

## GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING DRAWINGS, NOTES, SPECIFICATIONS AND THESE GENERAL NOTES (UNLESS INDICATED OTHERWISE IN THE DRAWINGS OR SPECIFICATIONS).
- ALL WORK SHALL COMPLY WITH THE 2013 CALIFORNIA BUILDING CODE AND ALL OTHER APPLICABLE REGULATIONS.
- STRUCTURAL, CIVIL, MECHANICAL, ELECTRICAL, PLUMBING AND LANDSCAPE DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING WORK. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE ARCHITECTS' ATTENTION FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO BIDDING AND START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE COMMENCING WORK.
- SHOULD THE SPECIFICATIONS FAIL TO PARTICULARLY DESCRIBE THE MATERIAL OR KIND OF GOODS TO BE USED IN ANY PLACE, THEN IT SHALL BE THE DUTY OF THE CONTRACTOR TO MAKE INQUIRY OF THE ARCHITECT FOR WHAT IS BEST SUITED. THE MATERIAL THAT WOULD BE NORMALLY USED IN THIS PLACE TO PRODUCE FIRST QUALITY FINISHED WORK SHALL BE CONSIDERED A PART OF THE CONTRACT.
- SANITARY TOILET FACILITIES ARE TO BE MAINTAINED BY THE GENERAL CONTRACTOR THROUGHOUT CONSTRUCTION.
- THE SITE IS TO BE KEPT SECURE AT ALL TIMES DURING CONSTRUCTION. ANY LOSS OR DAMAGE TO SITE DUE TO LACK OF SECURITY DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL, LIGHTING AND MECHANICAL SYSTEMS CONFORMITY TO THE CALIFORNIA STATE ENERGY CODE (TITLE 24) AS WELL AS COMPLIANCE WITH ANY OTHER APPLICABLE LOCAL CODE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY TEMPORARY POWER DURING CONSTRUCTION.
- LOCATE ALL MANUALLY OPERATED SWITCHES & CONTROLS BETWEEN 36 TO 38 INCHES FROM THE FINISH FLOOR UNLESS OTHERWISE NOTED. RECEPTACLES TO BE LOCATED AT 12" TO CENTER ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
- ALL MULTIPLE SWITCH AND RECEPTACLE OUTLETS SHOULD BE GANG MOUNTED SO THAT THEY CAN BE COVERED BY A SINGLE COVER PLATE.
- ANYWORK TO BE DONE IN THE PUBLIC RIGHT OF WAY WILL REQUIRE A SEPERATE PERMIT THROUGH THE PUBLIC WORKS DIVISION AND MUST BE COMPLETED PRIOR TO FINAL INSPECTION.
- THE CONSTRUCTION SHOULD NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES - WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) SEPARATE PLUMBING PERMIT IS REQUIRED.
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- PROVIDE 70 INCH HIGH NON-ABSORBANT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
- ALL GUARDRAILS ARE TO BE 42" HIGH WITH 4" MAXIMUM CLEAR SPACING OPENING BETWEEN RAILS.
- GLAZING IN HAZARDOUS LOCATIONS SHALL BE TEMPERED:
  - INGRESS AND EGRESS DOORS.
  - PANELS IN SLIDING OR SWINGING DOORS.
  - DOORS AND ENCLOSURE FOR HOT TUB, BATHTUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDING SURFACE.)
  - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND LESS THAN 5' OF WALKING SURFACE.
  - IN WALL ENCLOSING STAIRWAY LANDING.
  - GUARDS AND HANDRAILS.

## FIRE PROTECTION NOTES

- THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17(d)) IF REQUIRED.
- IF REQUIRED, THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND BATTERY SIGNAL (R314).
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS (R315).

# ROBERTSON RESIDENCE studio & ADU

2129 Canfield Ave. Los Angeles, CA 900034



## SYMBOLS LEGEND

ROOM NAME X-XXX	ROOM NAME ROOM NUMBER
(101)	DOOR (NUMBER)
101	WINDOW (NUMBER)
---	GRID LINE TAG
---	GRID LINE TO FACE OF STRUCTURE
XX X	SECTION CUT LOCATION
X XX	BUILDING ELEVATION LOCATION
A X XX B C	INTERIOR ELEVATION REFERENCE
X XX	DETAIL CALLOUT
---	LINE OF ELEMENT ABOVE
---	PROPERTY LINE
⊕ XXX +0'-0"	ELEVATION CALLOUT
X:12	SLOPED SURFACE
XX-X	EXTERIOR MATERIAL IDENTIFIER
XXX XX	INTERIOR FINISH PER SCHEDULE
N	NORTH ARROW

## PROJECT TEAM

OWNER/DESIGNER	SCOTT ROBERTSON 2129 S. CANFIELD AVE LOS ANGELES, CA 90034 310 600-3716
ARCHITECT	DIGBAR INTERIORS & ARCHITECTURE 12030 W WASHINGTON BLVD. STE. 300 LOS ANGELES, CA 90066 contact: BRIAN REIFF 310 313 3300 brian@dig-bar.com
STRUCTURAL ENGINEER	C.W. HOWE PARTNERS, INC. 4358 SEPULVEDA BLVD CULVER CITY, CA CA 90230 contact: CARL HOWE 310 838-0383
ENERGY CODE CONSULTANT	

## VICINITY MAP (N.T.S.)



## PROJECT INFORMATION

OWNER:	SCOTT ROBERTSON
ADDRESS:	2129 S. CANFIELD AVE. LOS ANGELES, CA 90034
LEGAL DESCRIPTION:	TR13803 LOT35
APN #:	4302002011
ZONING:	R1V2-O
GENERAL PLAN:	LOW RESIDENTIAL
LOT AREA:	7,186 SF
ALLOWABLE LOT COVERAGE:	46%
PERCENT OF LOT COVERED:	%
ALLOWABLE FLOOR AREA (.51):	3,665 SF
HOUSE - EXISTING FLOOR AREA:	1,758 SF
ADU - NEW FLOOR AREA:	763 SF
ADU - LOFT OR >14' CEILING:	234 SF (997 SF ADU - ADDED AREA)
TOTAL RES. FLOOR AREA (RFA):	2,755 SF
<i>SEE A0.30 FOR ADDTL. AREA TABULATIONS</i>	
NUMBER OF STORIES - HOUSE:	2
NUMBER OF STORIES - ADU:	1
HEIGHT - ADU:	26'-2"
SPRINKLERED:	NO
APPLICABLE CODES:	CITY OF LOS ANGELES ZONING CODE 2019 CA RESIDENTIAL CODE (2020 LA) 2019 CA ENERGY CODE 2019 CA GREEN BUILDING CODE
USE:	R3 SINGLE FAMILY RES
CONSTRUCTION TYPE:	V-B
DESCRIPTION OF WORK:	NEW CONSTRUCTION OF FREE-STANDING REAR YARD ADU.

## DEFERRED OR SEPARATE PERMITS

- FREESTANDING WALLS & FENCES
- FIRE PROTECTION (IF REQ.)

## DRAWING INDEX

### ARCHITECTURAL

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A2.01	FLOOR PLAN
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A5.01	ENLARGED STAIRS
A5.02	ENLARGED BATH & KITCHEN PLANS
A6.01	SCHEDULES

### STRUCTURAL

S2	FOUNDATION PLAN
S3	ROOF FRAMING PLAN

## ROBERTSON studio ADU

2129 S. Canfield Ave.  
Los Angeles, CA 90034

## DIGBAR

INTERIORS & ARCHITECTURE

12030 W. WASHINGTON BLVD. SUITE 300  
LOS ANGELES, CALIFORNIA 90066  
OFFICE 310.313.3300 FAX 310.313.3301  
info@dig-bar.com www.dig-bar.com

DESIGN DEVELOPMENT  
5/26/2023

ISSUE DATE


print date: MAY 26, 2023

scale:

## PROJECT INFO

# A0.01



**LEGAL DESCRIPTION:**

THE LAND REFERRED TO IN THIS SURVEY IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES, AND IS DESCRIBED AS FOLLOWS:

LOT 35 OF TRACT NO. 13803 AS PER MAP RECORDED IN BOOK 296 PAGES 20 THROUGH 21 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 4302-002-011

**BASIS OF BEARINGS:**

THE BEARING NORTH 8°56'20" WEST, ON THE CENTERLINE OF CANFIELD AVENUE AS SHOWN ON TRACT NO. 13803, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, AS PER MAP RECORDED IN BOOK 296, PAGES 20 THROUGH 21, OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**LAND AREA:**

CONTAINING AN AREA OF 7,177.82 SQ. FT., OR 0.16478 ACRES, MORE OR LESS.

**BENCHMARK:**

BM ID: 13-27721 (NAVD 1988)  
 FOUND SPK S CURB SAWYER ST; 6.5' W/O BCR W/O BAGLEY AVE  
 ELEV. = 183.135 FT.

**SURVEYOR'S NOTE:**

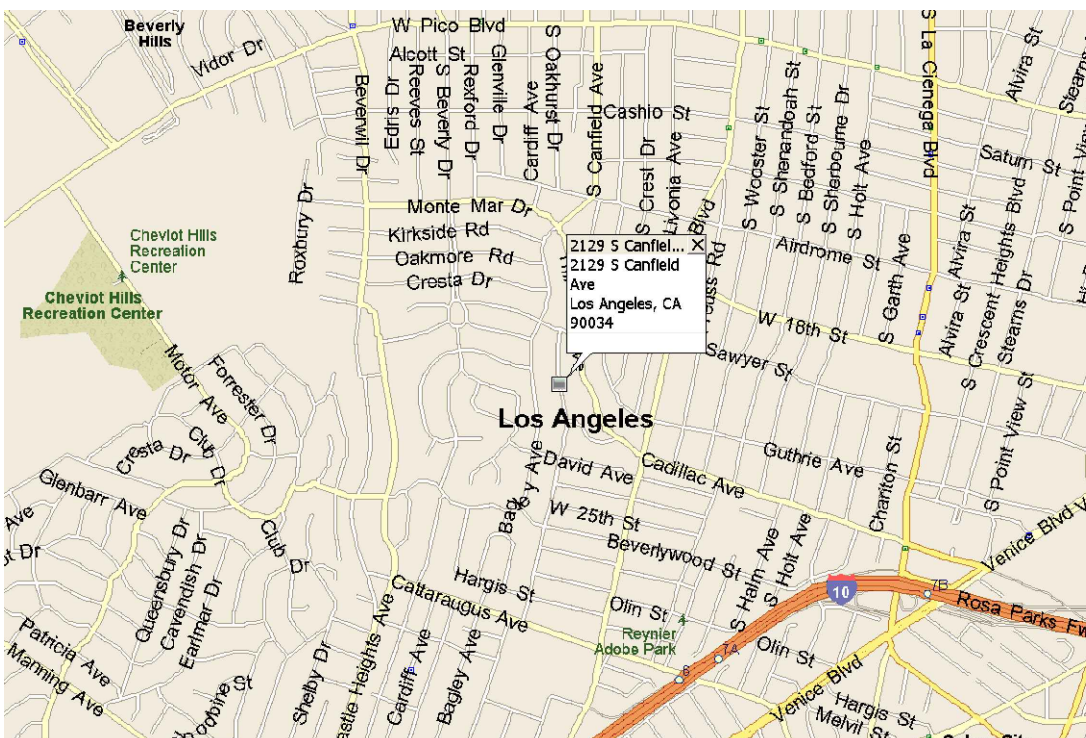
1. THIS MAP IS NOT A BOUNDARY SURVEY. NO PROPERTY CORNERS HAVE BEEN SET AS PART OF THIS WORK.
2. SURVEY MONUMENTS FOUND IN THE COURSE OF THIS MAPPING HAVE BEEN SET BY OTHERS, AND USED ONLY AS REFERENCE FOR PURPOSES OF TOPOGRAPHIC MAPPING, WITHOUT THE VERIFICATION OF ITS AGREEMENT WITH APPLICABLE LEGAL DESCRIPTIONS AND SENIORITY OF DEEDS.
3. RELATION OF TOPOGRAPHIC FEATURES (FENCES, WALLS, TREES, POWER POLES, ETC.) TO PROPERTY LINES SHOWN ON THIS MAP IS SUBJECT TO THE ADJUSTMENTS TO ANY BOUNDARY SURVEY THAT IS TO BE DONE ON THE PROPERTY.
4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

**LEGEND:**

- APN - ASSESSOR'S PARCEL NUMBER
- A.C. - ASPHALT CONCRETE
- B.C. - BEGINNING OF CURVE
- BM - BENCHMARK
- C/CL - CENTERLINE
- EC - END OF CURVE
- EST - ESTABLISH
- FB - FIELD BOOK
- FD - FOUND
- FF - FINISH FLOOR ELEV.
- FL - FLOWLINE ELEV.
- INTER - INTERSECTION
- L & T - LEAD & TACK
- MB - MAP BOOK
- OH - OVERHANG
- PG - PAGE
- PI - POINT OF INTERSECTION
- PLTR - PLANTER
- PROD - PRODUCED (PROLONGED)
- RCE - REGISTERED CIVIL ENGINEER
- SPK/W - SPIKE & WASHER
- TC - TOP OF CURB ELEV.
- TR - TRACT MAP
- TW - TOP OF WALL ELEV.

**SYMBOLS:**

- AIRCONDITIONING UNIT
- GAS METER
- GATE POST
- PALM TREE
- SEWER MANHOLE
- STREET LIGHT
- TREE
- WATER METER
- PROPERTY LINE
- CENTERLINE
- RETAINING WALL
- BUILDING LINE
- FENCE LINE

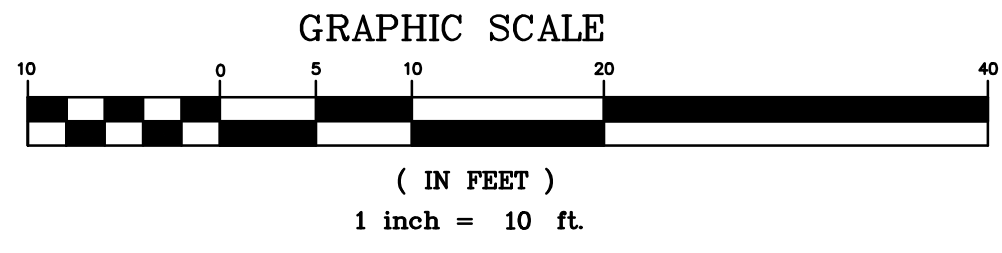


VICINITY MAP  
NOT TO SCALE



M&G CIVIL ENGINEERING AND  
LAND SURVEYING

TITLE: <b>TOPOGRAPHIC SURVEY</b>		
2129 S. CANFIELD AVE, LOS ANGELES, CA 90034		
CLIENT: Mr Scott Robertson	JOB NO.: 22-19153	DATE: 5/24/22
SCALE: 1" = 10'	DESIGNED BY: F.G. / M.I.	REVISION (S):
DRAWN BY: SJ	CHECKED BY: C.D.L.	SHEET 1 OF 1 SHEET

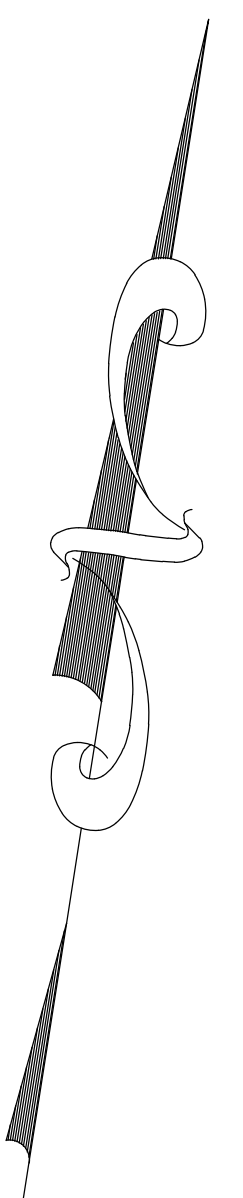
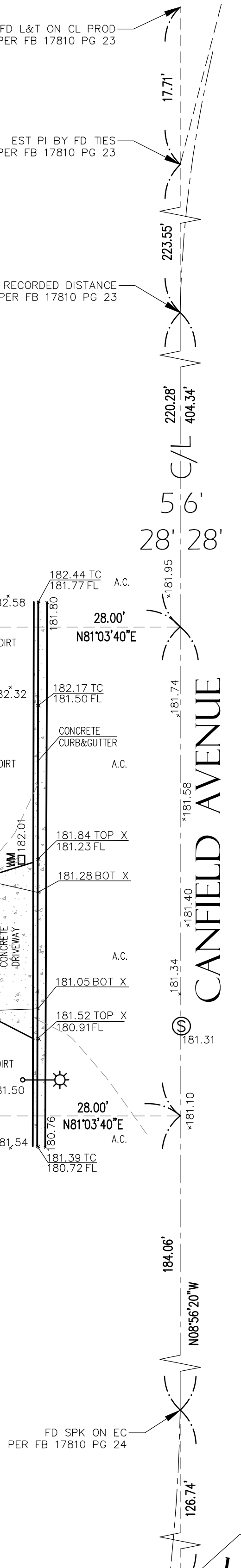
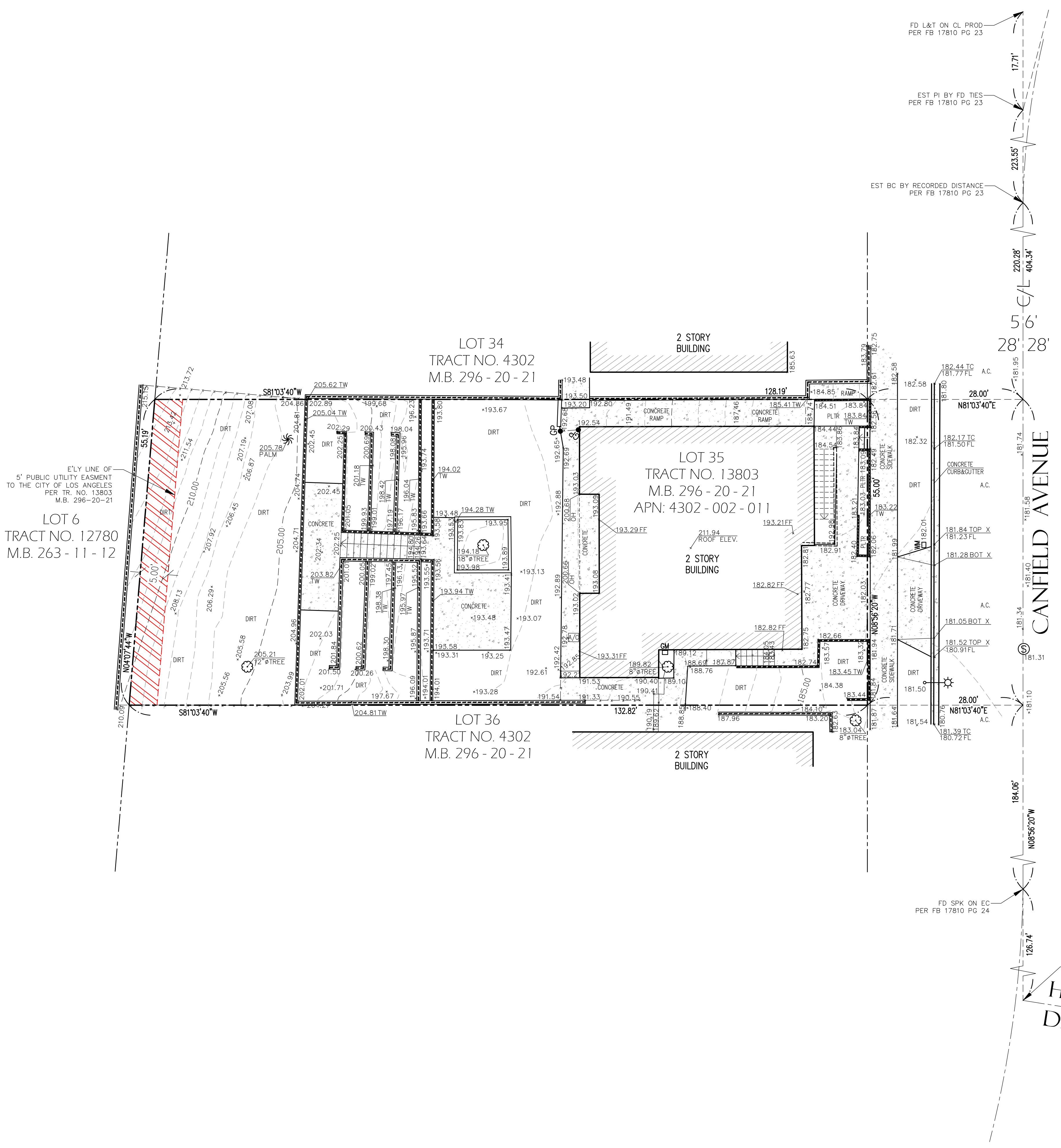


