

# Property Inspection Report

Prepared exclusively for:

**Estate of Lloyd Freese**



**132 8th Street Manhattan Beach, CA 90266**

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## INTRODUCTION

This is the full inspection report. It is concise and contains important information throughout; please read the entire report carefully. Statements or opinions expressed by the inspector prior to issuance of this report should not be relied upon if in conflict with this report.

Our inspection was general in scope and an earnest effort was made on behalf of our Client to discover reportable conditions. The opinions and recommendations herein are based on the inspector's general knowledge, experience and judgment and are given without bias. Obtaining expert evaluation of reported conditions may reveal additional reportable conditions. We recommend obtaining further evaluation and cost estimates for all reported conditions before removing any inspection contingency or transfer of title.

We further recommend that you inspect the property carefully after all personal items have been removed and before the close of escrow. Please call our office if any unreported condition is discovered which may affect your purchase decision or which you have questions about.

## TERMS USED IN THIS REPORT

**SERVICEABLE:** An inspected system or component that appeared useful and reasonably maintained.

**MAINTENANCE:** A system or component which, in the opinion of the inspector, would benefit from repair or maintenance at this time. We recommend that maintenance items be attended to in a timely manner to prevent further deterioration or consequential damage.

**MONITOR:** A condition, system or component that we could not assess which should at least be monitored for reason stated. We recommend further evaluation by an appropriately qualified person.

**SAFETY:** A condition or item we feel may pose a significant health or safety risk that can be reduced or eliminated. We recommend correcting or upgrading in a timely manner to prevent consequential damage or personal injury.

**DEFECTIVE:** A system or component that either did not respond to user controls; was not able to be safely used; was not functioning as intended; or was otherwise faulty. We recommend correction as needed by an appropriately qualified person in a timely manner to prevent consequential damage or personal injury.

**DEFERRED:** An area, system or component that was not inspected for the reason stated; or a specific condition which we did not evaluate. We recommend further evaluation by an appropriately qualified person.

## GENERAL INFORMATION

Our inspection was a general survey and operation of the readily accessible systems and components as per the Standards of Practice of the California Real Estate Inspection Association and subject to the terms and conditions of our signed agreement.

**NOTICE TO THIRD PARTIES:** This inspection report is for the sole benefit and reliance of our Client, , and is nontransferable. The report is a summary of the inspection and all consultation between Inspector and Client. It is issued subject to the terms, conditions and limitations under which the inspection was performed. The terms, conditions and limitations are a part of this report and are attached hereto and incorporated by reference herein. Inspector assumes no liability for third party interpretation or use of the report. THIS REPORT IS SUBJECT TO REVISION AND MAY NOT BE THE FINAL ISSUE. THIRD PARTIES ARE ENCOURAGED TO OBTAIN A HOME INSPECTION FROM A QUALIFIED INSPECTOR OF THEIR CHOICE.

### SITE

#### 1.1 Topography

Near level site

### INSPECTED STRUCTURES AND AMENITIES

#### 1.2 Description

Single family house, and attached, garage.

#### 1.3 Inspected by

James T. Kubeck

Master CREIA Inspector, ASHI Certified Inspector

Licensed General Building & Engineering Contractor 606950

### ADDITIONAL INFORMATION

#### 1.4 Date and time of inspection

Thursday, 05/04/23 @ 9:30 am.

#### 1.5 Orientation

The front door is considered to be facing west for reporting purposes.

#### 1.6 Lead and asbestos

**DEFERRED:** Lead, asbestos and other environmental condition are beyond the scope of a professional home inspection and are specifically excluded.

**SAFETY:** Asbestos was widely used in building materials prior to 1977, with limited use thereafter.

Your real estate agent may be able to provide you with the pamphlet "Asbestos In The Home."

**SAFETY:** Paint manufactured prior to 1978 commonly contained lead. Your real estate agent may be able to provide you with the pamphlet "Protect Your Family From Lead In Your Home."

### **1.7 Mold and fungus**

**DEFERRED:** Mold, mildew, fungus and other microbial organisms may occur in areas that have the potential for, or show evidence of leakage, moisture intrusion or inadequate ventilation. The detection or identification of microbial organisms is beyond our expertise and is not within the scope of a professional home inspection. Some microbial organisms can be a health hazard or can severely damage structural wooden components. To determine if harmful organism are present we recommend further evaluation by a qualified mold inspector and a licensed structural pest control operator.

### **1.8 Building permits**

**DEFERRED:** With some exceptions a building permit is required when a structure is built, enlarged, altered, repaired, improved, removed, or converted. This includes, but is not limited to, adding, moving, modifying or replacing: light fixtures, electrical service, wiring or receptacles, dishwashers, water heaters, roof coverings, windows, security bars, furnaces, air conditioners, garage door openers, plumbing fixtures or pipes, built-in appliances, swimming pools, spas, fireplaces, patio covers, attached or detached decks, etc. The older a property the more likely work or repairs requiring appropriate permits has been performed. We do not differentiate between original construction and improvements or repairs.

We suggest asking the current owner for any knowledge of work done requiring building permits, and that permits were issued and final approval was granted. You can obtain and review zoning regulations, local ordinances and permit records for this property at the local Building and Safety Department.

When inquiring for permit records you should not discuss specific work done to this property as you could be liable to the seller. If work does not comply with current local codes and ordinances the city may require removal or correction. If non-permitted work is in compliance with current codes and ordinances obtaining a permit might be possible. To determine if non-permitted conditions are present you can obtain further evaluation by a qualified code specialist. A code specialist may advise regarding non-permitted work and local codes.

