

JOB NO. 22-657 DRUGS JM 100-106-11 65 DATE 14 JUL 74	SHEET NUMBER T-1
---	---

[illegible]



CHECK AND VERIFY ALL DIMENSIONS
BEFORE PROCEEDING WITH THE
WORK. REPORT ANY DISCREPANCIES
TO THE ENGINEER. ALL
CONSTRUCTION SHALL CONFORM
TO THE C.D.C.

ENGINEER:

PROJECT
**TARRAGON RESIDENCE
ADDITION & REMODEL**
6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

AREA	EXIST	REVENUED

TITLE
**NEW LOT
COVERAGE**

JOB NO.
23-057
DRAWN
JH
CHECKED
GD
DATE
10.2.23

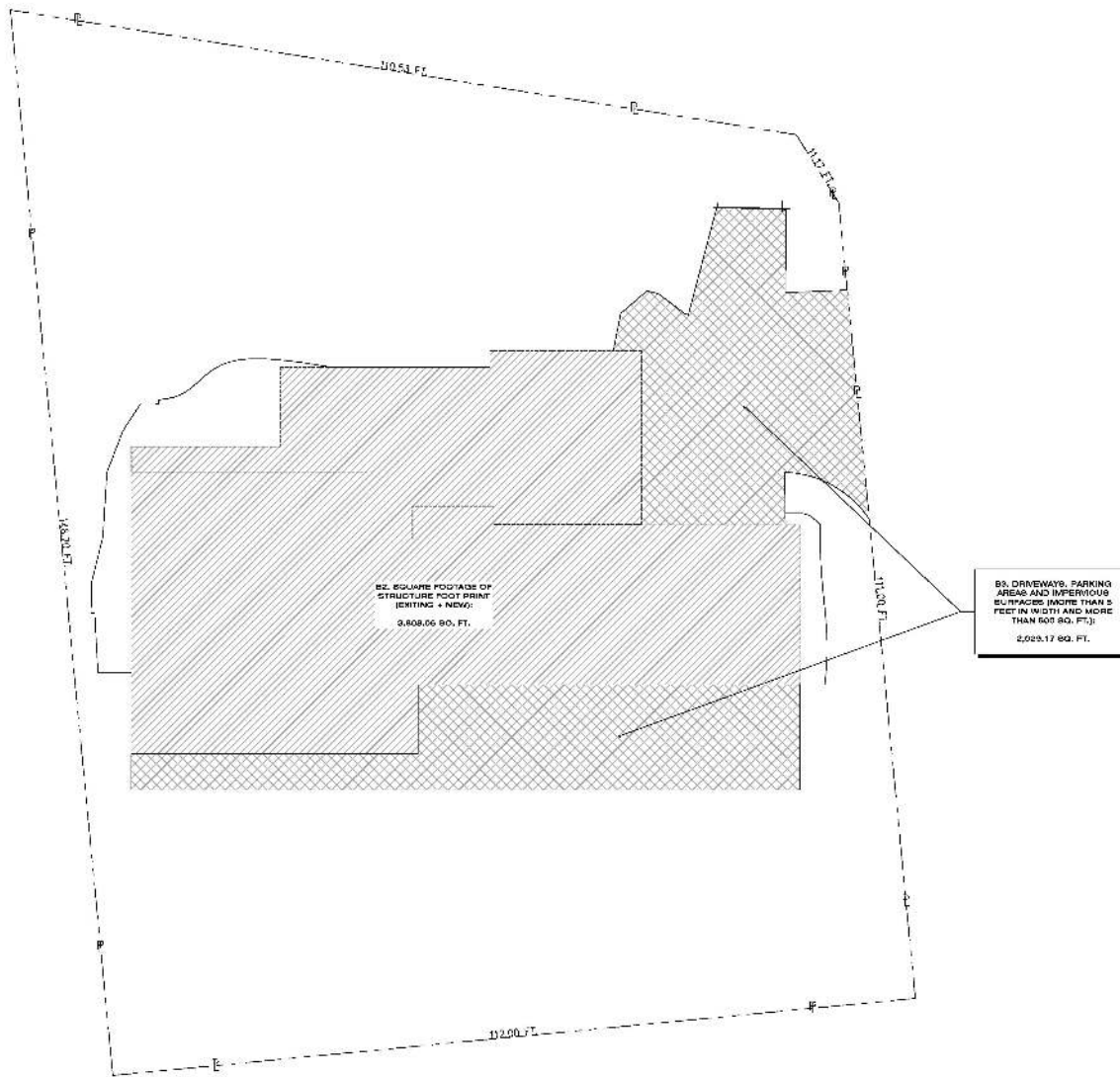
SHEET NUMBER
A1.1

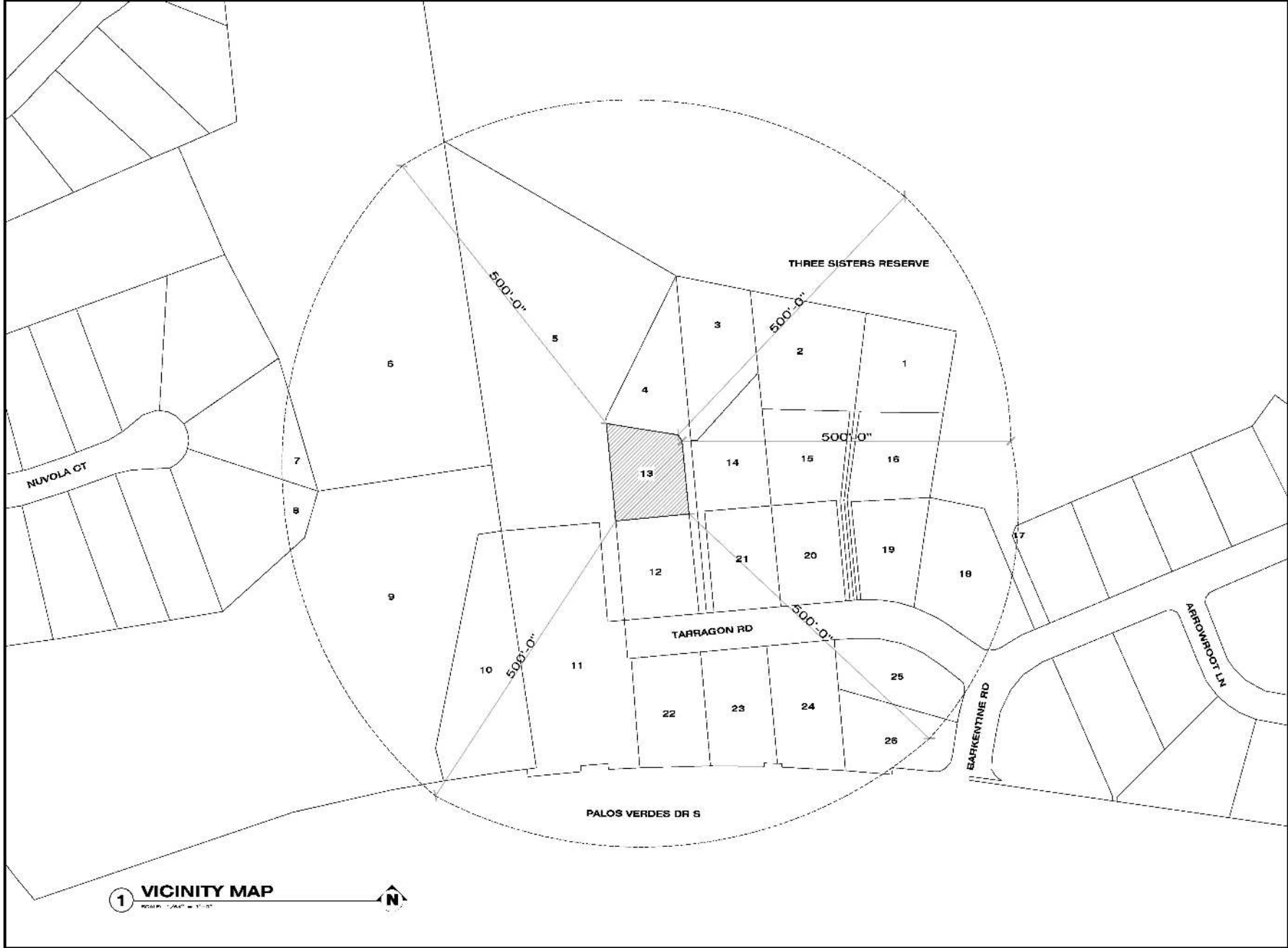
**B4. TOTAL SQUARE FOOTAGE OF PROPOSED LOT
COVERAGE
(B2 + B3) -**
6,837.23 SQ. FT.