LOT 6  
TRACT NO. 12780  
M.B. 263 - 11 - 12

LOT 34  
TRACT NO. 4302  
M.B. 296 - 20 - 21

LOT 35  
TRACT NO. 13803  
M.B. 296 - 20 - 21  
APN: 4302 - 002 - 011

LOT 36  
TRACT NO. 4302  
M.B. 296 - 20 - 21

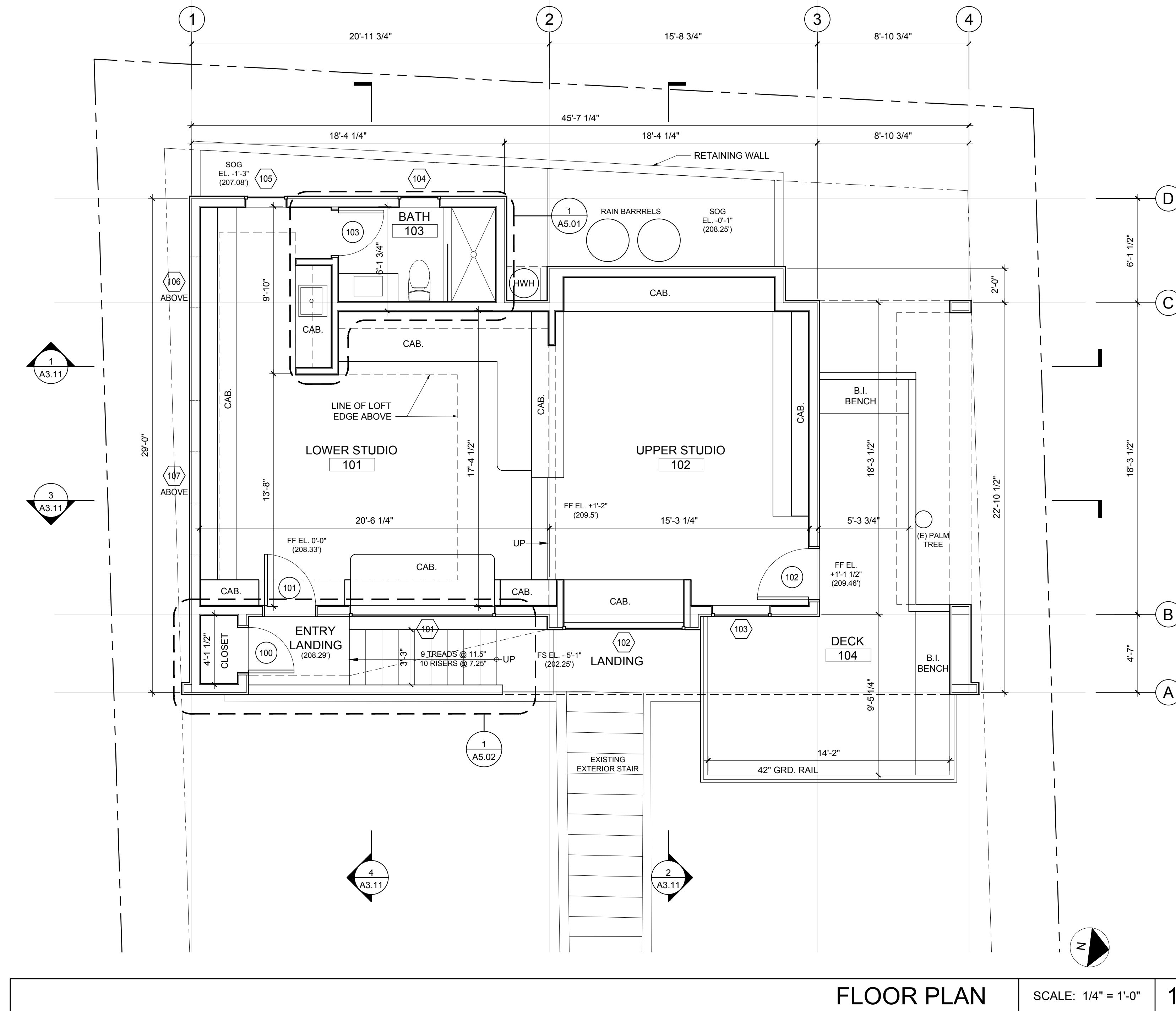






# ARCHITECTURAL NOTES

- ALL DIMENSIONS ARE TO FACE OF CONCRETE OR CONCRETE BLOCK, INDICATED GRID LINES, AND FACE OF STUDS UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS CLEAR SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESSES OF MATERIALS.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF FINISHED FLOOR UNLESS OTHERWISE NOTED.
- ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTION REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- CONTACT BETWEEN DISSIMILAR METALS SHALL BE PROTECTED BY BITUMINOUS OR SIMILAR COATING.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED DOUGLAS FIR.
- PROVIDE COLLISION BARRIER ADEQUATE TO PROTECT CONTROL MOTORS, ELECTRIC PANELS, REGULATORS, PIPING, VALVES, ETC. THAT ARE EXPOSED TO VEHICULAR DAMAGE UNLESS SHOWN OTHERWISE.
- THE SLOPE OF PUBLIC WALKS SHALL NOT EXCEED 5% OR AS REQUIRED PER CODE.
- CONTRACTOR TO COORDINATE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF OPENINGS IN SLABS AND WALLS.
- ALL GYPSUM WALLBOARD IS TO BE TYPE 'X'
- INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES. INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
- CONTRACTOR TO LOCATE EXISTING UTILITY LINES INCLUDING: ELECTRICAL, SEWER, WATER, GAS, TELEPHONE, ETC. IN ADDITION, CAUTION ALL SUBCONTRACTORS THAT THE SITE AND PUBLIC PROPERTY CONTAINS UNDERGROUND UTILITY LINES. THE DRAWINGS MAY SHOW DIAGRAMMATICALLY THE APPROXIMATE LOCATION OF ALL UNDERGROUND UTILITIES WHERE INFORMATION IS AVAILABLE, BUT THE DRAWINGS ARE NOT EXACT AS TO THE QUANTITY, EXTENT OR LOCATION.
- EXERCISE EXTREME CAUTION DURING ALL PHASES OF WORK TO PROTECT EXISTING UNDERGROUND UTILITIES. RECORD LOCATION OF, DISCONNECT AND CAP AS NECESSARY, AND REPAIR DAMAGE TO EXISTING UTILITIES WHICH ARE ENCOUNTERED AS A RESULT OF WORK UNDER THIS CONTRACT.
- DUCTS PENETRATING STUD WALLS OR SHAFTS WALLS SHALL BE PROVIDED WITH NECESSARY FRAMES, BRACING AND ACOUSTICAL OR FIRE RATED SEALANT AROUND THE OPENING, WHERE REQUIRED.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING'S, BACK-UP PLASTERS, WALL BACKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, WALL SHELVING, TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL, PLUMBING, OR MISCELLANEOUS EQUIPMENT.
- DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SHALL BE DESIGNED TO LIMIT LEAKAGE INTO OR FROM THE BUILDING ENVELOPE.
- ALL VALVES, CONTROLS AND TERMINATIONS SHALL BE POSITIONED FOR SAFE, DIRECT AND EASY ACCESS.
- LOCATION AND SIZES OF EQUIPMENT SHOWN ON THE DRAWINGS ARE BASED ON AVAILABLE INFORMATION. THE CONTRACTOR SHALL PROVIDE THE EXACT DIMENSIONS, SIZES AND POSITIONS OF EQUIPMENT, AND COORDINATE WITH THE ARCHITECTURAL DRAWINGS.
- COORDINATE PLUMBING AND MECHANICAL DRAWINGS FOR STRUCTURAL BEAMS TO BE SLEEVED AND REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
- ALL EXTERIOR DOORS SHALL HAVE WEATHER-STRIP, SEAL AND ASTRAGAL AT HEAD, SILL AND JAMB, AND AROUND THE OPENING IN THE EXTERIOR ENVELOPE SHALL BE SEALED, CALIBRATED AND GASKETED TO PREVENT AIR LEAKAGE.
- ALL DOOR SIZES SHOWN ON DOOR SCHEDULE ARE ACTUAL DOOR OPENING SIZES, PROVIDE ALLOWANCE FOR THRESHOLDS, FRAMES, ETC. FOR ROUGH OPENING.
- ALL DOORS AND FRAMES SHALL BE REINFORCED WHERE REQUIRED FOR CLOSURES, STOPS AND HARDWARE.
- PROVIDE TEMPERED GLASS @ HAZARDOUS LOCATIONS PER BUILDING CODE.
- PROVIDE ADEQUATE AND CONTINUOUS VENTILATION OF ALL CONCEALED SPACES BETWEEN INTERIOR AND EXTERIOR ENVIRONMENTS INCLUDING CEILING AND ATTIC SPACES AND UNDERFLOOR CRAWL SPACES
- PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MINIMUM - 24" CLEAR HEIGHT, 20" CLEAR WIDTH, 5.7 SF MINIMUM AREA & 44" MAXIMUM TO SILL.
- PROVIDE THERMOSTATS THAT ARE CAPABLE OF RECEIVING AND RESPONDING TO DEMAND RESPONSE SIGNALS.
- BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH SHOWERS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBANT SURFACE TO A HEIGHT OF 6' ABOVE HE FLOOR.
- CEMENT, FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS SHALL BE USED AS A BASE FOR WALL TILE IN TUB AND SHOWER AREAS AND WALLS AND CEILING PANELS IN SHOWER AREAS.



FLOOR PLAN

SCALE: 1/4" = 1'-0"

1

# KEY NOTES

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# LEGEND

- NEW WOOD FRAMED WALL
- 1-HR RATED WOOD FRAMED WALL - SEE DETAIL ON SHEET A7.01
- EXHAUST FAN SHALL BE ENERGY STAR COMPLAINT AND MUST BE CONTROLLED BY A HUMIDITY CONTROL - MIN 50 CFM. VENT TO OUTDOORS.
- DOOR
- WINDOW
- BUILT-IN CABINETRY BY OTHERS
- SMOKE ALARM - HARD WIRED WITH BATTERY BACKUP.
- CARBON MONOXIDE ALARM - HARD WIRED WITH A BATTERY BACKUP.

**ROBERTSON**  
studio ADU

2129 S. Canfield Ave.  
Los Angeles, CA 90034

**DIGBAR**  
INTERIORS & ARCHITECTURE

12030 W. WASHINGTON BLVD, SUITE 300  
LOS ANGELES, CALIFORNIA 90066  
OFFICE 310.313.3300 FAX 310.313.3301  
info@dig-bar.com www.dig-bar.com

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ISSUE	DATE

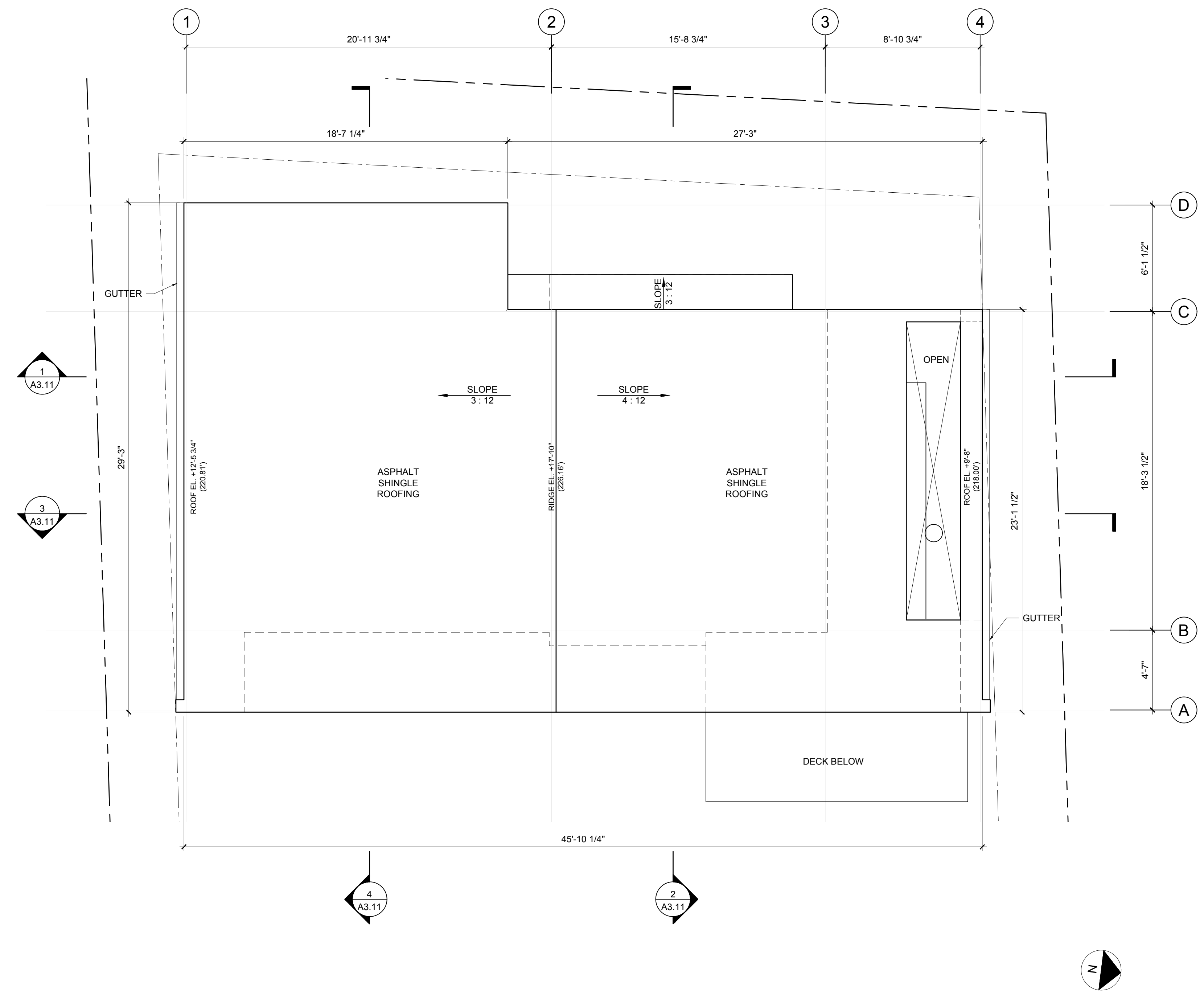
print date: MAY 26, 2023  
scale:

FLOOR PLAN

A2.01



ROOF NOTES



ROOF PLAN

SCALE: 1/4" = 1'-0"

1

KEY NOTES

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- 17
- 18

ROOF SPECIFICATIONS

LEGEND

**ROBERTSON**  
studio ADU

2129 S. Canfield Ave.  
Los Angeles, CA 90034

**DIGBAR**  
INTERIORS & ARCHITECTURE

12030 W. WASHINGTON BLVD, SUITE 300  
LOS ANGELES, CALIFORNIA 90066  
OFFICE 310.313.3300 FAX 310.313.3301  
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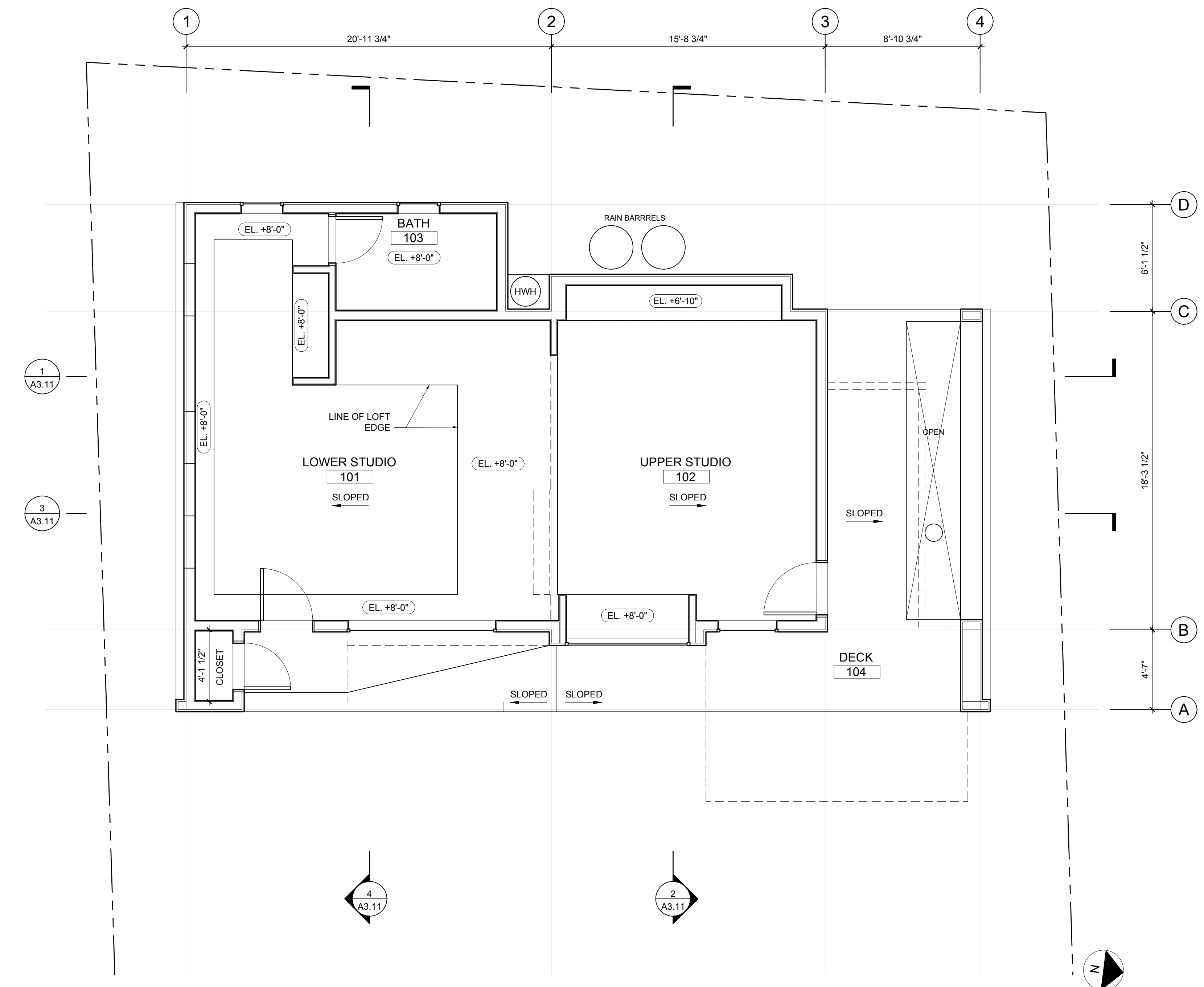
ROOF PLAN