### **1.9 Photographs**

**NOTE:** Photographs included in this report are for illustration only and all conditions are not photographed. They are not meant to emphasize or diminish the significance of a reported condition or imply a photographed condition is more or less significant than a condition which was not photographed.

## GROUNDS

Our inspection of the grounds is limited to the area immediately adjacent to an inspected structure. We look at surface drainage and other conditions which may affect the structure or its safe use. Walks and driveways not immediately adjacent to the structure, fences, gates, detached decks and structures, hardscaping, landscaping, grounds lighting or electrical, and irrigation sprinkler systems are not inspected unless otherwise agreed in writing. Some amount cracking in paving and masonry is common. Cracks to 1/4 inch in width or displacement are within the generally acceptable range. We do not render opinions regarding soil quality or stability, nor do we determine property line boundaries.

### ADJOINING HARDSCAPE

#### 2.1 Pavement

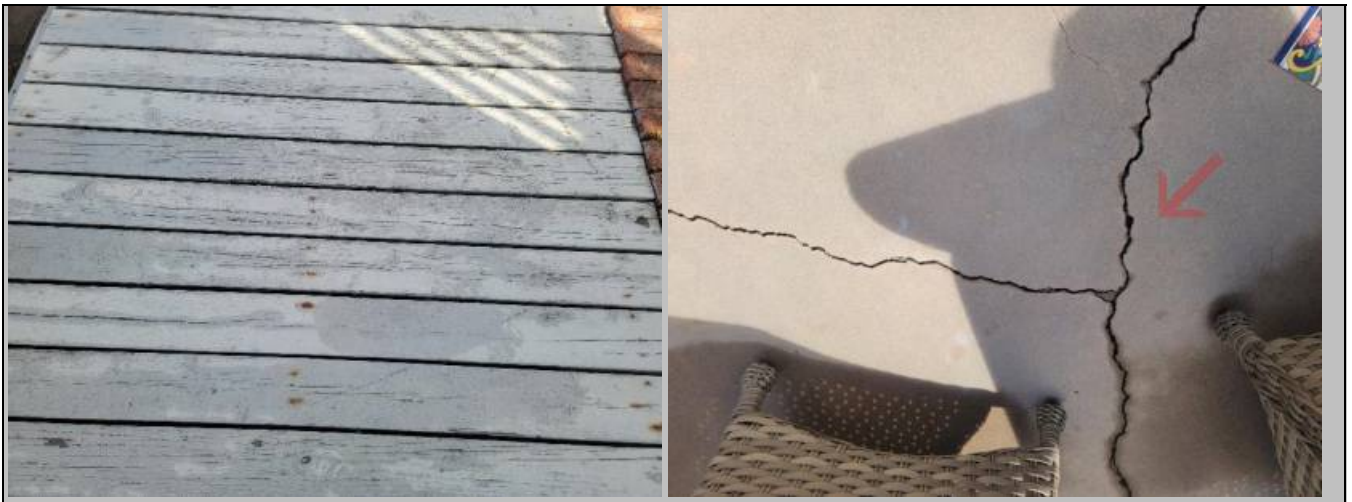
Concrete,

**MAINTENANCE:** Cracks viewed. Some cracking in paving and masonry is common. Cracks to 1/4 inch in width or displacement are within the generally acceptable range. There are many reasons for paving to crack ranging from improper mixture, thickness or curing, to movement due to settlement, unstable or expansive soil, defective drainage, tree roots, seismic activity or other reasons. Cracks can be a symptom of a present condition or the results of a past condition. We suggest repairing cracks to prevent water intrusion, which can contribute to further deterioration, and correct any drainage conditions that will allow water to accumulate near paving.

**DEFERRED:** To determine the cause of cracks viewed we recommend further evaluation by a qualified geotechnical engineer and a qualified arborist if trees are present.

**DEFERRED:** Appears to slope towards the structure. We suggest asking the owner for any knowledge of water intrusion or further evaluation by a licensed concrete contractor.

**MAINTENANCE:** Wood boards need sanding and paint.



### GATES AND FENCES

## **2.2 Gates and fences**

**DEFERRED:** Insect damage viewed.

## **STAIRS ON GRADE**

### **2.3 Location**

South west side of house

### **2.4 Stairs and handrails**

**SAFETY:** No step down to west side of house from the south side of house.

## EXTERIOR

Our inspection of the exterior components includes the general condition of the wall cladding, windows, doors, flashing, trim, eaves and any attached decks, porches, patio covers, balconies, columns, stairs, guardrails and handrails. We also look for evidence of moisture intrusion, poor ventilation, inadequate separation between wood and soil and other reportable conditions.

### EXTERIOR SURFACE / TRIM / EAVES

#### 3.1 Wall cladding

Type Stucco

**MAINTENANCE:** Some cracked or damaged stucco viewed. We recommend repairs as needed at this time to protect against moisture intrusion and to enhance the structure's appearance.

Type: Siding,

**MAINTENANCE:** Some loose or peeling paint viewed. We recommend painting at this time to protect the siding from further deterioration and to enhance its appearance.

**DEFERRED:** Insect damage or rot viewed.



### 3.2 Eaves and trim

**MAINTENANCE:** Paint is deteriorated, loose or peeling, at the trim and eaves. We recommend painting at this time to protect the wood from further deterioration and to enhance its appearance. Peeling paint at the eaves could indicate past or present roof leakage.

### 3.3 Windows, exterior observations

**SAFETY:** Cracked/broken pane at one or more windows. We suggest inspecting all windows prior to the close of this transaction.

