not determinable - recommend cleaning and further inspection
- Separations/gaps/damage at vinyl cladding joint - recommend servicing - east





Separations/gaps/damage at vinyl cladding joint - recommend servicing - east



9. Exterior Closet(s)

Observations:

- Some closet areas not visible for inspection due to personal storage
- Worn closets with loose/worn hardware - typical for age
- Small holes/cracks/cosmetic blemishes present - typical for age - recommend patching and painting
- Stains/blistered area(s) - tested dry at time of inspection - monitor area for moisture
- Irregular installation - check for permits
- **Recommend appropriate licensed contractor for further evaluation**
- Warped door/gaps present - recommend service
- **Deteriorated wood observed - recommend servicing**



**Deteriorated wood observed -
recommend servicing**



Deteriorated wood observed - recommend servicing

FOUNDATION

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1. Access Panels

Observations:

- Inspection method: crawlspace completely traversed - multiple access points present
- Access entry is worn/weathered – recommend service/repair to prevent pest access to under structure
- Using plywood at exterior - recommend proper covers



2. Foundation Walls

Observations:

- Constructed of: concrete
- Visible foundation wall areas are worn and stained areas - typical for age of the structure and material
- **Efflorescence** present - indicates past moisture accumulation - monitor for further moisture intrusion
- **Efflorescence is excessive in areas - ongoing moisture or drainage problem may exist - needs to be serviced/further evaluated**
- Areas of additions present - check all permits
- Recommend foundation contractor to evaluate this foundation due the age of the structure
- **Brick at chimney hearth cracked/chipped/loose - loose/missing mortar - recommend service/further evaluation**



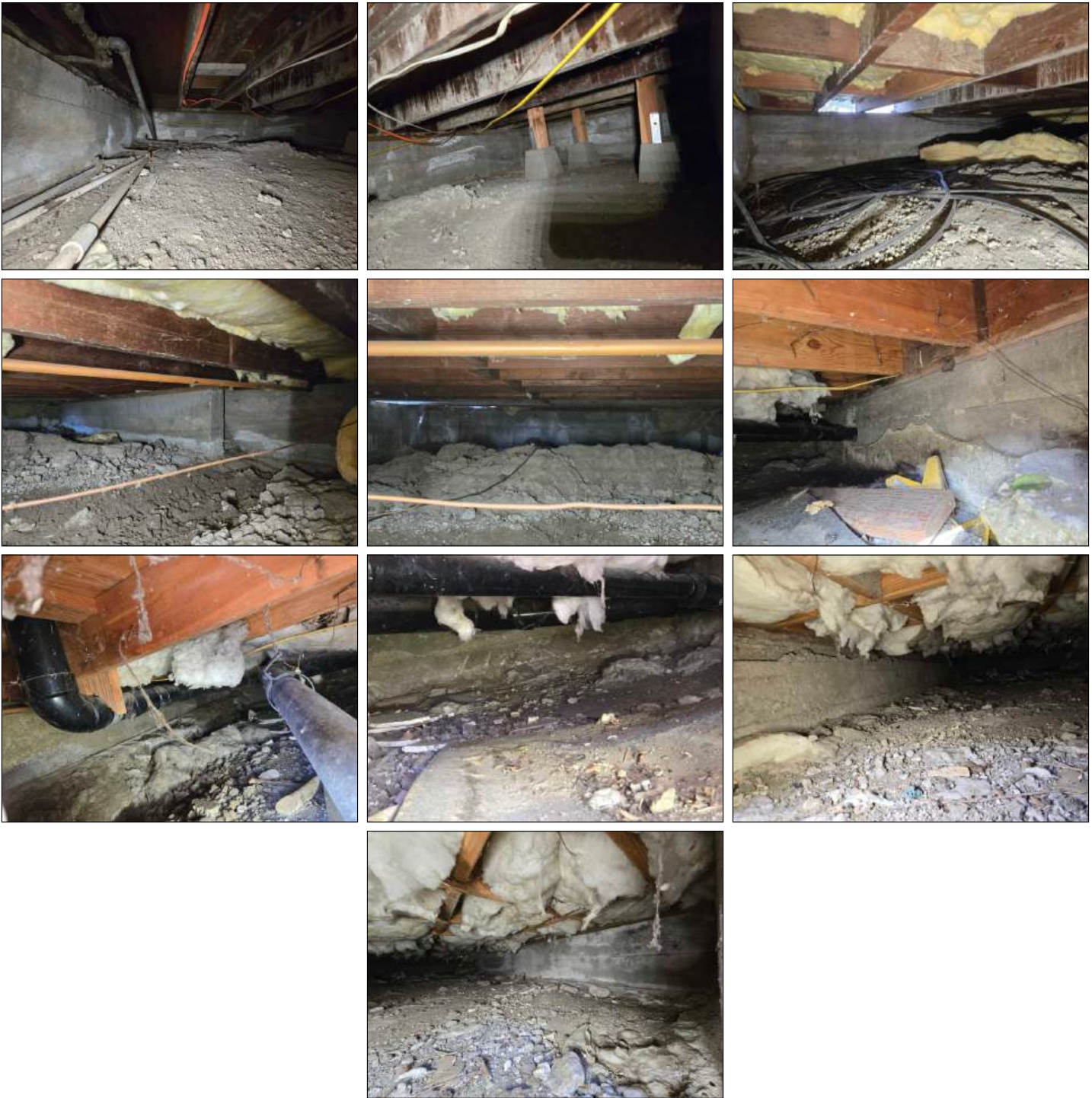
Efflorescence present - indicates past moisture accumulation - monitor for further moisture intrusion

Efflorescence present - indicates past moisture accumulation - monitor for further moisture intrusion