A2.02



**CEILING, ELECTRICAL & MECH. NOTES**

- PROVIDE AND INSTALL LATERAL AND SEISMIC SUPPORT FOR ALL SUSPENDED CEILINGS AND CEILING RELATED ELEMENTS AS REQUIRED BY APPLICABLE CODE.
- PROVIDE ACCESS PANELS AT WALL AND CEILING LOCATIONS FOR ELECTRICAL, PLUMBING AND AIR CONDITIONING CONTROLS, VALVES, DAMPERS, SHUTTERS, OR OTHER DEVICES AS REQUIRED BY THE WORK AND APPLICABLE EVIDENCE. ACCESS PANELS NOT SHOWN ON CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING THE EXACT LOCATIONS OF ALL ACCESS PANELS. NO INSTALLATION OF ACCESS PANELS SHALL BE MADE UNTIL THE ARCHITECT HAS APPROVED THE LOCATIONS.
- CEILING HEIGHTS INDICATED ARE TO FINISH FROM FINISHED FLOOR.
- CONTRACTOR SHALL TEST AND ADJUST ALL LIGHTING AT THE DIRECTION OF THE ARCHITECT PRIOR TO COMPLETION.
- CONTRACTOR TO PROVIDE ALL BULBS AND LAMPS TO MAKE ALL LIGHTING OPERATIONAL PRIOR TO COMPLETION.
- PROVIDE HARD WIRED SMOKE DETECTOR ALARM WHERE INDICATED BY 'S', INSIDE AND DIRECTLY OUTSIDE ALL BEDROOMS.
- ALL WIRING AND ELECTRICAL DEVICES TO BE PROVIDED AS NEW (WHERE INDICATED), IN COMPLIANCE WITH LOCAL CODE REQUIREMENTS.
- ALL INTERIOR WIRING DEVICES TO BE LEVITON OR LUTRON 'DECORA', WHITE.
- CONTRACTOR TO VERIFY ALL EQUIPMENT POWER REQUIREMENTS.
- CONTRACTOR TO COORDINATE ANY REQUIRED WORK BY THE LOCAL POWER PROVIDER.
- ELECTRICAL CONTRACTOR TO DESIGN CIRCUIT DISTRIBUTION AND DETERMINE NECESSARY SERVICE AND PANEL SIZE. CIRCUIT BREAKERS IN MAIN PANEL ARE TO BE CLEARLY MARKED FOR USER'S IDENTIFICATION PURPOSES.
- LOCATE ALL MANUALLY OPERATED SWITCHES & CONTROLS BETWEEN 36 TO 38 INCHES FROM THE FINISH FLOOR UNLESS OTHERWISE NOTED. RECEPTACLES TO BE LOCATED AT 12" TO CENTER ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED. RECEPTACLES LOCATED ABOVE COUNTERTOPS TO BE HORIZONTALLY MOUNTED.
- ALL MULTIPLE SWITCH AND RECEPTACLE OUTLETS SHOULD BE GANG MOUNTED SO THAT THEY CAN BE COVERED BY A SINGLE COVER PLATE.
- ALL FINISHED CEILING ARE PAINTED GYPSUM BOARD UNLESS OTHERWISE NOTED.
- FROM ROUGH INSTALLATION OR STORAGE ON SITE TO FINAL START-UP OF THE MECHANICAL SYSTEM, ALL DUCTS AND HVAC COMPONENTS SHALL BE COVERED. USE SUPPLY BOOTS, PLASTIC WRAP, CARDBOARD, OR OTHER MATERIALS TO COVER ALL HVAC DUCTS AND EQUIPMENT UNTIL FINAL STARTUP.
- HVAC SYSTEMS SHALL BE DESIGNED PER:
  - HEAT LOSS AND HEAT GAIN SHALL BE ESTABLISHED PER ACCA MANUAL J OR ASHRAE HANDBOOKS.
  - DUCT SYSTEMS SHALL BE SIZED PER ACCA 29-D MANUAL D OR ASHRAE HANDBOOKS.
  - HEATING AND COOLING EQUIPMENT SHALL BE SELECTED PER ACCA 36-S MANUAL S OR OTHER EQUIVALENT METHODS.
- THIS DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING 68 DEGREES MINIMUM AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS. THE INSTALLATION OF PORTABLE SPACE HEATERS SHALL NOT BE USED TO ACHIEVE COMPLIANCE.
- WATER PIPING MATERIALS WITHIN A BUILDING SHALL BE IN ACCORDANCE WITH SEC. 604.1 OF THE CA PLUMBING CODE. PEX, CPVC AND OTHER PLASTIC WATER PIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF SEC. 604 OF THE CPC. INSTALLATION STANDARDS OF APPENDIX I OF THE CPC AND MANUFACTURERS RECOMMENDED INSTALLATION STANDARDS. CPVC WATER PIPING REQUIRES A CERTIFICATION OF COMPLIANCE AS SPECIFIED IN SEC 604.1.1 OF THE CPC PRIOR TO PERMIT ISSUANCE.
- EXTERIOR LIGHTING IS TO BE SHIELDED AND DOWNWARD FACING IN ORDER TO REDUCE GLARE ON SITE, ON THE PUBLIC RIGHT OF WAY AND ON ADJACENT PROPERTIES.
- ALL RECEPTACLES IN WET LOCATIONS, BATHROOMS, OUTDOORS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER (GFCI) PROTECTION.
- ALL BRANCH CIRCUITS SUPPLYING 120V 15-AMPERE AND 20-AMPERE OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI).
- ALL WALL SPACES, 2' OR MORE IN WIDTH, SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY IS MORE THAN 6' FROM A RECEPTACLE (12' MAX SPACING).
- COUNTERTOPS IN KITCHENS, PANTRIES, BREAKFAST ROOMS, DINING ROOMS AND SIMILAR AREA SPACES 12" OR WIDER SHALL HAVE RECEPTACLES INSTALLED SUCH THAT NO POINT ALONG THE WALL IS MORE THAN 2' FROM A RECEPTACLE.
  - RECEPTACLE OUTLETS SHALL BE LOCATED ABOVE, BUT NOT MORE THAN 20" ABOVE, THE COUNTERTOP. RECEPTACLE SHALL BE READILY ACCESSIBLE.
- IN BATHROOMS, AT LEAST ONE RECEPTACLE SHALL BE INSTALLED WITHIN 3' OF THE OUTSIDE EDGE OF EACH BASIN.
  - AT LEAST ONE 20-AMPERE BRANCH SHALL BE PROVIDED TO SUPPLY BATHROOM RECEPTACLE OUTLETS. EH CIRCUIT SHALL HAVE NO OTHER OUTLETS.
  - AT LEAST ONE RECEPTACLE AT GRADE LEVEL SHALL BE INSTALLED IN BOTH THE FRONT AND BACK OF EACH DWELLING UNIT.
- ELECTRICAL BOXES SHALL HAVE DRYWALL, PLASTER OR PLASTERBOARD SURFACES FINISHED SO THERE WILL BE NO GAPS OR OPEN SPACES GREATER THAN 1/8" AT THE EDGE OF THE BOX PER ARTICLE 314.21 (CEC). IN WALLS OR CEILING BOXES SHALL BE INSTALLED SO THAT THE FRONT EDGE OF THE BOX OR PLASTER RING SHALL NOT BE RECESSED MORE THAN 1/4" FROM NON-COMBUSTIBLE SURFACE PER ARTICLE 314.20.
- ALL 125V 15-AMPERE RECEPTACLES IN AREAS SPECIFIED IN ARTICLE 310.52 SHALL BE LISTED AS TAMPER RESISTANT RECEPTACLE (406.12 CEC).
- NEW BOXES USED AT LUMINAIRE OR LAMPHOLDER OUTLETS IN CEILING SHALL BE REQUIRED TO SUPPORT A LUMINAIRE WEIGHING A MINIMUM OF 50 LBS. BOXES USED AT LUMINAIRE OUTLETS IN WALLS SHALL BE DESIGNED FOR THE PURPOSE AND SHALL BE MARKED ON THE INTERIOR INDICATING THE MAXIMUM WEIGHT OF THE LUMINAIRE PERMITTED, IF OTHER THAN 50 LBS. OUTLET BOXES OR SYSTEMS USED AS THE SOLE SUPPORT OF CEILING FANS SHALL BE LISTED AND MARKED BY THE MANUFACTURER AS SUITABLE FOR THIS PURPOSE (314.27 CEC).
- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
- BATTERY SMOKE ALARM PERMITTED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE. BATTERY CARBON MONOXIDE ALARM IS PERMITTED IN EXISTING DWELLING UNITS BUILT PRIOR TO JANUARY 1, 2011 WHERE NO CONSTRUCTION IS TAKING PLACE.



**REFLECTED CEILING PLAN** SCALE: 1/4" = 1'-0" **1**

**TITLE 24 LIGHTING NOTES**

- §110.9: LIGHTING CONTROLS AND COMPONENTS  
ALL LIGHTING CONTROL DEVICES AND SYSTEMS, BALLASTS, AND LUMINAIRES MUST MEET THE APPLICABLE REQUIREMENTS OF §110.9.
- §150.0(k)1A: LUMINAIRE EFFICACY  
ALL INSTALLED LUMINAIRES MUST MEET THE CLASSIFICATION OF HIGH LUMINAIRE EFFICACY LIGHT SOURCES REQUIREMENTS LISTED IN TABLE 150.0-A.
- §150.0(k)1E: BLANK ELECTRICAL BOXES  
THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN FIVE FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE MUST BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER, VACANCY SENSOR CONTROL, OR FAN SPEED CONTROL.
- §150.0(k)1C: RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS  
LUMINAIRES RECESSED INTO CEILINGS MUST MEET ALL OF THE REQUIREMENTS FOR: INSULATION CONTACT (IC) LABELING; AIR LEAKAGE; SEALING; MAINTENANCE; AND SHALL NOT CONTAIN SCREW BASE LAMP SOCKETS.
- §150.0(k)1D: LIGHT SOURCES IN ENCLOSED OR RECESSED LUMINAIRES LAMPS AND OTHER SEPARABLE LIGHT SOURCES THAT ARE NOT COMPLIANT WITH THE JAB ELEVATED TEMPERATURE REQUIREMENTS, INCLUDING MARKING REQUIREMENTS, SHALL NOT BE INSTALLED IN ENCLOSED OR RECESSED LUMINAIRES.
- §150.0(k)2A: INDOOR LIGHTING CONTROLS  
LIGHTING SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY TURNED ON AND OFF.
- §150.0(k)2B: BYPASS CONTROLS  
NO CONTROLS SHALL BYPASS A DIMMER, OCCUPANT SENSOR OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION §150.0(k).
- §150.0(k)2D: PROGRAMMABLE CONTROLS  
AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) OR A MULTISCENE PROGRAMMABLE CONTROL MAY BE USED TO COMPLY WITH DIMMING, OCCUPANCY, AND LIGHTING CONTROL REQUIREMENTS IN SECTION 150.0(k)2 IF IT PROVIDES THE FUNCTIONALITY OF THE SPECIFIED CONTROLS IN ACCORDANCE WITH SECTION 110.9, AND THE PHYSICAL CONTROLS SPECIFIED IN §150.0(k)2A.
- §150.0(k)2D: AUTOMATIC OFF CONTROLS  
IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS, AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY LIGHTING INTERNAL TO DRAWERS AND CABINETRY WITH OPAQUE FRONTS OR DOORS. CONTROLS THAT TURN LIGHT OFF WHEN THE DRAWER OR DOOR IS CLOSED SHALL BE PROVIDED.
- §150.0(k)2F: DIMMING CONTROLS  
LIGHTING IN HABITABLE SPACES, INCLUDING BUT NOT LIMITED TO LIVING ROOMS, DINING ROOMS, KITCHENS, AND BEDROOMS, SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY ADJUSTED UP AND DOWN. FORWARD PHASE CUT DIMMERS CONTROLLING LED LIGHT SOURCES IN THESE SPACES SHALL COMPLY WITH NEMA SSL 7A.
- §150.0(k)2G: INDEPENDENT CONTROLS  
INTEGRATED LIGHTING OF EXHAUST FANS SHALL BE CONTROLLED INDEPENDENTLY FROM THE FANS. UNDERCABINET AND UNDERSHELF LIGHTING, INTERIOR LIGHTING OF DISPLAY CABINETS, AND SWITCHED OUTLETS SHALL BE CONTROLLED SEPARATELY FROM CEILING-INSTALLED LIGHTING SUCH THAT ONE CAN BE TURNED ON WITHOUT TURNING ON THE OTHER.
- §150.0(k)1B: SCREW BASED LUMINAIRES  
SCREW BASED LUMINAIRES MUST CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JAB.
- §150.0(k)3A: RESIDENTIAL OUTDOOR LIGHTING  
OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING, OR TO OTHER BUILDINGS ON THE SAME LOT, MUST MEET THE REQUIREMENT IN ITEM §150.0(k)1A (ON AND OFF SWITCH) AND THE REQUIREMENTS AND EITHER:  
- CONTROLLED BY A MANUAL ON/OFF CONTROL SWITCH THAT PERMITS THE AUTOMATIC ACTIONS USING A PHOTOCELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR  
- CONTROLLED BY AN ASTRONOMICAL TIME CLOCK CONTROL.
- §150.0(k)4: INTERNALLY ILLUMINATED ADDRESS SIGNS  
INTERNALLY ILLUMINATED ADDRESS SIGNS SHALL EITHER COMPLY WITH SECTION 140.8, OR CONSUME NO MORE THAN 5 WATTS OF POWER.
- §150.0(k)5: RESIDENTIAL GARAGES FOR EIGHT OR MORE VEHICLES  
LIGHTING FOR RESIDENTIAL PARKING GARAGES FOR EIGHT OR MORE VEHICLES MUST COMPLY WITH THE APPLICABLE REQUIREMENTS FOR NONRESIDENTIAL GARAGES IN SECTIONS 110.9, 130.0, 130.2, 130.4, 140.7 AND 141.0.

**KEY NOTES**

- EDGE OF EXISTING ROOF
- NEW LIGHT FIXTURE IN EXISTING LOCATION
- EXISTING SKYLIGHT
- PROVIDE NEW TRIM AROUND EXISTING SKYLIGHT
- RAIN SHOWER HEAD
- CONFIRM LAYOUT OF LIGHTS WITH STRUCTURE AND OWNER
- PROVIDE AFCI TAMPER RESISTANT BRANCH CIRCUIT THIS ROOM
- PROVIDE GFCI CIRCUIT AND OUTLETS THIS ROOM
- PROVIDE DEDICATED 20-AMP CIRCUIT

**NOTES**

- OWNER TO SUPPLY ALL SURFACE MOUNTED LIGHT FIXTURES FOR CONTRACTOR TO INSTALL.
- CONTRACTOR TO PROVIDE ALL RECESSED AND CABINET STRIP LIGHTS, FANS, MECHANICAL EQUIPMENT, RECEPTACLES, ELECTRICAL AND WIRING DEVICES, UPON OWNER/ARCHITECT APPROVAL OF SUBMITTAL DOCUMENTS.
- CONTRACTOR TO COORDINATE WITH OWNER'S LOW VOLTAGE TELECOM SUBCONTRACTOR AND PROVIDE POWER, DEVICES, CONDUIT, ETC. AS REQUIRED.
- LIGHT SWITCH LOCATIONS TO BE DETERMINED IN THE FIELD BY OWNER AND GC.
- OWNER TO PROVIDE HVAC REGISTERS FOR CONTRACTOR TO INSTALL.
- CONTRACTOR TO PROVIDE DIMMERS AS REQUIRED AND ENSURE PROPER COMPATIBILITY WITH FIXTURES TO PREVENT LIGHTS FROM FLICKERING.
- ALL PERMANENTLY INSTALLED LIGHTING MUST BE HIGH EFFICACY REGARDLESS OF THE CONTROLS.

**LEGEND**

- XXX | XX FINISH OR CABINET INDICATION PER SCHEDULE
- EL. +x'-x" CEILING HEIGHT (ABOVE FINISHED FLOOR)
- EF ☒ NEW EXHAUST FAN : SHALL BE ENERGY STAR COMPLIANT AND MUST BE CONTROLLED BY A HUMIDITY CONTROL - MIN 50 CFM. VENT TO OUTDOORS
- MS ⊕ SECURITY LIGHT OPERATED BY ATTACHED OR REMOTE MOTION SENSOR AND OVERRIDE SWITCH
- ⊙ SMOKE ALARM - HARD WIRED WITH BATTERY BACKUP.
- ⊙ CARBON MONOXIDE ALARM - HARD WIRED WITH A BATTERY BACKUP.
- ⊙ LIGHT SWITCH TO LIGHTS INDICATED. PROVIDE DIMMER SWITCH FOR ALL LOCATIONS AS REQ.
- ⊕ DUPLEX RECEPTACLE 120V U.O.N. 12" AFF U.O.N.
- ⊕ GFCI DUPLEX RECEPTACLE GFCI
- ⊕ 20A DUPLEX RECEPTACLE - DEDICATED 20-AMP CIRCUIT
- ⊕ TV TV CABLE RECEPTACLE - PROVIDE WIRING IN WALL TO EXT. POINT OF CONNECTION
- ⊕ LAN INTERNET ROUTER/MODEM LOCATION- PROVIDE WIRING IN WALL AS NEC.
- ⊕ DATA/ETHERNET PORT WIRED TO ROUTER LOCATION
- L- ⊙ RECESSED DOWN LIGHT - HIGH EFFICACY JAB COMPLIANT
- L- ⊙ RECESSED DOWN LIGHT, SMALL APERTURE - HIGH EFFICACY JAB COMPLIANT
- L- ⊕ SURFACE MOUNTED CEILING LIGHT - HIGH EFFICACY
- L- ⊕ WALL MOUNTED LIGHT - JAB IN BATHROOM
- L- ⊙ SURFACE MOUNTED PENDANT LIGHT
- SL ----- LED STRIP COVE LIGHT
- SL ===== UNDERCABINET LED STRIP

**ROBERTSON**  
studio ADU

2129 S. Canfield Ave.  
Los Angeles, CA 90034

**DIGBAR**  
INTERIORS & ARCHITECTURE

12030 W. WASHINGTON BLVD, SUITE 300  
LOS ANGELES, CALIFORNIA 90066  
OFFICE 310.313.3300 FAX 310.313.3301  
info@dig-bar.com www.dig-bar.com