**DEFERRED:** Wood rot viewed.



### 3.4 Lights and switches

SERVICEABLE.

## EXTERIOR STAIRS

### 3.5 Location

West side, of the house

### 3.6 Stairs and handrails

**DEFECTIVE:** Stair treads/risers are not uniform. When ascending or descending stairs a person develops a rhythm based on the uniformity of the treads and risers. Safety studies have shown variations of 3/8-inch or more can cause a person to lose their rhythm and stumble or fall.

**SAFETY:** Handrails are not graspable as per current standards.

**DEFECTIVE:** Handrail is too low. Standard height is 34-38-inches from the nose of the tread.

**MAINTENANCE:** Will need sanding and paint.

**DEFERRED:** Nails do not appear to be galvanized and are corroded.



### 3.7 Guardrails

**SAFETY:** Railing appears to be too low. We recommend the minimum height of guardrails to be at least 42-inches above the walking surface with no opening greater than 4-inches where the walk-off height is greater than 30-inches.

**MAINTENANCE:** Peeling paint. Will need to sand and paint.



## BALCONY / DECK

### 3.8 Location

North side, of the house

### 3.9 Guardrails

**SAFETY:** Railing appears to be too low. We recommend the minimum height of guardrails to be at least 42-inches above the walking surface with no opening greater than 4-inches where the walk-off height is greater than 30-inches.

**DEFERRED:** Wood rot viewed.



### 3.10 Sliding glass door(s)

SERVICEABLE. Safety glass label present.

### 3.11 Observations

Wood deck

**DEFERRED:** Wood rot viewed.

**MAINTENANCE:** Peeling paint and cross brace is corroded/



**3.12 Lights and switches**  
SERVICEABLE.

**BALCONY / DECK 2**

**3.13 Location**  
Master bedroom

**3.14 Guardrails**

**SAFETY:** Railing appears to be too low. We recommend the minimum height of guardrails to be at least 42-inches above the walking surface with no opening greater than 4-inches where the walk-off height is greater than 30-inches.  
**MAINTENANCE:** Peeling paint.



**3.15 Exterior door(s)**

**SAFETY:** Glazing in the door does not appear to be safety glass, no label viewed. We recommend installing safety film or safety glass at locations subject to human impact.

**3.16 Observations**

Wood deck  
SERVICEABLE.

## PARKING STRUCTURE

Our inspection of the garage or carport interior includes the walls, ceiling, framing members, floor, lights, electrical outlets, window, vehicle doors and pedestrian doors.

### DOORS

#### 4.1 Vehicle door

Type: Sectional

**DEFERRED:** Insect or moisture damage viewed at the jamb.



#### 4.2 Automatic operator

**SAFETY:** Electronic safety beams are poorly located. Beams should be installed approximately 6-inches off the floor. We recommend relocating them for enhanced safety.

**DEFERRED:** South door wouldn't close without holding button down, will need adjustment.



### 4.3 Fire door to interior

**SAFETY:** We recommend installing weather stripping and threshold as needed to provide a seal from garage fumes.

**DEFECTIVE:** No automatic closing hardware is installed as required for fire protection.

**SAFETY:** Deadbolt is not installed. We recommend installing a modern deadbolt that meets current security standards.

**MAINTENANCE:** No door stopper, damage to wall.



## INTERIOR

### 4.4 Walls and ceiling

**MAINTENANCE:** Some holes or damaged viewed.



### 4.5 Fire separation

**DEFECTIVE:** Holes or other damage noted. Fire separation is designed to slow the spread of fire originating in the garage.

**DEFECTIVE:** Excessive annular space around pipe at one or more penetrations. Space around firewall penetrations should be tight to prevent the spread of fire.



**4.6 Ventilation**

**DEFECTIVE:** Screens were , damaged. .  
We recommend maintaining screens in good repair for proper ventilation of possible combustible vapors and to prevent animal or rodent entry.



**4.7 Floor**

**DEFECTIVE:** Damaged concrete at entry  
**DEFERRED:** Water entering garage.



#### 4.8 Garage wiring observations

**DEFECTIVE:** Romex wiring is exposed to physical damage. This type of wiring is for use in concealed areas where it is not subject to physical damage.

**DEFECTIVE:** Unsecured wiring. Loose wiring can be accidentally disconnected creating a hazardous condition.



#### 4.9 Lights and switches

SERVICEABLE.

#### 4.10 Receptacle outlets

SERVICEABLE.

#### 4.11 Ground Fault Circuit Interrupters (GFCI)

**SAFETY:** GFCI protection was not present at all recommended locations. We recommend installing and maintaining GFCI protection at all garage receptacles. These devices should be tested monthly.

## ROOF COMPONENTS

Our inspection of the roof components include the ventilation, surface covering, flashing, drains, rain gutters, insulation and a representative sampling of framing components. We look for evidence of improper installation, damage, leakage and excessive wear, but we make no representation that the roof is free of leaks. We suggest asking the current owner if a transferable roof warranty is in effect and obtaining that document at the close of the transaction. We recommend getting a roof certification for insurance against leakage. Tenting a structure for fumigation may damage the roof. If the structure is to be tented, we recommend a follow-up inspection of the roof covering after tenting has been removed and before the close of this transaction. Further evaluation of the roof, or needed repairs if recommended, should be put off until after the tent has been removed.

### ROOF FRAMING / ATTIC

#### 5.1 Attic space

DEFERRED: Not viewed. Access is not provided or required where attic height is less than 30".