**B5. PERCENTAGE OF NEW LOT COVERAGE
(B4/LAND SQ. FT.X100)**
**5,837.23 SQ. FT. / 14,960.00 SQ. FT. X 100 = 39.01
TOTAL 39%**

1 NEW LOT COVERAGE

SCALE: 1/8" = 1'-0"





1 VICINITY MAP

SCALE: 1"=100'

N



CHECK AND VERIFY ALL DIMENSIONS
 BEFORE PROCEEDING WITH THE
 WORK. REPORT ANY DISCREPANCIES
 TO THE ENGINEER. ALL
 CONSTRUCTION SHALL CONFORM
 TO THE C.D.C.

ENGINEER:

PROJECT

**TARRAGON RESIDENCE
 ADDITION & REMODEL**

6347 TARRAGON RD,
 RANCHO PALOS VERDES, CA 90275

NOVA	DATE	REVISION
1	10/1/11	1

TITLE

**VICINITY
 MAP**

JOB NO.
 11-057

ENGINEER
 JIM

DATE
 10/1/11

DATE
 10/1/11

SHEET NUMBER

A1.2

10/1/11

CASTILLO ENGINEERING
 1001 W. 10th St., Suite 100, Fort Worth, TX 76102
 Tel: 817/335-1111 Fax: 817/335-1112
 E-mail: castillo@castillo-engineering.com

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.P.

ENGINEER:

PROJECT

**TARRAGON RESIDENCE
ADDITION & REMODEL**

3347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

ANAL. Calcd for $C_{10}H_{10}O$: C, 88.10%; H, 11.90%. Found: C, 88.1%; H, 11.9%.	IR (neat): 1610 (C=C), 1510 (C=C), 1450 (C=C), 1380 (C=C), 1320 (C=C), 1280 (C=C), 1240 (C=C), 1180 (C=C), 1140 (C=C), 1080 (C=C), 1040 (C=C), 1000 (C=C), 960 (C=C), 920 (C=C), 880 (C=C), 840 (C=C), 800 (C=C), 760 (C=C), 720 (C=C), 680 (C=C), 640 (C=C), 600 (C=C), 560 (C=C), 520 (C=C), 480 (C=C), 440 (C=C), 400 (C=C), 360 (C=C), 320 (C=C), 280 (C=C), 240 (C=C), 200 (C=C), 160 (C=C), 120 (C=C).	1H NMR (CDCl ₃): δ 7.2 (d, 2H, J = 10 Hz), 6.8 (d, 2H, J = 10 Hz), 6.4 (s, 2H), 6.2 (s, 2H), 5.8 (s, 2H), 5.4 (s, 2H), 5.0 (s, 2H), 4.6 (s, 2H), 4.2 (s, 2H), 3.8 (s, 2H), 3.4 (s, 2H), 3.0 (s, 2H), 2.6 (s, 2H), 2.2 (s, 2H), 1.8 (s, 2H), 1.4 (s, 2H), 1.0 (s, 2H), 0.6 (s, 2H), 0.2 (s, 2H).
--	--	---