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5/26/2023

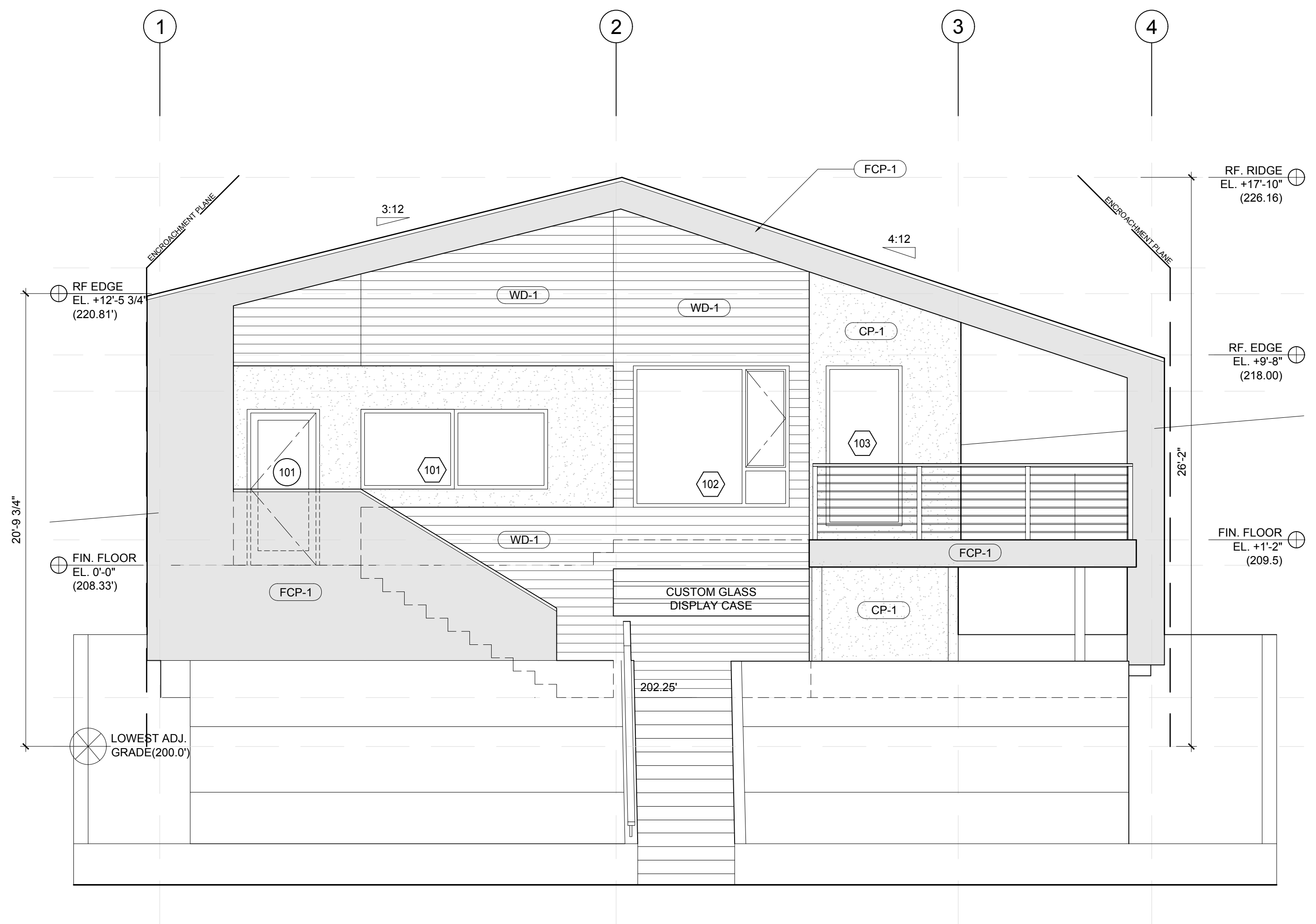
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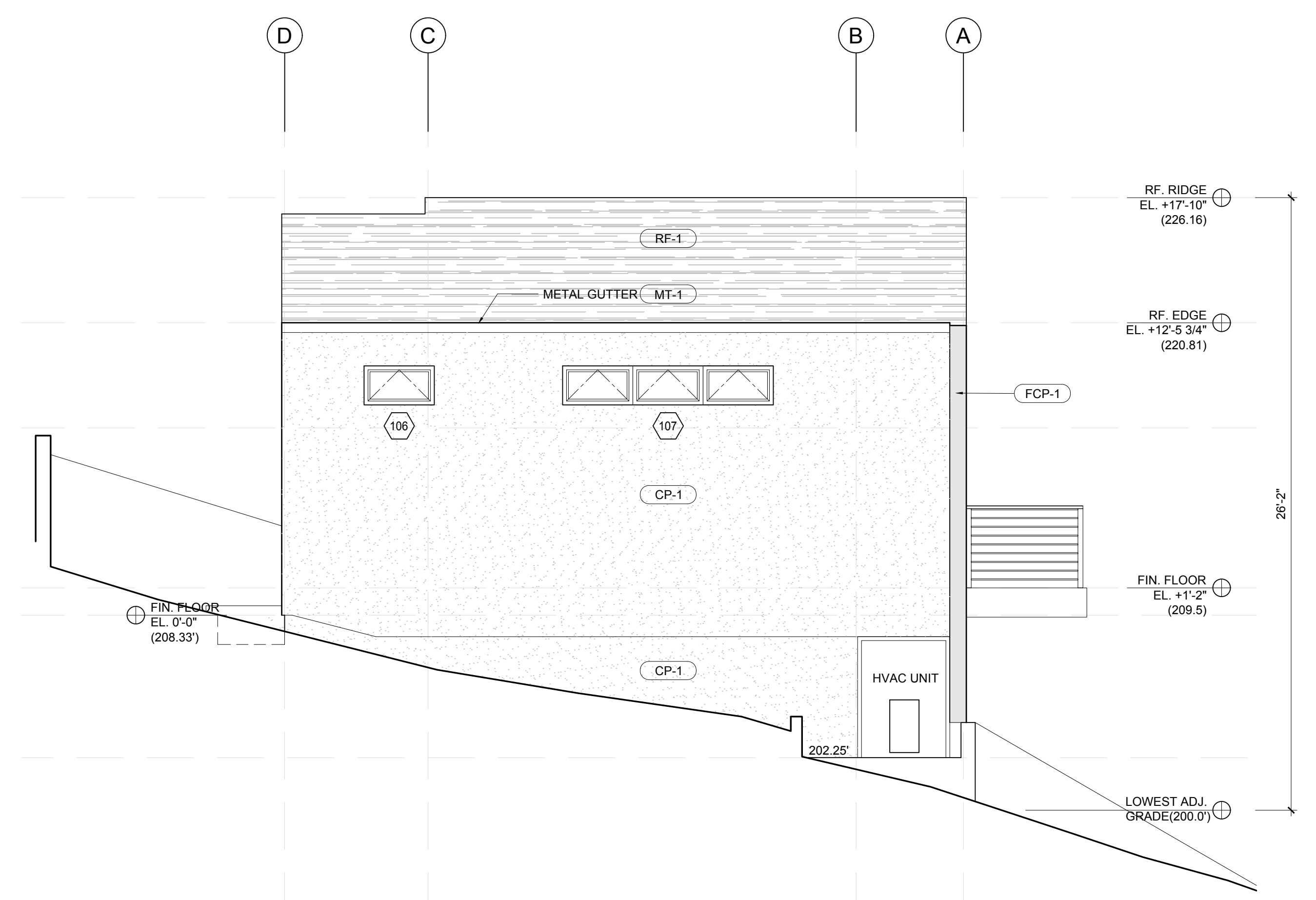
**FIRST FLOOR**  
RCP

**A2.03**





**EAST (FRONT) ELEVATION**      SCALE: 1/4" = 1'-0"      **1**



**SOUTH (SIDE) ELEVATION**      SCALE: 1/4" = 1'-0"      **2**

**KEY NOTES**

- 1
- 2
- 3
- 4
- 5

**EXTERIOR MATERIAL SCHEDULE**

CP-1	SMOOTH CEMENT PLASTER: STEEL TROWEL FINISH. INTEGRAL COLOR FINISH COAT
FCP-1	FIBER CEMENT BOARD PANEL RAIN SCREEN: CEMBRIT SOLID BY AFCC. COLOR:
WD-1	T&G WOOD SIDING: 1X6 BOARDS, CLEAR WESTERN RED CEDAR, STAINED FINISH
MT-1	PAINTED METAL: GALVANIZED METAL WITH PAINT COLOR TO BE SELECTED BY ARCHITECT
RF-1	ROOFING MEMBRANE
WD-2	PAINTED WOOD

**LEGEND / NOTES**

NOTE: WINDOW HEAD OR SILL DIMENSIONS ARE TO ROUGH OPENING ABOVE FINISHED FLOOR ELEVATION.

# DOOR PER SCHEDULE

# WINDOW OR STOREFRONT PER SCHEDULE

**ROBERTSON**  
studio ADU

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Los Angeles, CA 90034

**DIGBAR**  
INTERIORS & ARCHITECTURE

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LOS ANGELES, CALIFORNIA 90066  
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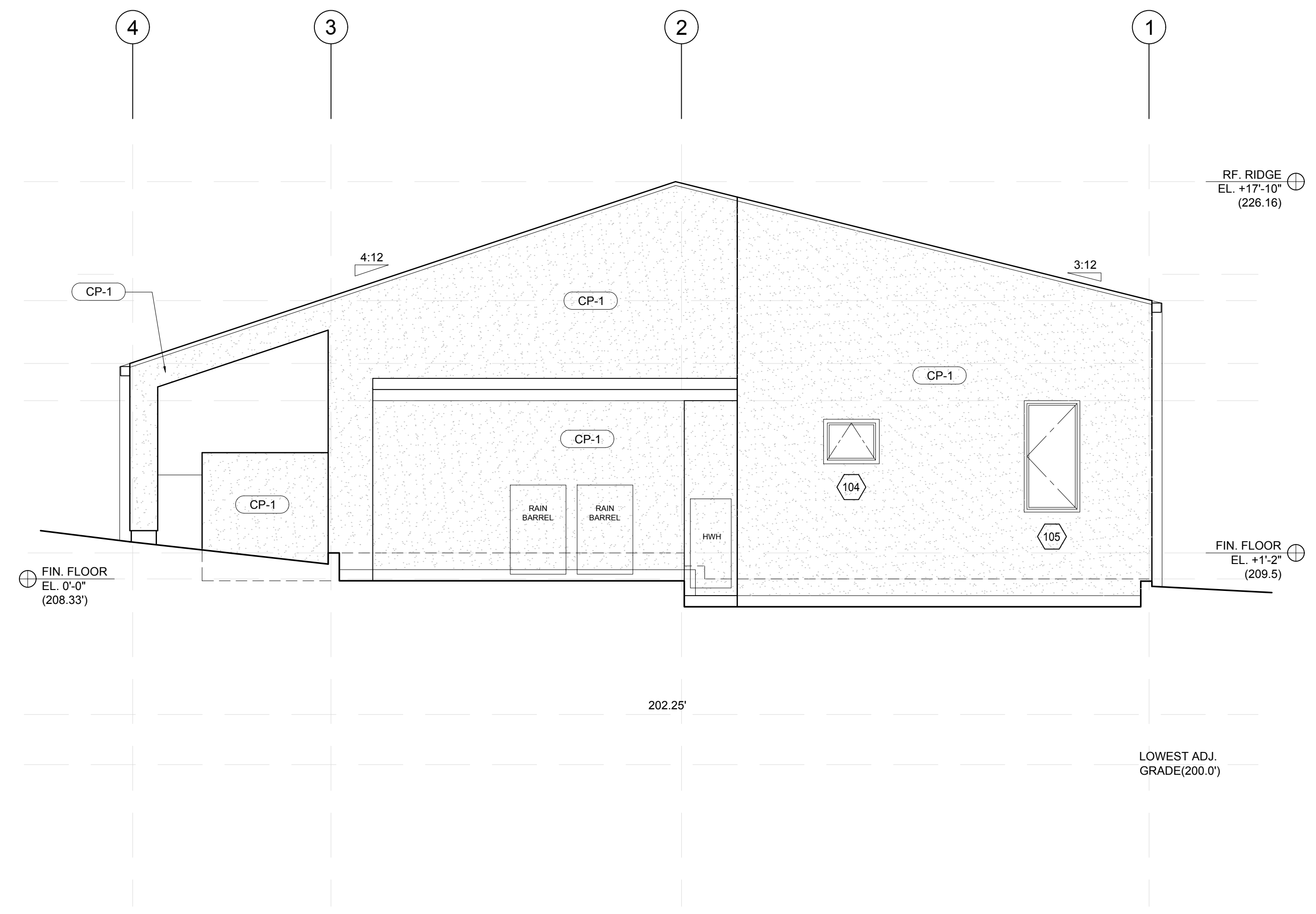
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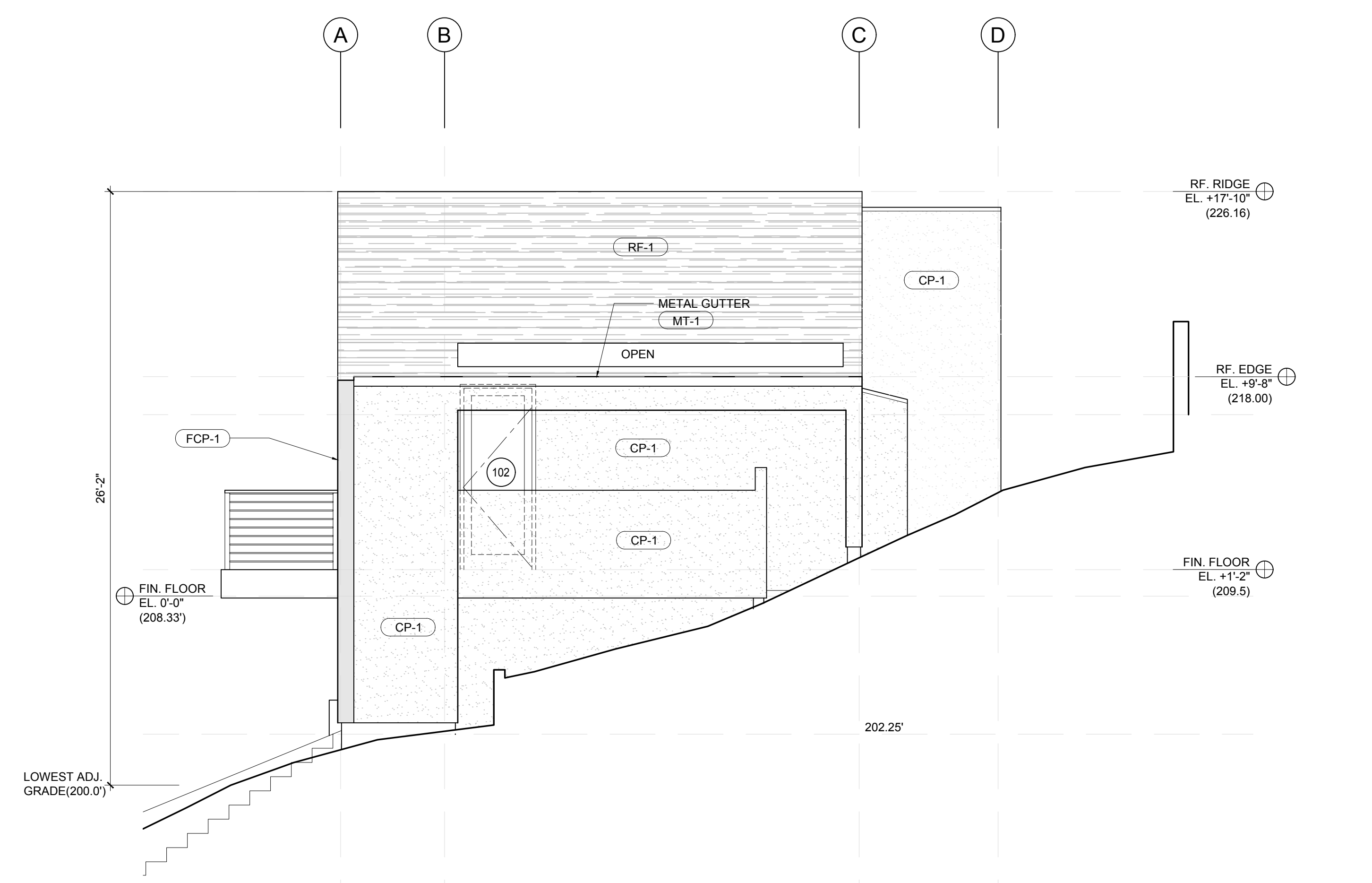
**BUILDING ELEVATIONS**

A3.01





**WEST (REAR) ELEVATION**      SCALE: 1/4" = 1'-0"      **3**



**NORTH (SIDE) ELEVATION**      SCALE: 1/4" = 1'-0"      **4**

**KEY NOTES**

- 1
- 2
- 3
- 4
- 5

**EXTERIOR MATERIAL SCHEDULE**

CP-1	SMOOTH CEMENT PLASTER: STEEL TROWEL FINISH. INTEGRAL COLOR FINISH COAT
FCP-1	FIBER CEMENT BOARD PANEL RAIN SCREEN: CEMBRIT SOLID BY AFCC. COLOR:
WD-1	T&G WOOD SIDING: 1X6 BOARDS, CLEAR WESTERN RED CEDAR, STAINED FINISH
MT-1	PAINTED METAL: GALVANIZED METAL WITH PAINT COLOR TO BE SELECTED BY ARCHITECT
RF-1	ROOFING MEMBRANE
WD-2	PAINTED WOOD

**LEGEND / NOTES**

NOTE: WINDOW HEAD OR SILL DIMENSIONS ARE TO ROUGH OPENING ABOVE FINISHED FLOOR ELEVATION.