### ROOF COVERING

#### 5.2 Method of inspection

We were able to walk on the roof for our inspection.

#### 5.3 Low slope / Flat surfaces

Type: Mineral capsheet

MAINTENANCE: Vegetation near or touching the roof surface. We recommend maintaining vegetation growth near the roof as needed to prevent damage to the roofing materials.

DEFERRED: Repairs/patching observed may indicate a history of leakage. We suggest asking the current owner to disclose any repairs or leaks, past or present.

DEFERRED: Spongy area(s). Spongy areas may indicate moisture damage to the sheathing. We recommend further evaluation by a licensed roofing contractor and a licensed structural pest control operator prior to the close of this transaction.

DEFECTIVE: Evidence of ponding. This condition can reduce the service life of the roof.





**5.4 Exposed flashings**

**DEFECTIVE:** Storm collar is missing. Gas flues should have a storm collar in lieu of roofers' mastic to guard against water intrusion.



**5.5 Skylights**  
SERVICEABLE.

### 5.6 Roof or deck drains / Rain gutters

NOTE: Not fully guttered, partial system only.

MAINTENANCE: We recommend installing rain gutters to control/divert roof runoff water away from the foundation.

MAINTENANCE: We recommend rerouting downspouts to divert water away from the foundation as needed.



## FOUNDATION / FLOOR FRAMING / BASEMENT

Our inspection of the foundation and under-floor support system includes those components which are above ground and readily accessible. We report the presence or absence of foundation anchor bolting, but we do not evaluate adequacy of any bolting, seismic anchoring, bracing or reinforcing systems. We look for signs of inadequate ventilation, moisture infiltration, settlement, movement and other reportable conditions. A small number of vertical hairline cracks are common in foundations and unless accompanied by significant displacement may not be reported.

### **SLAB FOUNDATION ON GRADE**

#### **6.1 Foundation perimeter**

NOTE: Mostly not visible.

#### **6.2 Anchor bolting**

Presumed present due to the age of the structure and standard practice; however, we were unable to verify due to concealment.

DEFERRED: We were unable to see/verify if anchor bolts were present in the garage due to interior wall covering.

#### **6.3 Concrete slab floor**

SERVICEABLE. The slab was not visible due to floor coverings; however; no signs of significant defects were observed.

## ELECTRICAL SERVICE & PANELBOARDS

Our inspection includes the service equipment, aerial service drop, connections to the grounding system, distribution panels and overcurrent protection. Information regarding lights, outlets and wiring is reported throughout this report. Due to the complexity of the electrical system and possibly severe consequences of improper handling or workmanship, we advise using a qualified licensed electrical contractor for all repairs, upgrades or modifications to the electrical system.

### **ELECTRICAL SERVICE**

#### **7.1 Location**

Southeast corner.

#### **7.2 Type of service**

Underground service, 120/240 volts

#### **7.3 Service equipment ground**

Present: Viewed at the cold water pipe and at a supplemental grounding system.

**DEFECTIVE:** Improperly located attachment. The service ground connection to the cold water pipe should be within 5' of where the building supply line enters the building.

**DEFECTIVE:** System ground was not switched to the copper water lines when the water system was re-piped. We strongly advise immediate correction by a licensed electrician of this potentially hazardous condition.



#### **7.4 Service disconnect**

**NOTE:** Not clearly labeled, estimate 100 amp.

#### **7.5 Branch circuit protection**

Circuit breakers

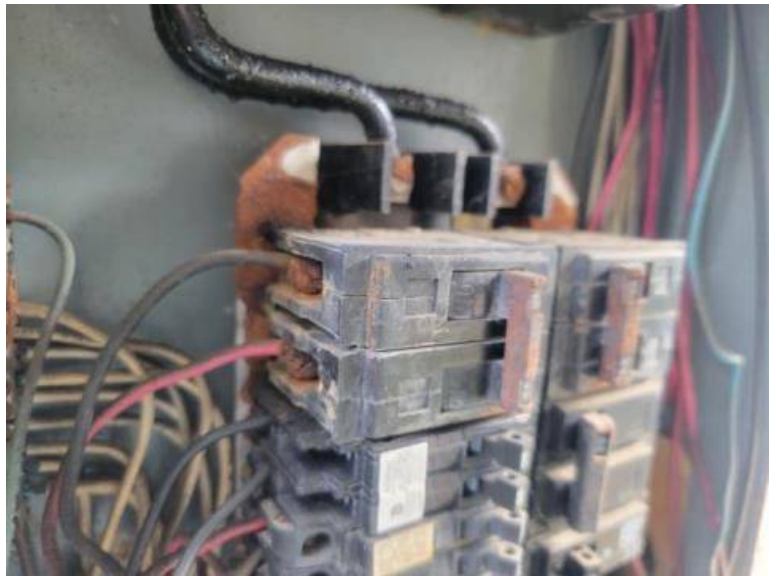
### 7.6 Panel, exterior

**SAFETY:** Circuit breakers are not adequately labeled for area/items served. We recommend permanently labeling each breaker for emergency needs.  
**DEFECTIVE:** Missing inner panel cover; live parts are exposed to accidental contact.



### 7.7 Panel, interior

**DEFECTIVE:** Corrosion observed within the electrical panel indicates moisture intrusion. We recommend further evaluation by a qualified licensed electrical contractor and correction as needed.



### 7.8 Primary wiring

Copper wires in metal conduit.