**Brick at chimney hearth
cracked/chipped/loose -
loose/missing mortar - recommend
service/further evaluation**





3. Cripple Walls

Observations:

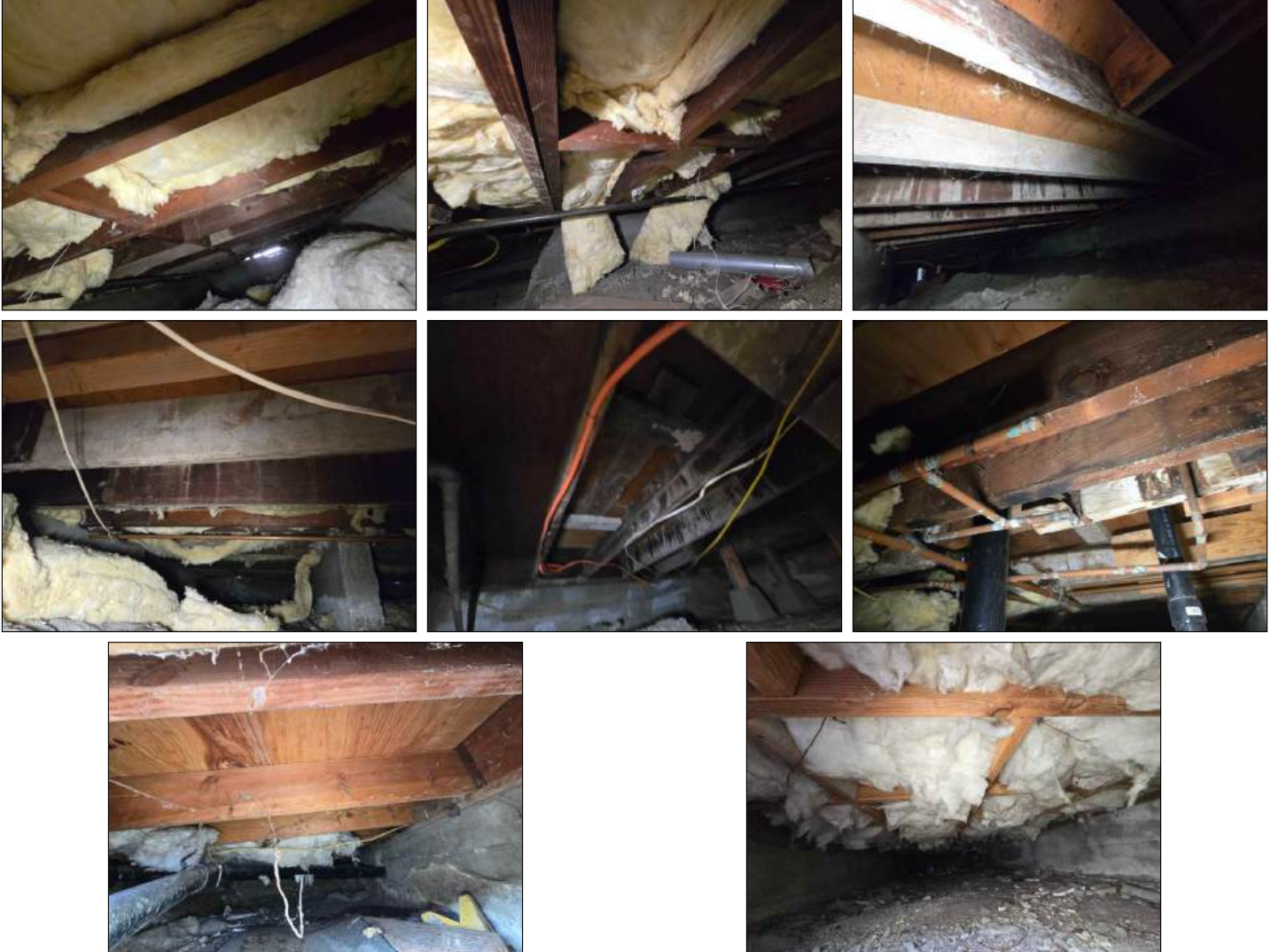
- None/not applicable

4. Sub Flooring

Observations:

- Sub flooring not visible in areas due to floor insulation
- Wood is worn and stained in areas where visible - typical of a structure this age
- Insulation missing at portions of sub-floor - recommend installation
- Stained areas present – consult termite report for any wood/moisture issues
- Small cracks at wood members - typical for age

- Insulation detaching and falling - recommend servicing



5. Posts and Girders

Observations:

- Brackets for all attachment points would benefit the structure
- Posts off centered and not aligned over concrete piers - recommend brackets for added support
- Posts added in areas for additional support - check installation permits
- Pier blocks do not appear to be set in footings - needs to be serviced
- Irregular installation/patching/workmanship - needs to be serviced
- Recommend foundation contractor or structural engineer to further evaluate





6. Sill Plate

Observations:

- Worn/stained/cracked materials - typical for the age of the structure



7. Anchor Bolts

Observations:

- Anchor bolts present - worn with rust present - typical for age



8. Ventilation

Observations:

- Evidence of rodent/pest activity in the crawlspace - recommend further evaluation by pest services company
- Existing ventilation appeared to be adequate on the day of the inspection



Evidence of rodent/pest activity in the crawlspace - recommend further evaluation by pest services company



Evidence of rodent/pest activity in the crawlspace - recommend further evaluation by pest services company

9. Vent Screens

Observations:

- Worn/bent/small holes – recommend maintenance and repairs to prevent pest intrusion
- Recommend appropriate licensed contractor for further evaluation
- **Torn screens - recommend maintenance and repairs to prevent pest intrusion**



10. Electrical

Observations:

- Evidence of electrical alterations under the structure - check all permits for electrical alterations to ensure that all electrical was installed to city/county electrical code
- Electrical areas appear to have normal wear for age with no major visible defects at the time of the inspection
- Check for permits for any electrical alterations





11. Plumbing

Observations:

- The inspector ran water during the inspection prior to inspecting under the structure
- It is not always possible for the inspector to view every side/angle/connection of all plumbing pipes due to plumbing design/layout/approach angle/etc. Underground plumbing/pipes cannot be visually inspected. Pressure testing is not performed during this limited inspection.
- Plumbing type: copper, **ABS**
- Visible/accessible plumbing areas have normal wear at the time of inspection with no major visible defects
- No visible leaks found at the time of the inspection
- **Galvanized** piping under structure appears to be abandoned - consult with a plumber to confirm and remove old piping from under the structure
- Check permits for any plumbing alterations





GROUNDS

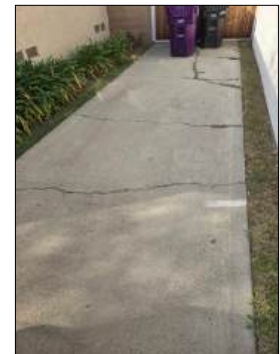
"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required.

1. Driveways and Walkways

Constructed of: Concrete • Masonry pavers • Stone • Tile

Observations:

- Personal items/automobiles/vegetation/debris may prevent a complete inspection in areas
- Worn with common cracks/chips/stains - typical for age of material
- Moderate cracking in areas - recommend maintenance and patching as needed
- Tile and grout present in areas, tile surfaces may be slippery when wet
- Small localized water ponding may occur in areas - area drains may be needed, monitor and address as needed
- Irregular installation/patching/workmanship - needs to be serviced
- Check permits on any additions/alterations/modifications
- Worn/cracked/missing grout/mortar - recommend grout/mortar maintenance and exterior water tight sealant to prolong the life
- Bricks/Pavers/Stone are loose laid and may have movement when walked on - recommend maintenance to prevent a possible trip hazard
- Evidence of past ground movement - consult concrete contractor or soil engineer to determine possible causes
- Driveway displacement/uplifted/uneven areas - trip hazard - needs to be serviced
- Walkway displacement/uplifted/uneven areas - potential trip hazard - needs to be serviced
- Bricks/Pavers/Stone are uneven in areas - potential trip hazards - needs to be serviced
- Tree/roots affecting driveway/walkways in areas - recommend servicing
- Recommend consulting with a concrete/landscape/hardscape contractor to determine possible cause and repair options
- Large cracks in areas - needs to be serviced





2. Patio and Porch Roofs

Constructed of: Shade type wood • Plastic • Wood • Same as main structure - porch • Free-standing structure present

Observations:

- Consult termite report for all exterior wood conditions
- Worn/weathered/stained materials - typical for age - material in need of maintenance
- Debris present in areas - recommend cleaning roof area of all debris
- Inspector cannot determine if patio/porch roofs are water-tight, no water testing of any kind is performed at this inspection
- **Recommend evaluation and costs of repair from a licensed roofer/contractor**
- Recommend consulting with appropriate licensed contractor for further consultation and repair options
- **Wood deterioration observed - consult termite report**
- **Heavy wood deterioration/moisture damage in areas - consult termite report - needs to be serviced**
- **Deteriorated wood at support post(s) - Needs to be further evaluated by a licensed contractor for safety**
- **Staining/fungus on wood - consult termite report for all wood areas**
- **Loose/damaged/missing trim at base - needs to be serviced**



Deteriorated wood at support post(s) - Needs to be further evaluated by a licensed contractor for safety



Wood deterioration observed - consult termite report

Staining/fungus on wood - consult termite report for all wood areas



Loose/damaged/missing trim at base - needs to be serviced

3. Patio and Porch Decks

Observations:

- Worn with common cracks/chips - typical for age of material
- Moderate cracking - recommend maintenance and patching as needed
- Small localized water ponding may occur, additional drainage may be needed in areas
- Check for permits on all alterations
- Bricks/Pavers/Stone are uneven/loose in areas - potential trip hazards - needs to be serviced
- Cracking/chipping large - needs to be serviced
- Displaced/lifted/uneven areas trip hazard - needs to be serviced
- Recommend appropriate licensed contractor for further evaluation



4. Stairs & Handrails

Observations:

- Stairs/steps have normal wear at time of inspection - no major visible defects



5. Exterior Electrical

Observations:

- The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches.
- Accessible lights/switches/outlets were tested on the day of the inspection

- The visible and tested fixtures/switches/outlets were in a loose/worn condition - typical for age - recommend upgrading



6. GFCIs

Observations:

- Tested and operational at time of inspection via normal control - southwest
- **GFCI not grounded - recommend servicing**
- **Missing/damaged exterior cover - recommend servicing - by water heater**



GFCI not grounded - recommend servicing



Missing/damaged exterior cover - recommend servicing - by water heater



Tested and operational at time of inspection via normal control - southwest

7. Exterior Plumbing and Faucets

Observations:

- Exterior plumbing is present and not original to the structure - check all installation permits to ensure installation to building code
- Clean-out location: east side
- Accessible exterior faucets operated with normal wear at time of inspection via normal fixture controls
- Exterior hose faucet(s) missing anti-siphon device(s) or back flow preventer(s) - recommend servicing



8. Main Water Valve

Type of plumbing: Copper • Copper piping is not original to the structure - check all permits to ensure piping was installed to city/county plumbing codes

Observations:

- This inspection cannot determine certain plumbing defects such as pinhole leaks due to concealment in walls ceilings, floors, concrete slabs, etc. This inspection also does not determine or identify geographic areas that are prone to this issue. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area.
- Main water shutoff is visibly inspected only - the valve(s) is not tested for operation due to the potential for leakage
- We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection
- Location: east side
- Main valve appears to have normal wear at the time of inspection - no major visible defects
- No visible leaking found at the main valve area at the time of the inspection



9. Water Pressure

Observations:

- Recommended water pressure is between 55 to 80 pounds per square inch (psi)
- Water Pressure can fluctuate depending upon time of day and municipal service adjustments
- Approximate pounds per square inch: 80



10. Pressure Regulator

Observations:

- None installed - a pressure regulator is recommended to allow for water pressure adjustments as needed

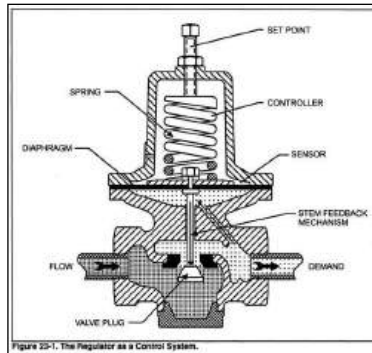


Figure 10-1. The Regulator as a Control System.

11. Sprinklers

Observations:

- Standard inspection package - sprinklers are beyond the scope of this home inspection. However, defects or problems were visible at the time of inspection. It is recommended that a qualified landscape contractor fully evaluate and service as needed.

12. Fencing and Walls

Constructed of: Block • Wood

Observations:

- Fence enclosures are not evaluated for security adequacy
- Visible fencing/wall areas are worn and weathered - typical for the age of the materials
- Loose/missing top caps/materials - recommend servicing
- Earth to wood contact present and will reduce the life of wood fencing
- Wood is worn/stained/cracking - typical for age of material - recommend maintenance
- Worn/damaged/missing mortar/grout - recommend mortar and sealer maintenance to prolong the life
- Recommend an appropriate licensed contractor for further evaluation
- Loose/leaning areas of fencing/walls – needs to be serviced
- Damaged fencing/walls - needs to be serviced
- Deteriorated wood present - consult termite report - Fencing in need of maintenance
- Cracking large/separation cracks present - needs to be serviced
- Loose/damaged block(s) - needs to be serviced





13. Gates

Constructed of: Wood • Wrought iron

Observations:

- Gates are not evaluated for security adequacy
- Operated on the day of the inspection
- Loose/worn hardware - typical for age
- Weathered and worn materials - typical for age
- Rust present - recommend rust treatment to prolong material life
- Recommend appropriate licensed contractor for further evaluation
- Gate sticks - recommend servicing
- Gate not closing properly - recommend servicing

- Gate rubs at side/bottom - recommend servicing



14. Planters

Observations:

- The Inspector cannot determine if planter areas are leaking into the structure, consult seller disclosures or obtain further evaluation of these areas for any moisture intrusion issues
- Recommend adding drainage in planter areas to direct moisture away from the structure
- Cracked and worn - typical for age of material
- Loose/cracked materials present - needs to be serviced
- Planter installed against house; should be 2-inch gap or contain a moisture barrier - needs to be serviced
- Recommend appropriate licensed contractor for further evaluation



15. Grading

Observations:

- This inspection cannot determine adequate drainage needs, the addition of drains may be needed in areas to help divert water away from the structure
- No drains visible at the property at the time of the inspection, drains are recommended to divert water away from structure
- Small localized water ponding may occur in areas - monitor these areas as drains may be needed
- Recommend appropriate licensed contractor for further evaluation
- Standing/ponding water in areas – signs of poor drainage



ROOF

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required. The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. Roof underlayment cannot be inspected, condition of underlayment cannot be determined with this inspection. Water intrusion and moisture staining is not always visible during the inspection and can appear after rain fall. Remaining roof life can only be determined by a licensed roofer. If there are concerns of possible roof leaks or to determine remaining roof life, please contact a licensed roofer to perform an additional inspection. To schedule a roofing consultation with a licensed roofer please call our office at 800-494-8998. This applies to all roof areas evaluated during this inspection.

1. Condition

Information: Information: The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. Roof underlayment cannot be inspected, condition of underlayment cannot be determined with this inspection. Remaining roof life can only be determined by a licensed roofer. If there are concerns of possible roof leaks or to determine remaining roof life, please contact a licensed roofer to perform an additional inspection. To schedule a roofing consultation with a licensed roofer please call our office at 800-494-8998. This applies to all roof areas evaluated during this inspection • Inspection method - roof was walked •

Materials are not original to structure - check installation permits

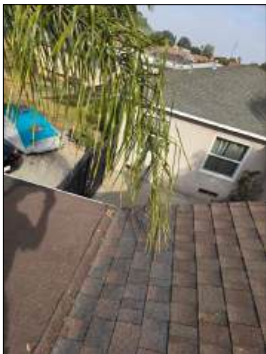
Constructed of: Asphalt shingles • Rolled materials

Observations:

- Worn and weathered materials present - typical for age and weather exposure - roof needs maintenance
- Rolled **composition** roofing not considered a long-term material - regular maintenance is required
- Debris present in areas - recommend cleaning roof area of all debris
- Shingles exhibited visible granule loss - normal for age of material
- Moss growth present in areas - sign of moisture accumulation and lack of sunlight for drying - recommend servicing as part of seasonal maintenance
- Wavy areas present are a sign of deflection - additional support may be needed in areas - consult a roofer as needed
- Evidence of prior repair/patching observed - consult seller for all past repairs and roof service history
- Patching observed in areas on roof materials - inspector is unable to guarantee the adequacy of these repairs - recommend maintaining a continuous water tight seal in these areas
- Check permits for any alterations/roof replacement
- Recommend roofer to evaluate and determine remaining life of the roof materials
- **Satellite dish/brackets fastened directly to the roof - screws will need periodic sealant and maintenance to prevent possible damage or moisture intrusion**
- **Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads**
- **Shingles exhibited extensive/abnormal granule loss in areas - needs to be serviced/evaluated by a roofer**
- **Materials appear to be nearing end of useful life - needs to be further evaluated by a licensed roofer**
- **Tree branches rub roof - needs to be cut back**
- **Shingles are curling/lifting - evidence of abnormal wear - needs to be serviced**
- **Missing/damaged shingles/tiles at ridge/hip - needs to be serviced**
- **Missing/damaged shingles/tiles in areas - needs to be serviced**
- **Ponding or evidence of ponding in areas - needs to be serviced**
- **Signs of poor slope or drainage on roof - needs to be serviced**
- **Recommend roofing contractor to further evaluate**



Satellite dish/brackets fastened directly to the roof - screws will need periodic sealant and maintenance to prevent possible damage or moisture intrusion



Tree branches rub roof - needs to be cut back



Ponding or evidence of ponding in areas - needs to be serviced





Missing/damaged shingles/tiles at ridge/hip - needs to be serviced



Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads



Missing/damaged shingles/tiles in areas - needs to be serviced

Signs of poor slope or drainage on roof - needs to be serviced

Exposed nails/staples/screws on roofing material - recommend sealing all fastener heads

2. Flashings

Observations:

- Worn/weathered/rusted/bent - typical for age - recommend seasonal mastic maintenance to prevent moisture intrusion
- Recommend further evaluation by a licensed roofer
- Irregular installation at electrical feeds - needs to be serviced/further evaluated



Irregular installation at electrical feeds - needs to be serviced/further evaluated

3. Gutters and Down Spouts

Observations:

- None present- recommend gutters on all feasible sides of the structure/roof areas to help to divert water away from the structure

4. Vents and Vent Caps

Observations:

- Worn/weathered/dented/minor rust cap(s) – recommend seasonal maintenance to ensure that caps do not become loose or develop other defects



5. Chimneys

Observations:

- Worn/weathered chimney – recommend seasonal maintenance and care
- Flashing at base of chimney appears to need some maintenance to ensure a continued waterproof seal
- Recommend chimney inspection due to age/conditions
- Cracks in bricks - should be sealed and monitored as part of regular home maintenance
- **Recommend appropriate licensed contractor for further evaluation**
- **Chimney cap is cracked in areas - recommend repairs and sealing all areas to prevent moisture entry**

- Mortar deteriorated/loose/missing in areas - needs to be serviced
- Loose bricks/mortar - needs to be evaluated by a CSIA or other certified chimney sweep



6. Spark Arrestors

Observations:

- Worn/weathered - typical for age and weather exposure
- Rust present - recommend rust treatment



POOL AND/OR SPA

"Needs to be serviced" and/or "recommend servicing" is a common phrase used throughout this report and means, in the Inspector's opinion; maintenance, repair or upgrade is needed. Further evaluation of all items labeled with "needs to be serviced" is highly advised; general maintenance, repair and / or replacement by an appropriate licensed contractor may be required.



Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
CSIA	Certified Chimney Sweep - Certified Safety Institute of America
Check permits	Home Inspectors cannot determine modification or alterations dates within any structure. The Home Inspector cannot determine building code violations. You are advised to check with the local city or county building and safety office regarding any planned or paid for construction/alterations permits to ensure that any alterations made to the structure were installed and or built to the proper building code standards for the date of the alteration. You are further advised to consult with your Realtor and the Seller/disclosures to understand the details of any and all alterations to the structure and/or contractor warranties that may apply to the alterations.
Combustion Air	The air flow openings designed to bring fresh outside air to the furnace and/or hot water heater or other appliances to be used in the combustion of fuels and the process of venting combustion gases. Normally, two separate supplies of air are brought in: one high and one low.
Composition	Composite siding is a building material used on the exterior of homes and commercial structures. Like other cladding products, composite siding is installed so that it covers the exterior of a building completely, providing no openings for water to enter the interior of the space. Siding is available in boards or planks, which can be layered over one another horizontally or vertically. Some varieties of composite siding are made from shredded wood or sawdust, with a bonding agent added for strength. Known as Oriented Strand Board (OSB). Like traditional wood products, OSB is susceptible to moisture damage, but offers a higher level of protection against termites and rot. Fiber cement board is another popular composite siding product.
Efflorescence	Efflorescence is a crystalline or powdery deposit of salts often visible on the surface of concrete, brick, stucco, or natural stone surfaces. It occurs when water leaves behind salt deposits on the masonry surface.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

<p>Galvanized</p>	<p>Although galvanized pipes have a general life expectancy of 50 years, their lifespan depends on many factors, from the frequency of use to the amount of water pressure. As such, they might come in need of replacement sooner or later than expected.</p> <p>Defects in galvanized pipes can manifest in multiple ways. The mounting build-up of mineral deposits resulting from corrosion can obstruct water pressure. Low water pressure around the house is usually a sign of a massive build-up of mineral deposits in galvanized pipes. Besides obstructing water pressure, the mineral build-up can also contaminate the water. They can give rise to discoloration in the water. Sometimes, discolored water from rusty galvanized pipes can leave visible brown stains on a porcelain sink. And as the corrosion eats deeper into the pipes, it weakens their integrity, inducing leakages across them. If any part of the galvanized pipes in an old house is leaking, then you should see further evaluation by a licensed plumber for other leakage spots that could break forth owing to years of gradual corrosion.</p>
<p>Maintenance</p>	<p>Performing unscheduled repairs to correct deficiencies that can occur during normal use and wear of building materials and/or systems within a building or home (this is called "corrective" maintenance). "Preventive" maintenance refers to regularly schedule inspections, services, adjustments and replacements to prevent damage or abnormal wear. Recurring maintenance are generally preventive maintenance items suggested by the manufacturer to help maintain life expectancy of building materials or components within a building or home. Emergency maintenance is considered to be an unscheduled repair to correct a deficiency that may lead to personal injury or property damage if left unaddressed.</p>
<p>N/A</p>	<p>Not accessible, not inspected</p>