- # DOOR PER SCHEDULE
- # WINDOW OR STOREFRONT PER SCHEDULE

**ROBERTSON**  
studio ADU

2129 S. Canfield Ave.  
Los Angeles, CA 90034

**DIGBAR**  
INTERIORS & ARCHITECTURE

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LOS ANGELES, CALIFORNIA 90066  
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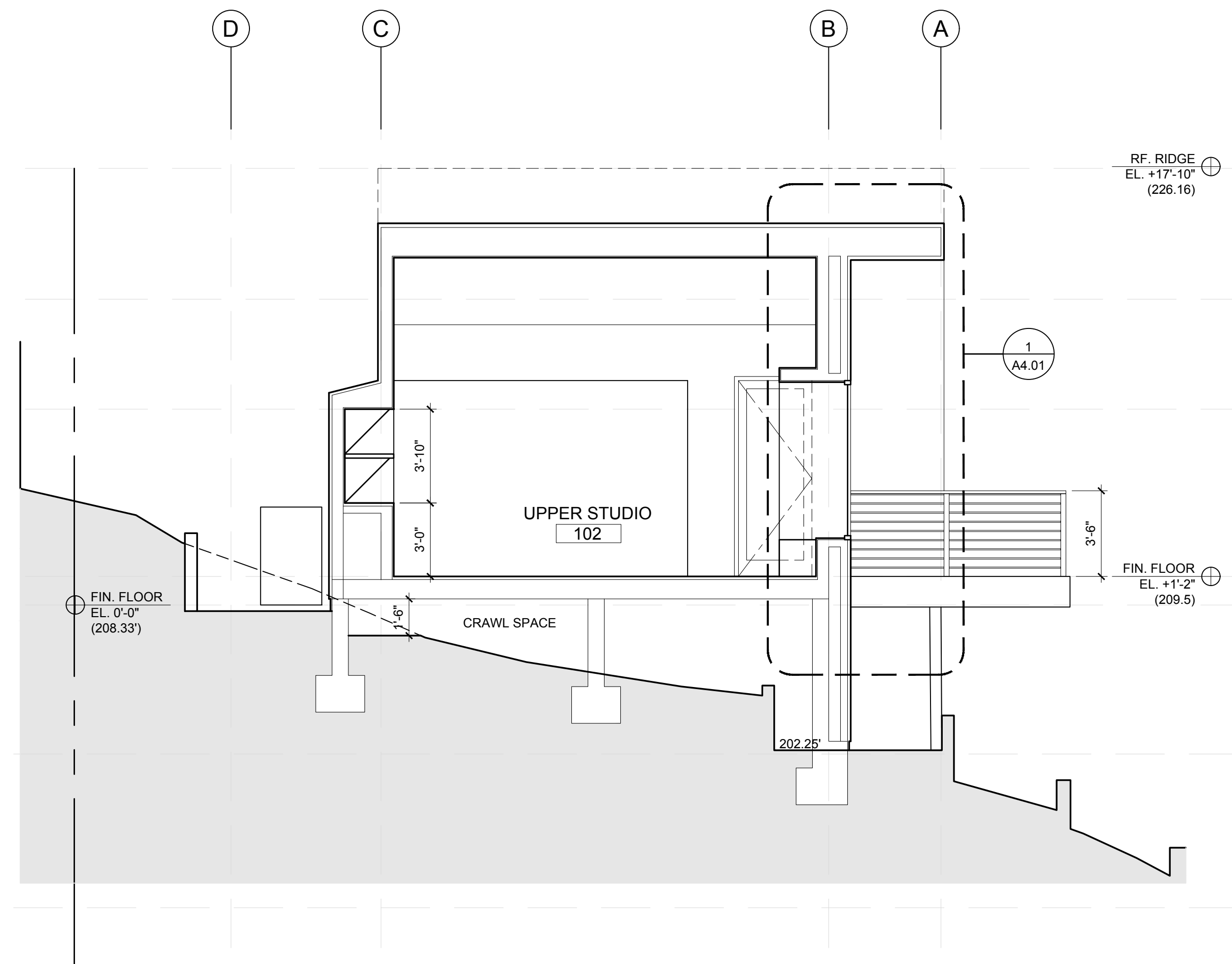
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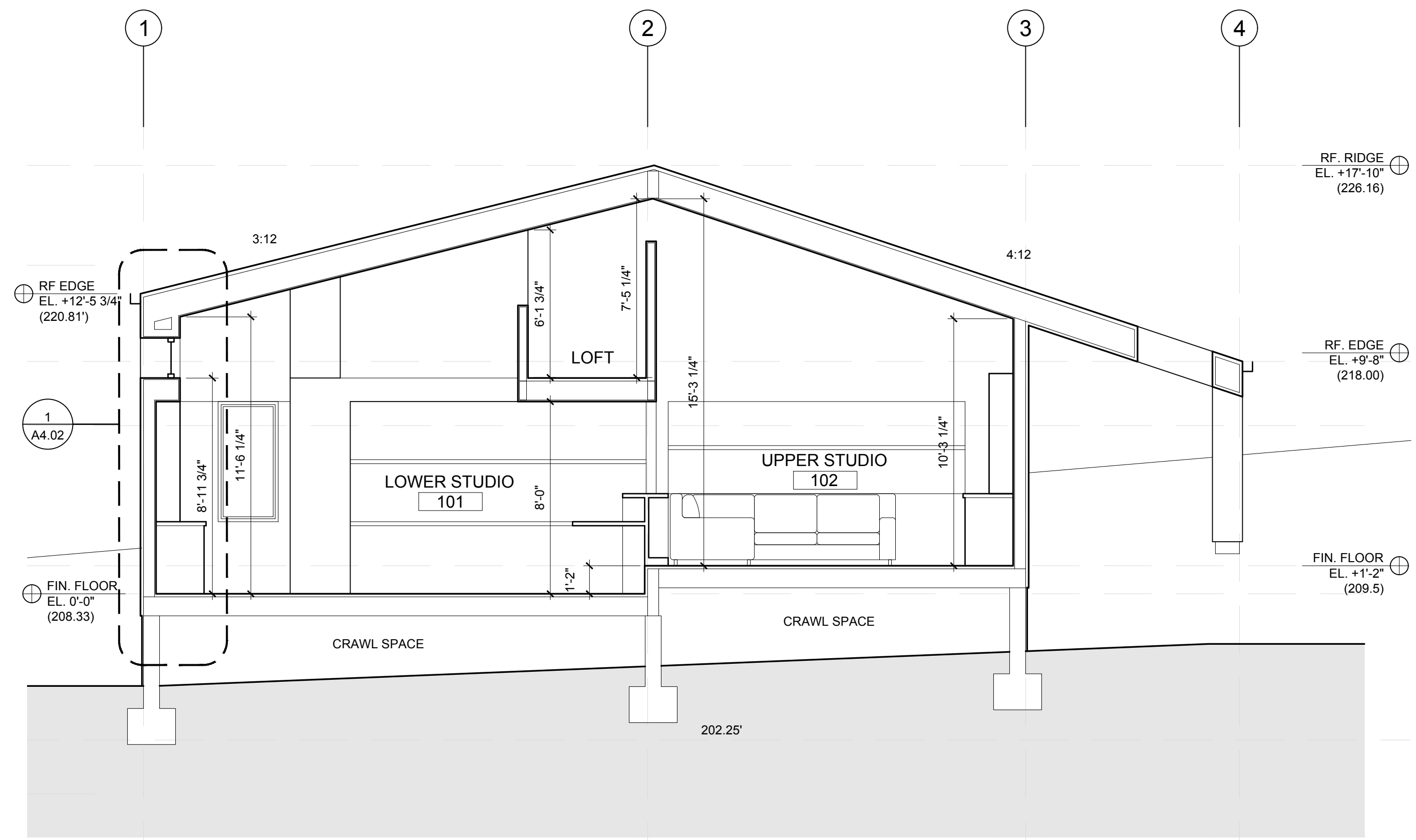
**BUILDING ELEVATIONS**

A3.02

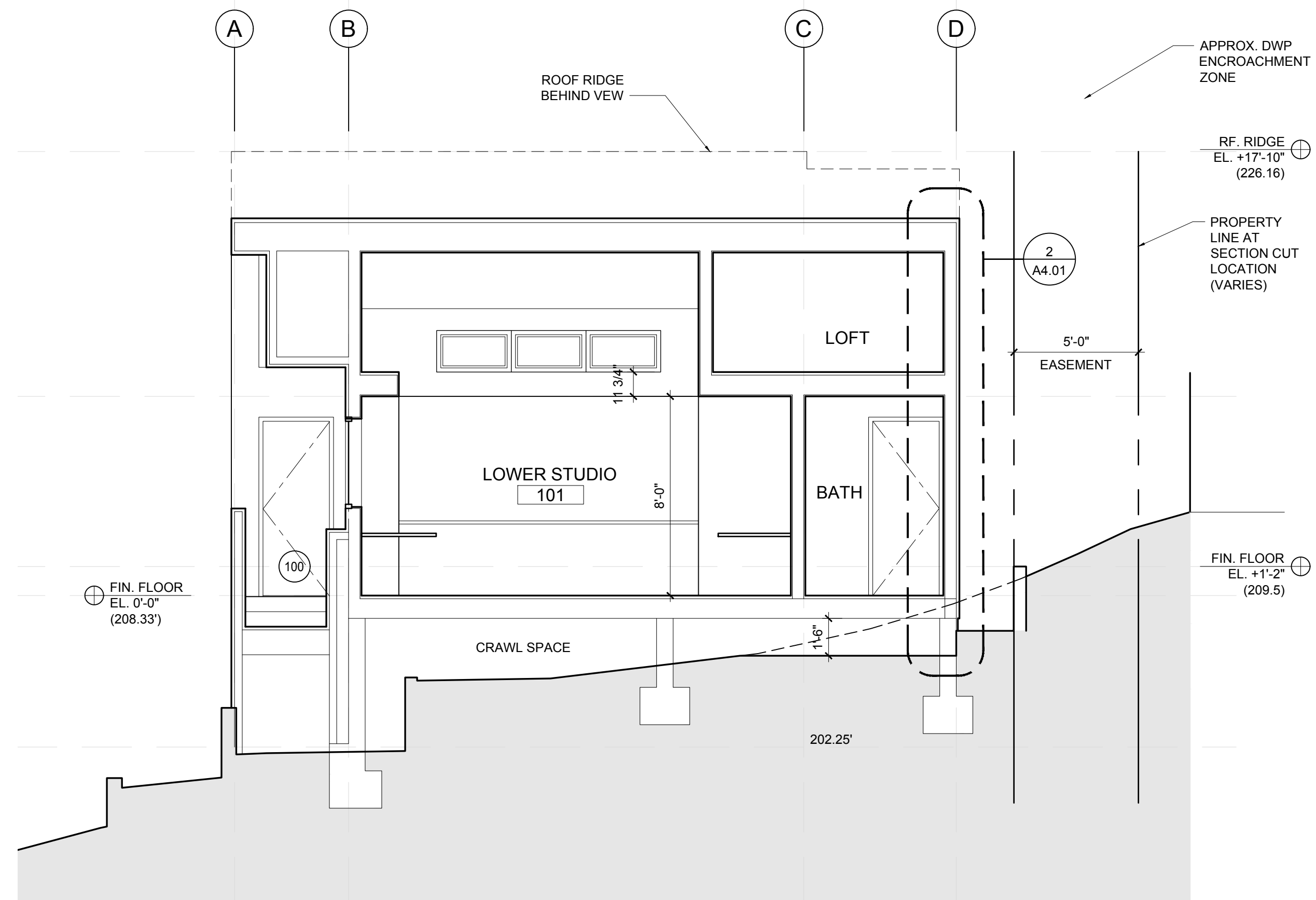




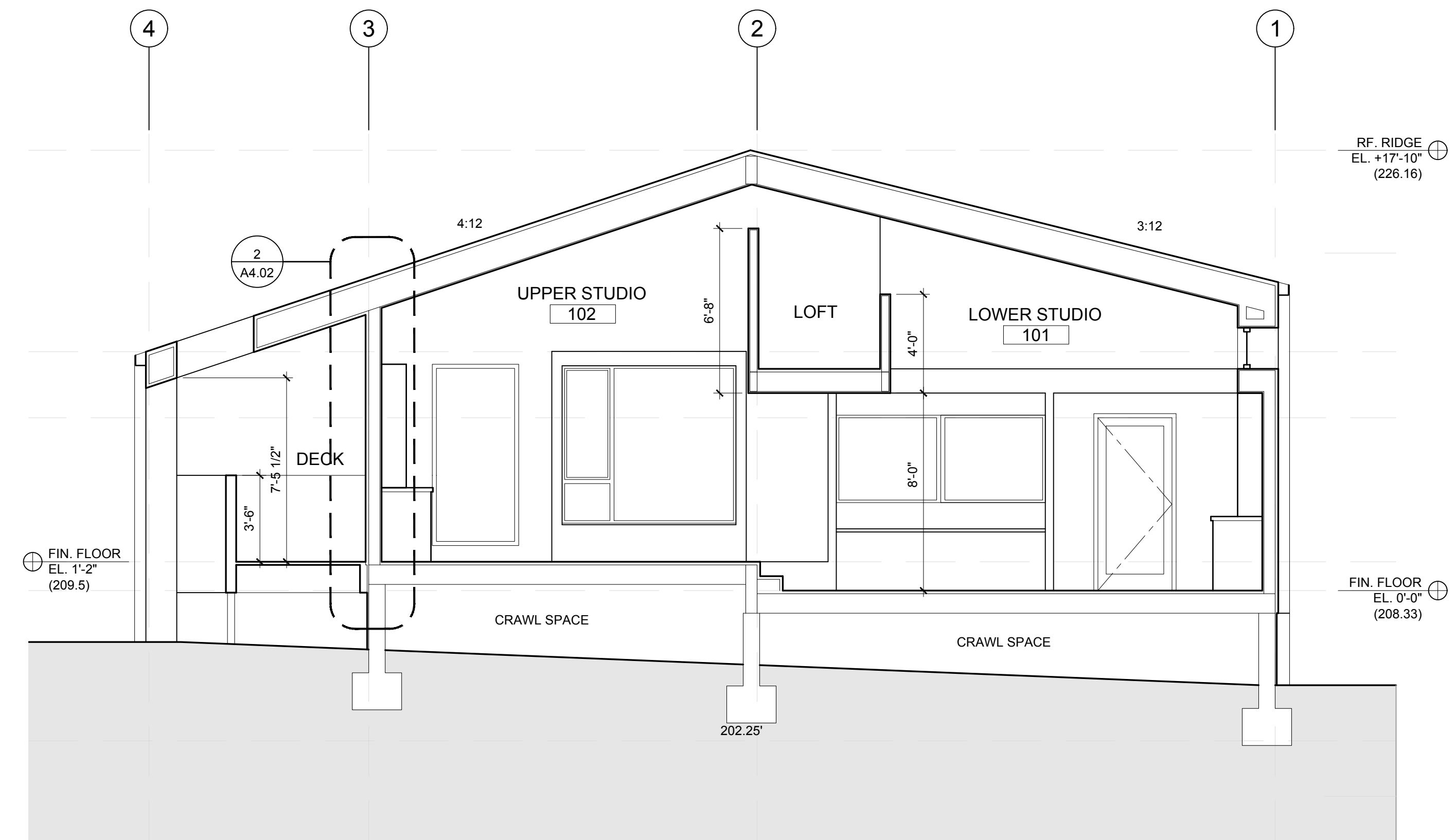
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**BUILDING SECTION** SCALE: 1/4" = 1'-0" **1**



**BUILDING SECTION** SCALE: 1/4" = 1'-0" **4**



**BUILDING SECTION** SCALE: 1/4" = 1'-0" **3**

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**BUILDING SECTIONS**

**A3.11**

IN PROGRESS

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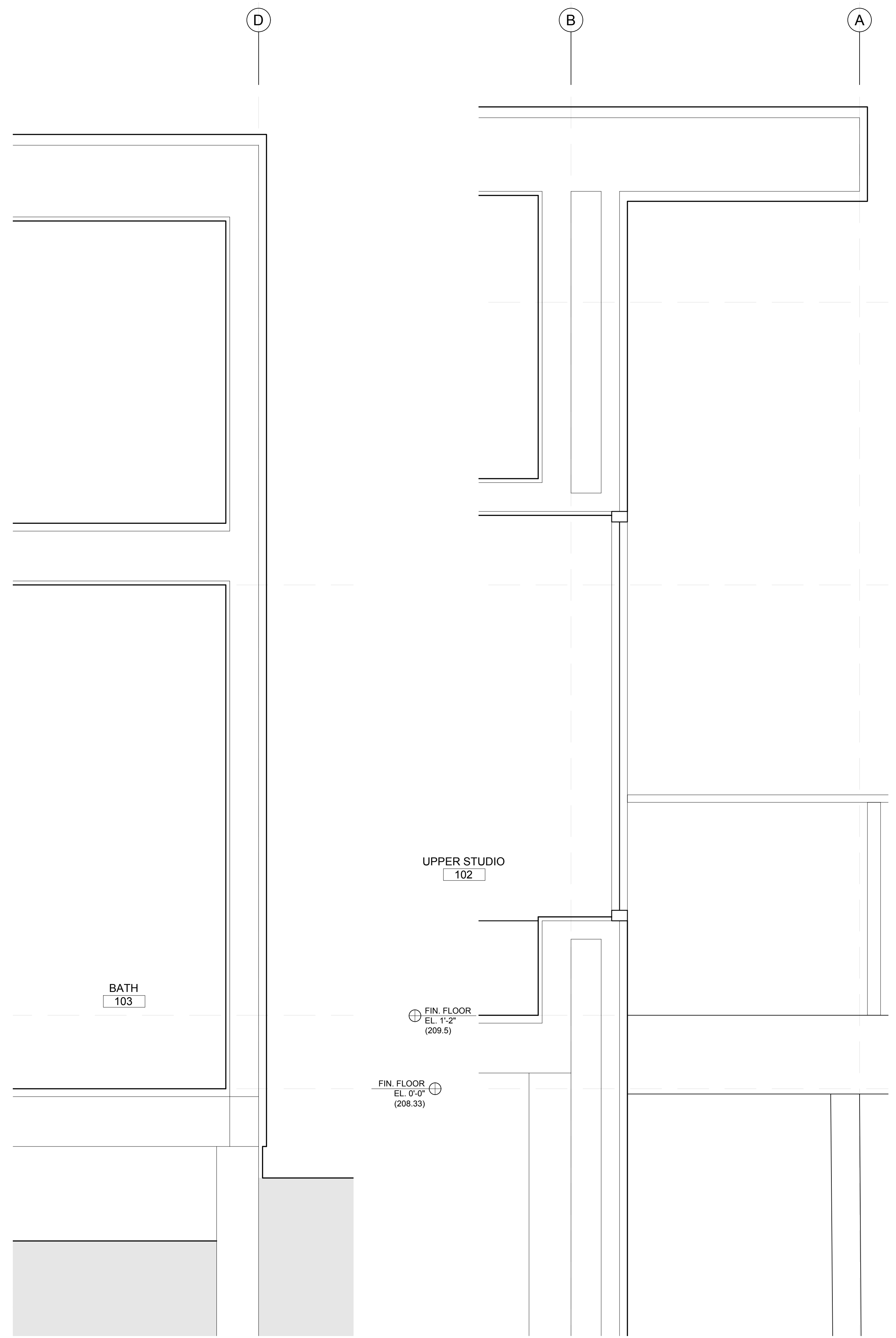
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WALL  
SECTIONS

A4.01

KEY NOTES	
1	CONCRETE FOUNDATION
2	2X SILL PLATE
3	FLOOR JOIST FRAMING PER STRUCTURAL
4	FLOOR SHEATHING PER STRUCTURAL
5	2X6 WOOD WALL FRAMING
6	5/8" TYPE 'X' GYPSUM BOARD
7	CEILING JOISTS PER STRUCTURAL
8	2X WOOD ROOF RAFTERS PER STRUCTURAL
9	R-21 BATT WALL INSULATION
10	R-3 BATT ROOF INSULATION
11	R-38 POLYISO BLOWN-ON ROOF INSULATION
12	R-19 UNDER FLOOR BATT INSULATION AT ALL CRAWL SPACES
13	ROOF SHEATHING PER STRUCTURAL
14	ASPHALT SHINGLE ROOFING
15	BUILT-UP ROOFING
16	RADIANT BARRIER
17	MOISTURE BARRIER
18	EXTERIOR WALL SHEATHING
19	SMOOTH CEMENT PLASTER ON METAL LATH
20	FIBER CEMENT PANEL
21	VENTILATION CAVITY, WOOD FURRING
22	PAINTED 2X8 WOOD TRIM
23	GALV. PAINTED METAL TRIM W/D RIP EDGE
24	FINISH FLOOR AS SCHEDULED
25	CONCRETE SLAB ON GRADE
26	EXTERIOR DOOR OR WINDOW PER SCHEDULE
27	HEADER AT DOOR OPENING
28	GALV. METAL WEEP SCREED
29	CEMENTITIOUS WATERPROOFING
30	FORMED GALV PAINTED METAL COPING
31	WOOD BEAM PER STRUCTURAL
32	EXPANSION JOINT W/FILLER, BACKER ROD & SEALANT
33	WOOD FURRING AT UNDERSIDE OF ROOF FRAMING
34	CEMENT PLASTER J MOLDING
35	CEMENT PLASTER T-REVEAL MOLDING
36	
37	
38	
39	
40	