## PLUMBING SYSTEM

Our inspection of the plumbing system includes the readily accessible fixtures, piping and connections of gas, water, drain, waste and vent lines. We operate fixtures using normal user controls and observe their performance for functional flow and drainage. Shutoff valves are not operated as they are prone to leakage if they have not been turned regularly. We recommend asking the seller to demonstrate that all shutoff valves are in proper working order prior to the close of this transaction.

### GAS FUEL SYSTEM

#### 8.1 Gas shutoff location

West side, of the house

**SAFETY:** We recommend keeping a wrench attached to the meter to turn off the gas for emergency needs (available in most hardware stores).

**SAFETY:** We recommend installing a seismic shutoff valve on the gas meter for protection against fire loss in the event of a damaging earthquake.

#### 8.2 Gas lines

SERVICEABLE.

### WATER SUPPLY

#### 8.3 Shutoff valve location

Front, of the house, not operated.

**DEFERRED:** It appears to be under front deck not accessible. Required to have accessible shutoff at house.



#### 8.4 Building supply line

Type: Galvanized steel. Supply line material was based on the visible portion at the main shutoff valve. Water meters are not inspected.

### 8.5 Water lines

Type: Partial repipe; copper and galvanized steel mixed

**DEFECTIVE:** Missing dielectric coupling at one or more locations. Where copper and galvanized pipes are connected together a dielectric coupling, or section of brass pipe must be used to control galvanic corrosion and premature leakage.



### 8.6 Hose faucets

**DEFECTIVE:** Backflow device is missing at one or more locations. We recommend installing a backflow device at all hose connections to protect the potable water supply from possible cross contamination.

### 8.7 Water pressure

**DEFECTIVE:** Excessive water pressure. We recommend installing a pressure regulator to lower the water pressure below 80 p.s.i. to reduce stress on the plumbing components. Ideal water pressure is 50-60 p.s.i.

100 pounds per square inch at the time of our inspection. Water pressure may fluctuate depending on time of day and other variables.

### 8.8 Functional flow

**DEFERRED:** Flow at the fixtures was serviceable at the time of our inspection; however, pressure appears to be higher than normal. We recommend installing a pressure regulator to reduce stress on the plumbing components if the water pressure is over 80 p.s.i. and further evaluation of the functional flow, because you still have old galvanized pipe that might need to be replaced. Ideal water pressure is 50-60 p.s.i.

## DRAIN, WASTE AND VENT SYSTEM

### 8.9 Primary type material

Cast iron and galvanized steel. Some plastic present indicating repairs or alterations.

### 8.10 Observations

**DEFERRED:** Due to the age of this building we recommend having a video scan to determine the interior condition of the sewer line (service available by others). Repairs can be expensive and this is the best non-intrusive way to determine the sewer line condition.  
**DEFECTIVE:** Improper cap for Cleanout.



### 8.11 Functional drainage

**SERVICEABLE:** All fixtures drained adequately at the time of our inspection with limited use.

## WATER HEATER

Our inspection and operation of the water heater includes water and energy source connections, ventilation system, clearance to combustibles, damage, excessive wear, seismic bracing and the presence of a safety valve. Time to obtain hot water at a fixture or whether the water heater is of adequate size is not determined.

### WATER HEATER

#### 9.1 Located

West side of the.

#### 9.2 Year of manufacture

October 9, 2020.

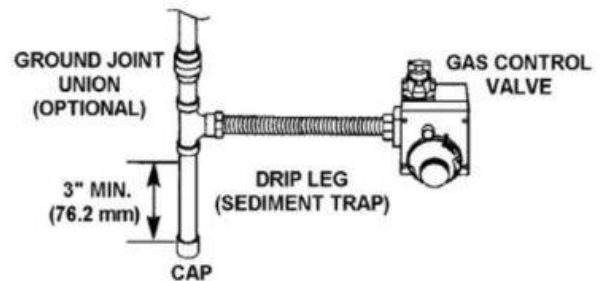
#### 9.3 Capacity

40 gallons.

#### 9.4 Fuel

Natural gas

**DEFECTIVE:** No sediment trap on the gas line. Sediment traps protect the appliance from malfunctioning due to debris in the gas line. We recommend sediment traps at all gas water heaters.



#### 9.5 Seismic bracing

**DEFECTIVE:** Not adequately braced, anchored or strapped to resist toppling or horizontal displacement due to earthquake motion. Minimum requirement for water heaters is two approved straps properly located at top and bottom 1/3 and anchored with minimum of 2-1/4" X 3" lag bolts per strap into the studs (or the structural equivalent where stud attachment is not an option).



### 9.6 Safety relief valve

**DEFECTIVE:** No discharge line. An approved discharge line that terminates below the controls and at the exterior of the building or other approved location is required on safety valves.



### 9.7 Vent system

**DEFECTIVE:** Sections of the connector pipe are not screwed together or the draft hood is not properly secured. Each joint of the vent connector pipe should be secured with three screws and the draft hood securely attached to the tank to prevent accidental displacement.



### 9.8 Water connections

**SAFETY:** Water and gas pipe bonding not viewed. We recommend bonding the water and gas lines together at the water heater to eliminate the potential for electric shock. This can be done with a few dollars worth of parts and a few minutes of labor by a licensed electrician.  
**MAINTENANCE:** Shutoff valve or connectors are corroded. We recommend replacing corroded components when observed as preventative maintenance.



### 9.9 Combustion air

SERVICEABLE.

### 9.10 Burner compartment

SERVICEABLE.

### 9.11 Additional observations

**DEFERRED.** Recirculation pump present. These pumps are beyond the scope of a professional home inspection and are not evaluated.