DISCLAIMERS

Asbestos: The inspector is not licensed by the EPA and cannot determine, report on or test if asbestos materials exist in any area throughout the structure. Any structure built prior to 1978 may contain asbestos in one or multiple building materials used during that era of construction. If you have concerns about possible asbestos, it is solely up to you to arrange for asbestos testing by an appropriate licensed contractor. The Elite Group Property Inspections will not engage in any claims regarding asbestos.

Interior: Limited inspection on all occupied/staged structures. Personal property, furniture, moving boxes or other items are not moved and will prevent a complete inspection (this applies to all areas inside and outside of the structure being inspected). We recommend checking for permits on all additional construction or alterations including, but not limited to: window replacements, patio roofs, out structures, garage and attic conversions, roof alterations, etc. performed on the property after original construction. If multiple people are present at or arrive during this inspection and enter areas or operate appliances or fixtures after they have already been inspected or reported on by the home inspector; the home inspector is not responsible for the condition of these items or areas after they are inspected; the home inspector does not go back and re-inspect the items/areas during this limited time inspection. The Inspector cannot determine if past or present hidden pet damage exists in any part of the structure. The inspector is not a code violation inspector and will not report on building code requirements in any way. Built-in central vacuum systems are not inspected. Interior window shutters/blinds/coverings are not tested or inspected as part of this home inspection (this includes all windows at the structure). Tint/film over windows is not inspected and often is bubbled/loose/peeling/scratched - tint/film (if present) can prevent an accurate inspection of the window glass areas. Only accessible windows and doors are inspected, personal items are not moved to access or test all doors and windows. Broken double pane seals cannot be determined with this inspection, dirty windows can hide signs of condensation between panes. Vertical operating windows are known to have sash cable/spring problems, although the problem may not exist at the time of the inspection, we recommend that you check them often and repair these windows upon discovery of any sash cable or spring problems. Only the visible and accessible switches/outlets are testing during this inspection, personal items are not moved to access any outlets/switches behind them. Fireplace is visually inspected only, the fireplace is not lit to test flame color or condition. The internal cavity of the fireplace is not inspected. It is recommended that you have an internal inspection of the chimney and/or a Gas Company evaluation of the fireplace beyond the scope of this inspection. Ceiling fan mounts cannot be checked by the inspector. Smoke and carbon monoxide detectors that are out of reach are not tested for functionality, all battery operated smoke detectors should be within reach for testing and maintenance. We recommend any mold or moisture damaged areas noted in the report be further evaluated for cause and correction by the appropriate licensed contractor.

Bathrooms: Bathtub and sink overflow drains and spa tub jet hoses are not inspected and leaks in these areas cannot be detected with this inspection. Shower pans are not leak tested and cannot be determined if properly water-proofed by the inspector, consult the termite report for any shower pan tests. Exterior or interior access panels are only inspected if readily accessible and operable (not sealed or painted or screwed shut), second story access panels are not opened. The home inspector cannot determine if shower pans or tubs are properly pitched for drainage. We recommend upgrading all electrical outlets to GFCI protection within 6 feet of all potential wet locations, however this may not be a requirement for the sale of a home based on the age of the home (this also applies to kitchen sinks, wet bar sinks and laundry sinks).

Kitchen: Appliances receive a limited inspection for basic functionality only, additional features are not tested. Appliances are NOT disassembled to evaluate the internal working parts of each appliance. The inspection cannot determine how well the dishwasher cleans the dishes. Disposal blades are not inspected. It cannot be determine how well the oven, range/cook-top or microwave cook food. Age, remaining life, BTU's, CFM's and other forms of efficiency or effectiveness are not determined with this inspection. Water purifying systems, instant hot systems and water softeners are not inspected. Non built-in appliances and built-in refrigerators are excluded from this report.

Laundry: Supply valves, laundry drain, gas valve and dryer vent cannot be tested whether a washing machine is present or not. Washer and dryer units are not inspected or turned on for testing during this inspection and are excluded from this report. Washer and dryers are not moved to inspect the walls/floors/other components behind them. Water supply valves that are left in the on position for a long period of time tend to leak when turned off or do not shut off completely. Drains are not pressure tested.

Attic: The inspector cannot determine, report on or test if asbestos materials exist in any area throughout the structure. When attic insulation is covering ceiling joists, we cannot completely inspect some areas due to inspector safety concerns. Most attics are not completely accessible due to limited space. Attic insulation and limited space will prevent the inspector from performing a complete inspection of the attic area, not all areas are accessible and will be determined at the inspector's discretion. The Inspector does not determine the R-value of insulation present or the efficiency or effectiveness of HVAC duct layout or design. Attic insulation is not touched, moved or otherwise disturbed during the inspection. Temperature sensors and fans for attic exhaust systems are not tested. Rodents: If there is visible evidence of rodents or other pests, it will be noted as such. Most rodent/pest infestation exists under attic insulation, in walls or in areas not visible to the inspector and cannot be identified with this inspection. It's recommended a pest inspection be performed beyond the scope of a home inspection whether or not evidence exists.