WALL SECTION SCALE: 1" = 1'-0" 1

WALL SECTION SCALE: 1" = 1'-0" 2

WALL SECTION SCALE: 1" = 1'-0" 3



IN PROGRESS

DESIGN DEVELOPMENT  
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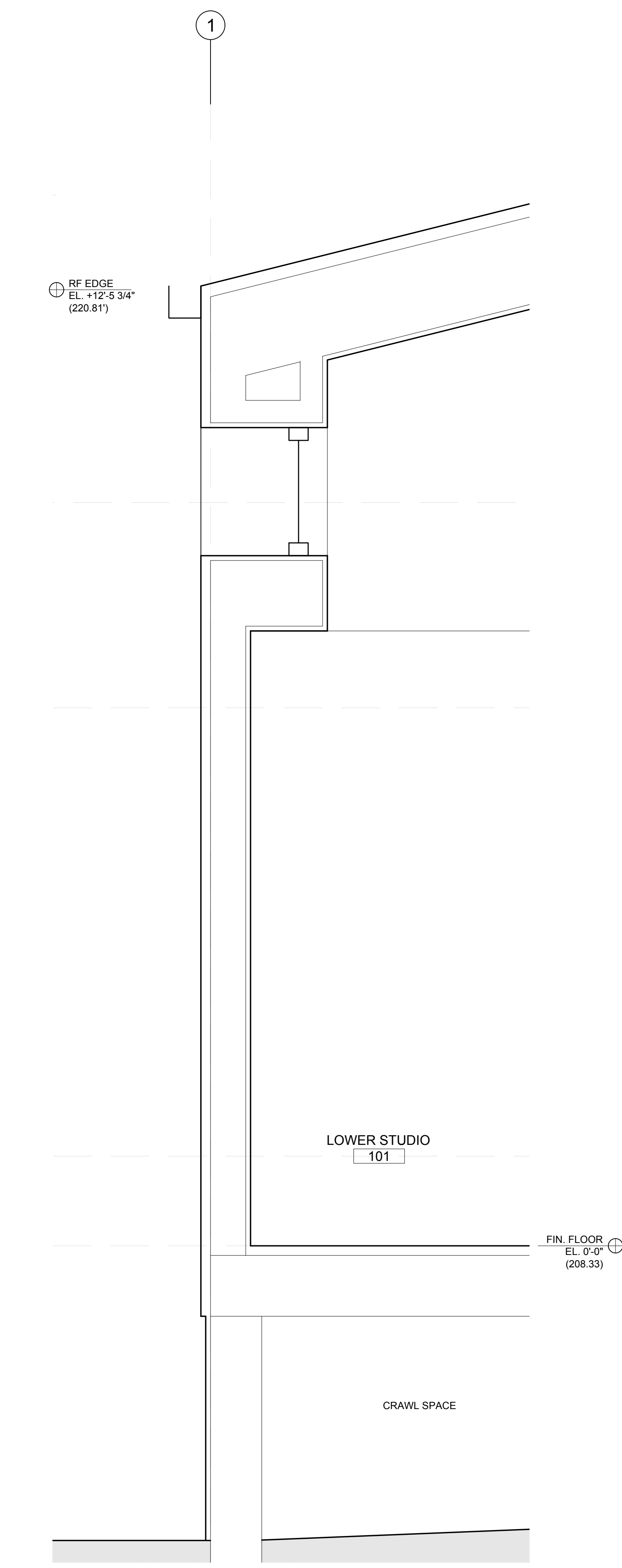
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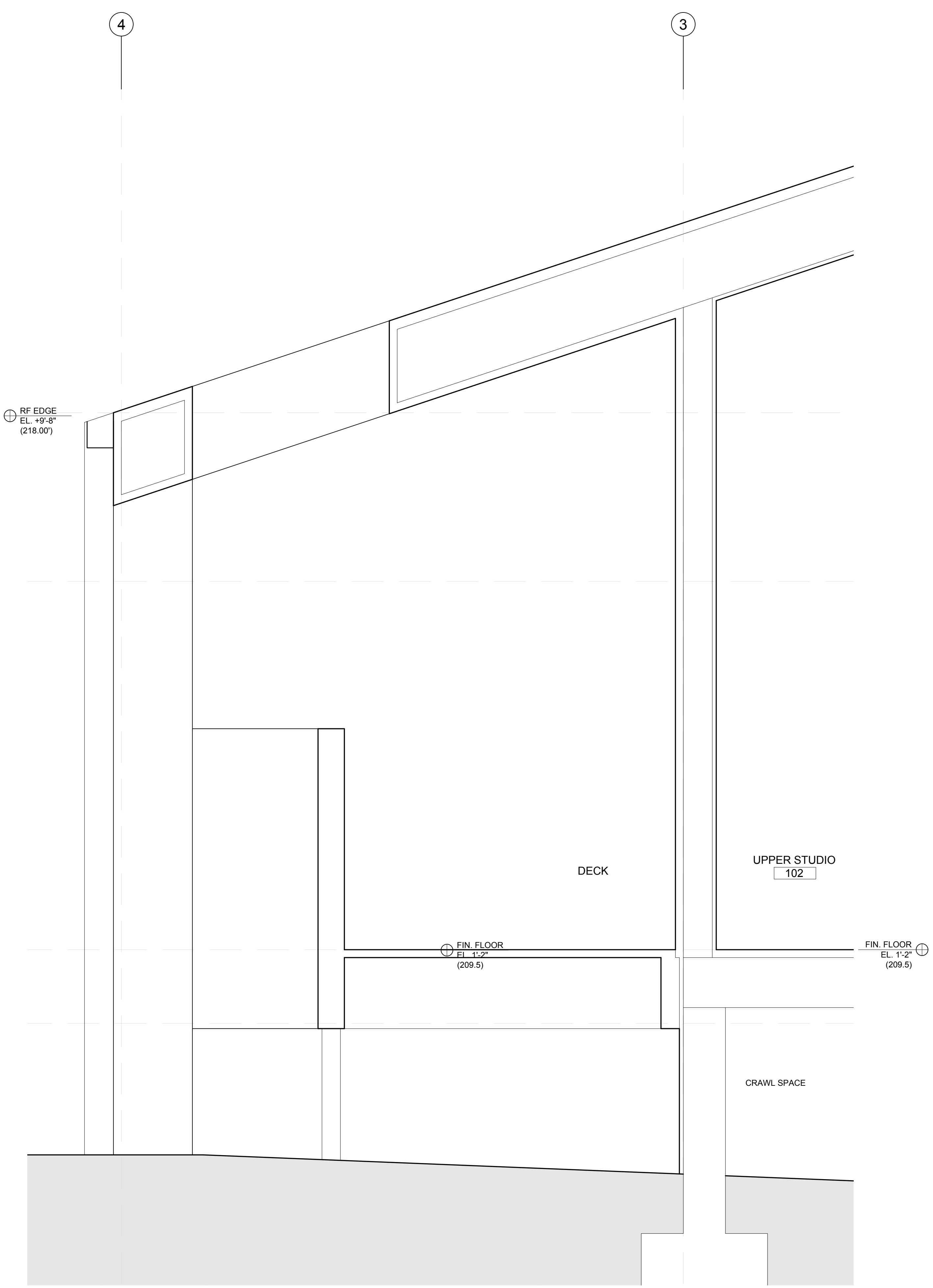
WALL  
SECTIONS

A4.02

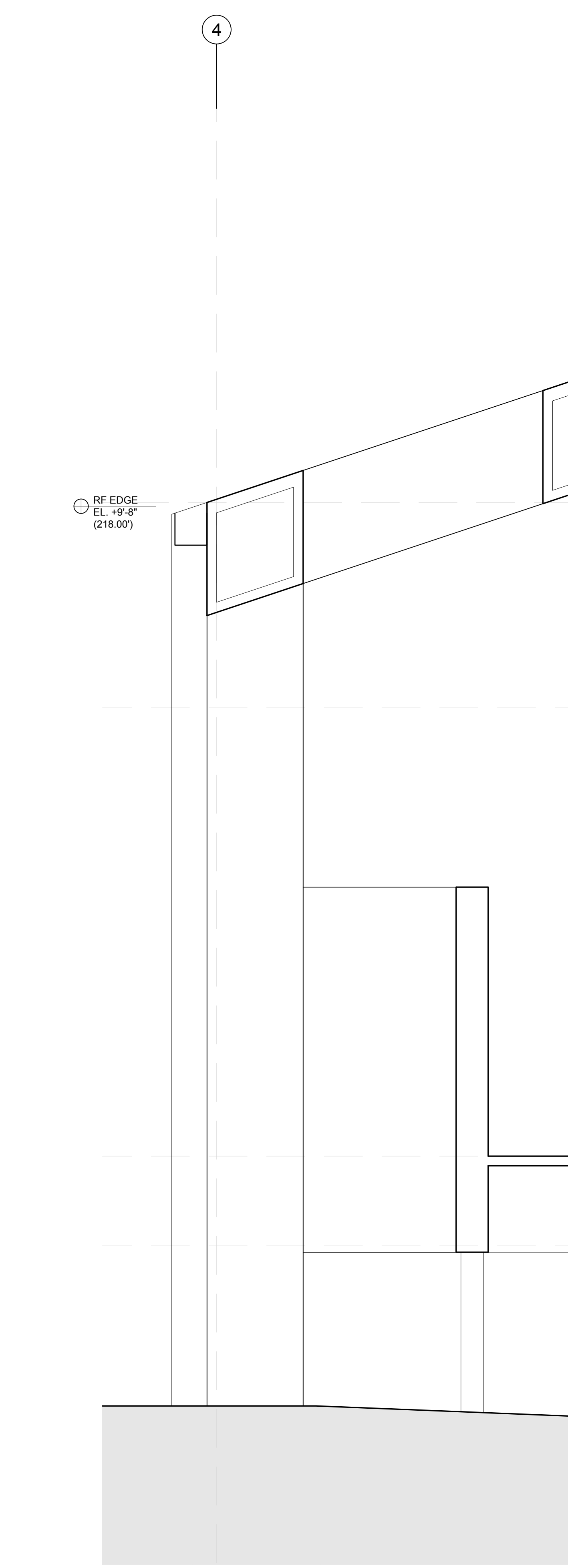
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4	FLOOR SHEATHING PER STRUCTURAL
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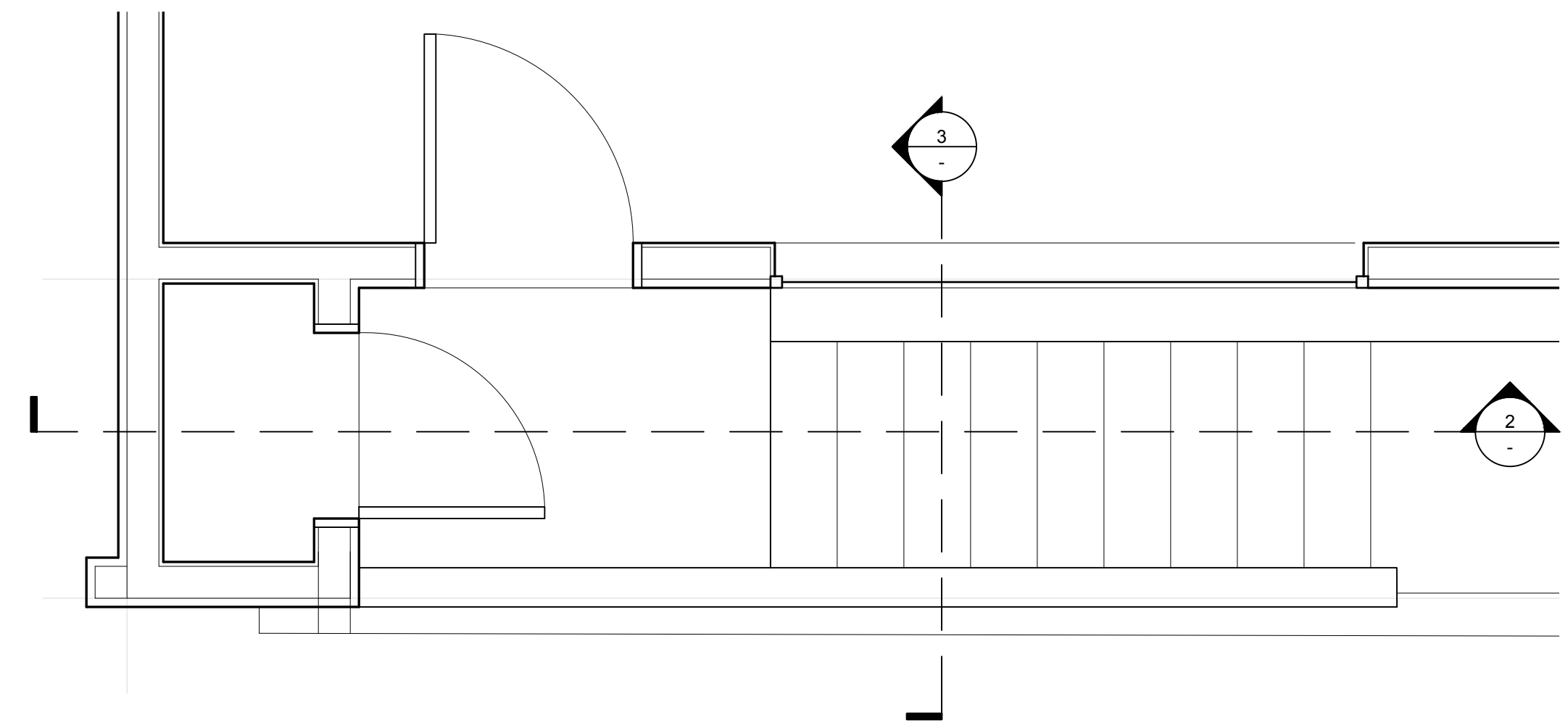
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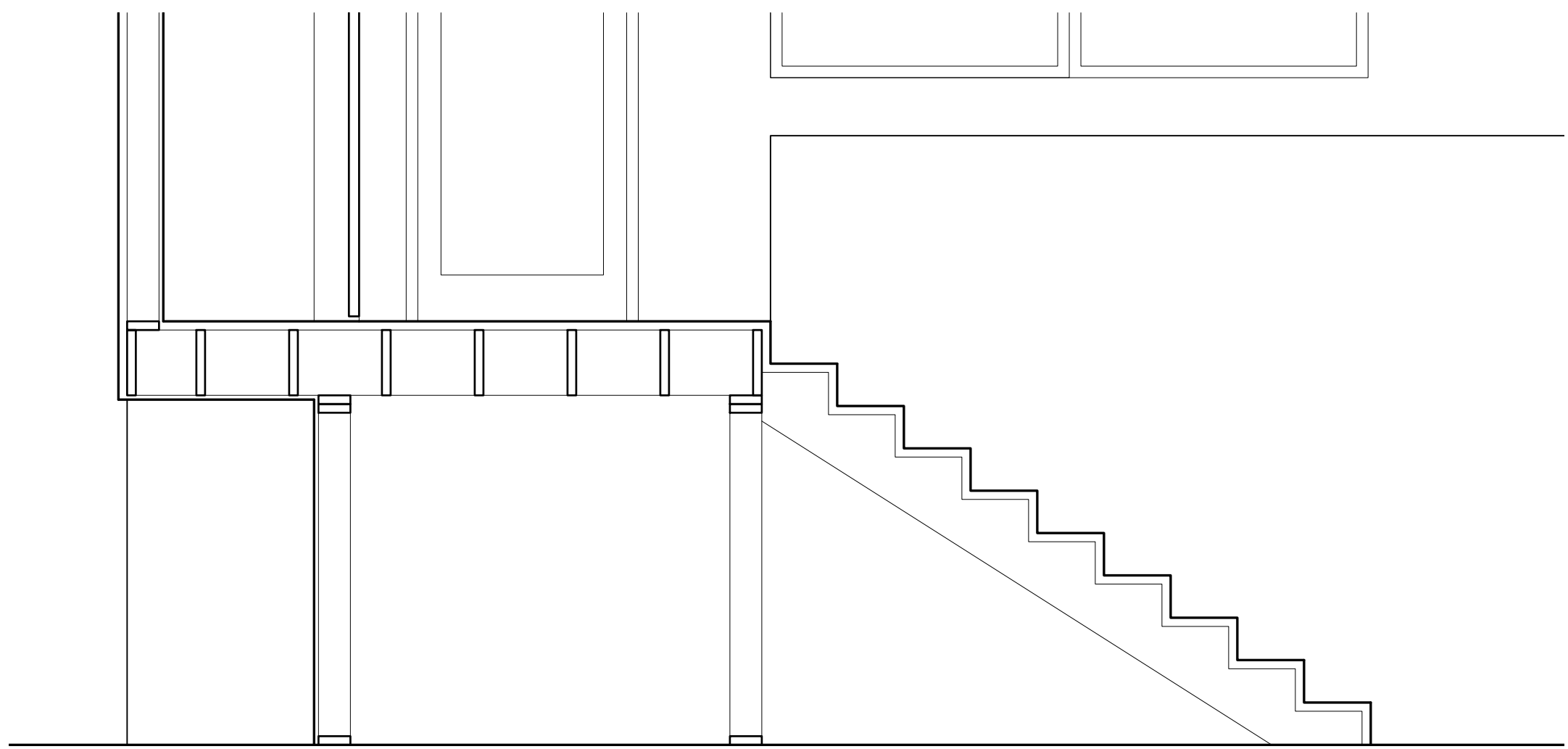
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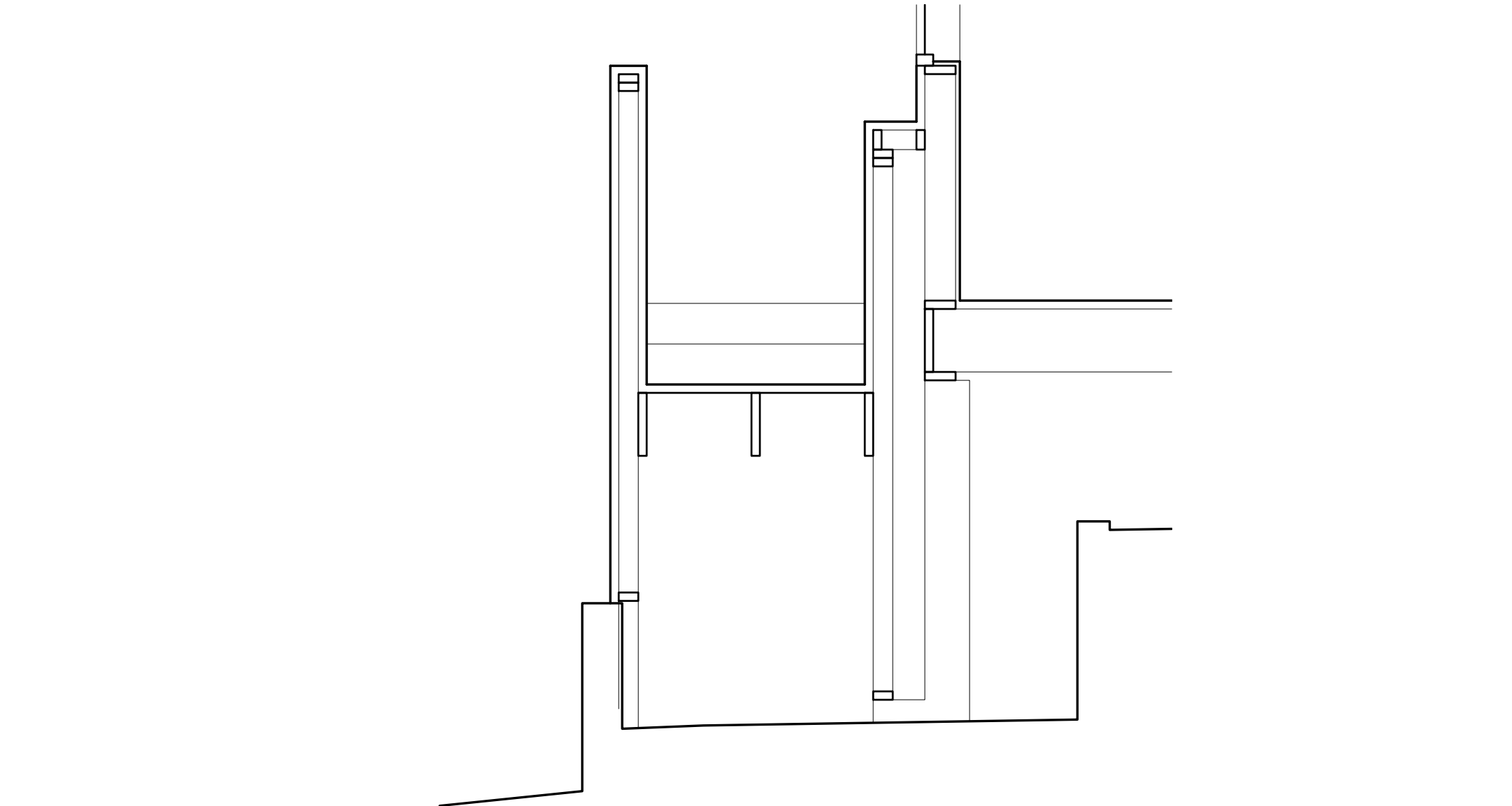
WALL SECTION SCALE: 1" = 1'-0" 3