**DEFECTIVE:** Recirculation pump plugged into extension cord and should be plugged directly into receptacle.



### 9.12 Enclosure

**DEFECTIVE:** Missing door

**MAINTENANCE:** Walls inside the enclosure are damaged.

**DEFERRED:** Rot viewed on trim.



## HEATING & COOLING SYSTEMS

Our inspection of the heating and central air conditioning equipment and components includes gas and electrical connections, gas venting, excessive wear or age, and the visible portions of the air distribution ducts. The equipment is operated using normal user controls and as conditions allow. Heat exchangers are mostly not visible and are not inspected. Adequacy, efficiency or the even distribution of conditioned air throughout a building is not evaluated. We recommend that you operate the furnace and air conditioning prior to the close of this transaction and check the adequacy of the heating and cooling distribution system for your needs.

### HEATER

#### 10.1 Location

Family room

#### 10.2 Type

Wall furnace

#### 10.3 Fuel

Natural gas

**DEFECTIVE:** No sediment trap on the gas line. Sediment traps protect the appliance from malfunctioning due to debris in the gas line which can result in a fire. We recommend sediment traps at all gas furnaces.

#### 10.4 Rating

BTU/H = 25,000.

#### 10.5 Clearance

SERVICEABLE.

#### 10.6 Burner

SERVICEABLE.

#### 10.7 Controls/Thermostat

SERVICEABLE. Heater responded to thermostat control.

#### 10.8 Vent system

SERVICEABLE.

#### 10.9 Inspector's comments

SERVICEABLE.

### FORCED AIR HEAT

#### 10.10 Location

Hallway closet

#### 10.11 Type

Forced air furnace

#### 10.12 Fuel

Natural gas

**DEFECTIVE:** No sediment trap on the gas line. Sediment traps protect the appliance from malfunctioning due to debris in the gas line. We recommend sediment traps at all gas furnaces.

**10.13 Rating**

BTU/H = 50,000.

**10.14 Clearance**

SERVICEABLE.

**10.15 Burner**

SERVICEABLE.

**10.16 Controls/Thermostat**

SERVICEABLE. Heater responded to thermostat control.

**10.17 Vent system**

SERVICEABLE.

**10.18 Combustion air**

SERVICEABLE.

**10.19 Blower motor**

SERVICEABLE.

**10.20 Filter**

Located inside the furnace.

**MAINTENANCE:** Filter is dirty. Filters should be checked every two to three months and cleaned or changed as needed. We recommend cleaning or replacing filters when any dust can be observed for increased efficiency and energy conservation.



**10.21 Return Air**

**DEFECTIVE:** The return air intake is located too close to the furnace. By today's standards the furnace compartment should be separated by at least ten feet from the return air or adequately sealed to prevent mixing the combustion air with the air in the habitable spaces. We recommend sealing the enclosure and door as needed at this time.

**10.22 Plenum**

SERVICEABLE.

**10.23 Distribution ducts**

SERVICEABLE.

**10.24 Enclosure**

SERVICEABLE.

### **10.25 Inspector's comments**

**MAINTENANCE:** Nearly all furnace manufacturers recommend annual inspection and servicing of their furnaces by a factory qualified technician. Such service requires some disassembly and may use specialized equipment resulting in a more thorough evaluation.

**DEFERRED:** The furnace does not appear to have been recently serviced. We recommend cleaning and servicing by a qualified technician prior to the close of this transaction.

## INTERIOR

Our inspection of the readily accessible interior components includes wall and ceiling surfaces, stairways, handrails and guardrails. We inspect a sampling of receptacle outlets and report the absence of required smoke alarms. We inspect and operate a sampling of windows, doors, and lights. We do not operate smoke alarms or evaluate floor coverings, curtains, drapes, blinds, shutters or any type of window treatment or alarm systems, intercoms, telephone wiring, cable, satellite or low voltage systems. Cosmetic conditions including soil, stains, small cracks, and normal wear and tear may not be reported. Furniture, wall hangings, area rugs and other personal items may conceal or mask reportable conditions. We recommend that you look at the condition of the floor coverings, walls including the inside of all closets and cabinets, and check all doors and windows for security and operation and test all smoke alarms after personal items have been removed prior to the close of this transaction. Sensitivity to odors is not uniform and we recommend that you determine for yourself if objectionable odors are present, particularly if pets were kept.

### OBSERVATIONS

#### 11.1 Main entry door

SERVICEABLE.

#### 11.2 Sliding glass door(s)

DEFERRED: No screen door was present.

#### 11.3 Interior doors

MAINTENANCE: Door rubs, sticks or doesn't latch.

#### 11.4 Windows

SAFETY: Window(s) within 18" of the floor does not appear to be safety glass, no label viewed. We recommend installing safety glass or safety film at all locations subject to human impact.

DEFECTIVE: Cracked or broken glass pane.

DEFECTIVE: Evidence of moisture intrusion, at a number of locations.

SAFETY: Bedroom window(s) does not appear to meet current emergency escape and rescue requirements. Each sleeping room without a door to the exterior should have an escape and rescue window that can be opened from the inside without a separate tool. The sill should not be higher than 44" from the floor and the window should have a 5.7 sq. ft. minimum opening no less than 20" wide and 24" high and exit to an unimpeded path to a public way.



### 11.5 Smoke alarm

**DEFECTIVE:** Missing. A smoke alarm is required in rooms or hallways leading to sleeping rooms.

**DEFECTIVE:** Improperly located at one or more locations. Alarms should be mounted on the wall 4-12 inches from the ceiling; ceiling-mounted alarms should be positioned 4 inches away from the nearest wall. On a vaulted ceiling mount the alarm at the highest point of the ceiling.

