

ADDED VALUE 5-UNIT APARTMENT COMPLEX

3523 S SEPULVEDA BLVD., LOS ANGELES, CA 90034

LOCATED IN SEPULVEDA BLVD. CORRIDOR



A nighttime photograph of a city skyline, likely Los Angeles, featuring a prominent skyscraper with a glowing top. In the foreground, a multi-lane highway shows long-exposure light trails from cars, with red trails from taillights and white/yellow trails from headlights. The sky is a deep blue.

PRESENTED BY



THE YAMZON TEAM

2024 RANKING

#1 California

#2 Nationwide

#3 Worldwide

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DISCLAIMER

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PROPERTY DESCRIPTION

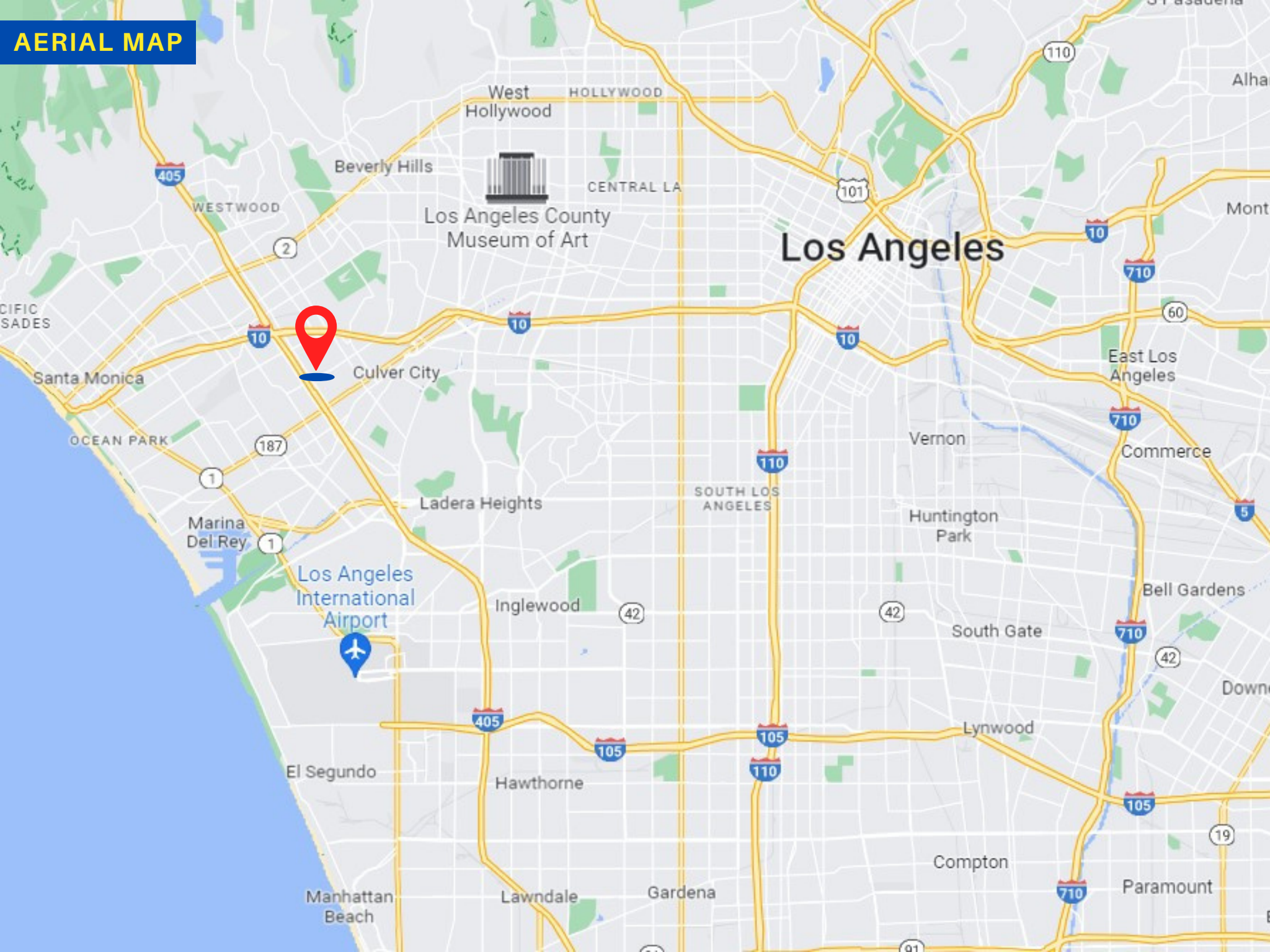
Subject Property:	3523 S Sepulveda Blvd. Los Angeles, CA 90034
Building Size:	± 6,002 SF
Lot Size:	± 4,378 SF
No. of Units:	5
Unit Mix:	(3) - 2+1 (2) - 1+1.
Year Built:	1953
No. of Parking:	5
Street Frontage:	± 62 Ft Along S Sepulveda Blvd.
Property Type:	Multifamily
Zoning:	LAR3
APN:	4252-004-004