Garage: The garage is often the location where most storage occurs and receives a limited inspection when items are present. Personal items or other materials/possessions are not moved in any way to provide access to areas for inspection - areas of rafters, ceilings, firewall(s) or other walls should not be considered fully inspected if personal items or storage is present - defects may be present behind these items and not visible to the inspector at the time of inspection. Doors, windows, cabinets,

DISCLAIMERS CONTINUED

counters, closets, slab areas, electrical areas, ventilation, plumbing areas or soffit(s) not fully accessible are not inspected, tested or evaluated. Firewall: fire rating labels are often not visible on finished drywall and cannot be determined with this inspection. Garage doors, hardware, openers and associated safety devices can only be inspected if these areas are clear of stored items and can be safely operated without disturbing other items in the garage. Garage doors, hardware and openers require periodic maintenance and servicing. Remote controls for openers are not tested. Door opener activator button should be minimum 54-inches above floor for safety.

Pressure sensors/systems are generally not tested due to the risk of damage if they are not properly operating - we recommend having a general service completed prior to regular use. We recommend checking permits for any converted garage areas or additional walls/ceilings or other alterations made to the garage.

Heating & Air Conditioning: This report does not indicate if the heater is on recall, a follow up with RecallChek.com is recommended. Electronic or Ultra violet air filters are not inspected. Inspector cannot determine if there is a crack in the firebox or if carbon monoxide is leaking in any part of the system. Not all registers can be tested for pressure flow, due to location, condition and operation of the heating & air conditioning system. Adjustable registers that are closed are not opened by the Inspector. Missing manufacturer labels prevent RecallChek (this is true for all appliances/systems at the structure). Age, remaining life, size or efficiency cannot be determined by the Inspector. The air conditioning system freon or other refrigerant levels are not checked or determined if leaking by the Inspector. Heaters, coil boxes, condensers and air compressors are NOT disassembled to evaluate the internal working parts. This inspection does not determine if the evaporator coil BTU size is the same as condensing unit size or any other mechanical efficiency. Radiant heat is not inspected.

Water Heater: The water heater is visually inspected only, the combustion/pilot doors are not removed for flame or burner condition inspection due to the potential for draft to burn out the pilot flame. Circulation pumps, TPR Valves and pressure tanks cannot be tested with inspection. Solar water heaters are not inspected. Tankless units that are not original to the structure should be further evaluated by a qualified tankless technician as there are many aspects that are beyond of the scope of a general home inspection. Age, remaining life, size or efficiency cannot be determined by the Inspector. Gas lines are not measured or sized for water heater needs. The Inspector cannot light the pilot flame on the water heater or any other appliance where a pilot flame is not already on.

Roof: The inspector cannot determine if a roof (or any part of the roof system) leaks at any time or under any weather conditions, no water or hose testing is performed during this inspection. If there are concerns or signs of possible roof leaks, please contact a licensed roofer to perform an additional inspection. Remaining roof life can only be determined by a licensed roofer. This applies to all roof areas evaluated during this inspection. Tile roofs, metal roofs or roof areas not accessible with a 12-foot ladder will receive a limited inspection from the ground or eaves only. Tile, metal or other materials that can be damaged will not be walked on by the Inspector. Chimney cavities are excluded from this inspection, recommend an internal chimney inspection be performed beyond the scope of the home inspection. Solar panels and tube globes are excluded from this report. Solar panels will prevent inspection of roof areas beneath them.

Electrical/Gas: Electrical panels are visually inspected only, the inspector does not perform a load calculation to determine service capacity adequacy. Some wire types cannot be determined due to wire casings cover wires entering the breakers. Panels with excess wiring are not completely visible due to amount of wires inside panel. Breakers are visually inspected only - the inspector does not perform any electrical stress tests on the system to determine if a breaker trips properly - including AFCI and GFCI breakers (consult an electrician for further evaluation, if this is a concern). Electrical and gas fires due to poor installation of wiring and faulty gas pipes cannot be determined by the inspector. Only accessible GFCIs with test and reset buttons are tested, the inspector does not determine which GFCI outlets may be linked to other areas of the structure. Ungrounded outlets may be present in older structures (pre-1965) even if the main or sub panels have been upgraded. The inspector cannot determine if all wiring has been updated. Expect to find ungrounded outlets in older homes (pre-1965) - this is not a defect. We recommend the gas supplier be contacted to safety check all fuel gas systems/appliances prior to purchase and occupancy. The Inspector cannot determine if a gas leak is present in any area of the home or underground at any time during the inspection. Carbon monoxide poisoning cannot be detected with this inspection, including all gas and propane systems interior and exterior of the structure. Gas supply valves are not turned or operated during this inspection. The internal condition of gas appliance ventilation exhaust pipes cannot be detected. Pilot lights and fire places are not lit by the inspector at any time, for any reason. It is the responsibility of the client to ensure that the main gas and electrical systems are on prior to the inspection. The requirement of gas line sediment traps is not determined by the inspector.

Exterior Areas: For all wood areas or damaged wooden areas and moisture problems (mold/mildew), consult the termite inspection report. See interior section of the report for additional window and door information. In no way, shape or form can the inspector determine if the exterior of the home is water tight or is built to prevent moisture intrusion, no hose or water testing is performed at this inspection. Stucco and siding require periodic seasonal maintenance, consult an exterior finish contractor for maintenance tips/schedules/suggestions. Fire pits, exterior fireplaces and exterior BBQ's are excluded from this inspection. We recommend adding anti-siphon/backflow preventers (if not already present) on all exterior hose bibs for optimum potable water protection. Property boundary lines and encroachment determinations are beyond the scope of a home inspection and are not inspected or included in this report - Consult with another qualified professional as needed for evaluation if concerns exist in this area. Zero lot lines prevent a complete inspection of areas on other properties. Common areas controlled by Home Owner's Associations are not included in this inspection. Areas not visible or accessible due to height/angle/vegetation/other forms of limited access are not included in this inspection. Inspector does not use specialized instruments to detect moisture, if any, under stucco or siding surfaces.