**ENLARGED STAIR PLAN** SCALE: 1/2" = 1'-0" **1**



**STAIR SECTION** SCALE: 1/2" = 1'-0" **2**



**STAIR SECTION** SCALE: 1/2" = 1'-0" **3**

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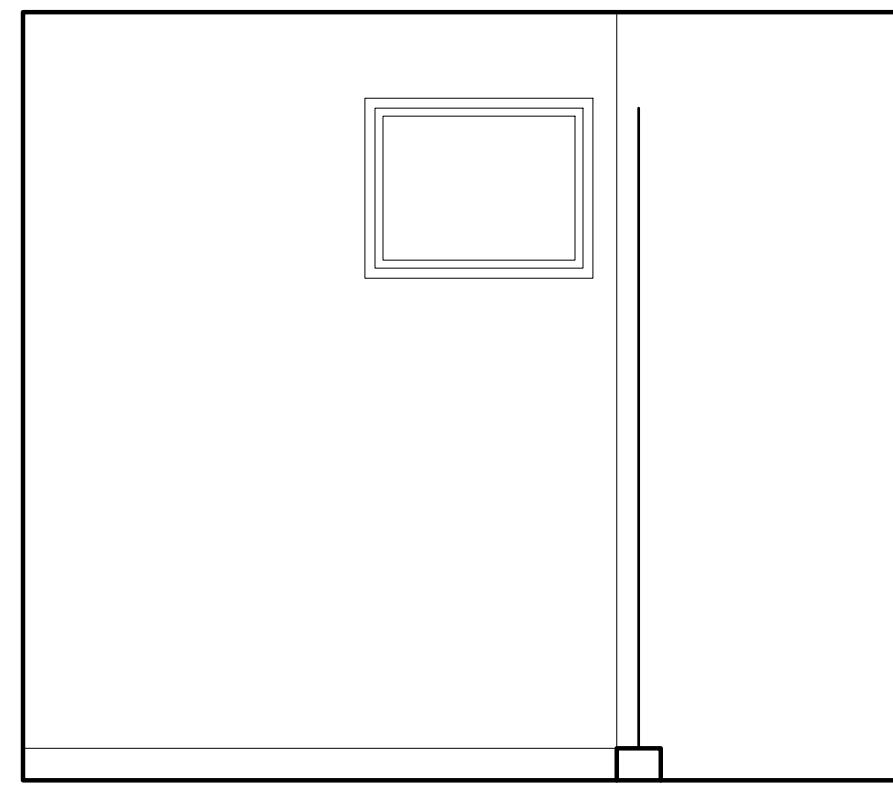
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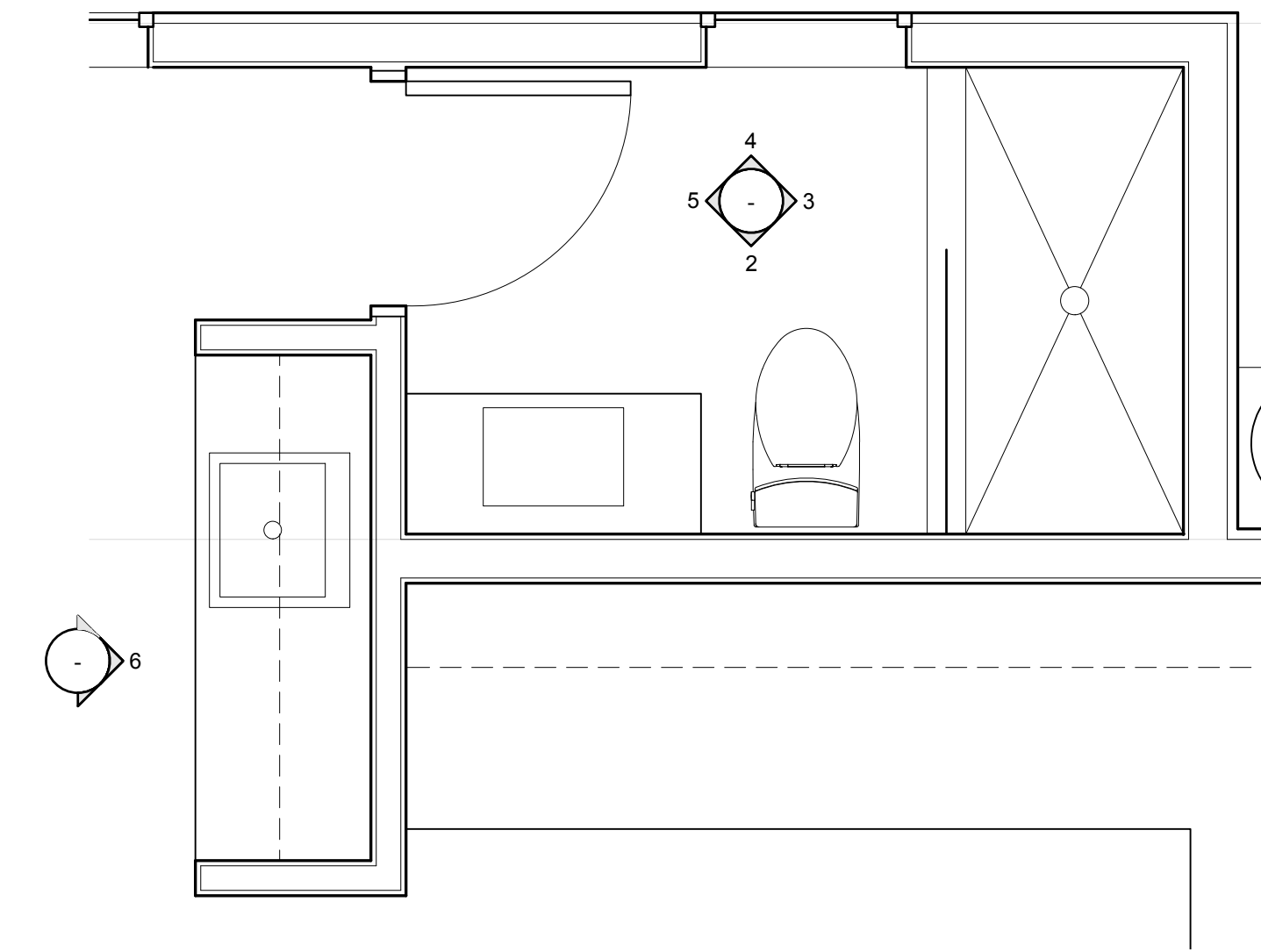
**ENLARGED  
STAIRS**

**A5.01**

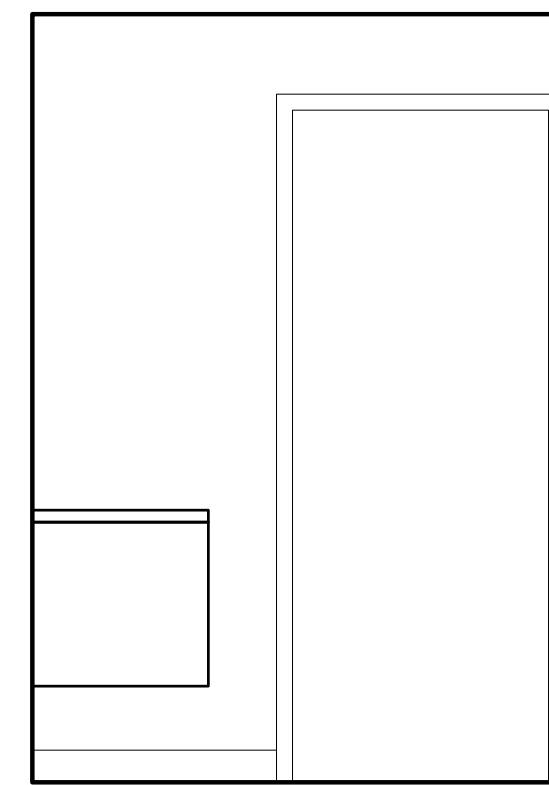




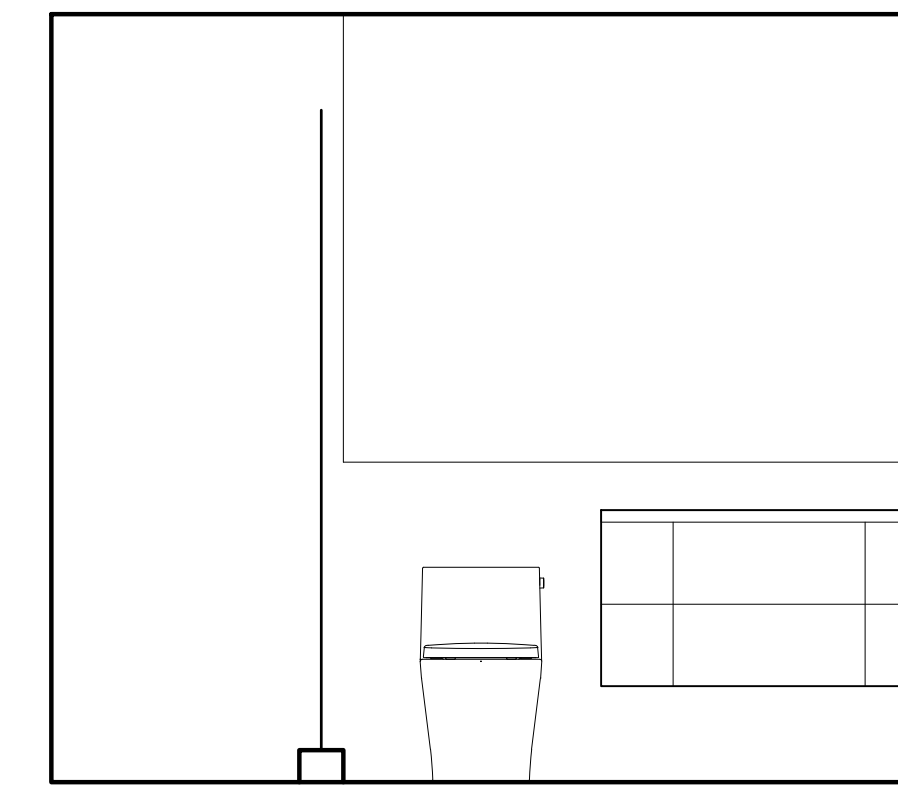
ELEVATION SCALE: 1/2" = 1'-0" 4



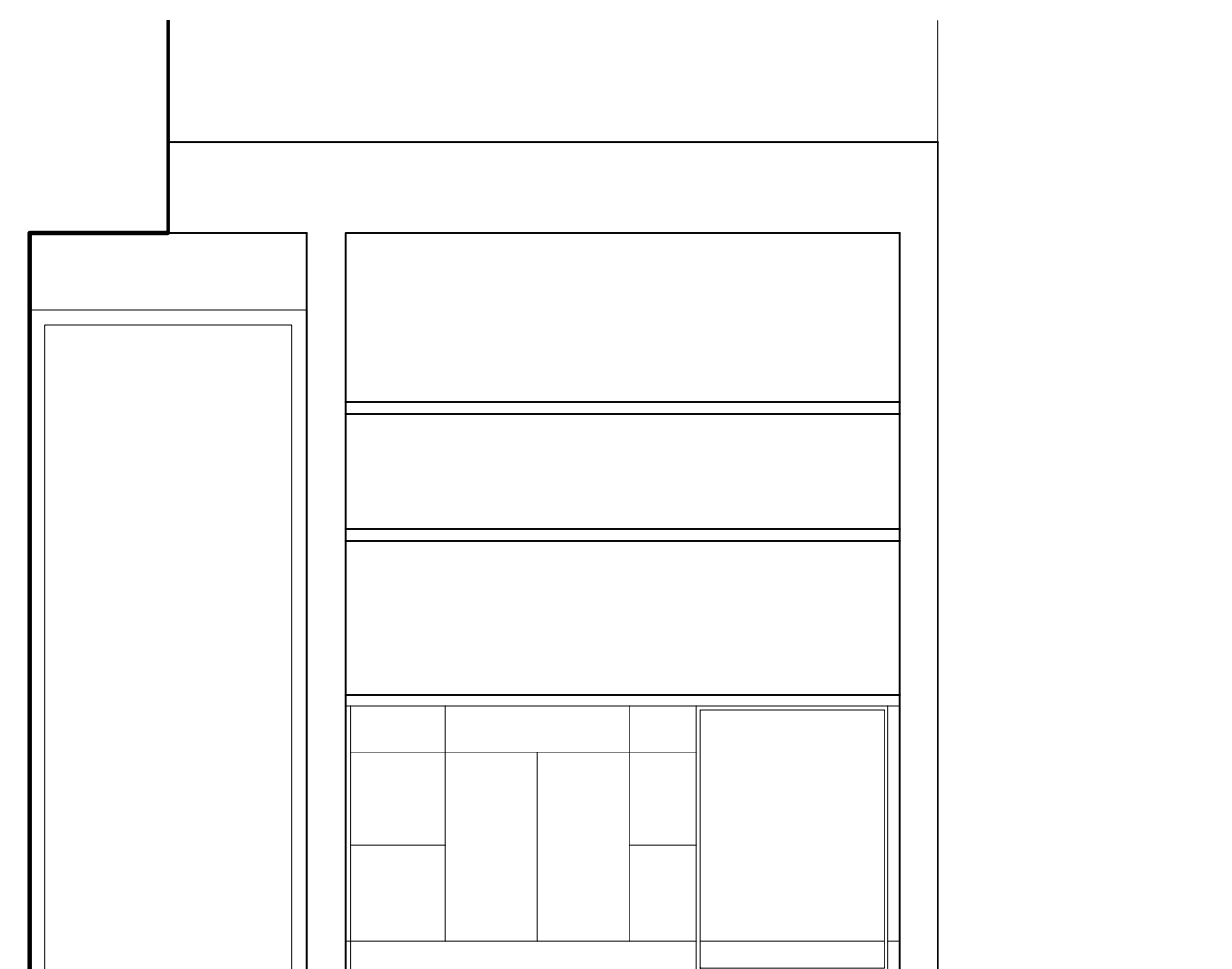
ENLARGED FLOOR PLAN SCALE: 1/2" = 1'-0" 1



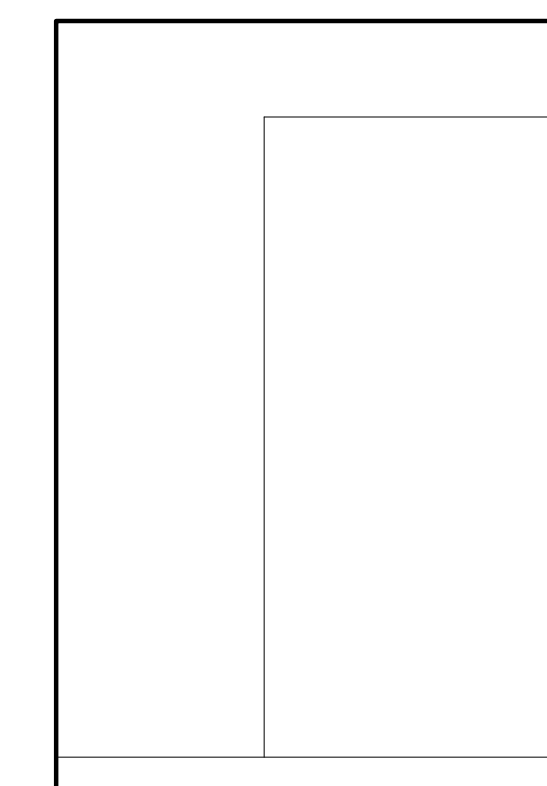
ELEVATION SCALE: 1/2" = 1'-0" 5



ELEVATION SCALE: 1/2" = 1'-0" 2



ELEVATION SCALE: 1/2" = 1'-0" 6



ELEVATION SCALE: 1/2" = 1'-0" 3

DESIGN DEVELOPMENT  
5/26/2023

ISSUE	DATE

print date: MAY 26, 2023  
scale:

**ENLARGED  
BATH &  
KITCHEN  
PLAN**

**A5.02**

# ROOM FINISH SCHEDULE

# DOOR SCHEDULE

DOOR #	DOOR SIZE (W x H)	THK	TYPE	MATERIAL	FINISH	GLASS	ENERGY		FRAME	FINISH	HARDWARE	REMARKS
							U-FACTOR	SHGC				
100	2'-8" x 7'-0"		SWING	SOLID CORE WOOD	PAINT				WOOD	PAINT		EXTERIOR GRADE
101	3'-0" x 7'-0"		ENTRY SWING	ALUM / GLASS	BLACK ANOD.	CLEAR INSUL.	0.3	0.23	ALUM	BLACK		GLASS AREA = 14 SF
102	3'-0" x 8'-0"		ENTRY SWING	ALUM / GLASS	BLACK ANOD.	CLEAR INSUL.	0.3	0.23	ALUM	BLACK		GLASS AREA = 16.3 SF
103	2'-8" x 6'-8"	1 3/4"	SWING	SOLID CORE WD.	PAINT				WOOD	PAINT		

**NOTES**

- GLASS IN DOORS TO BE DUAL GLAZED TEMPERED SAFETY GLASS.
- ENTRY DOORS TO BE -
- 
- EXTERIOR DOORS MUST COMPLY WITH ENERGY SPECIFICATIONS DETAILED IN THE TITLE 24 ENERGY REPORT IN THESE DRAWINGS
- ALL UNITS IN EXISTING OPENINGS TO BE FIELD MEASURED PRIOR TO ORDERING

**HARDWARE**

ITEM	TYPE	MANUF	MODEL	FINISH	REMARKS
1	THRESHOLD	ALUMINUM		CLEAR ANOD	1/2" HIGH MAX.
2	LEVER SET	PASSAGE	TBD	626 SATIN CHROME	
3	LEVER SET	RESTROOM PRIVACY LOCK	TBD	626 SATIN CHROME	
4	ENTRY LOCKSET	FULL MORTISE	TBD	626 SATIN CHROME	
5	KEYED ENTRY KNOB	THUMB TURN BUTTON INSIDE	TBD	626 SATIN CHROME	
6	KEYED DEADBOLT		TBD	626 SATIN CHROME	
7	KICKPLATE	10" HIGH		BRUSHED CHROME	
8	THRESHOLD/SILL	INTERIOR STONE		WHITE MARBLE	
9	HINGES	4x4 BUTT SQUARE EDGE		BRUSHED CHROME	3 MIN.
10	RECESSED FLUSH PULLS	RECESSED FLUSH PULLS		626 SATIN CHROME	EDGE PULL FOR POCKETS
11	SLIDING TRACK	BARN DOOR TOP HUNG SURFACE SLIDING TRACK		626 SATIN CHROME	
12	BI-PASS TRACK	TOP HUNG SLIDING TRACK		626 SATIN CHROME	CONCEAL BEHIND CASING
13	DOOR STOP	BASEBOARD MOUNTED		626 SATIN CHROME	
14	DOOR STOP	FLOOR MOUNTED DOME TYPE		626 SATIN CHROME	
15	1" UNDERCUT				FOR HVAC