**DEFERRED:** We only note the presence of smoke alarms; we do not test them. We recommend installing approved smoke alarms as per the manufacturer's specifications and local ordinance and testing all smoke alarms at your walk-through prior to the closing of this transaction and monthly thereafter.

**SAFETY:** Older smoke alarms are estimated to have a 30% probability of failure within the first 10 years. Newer smoke alarms do better, but should be replaced after 10 years. Unless you know that the smoke alarms are new, replacing them when moving into a new residence with dual sensors smoke alarms with both photoelectric and ionization for optimal performance is recommended by the National Fire Protection Association.



### 11.6 Carbon monoxide alarm

**SAFETY:** Carbon monoxide (CO) is an odorless, tasteless, colorless and poisonous gas. Fuel burning appliances and fireplaces vented to the outside atmosphere must draft properly. Defects can occur in water heaters, furnaces, gas ranges, ovens, clothes dryers and other gas appliances resulting in the build-up of CO in the interior of the home. We recommend installing a carbon monoxide alarm on each level and room or hallway leading to all bedrooms per manufacturers instructions. We recommend replacing carbon monoxide alarms once every 10 years. If you do not know when they were last replaced, you should replace them prior to occupancy. For additional information go to <http://www.epa.gov/iaq/co.html#About%20Carbon%20Monoxide%20Detectors>

**SAFETY:** Missing first and second floor hallway to bedrooms

### 11.7 Lights and switches

SERVICEABLE.

### 11.8 Receptacle outlets

**DEFECTIVE:** Arch-fault circuit interrupter (AFC) is not present at a number of outlets. AFCI protection is designed to detect most arcing on a circuit that could result in a fire and are required on circuits in new residential construction and some remodeling.

**SAFETY:** Two-pronged receptacles viewed. Some plug-in devices, such as lamps and televisions, etc., may not require a grounded receptacle. However, we recommend upgrading to properly grounded three-pronged receptacles when appliances or equipment that are supplied with a three-prong grounded plug is utilized.

**DEFECTIVE:** Receptacle(s) sampled was dead in stairwell



### 11.9 Closets

SERVICEABLE.

### 11.10 Cabinets

SERVICEABLE.

### 11.11 Walls/ceiling

**DEFERRED:** Moisture stains noted on the, ceiling appeared dry at the time of our inspection and could be from a repaired or intermittent leak. We suggest asking the current owner for any knowledge or history of leakage.



### 11.12 Stairs and handrails

SERVICEABLE.

### 11.13 Guardrails

**SAFETY:** Railing appears to be too low. We recommend the minimum height of guardrails to be at least 42-inches above the walking surface with no opening greater than 4-inches where the walk-off height is greater than 30-inches.



### 11.14 Floor

SERVICEABLE.  
Wood or wood-like

## LAUNDRY

Our inspection of the laundry facilities includes the readily accessible plumbing fixtures, cabinets and countertop surfaces. Laundry machines and built-in appliances are not operated or inspected. Washing machine drain is not tested. We recommend that you look inside of cabinets after stored items have been removed and before the close of this transaction.

### LAUNDRY STATION

#### 12.1 Location

Garage

#### 12.2 Utilities Present

120 volt receptacle.

Natural gas.

Two water valves observed (hot and cold we assume; however, valves were not operated).

Stand pipe drain

Dryer vent

#### 12.3 Observations

**DEFERRED:** Laundry machines and appliances are not inspected or operated.

**MAINTENANCE:** Draft diverter flapper valve at the exterior dryer vent hood is missing or does not close properly. These valves are for energy conservation and serve to prevent rodent entry.

**SAFETY:** Improper vent material, should be smooth or flexible metal for fire prevention.

**DEFECTIVE:** No vehicle barrier present. A steel post or other type approved barrier should be installed to protect the laundry appliances from vehicle impact.

**DEFERRED:** Laundry trap and drain is undersized by today's standards and may need to be replaced for proper drainage.



#### 12.4 Receptacle outlets

SERVICEABLE.

#### 12.5 Ground Fault Circuit Interrupters (GFCI)

**SAFETY:** GFCI protection was not present . We recommend installing and maintaining GFCI protection at all receptacles. These devices should be tested monthly.

#### 12.6 Walls/ceiling

**MAINTENANCE:** Some holes or damaged viewed.



## KITCHEN

Our inspection of the kitchen includes the readily accessible plumbing fixtures, cabinets and countertop surfaces. Cooking appliances identified in the report are operated for basic function using normal user controls. Advance features such as thermostats, timers, sensors, calibration and controls are not evaluated. Small built-in or attached appliances, instant hot water dispensers, water filtration or conditioning systems are not inspected. We recommend that you look inside of cabinets after stored items have been removed and before the close of this transaction.

### KITCHEN

#### 13.1 Lights and switches

SERVICEABLE.

#### 13.2 Sink and faucet

**DEFECTIVE:** Improper drain materials. Flexible tail pieces are not approved and will collect soap and bacteria. We recommend replacing them with an appropriate sanitary component.



#### 13.3 Garbage disposal

SERVICEABLE.

#### 13.4 Dishwasher

SERVICEABLE. Dishwasher was filled and drained. Operation of the timer is not tested.

#### 13.5 Range vent

**DEFECTIVE:** Now it's a requirement to have a exhaust fan vented to the outside.

#### 13.6 Built-in microwave

SERVICEABLE.

#### 13.7 Free standing range

Gas range. All burners responded to user controls.