TITLE
ADJACENT
PROPERTIES
MAP

JOE NG
23-027
HICKORY
1M
LIND-LIN-11
05
TRACT
14, 15, 16

SHEET NUMBER



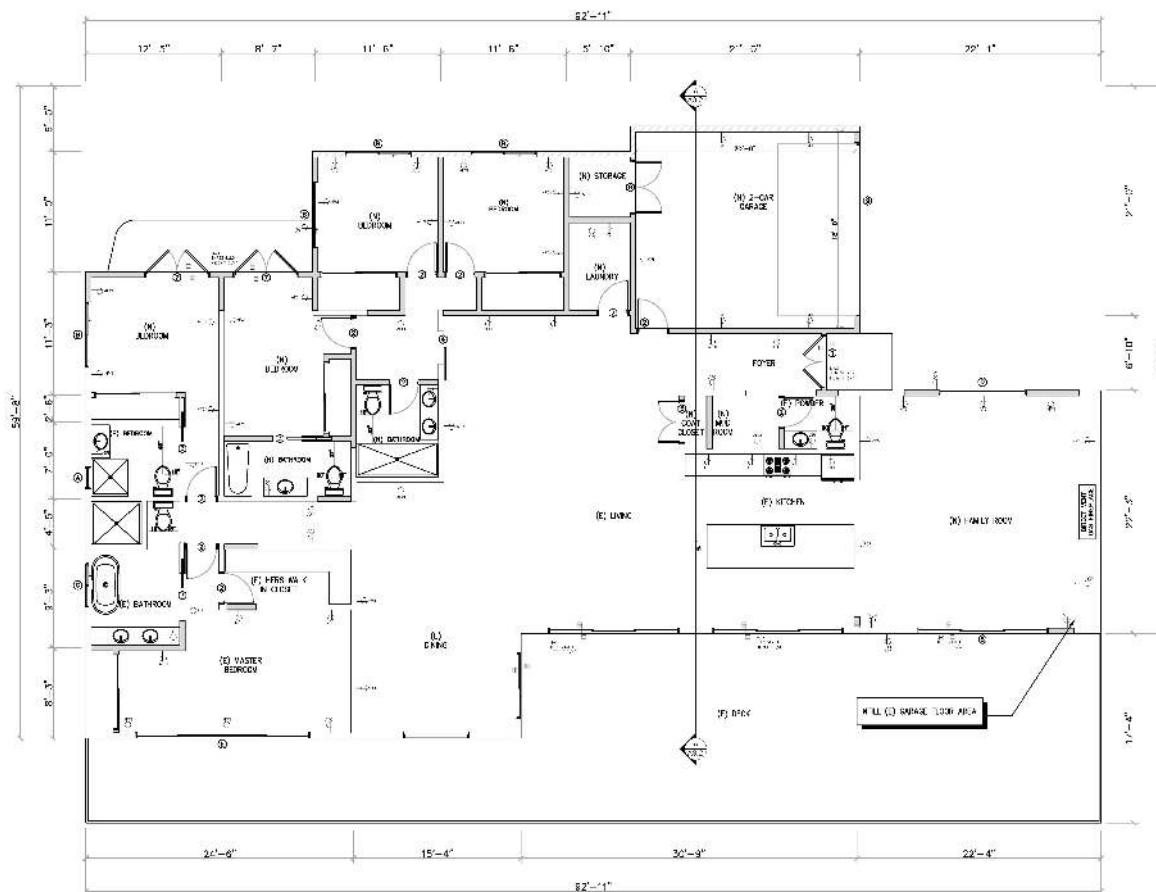
A1.3

1 ADJACENT PROPERTIES MAP

ANSWER: $1/32^{\circ} = 1'-9''$



TARRAGON RD



1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

LEGEND						WINDOW SCHEDULE				DOOR SCHEDULE			
	EXISTING WALL		WALL WITH KNOBS		SURFACE OF PENDANT WITH LIGHT FIXTURE (HIG- EFFICACY)		SMOKE DETECTOR 110 VOLT, WITH BATTERY BACK UP. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED.		DIMMER SWITCH, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.
	NEW WALL		DOUBLE POLE SWITCH		SMOKE DETECTOR 110 VOLT, WITH BATTERY BACK UP. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED.		DIMMER SWITCH, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.
	NEW RETAINING WALL		THREE WAY POLE SWITCH		SMOKE DETECTOR 110 VOLT, WITH BATTERY BACK UP.		DIMMER SWITCH, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.
	NEW CEILING GRID		WALL WITH KNOBS		SMOKE DETECTOR 110 VOLT, WITH BATTERY BACK UP.		DIMMER SWITCH, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.
	WINDOW TYPE FOR SCHEDULE THIS SHEET		WALL WITH KNOBS		SMOKE DETECTOR 110 VOLT, WITH BATTERY BACK UP.		DIMMER SWITCH, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.		30 AMP GFCI BREAKER, 110 VOLT, WITH BATTERY BACK UP.