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INVESTMENT HIGHLIGHTS

- Prime West LA Location Along Sepulveda Blvd
- Added Value with Below Market Rents
- Culver City Adjacent
- Passive Income with Potential ADU Addition
- Down the Street from CA 10 and 405 Freeway
- 7 Miles Away from LAX Airport
- Bread & Butter Investment
- Already Retrofitted





AERIAL MAP

Los Angeles



Culver City

Los Angeles International Airport



Bel Air

Los Feliz

North East LA

Alhambra



Beverly Hills

Hollywood

Central LA



Monterey Park

Westwood

Brentwood



East LA

Culver City

Mid-City



Commerce

Santa Monica



Ladera Heights

South LA

Huntington Park

Bell Gardens

Marina Del Rey



Inglewood

South Gate

Lynwood

El Segundo

Hawthorne

Willowbrook

Paramount

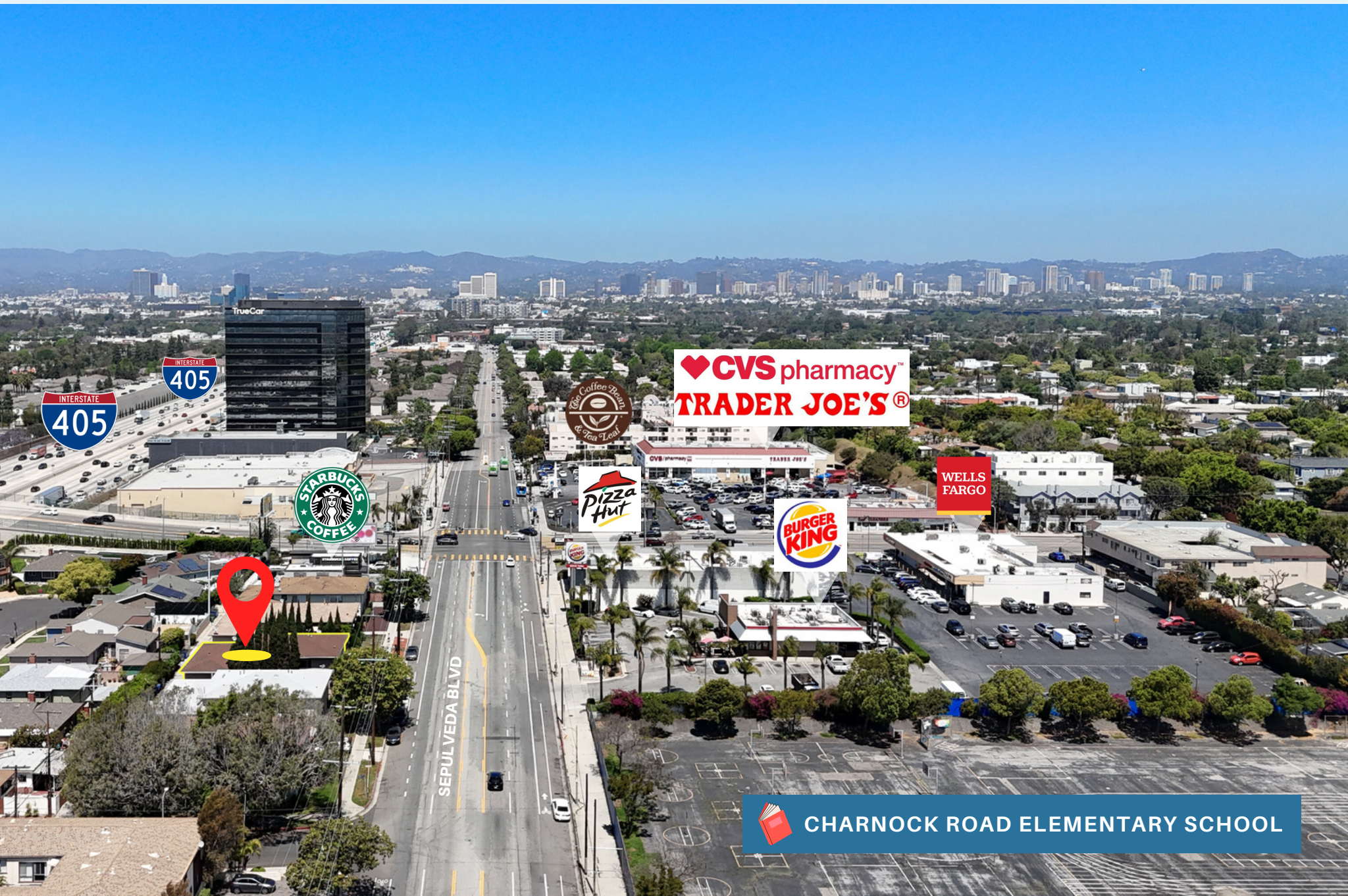
Manhattan Beach

Gardena



University of the Pacific

LOCATED IN SEPULVEDA BLVD. CORRIDOR



 CHARNOK ROAD ELEMENTARY SCHOOL

LOCATED IN S SEPULVEDA CORRIDOR



S Sepulveda Blvd. is a major thoroughfare in Los Angeles, California, known for its convenient access to the Interstate 405 (I-405) freeway, making it a prime route for commuters and travelers, here are a few notable aspects:

- **Accessibility:** S Sepulveda Blvd. runs parallel to the Interstate 405 (I-405), one of the busiest freeways in the United States. Its proximity to this major highway makes it a convenient route for commuters, allowing easy access to various parts of Los Angeles and its surrounding areas.
- **Proximity to LAX:** S Sepulveda Blvd. is located near Los Angeles International Airport (LAX), one of the busiest airports in the world. This makes it a convenient route for travelers heading to or from the airport, providing easy access to the terminals and nearby hotels.
- **Public Transportation:** S Sepulveda Blvd. is served by various bus lines, including the Metro Rapid Line 733. These public transportation options provide an alternative means of travel and can connect commuters to other parts of Los Angeles.
- **Recreational Areas:** The boulevard runs close to some recreational areas and parks. For example, it is near the Ballona Creek Bike Path, which offers a scenic route for cyclists and pedestrians. Additionally, the Sepulveda Basin Recreation Area, with its golf courses, sports fields, and wildlife reserve, is also easily accessible from S Sepulveda Blvd.
- **Commercial Centers:** S Sepulveda Blvd. passes through several neighborhoods and commercial centers, offering a range of shopping, dining, and entertainment options. Notably, the boulevard is home to Westfield Culver City, a large shopping mall that features numerous retailers, restaurants, and a movie theater.