**SAFETY:** Anti-tipping brackets are not installed. These brackets prevent the range from tipping forward possibly resulting in injury. We recommend corrections as needed.

**13.8 Receptacle outlets**

SERVICEABLE.

**13.9 Ground Fault Circuit Interrupters (GFCI)**

**SAFETY:** GFCI protection was not present at all recommended locations. We recommend installing and maintaining GFCI protection at all garage receptacles. These devices should be tested monthly.

**13.10 Counter tops**

SERVICEABLE. Marble, granite or other hard surface.

**13.11 Cabinets**

SERVICEABLE.

**13.12 Floor**

SERVICEABLE.

Wood or wood-like

## BATHROOMS

Our inspection and operation of the components of the bathroom include the plumbing fixtures, cabinets, countertop surfaces, ventilation, heaters, and lights. We do not operate or inspect saunas, steam-shower equipment, or other ancillary appliances. We recommend that you look inside of cabinets after stored items have been removed and before the close of this transaction.

### BATHROOM 1

#### 14.1 Location

Near garage.

#### 14.2 Ventilation

Window

**DEFERRED:** Wood rot viewed.

**MAINTENANCE:** Missing screen

**MAINTENANCE:** Missing screen to vent in shower and at exterior on south side.

**DEFECTIVE:** Fan did not respond to user controls. You are now required to have exhaust fan even when you have a window.



#### 14.3 Lights and switches

SERVICEABLE.

#### 14.4 Heat

No heat source provided.

**14.5 Sink and faucet**

**DEFECTIVE:** Improper drain materials. Flexible tail pieces are not approved and will collect soap and bacteria. We recommend replacing them with an appropriate sanitary component.



**14.6 Counter tops**  
SERVICEABLE.

**14.7 Cabinets**  
SERVICEABLE.

**14.8 Ground Fault Circuit Interrupters (GFCI)**

**SAFETY:** GFCI protection was not present at all recommended locations These devices should be tested monthly.

**14.9 Receptacle outlets**  
SERVICEABLE.

**14.10 Toilet**  
SERVICEABLE: 1.28 gallon water saver label viewed.

**14.11 Stall shower**  
**MAINTENANCE:** Faucet leaks at the handle.  
**MAINTENANCE:** Moisture damage at the wall or floor outside the shower. Possible concealed insect damage or wood rot. We recommend further evaluation by a licensed pest control operator.



**14.12 Shower door/enclosure**

**MAINTENANCE:** Vinyl strip at the bottom of the door is damaged. This strip helps to prevent water from escaping. We recommend repair as needed at this time.



**14.13 Interior doors**

SERVICEABLE.

**14.14 Floor**

SERVICEABLE.

Tile

**BATHROOM 2**

**14.15 Location**

Hallway to bedrooms

**14.16 Ventilation**

**DEFECTIVE:** No ventilation, bathrooms are required to have exhaust fan venting to exterior.

**14.17 Lights and switches**

SERVICEABLE.

#### 14.18 Heat

Electric wall mounted unit.

**SAFETY:** Electric wall heaters are a potential safety hazard with small children. We suggest having them removed or disconnected from the electrical source for enhanced safety.

**SAFETY:** Towel bar is too close to the electric wall heater, which is a fire hazard. We recommend relocating the towel bar.



#### 14.19 Sink and faucet

SERVICEABLE.

#### 14.20 Counter tops

SERVICEABLE. Marble, granite or other hard surface.

#### 14.21 Cabinets

SERVICEABLE.

#### 14.22 Ground Fault Circuit Interrupters (GFCI)

**SAFETY:** GFCI protection was not present at all recommended locations. These devices should be tested monthly.

#### 14.23 Receptacle outlets

SERVICEABLE.

#### 14.24 Toilet

**NOTE:** 1.28 gallon water saver label viewed.

**MAINTENANCE:** Tank is loose and might suddenly begin leaking if moved. We recommend corrections as needed at this time.

#### 14.25 Bathtub

**MAINTENANCE:** Shower diverter valve is not fully diverting all water to shower head. We recommend repairs for water and energy conservation.

#### 14.26 Bathtub/shower enclosure

No enclosure present.

#### 14.27 Interior doors

SERVICEABLE.

#### 14.28 Floor

SERVICEABLE.

Tile

### BATHROOM 3

**14.29 Location**

Master bedroom

**14.30 Ventilation**

**DEFECTIVE:** No ventilation, required to have exhaust fan vented to exterior.

**14.31 Lights and switches**

SERVICEABLE.

**14.32 Heat**

No heat source provided.

**14.33 Sink and faucet**

SERVICEABLE.

**14.34 Counter tops**

SERVICEABLE. Marble, granite or other hard surface.

**14.35 Cabinets**

SERVICEABLE.

**14.36 Ground Fault Circuit Interrupters (GFCI)**

**SAFETY:** GFCI protection was not present at all recommended locations These devices should be tested monthly.

**14.37 Receptacle outlets**

**DEFECTIVE:** Reverse polarity (hot and neutral wires reversed) at receptacle(s) sampled. This condition may affect the operation of certain electronics such as computers and is a potential shock hazard and should be corrected at this time.

**14.38 Toilet**

**NOTE:** 1.28 gallon water saver label viewed.

**DEFERRED:** The shutoff valve is disconnected and getting water from under the sink. This should be corrected.



**14.39 Stall shower**

SERVICEABLE.

**14.40 Shower door/enclosure**

SERVICEABLE. Safety glass label present

**14.41 Interior doors**  
SERVICEABLE.

**14.42 Floor**  
SERVICEABLE.  
Tile