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.S.D.

ENGINEER:

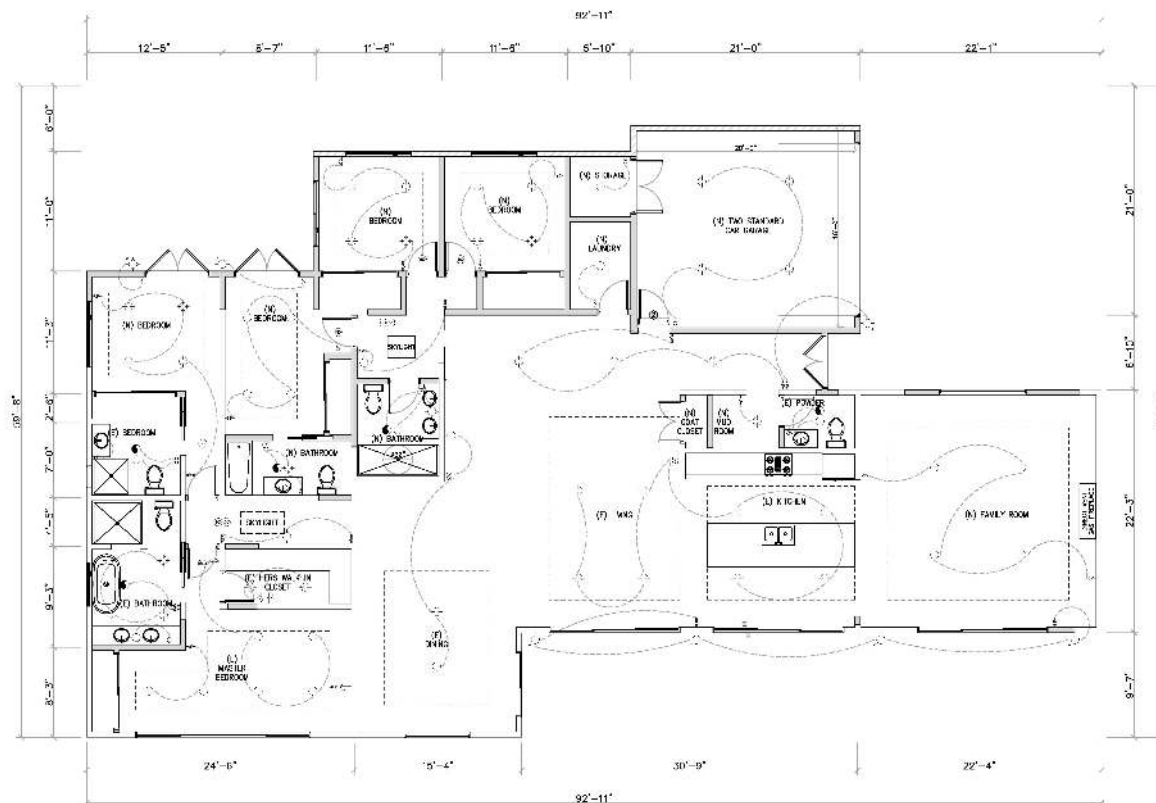
PROJECT
**TARRAGON RESIDENCE
ADDITION & REMODEL**
6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

DATE: 10/10/11
BY: J. J. J.

TITLE
**PROPOSED
FLOOR
PLAN**

DATE: 10/10/11
BY: J. J. J.