SEPULVEDA BLVD

1ST STORY - FLOOR PLAN

Not to Scale

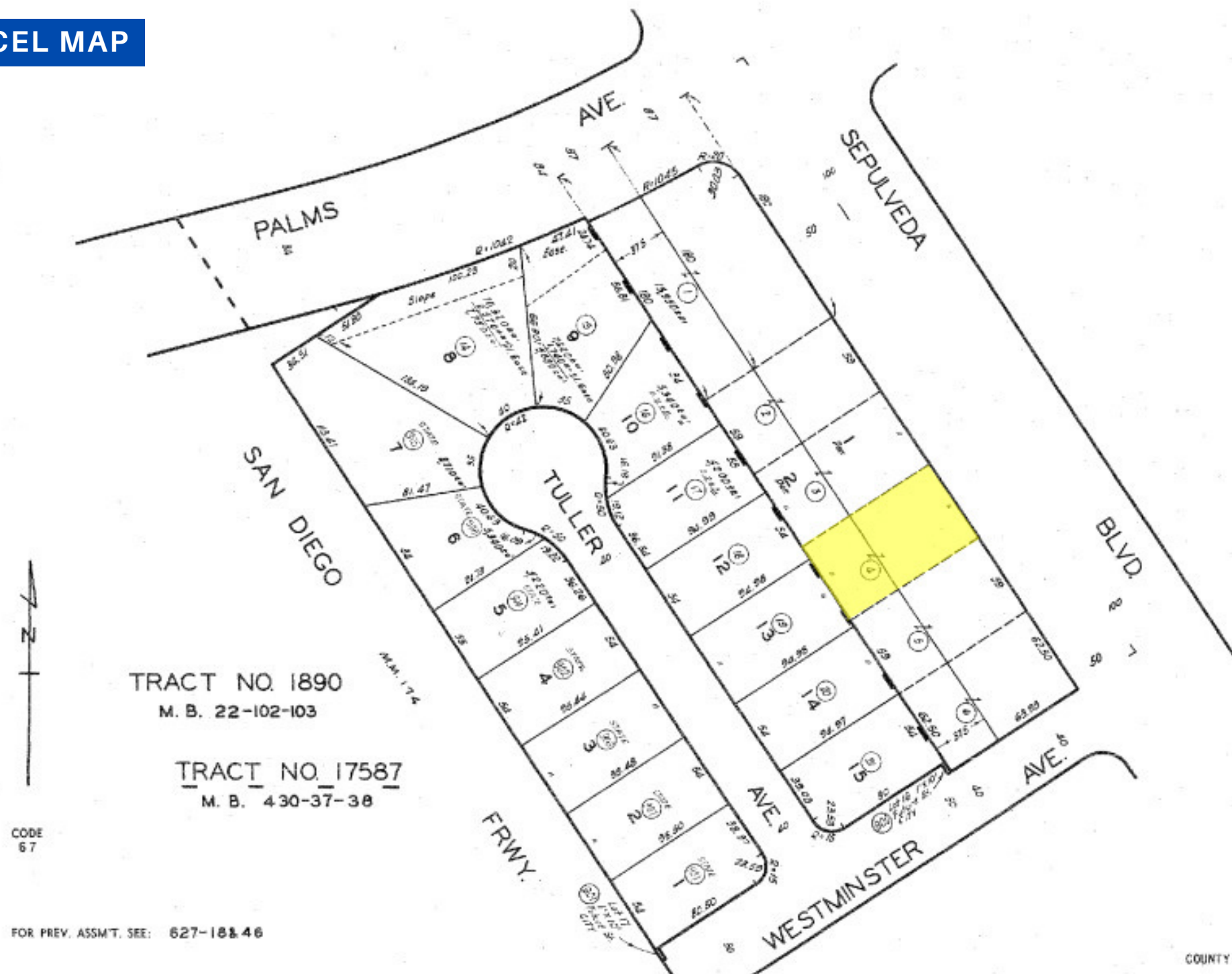


2ND STORY - FLOOR PLAN

Not to Scale



PARCEL MAP



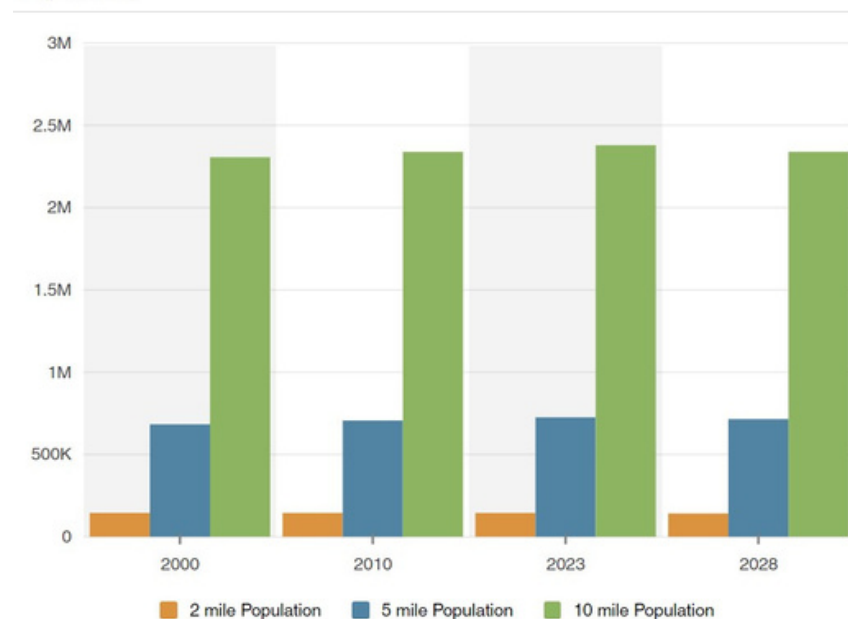
COUNTY

RADIUS DEMOGRAPHICS

Population

	2 mile	5 mile	10 mile
2010 Population	144,946	706,598	2,338,712
2023 Population	144,936	725,782	2,379,153
2028 Population Projection	142,015	714,968	2,339,151
Annual Growth 2010-2023	0%	0.2%	0.1%
Annual Growth 2023-2028	-0.4%	-0.3%	-0.3%

Population



Income

	2 mile	5 mile	10 mile
Avg Household Income	\$121,855	\$128,345	\$105,281
Median Household Income	\$93,858	\$98,902	\$72,754
< \$25,000	7,832	47,706	179,119
\$25,000 - 50,000	8,238	41,878	159,436
\$50,000 - 75,000	9,124	39,999	134,736
\$75,000 - 100,000	8,219	33,777	97,236
\$100,000 - 125,000	7,454	33,652	86,620
\$125,000 - 150,000	4,526	25,007	58,044
\$150,000 - 200,000	6,690	35,809	76,060
\$200,000+	10,705	65,928	132,235

Households

	2 mile	5 mile	10 mile
2010 Households	63,374	317,954	908,730
2023 Households	62,787	323,757	923,487
2028 Household Projection	61,349	318,030	906,814
Annual Growth 2010-2023	0.4%	0.5%	0.5%
Annual Growth 2023-2028	-0.5%	-0.4%	-0.4%



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