# WINDOW / DOOR UNITS

# WINDOW SCHEDULE

#	ROUGH OPENING SIZE (W x H)	ROOM	TYPE	MATERIAL	FINISH/COLOR		GLASS	ENERGY		GLASS UNIT AREA	MANUF. / REMARKS
					EXT	INT		U-FACTOR	SHGC		
101	8'-7" x 3'-8"	LOWER STUDIO	SLIDER	THERM ALUM	BLACK	BLACK	CLEAR INSUL.	0.3	0.23	26.4 SF	EXIST. OPENING, TRAPEZOID
102	7'-2" x 6'-6"	UPPER STUDIO	FIXED / CASEMENT	THERM ALUM	BLACK	BLACK	CLEAR INSUL.	0.3	0.23	39.8 SF	MULL TOGETHER SINGLE UNIT
103	3'-6" x 7'-4"	UPPER STUDIO	FIXED	THERM ALUM	BLACK	BLACK	CLEAR INSUL.	0.3	0.23	22.2 SF	
104	2'-6" x 2'-0"	BATH	AWNING	THERM ALUM	BLACK	BLACK	CLEAR INSUL.	0.3	0.23	3.0 SF	WHITE MILK GLASS
105	2'-6" x 5'-0"	LOWER STUDIO	CASEMENT	THERM ALUM	BLACK	BLACK	CLEAR INSUL.	0.3	0.23	9.5 SF	
106	3'-0" x 1'-8"	LOWER STUDIO	AWNING	THERM ALUM	BLACK	BLACK	CLEAR INSUL.	0.3	0.23	2.9 SF	RECESSED IN DEEP WALL
107	9'-0" x 1'-8"	LOWER STUDIO	3 AWNING	THERM ALUM	BLACK	BLACK	CLEAR INSUL.	0.3	0.23	8.76 SF	RECESSED IN DEEP WALL, 3-MULLED UNIT

**NOTES**

- GLASS TO BE TEMPERED SAFETY GLASS WHERE REQUIRED BY CODE.
- ALL DIMENSIONS AND WINDOW SIZES TO BE VERIFIED IN FIELD.
- THERM. ALUM. WINDOWS TO BE : FLEETWOOD SERIES 3800-T WINDOW-WALL FIXED SYSTEM OR MILGARD THERMALLY IMPROVED A250 SYSTEM
- ALL WINDOWS TO BE DUAL GLAZED WITH ENERGY RATINGS INDICATED ABOVE
- ALL WINDOWS AND SKYLIGHTS MUST COMPLY WITH SPECIFICATIONS DETAILED IN THE TITLE 24 ENERGY REPORT IN THESE DRAWINGS
- THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED

**ROBERTSON  
studio ADU**

2129 S. Canfield Ave.  
Los Angeles, CA 90034

**DIGBAR**  
INTERIORS & ARCHITECTURE

12030 W. WASHINGTON BLVD. SUITE 300  
LOS ANGELES, CALIFORNIA 90066  
OFFICE 310.313.3300 FAX 310.313.3301  
info@dig-bar.com www.dig-bar.com

DESIGN DEVELOPMENT  
5/26/2023

ISSUE DATE

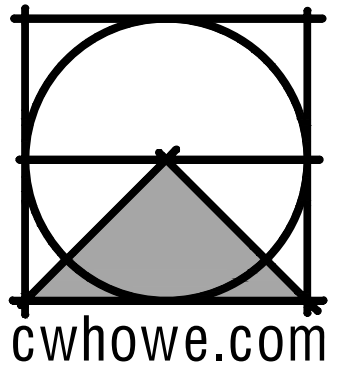

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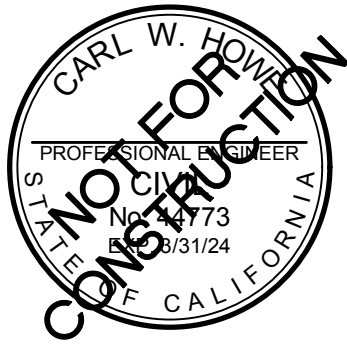
SCHEDULES

**A6.01**





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PROJECT ADDRESS:  
**CANFIELD ADU**  
 2129 S. CANFIELD AVE.  
 LOS ANGELES, CA 90034

SUBMITTAL	DATE
REVISION	DATE

SHEET NAME:  
**FOUNDATION PLAN**

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF C.W. HOWE PARTNERS, INC. NO PART THEREOF SHALL BE REPRODUCED, COPIED, ADAPTED, OR DISTRIBUTED BY OTHERS, PUBLISHED, SOLD OR OTHERWISE USED WITHOUT THE PRIOR WRITTEN CONSENT OF AND APPROPRIATE COMPENSATION TO C.W. HOWE PARTNERS, INC. COPYRIGHT © 2018

NORTH ARROW:

PROJECT NORTH

GRAPHIC SCALE  
 0 1'-0" 2'-0" 4'-0"

1/4 INCH = 1'-0" (IN INCHES)

PROJ. ENG. / DRAWN: SHEET:  
 OT / DAJ

REVIEWED  **S2**

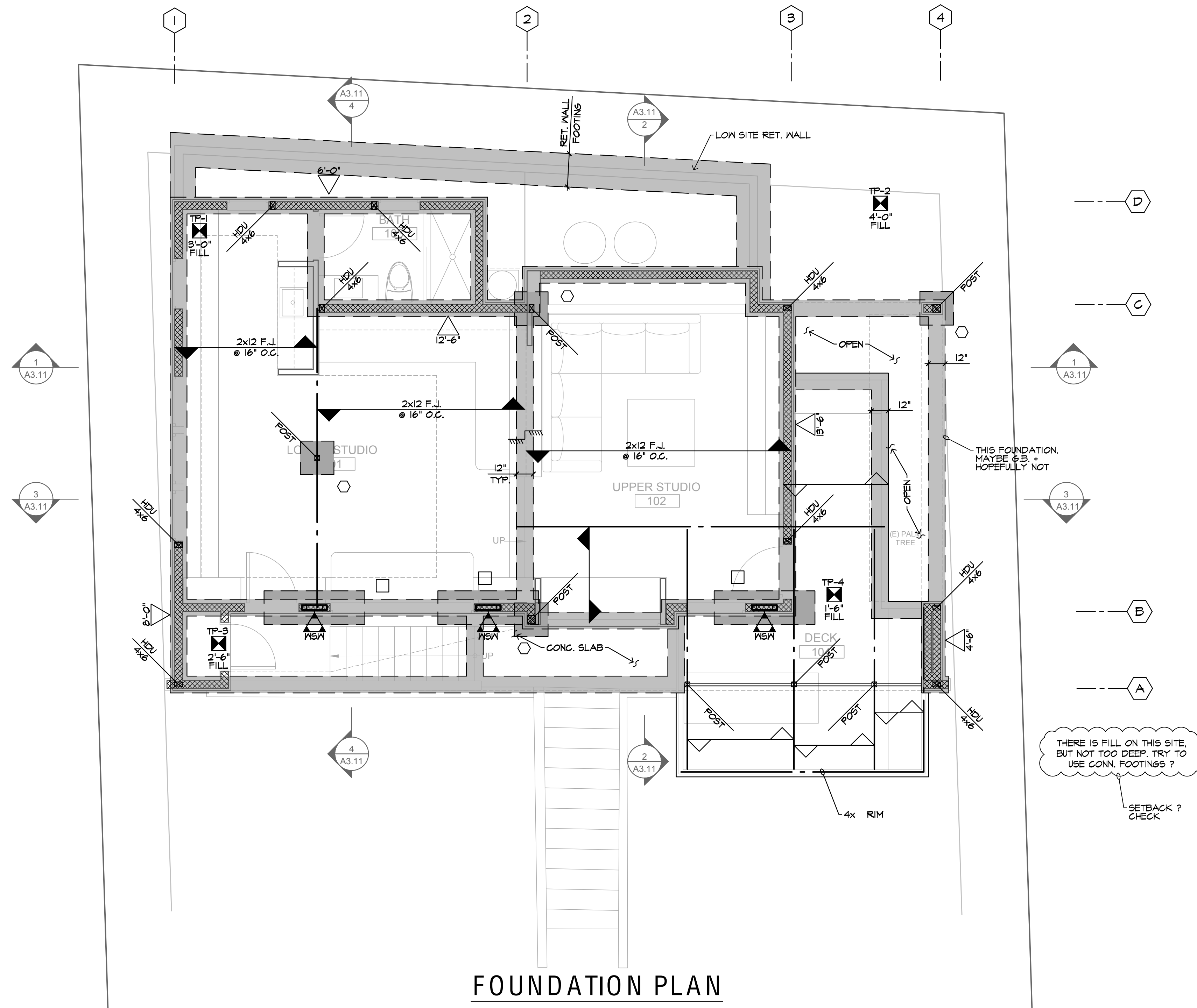
PROJECT No.:  
 S-23D03

SYMBOL	SIZE	BOTTOM REBAR	TOP REBAR
①			
②			

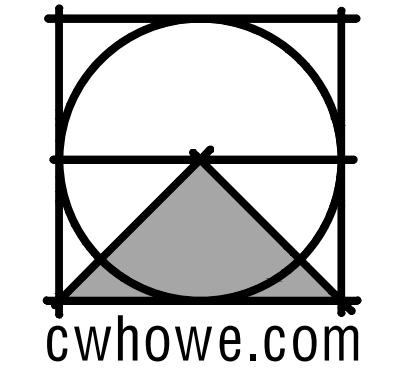
BEAM	WIDTH	DEPTH	TOP STEEL	BOTT. STEEL	FACE STEEL	TIES
1						
2						

NOTES:  
 F<sub>c</sub> = 3,000 PSI W/ CONTINUOUS SPECIAL INSPECTION  
 F<sub>y</sub> = 60,000 PSI

- FOUNDATION NOTES**
- PAD FOOTING INDICATOR - SEE PAD SCHEDULE FOR SIZE AND REINFORCEMENT.
  - REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, SLAB DEPRESSIONS, CURBS AND ELEVATIONS.
  - REFER TO THE SHEAR WALL SCHEDULE FOR THE ANCHOR BOLT SPACING AND SILL PLATE DIMENSIONS. (MAXIMUM 5/8" BOLT SPACING @ 48" O.C.-12' FROM END OF PLATE)
  - FOUNDATION SILL PLATES SHALL BE PRESERVATIVE-TREATED LUMBER. ALL ANCHOR BOLTS AND OTHER FASTENERS IN PRESERVATIVE-TREATED SILL PLATES SHALL BE GALVANIZED OR STAINLESS STEEL.
  - ALL ANCHOR BOLT SHALL HAVE THE STEEL PLATE WASHERS AS NOTED ON NOTE II OF THE SHEAR WALL SCHEDULE.
  - ALL THE HOLD DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
  - SLAB ON GRADE:  
 5" CONCRETE SLAB W/ #4 @ 16" O.C. EA. WAY ON 6 MIL MIN. VAPOR BARRIER ON 4" GRAVEL BED ON GRADE, OR PER SOILS REPORT RECOMMENDATION AND CALIFORNIA GREEN BUILDING CODE MINIMUM REQUIREMENTS (SECTION 4.505.2).  
 F<sub>c</sub> = 2500 psi (INCREASE psi FOR MORE CRACK CONTROL)  
 F<sub>y</sub> = 40,000 psi  
 CONTROL JOINTS SHALL BE LOCATED NO MORE THAN 10' APART IN EACH DIRECTION UNLESS SPECIFIED OTHERWISE BY ARCHITECT.
  - SOIL REPORT BY BAY CITY GEOLOGY, INC. DATED MARCH 2, 2018 IS CONSIDERED A PART OF THESE PLANS.
  - SOIL ENGINEER FROM BAY CITY GEOLOGY, INC. TO REVIEW AND APPROVE THESE PLANS BEFORE RECEIVING PERMIT. SOIL ENGINEER TO SIGN THESE PLANS TO VERIFY COMPLIANCE WITH THE SOIL REPORT RECOMMENDATIONS. ALL FOUNDATION EXCAVATIONS MUST BE OBSERVED AND APPROVED BY SOIL ENGINEER PRIOR TO PLACEMENT OF REINFORCING STEEL.
  - BEARING MATERIAL IS OLDER MARINE DEPOSITS. MAXIMUM ALLOWABLE BEARING PRESSURE IS 1500 PSF (STRIP), 2,000 PSF (ISOLATED), 3,000 PSF MAX. MINIMUM EMBEDMENT DEPTH IS 24".
  - SOILS AT SITE HAVE BEEN FOUND TO HAVE \_\_\_\_\_ LEVELS OF SOLUBLE SULFATE. CONCRETE IN CONTACT WITH THE ON SITE SOIL SHOULD BE DESIGNED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE. USE TYPE 2 CEMENTOUS MATERIAL FOR CONCRETE MIX WITH 0.45 MAX. WATER CEMENT RATIO. (F<sub>c</sub> = \_\_\_\_\_ MIN.) SOIL SAMPLES SHOULD BE OBTAINED AT THE TIME OF INITIAL GRADING FOR TESTING TO DETERMINE THE SOLUBLE SULFATE CONCENTRATION.
  - EXCAVATIONS SHALL BE MADE IN COMPLIANCE WITH CAL/OSHA REGULATIONS.
  - LEGEND:  
  
 = NEW SLAB FOOTING  
 = NEW RAISED WOOD FOOTING  
 = BEAM  
 = DECK JOIST  
 = FLOOR JOIST  
 = TEST PITS PER BAY CITY GEOLOGY, INC. 2018

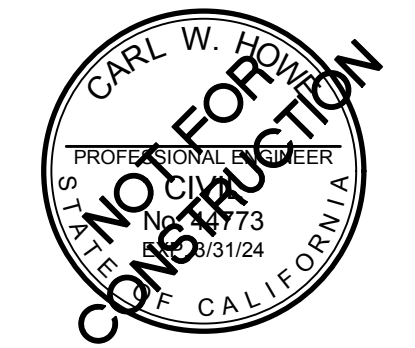


**FOUNDATION PLAN**



C. W. Howe Partners Inc. Structural and Civil Engineering 4358 Sepulveda Blvd. Culver City, CA 90230 (310) 838-0383 office@cwhowe.com

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PROJECT ADDRESS: CANFIELD ADU 2129 S. CANFIELD AVE. LOS ANGELES, CA 90034

Table with columns for SUBMITAL, DATE, REVISION, DATE

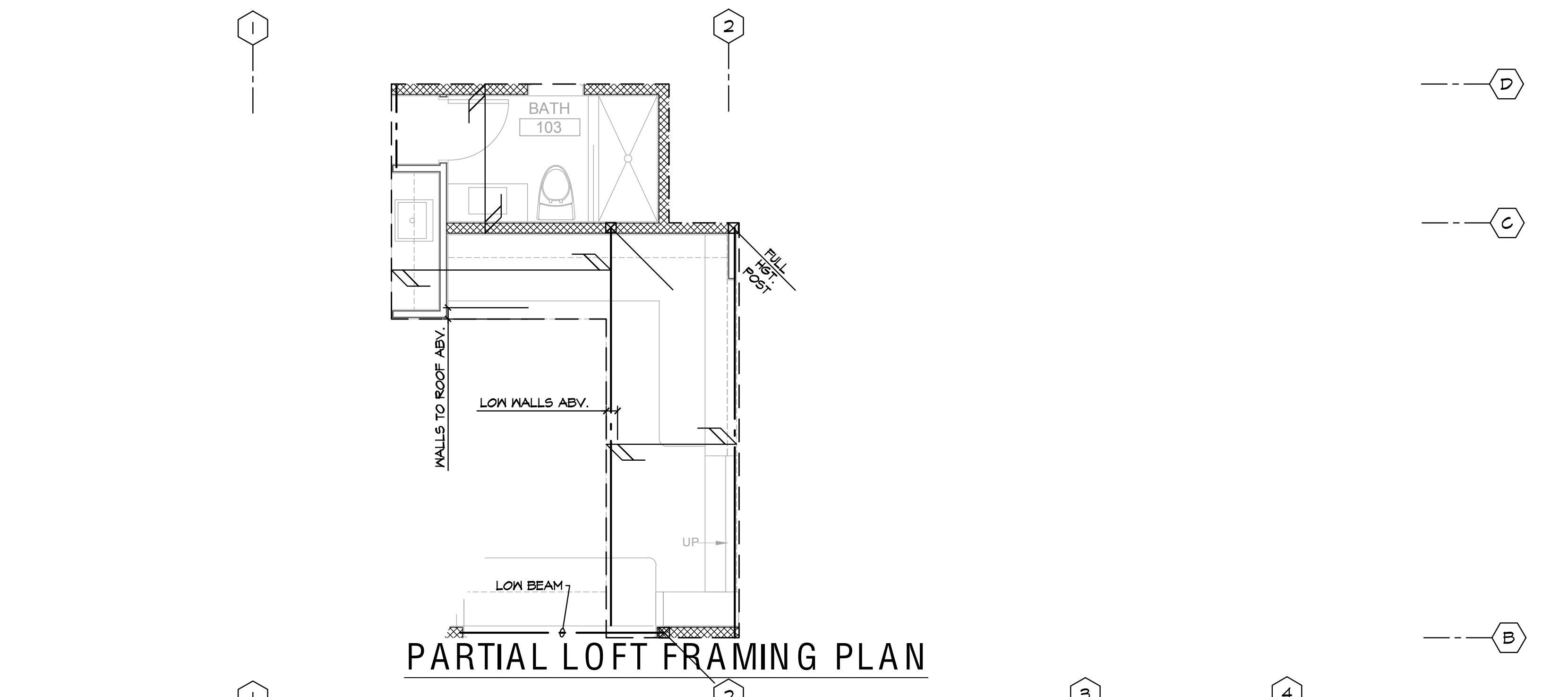
SHEET NAME: ROOF FRAMING PLAN

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North Arrow, Graphic Scale (1/4 inch = 1'-0 inch), Project North, and Project Information (S3, S-23D03)

- FRAMING PLAN NOTES: 1) SHEARWALL INDICATOR... 2) DENOTES LIMITS OF SHEARWALL... 3) ALL NEW EXTERIOR WALLS ARE 2" WALLS... 4) INTERIOR WALLS ARE 5/8" GYPSUM WALL BOARD... 5) DENOTES POST BELOW ROOF OR FLOOR FRAMING... 6) PROVIDE DOUBLE FLOOR JOISTS UNDER ALL PARALLEL WALLS... 7) DENOTES SIMPSON HOLDOWN AND POST IN WALL... 8) ROOF MATERIAL AND NAILING... 9) SEE FRAMING SYMBOL KEY OR PLAN FOR JOIST SIZES... 10) MINIMUM HANGERS... 11) TRIMMERS... 12) DENOTES HORIZONTAL STRAP BETWEEN WALL TOP PLATES... 13) R.J. = ROOF JOIST... 14) PROVIDE STRAPS AND BLOCKS AROUND ALL WINDOWS... 15) INTERIOR STUDS ARE MINIMUM 2x... 16) THE FOLLOWING GRADES SHALL BE USED FOR PARALLAM MEMBERS... 17) ALL BEAMS DESIGNATED AS 'STRUTS' TO HAVE PLYWOOD BOUNDARY NAILING... 18) CONTRACTOR TO VERIFY ALL (E) CONDITIONS... 19) DENOTES DEAD LOAD DEFLECTION... 20) DENOTES LIVE LOAD DEFLECTION...

PARTIAL LOFT FRAMING PLAN



ROOF FRAMING PLAN