Grounds: This inspection cannot determine if patio and porch roofs, balconies or patio enclosures are water tight, no water/hose testing is performed. The Inspector does not perform any stress or destructive testing of the electrical system; Yard area electrical that is not readily visible and accessible may not be seen or inspected; Low voltage lighting/electrical systems, motion detectors, intercom, video/audio/security systems and electric outdoor heating systems are not inspected. Generally, it is typical for older homes not to have exterior outlets or switches, this is not a defect. Sprinklers on timers are not inspected, consult

DISCLAIMERS CONTINUED

seller/HOA. Above ground pools, ponds, fountains, waterfalls, birdbaths, and associated equipment or pumps used for these items, are excluded from this report. Steep hillsides and inaccessible areas on the grounds are excluded from this report. It is highly recommended that all structures built on hillsides and slopes have a geological inspection performed to determine if the hillside/grading is stable.

This inspection cannot determine ground movement or drainage issues, the addition of drains may be needed in areas. Fences, walls or gates are not evaluated for security or design. The Inspector cannot determine if planter areas are leaking into the structure, consult seller disclosures or obtain further evaluation of these areas for any moisture intrusion issues.

Foundation: Sump pumps, septic tanks and sewer drain pipes from structure to street are excluded from this inspection. The Inspector does not perform calculations to determine exact square-feet of ventilation required at time of construction (this is also true for attic spaces). Some areas of a raised foundation may not be accessible due to limited space, plumbing piping, duct work obstructions, insulation, soil levels and stem walls. The inspector will not traverse any area deemed unsafe or where damage may be caused as a result, this is up to the sole discretion of the Inspector (this is also true for attic spaces). It is not always possible for the inspector to view every side/angle/connection of all plumbing pipes due to plumbing design/layout/approach angle/etc. Underground plumbing/pipes cannot be visually inspected. Pressure testing is not performed during this limited inspection. Drain scope inspections are recommended whether a defect is detected or not. Slab foundations are often covered and not visible; therefore the inspection is limited. Slab foundation leaks cannot be determined by the home inspector.

Pool: Solar panels/heating systems are excluded from report. Valves that are not labeled for the pool and/or spa jets are excluded from this report and may prevent proper testing and inspection. Underground plumbing cannot be inspected. Automatic pool fill float valves and electronic chlorine dispensers are excluded from this report. Ultraviolet light and/or salt chlorine generator type water treatment systems not included in this inspection. Water chemistry is not tested. Control panels/fixtures on the side of the pool or spa and any remote controls are not included in this inspection. Portable spas have a limited inspection - no internal parts are inspected. The inspector cannot determine if a pool or spa leaks. The inspector cannot determine the remaining life of any of the pool equipment. Safety pressure relief valves (if present) are not operated and are excluded from inspection; an internal evaluation of the heater parts is beyond the scope of this inspection. It is the buyer's full responsibility to ensure the pool area is in full compliance with the safety laws and codes. If there is no self containing fence around the pool, all doors from the structure leading to the pool and spa must be equipped with safety alarms and secondary latches above the reach of children. All gates leading to the pool must self close and be equipped with a latch five feet or higher from the ground. The fencing in all cases must be five feet tall.

Plumbing: Plumbing supply valves are visually inspected only and are not tested for functionality due to the potential for leakage - valves that are not used often will seize or freeze and are likely to leak when operated (opened/closed). Corrosion or rust is often a sign of slow leaking and should be further evaluated by a plumber if detected in the inspection or photos. If galvanized or cast iron plumbing is present in any part of the structure it is recommended that plumber further evaluate the plumbing system due to the age of the materials. Underground piping is not visible to the inspector, therefore cannot be evaluated by the inspector. Slab foundation leaks cannot be determined by the home inspector. The "plumbing type" section of the report includes a percentage approximation of the plumbing type, it is not a guarantee of the plumbing type in all areas. The inspector cannot see plumbing type or pinhole leaks inside walls, floors, slabs or other areas that may be covered. Leaks can occur after the inspection and are not the responsibility of the Inspector. Existing leaks, hidden leaks, or other leaks that occur from normal testing/inspection and and subsequent damage from plumbing leaks are not the responsibility of the Inspector. This inspection also does not determine or identify geographic areas that are prone to defective materials or pinhole leaking issues. Consult seller's disclosures and qualified professionals/contractors if concerns exist in this area. Septic tanks, wells, pumps and associated equipment, water supply quantity and quality are not included in this inspection.

***Contractor References:** This report may contain a contractor reference and contractor contact information. Choosing a contractor is done solely at the risk of the client. The Elite Group cannot control the events that take place between contractors and customers and therefore cannot be held liable for any problems that may occur. References to contractors, their products and services, are provided "as is" without warranty of any kind, either expressed or implied. In no event shall The Elite Group be held liable for any incidental, indirect or consequential damages of any kind resulting from the information provided by each company and any business conducted as a result of such information. It is highly recommended that you check with your local licensing or business board for up to date and accurate information. When you contact a contractor you should:

1. Ask for and contact at least two customer references.
2. Find out how long they have worked in your area (familiarity with local building codes is important).
3. Ask if they are bonded (insured for damages and injuries on the job) Get a signed estimate for all parts and labor/installation.
4. You may wish to contact more than one contractor to ensure you are getting the best service and materials for your money.

This disclaimer applies to all references found on any and all of our report pages

SEE CONTRACT FOR ADDITIONAL INFORMATION AND DESCRIPTION OF ITEMS