A2.2



1 REFLECTED CEILING PLAN
SCALE: 1/4" = 1' 0"

LEGEND

	EXISTING WALL		SINGLE POLE SWITCH		WALL VENT, AIR, FIRE, ETC. (RCA, FURNACE)
	NEW WALL		DOUBLE POLE SWITCH		SMOKE DETECTOR 1 TO WALL, WITH ALARM, HOOK UP. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED.
	NEW GLAZING WALL		BUILT-IN WALL ON LEFT		CARBON MONOXIDE DETECTOR 1 TO WALL, WITH ALARM, HOOK UP.
	TWO CEILING AREAS		WALL OUTLET 1 TO WALL, WITH ALARM, HOOK UP. ALL OUTLETS SHALL BE LABELED WITH ALARM, HOOK UP.		CEILING FAN/LIGHT FIXTURE. ALL CEILING FANS SHALL BE LISTED FOR USE IN BATHROOMS AND KITCHENS.
	WINDOW TYPE PER SCHEDULE 1-10 SHEET		WALL OUTLET 1 TO WALL, WITH ALARM, HOOK UP. ALL OUTLETS SHALL BE LABELED WITH ALARM, HOOK UP.		DOOR TYPE PER SCHEDULE 1-10 SHEET
	DOOR TYPE PER SCHEDULE 1-10 SHEET				



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.S.D.C.

ENGINEER:

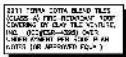
PROJECT:
**TARRAGON RESIDENCE
ADDITION & REMODEL**
6347 TARRAGON RD.,
RANCHO PALOS VERDES, CA 90275

NOVA 10-10 10-10 10-10

TITLE:
**REFLECTED
CEILING
PLAN**

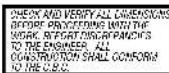
DATE: 10-10-10
DRAWN BY: J.M.
CHECKED BY: J.M.
DATE: 10-10-10

SHEET NUMBER
A2.3



SCALE: 1/4" = 1' 0"

JOB NO.
 22-027
 ENGINEER
 JH
 CHECKED BY
 GS
 DATE :
 14.08.74



ENGINEER:

PROJECT

**TARRAGON RESIDENCE
ADDITION & REMODEL**

6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

KN, N, A	11-10	SG-N/En/1,2,3,4
		
		

TITLE
ROOF
PLAN



TOTAL
SINGLE-FAMILY
DWELLING
3,426.56 SQ. FT.

AND

(N) GARAGE
399.00 SQ. FT.

TOTAL FOOT
PRINT
3,825.56

(E)
SINGLE-FAMILY
DWELLING
2,206.00 SQ.FT.

(N)
ADDITION
711.71 SQ.FT.

(N)
GARAGE
399.00 SQ.FT.

(E)
GARAGE TO
CONVERT INTO
FAMILY ROOM
491.35 SQ.FT.

1

EXISTING AND NEW AREAS

SCALE: 1/4" = 1'-0"



CHECK AND VERIFY ALL DIMENSIONS
BEFORE PROCEEDING WITH THE
WORK. REPORT ANY DISCREPANCIES
TO THE ENGINEER. ALL
CONSTRUCTION SHALL CONFORM
TO THE C.D.C.

ENGINEER:

PROJECT:

*TARRAGON RESIDENCE
ADDITION & REMODEL*

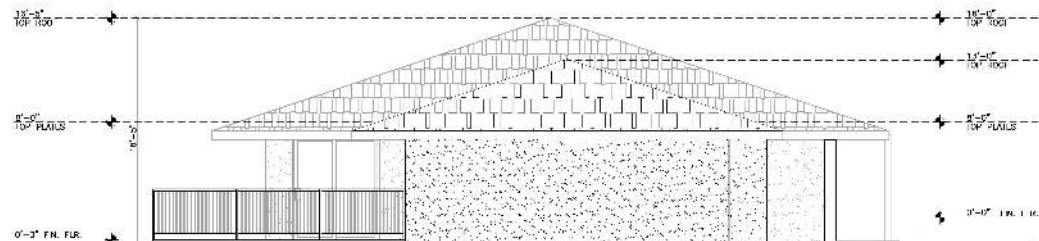
6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

APPROVED	DATE	REVISIONS

TITLE
EXISTING
AND NEW
AREAS

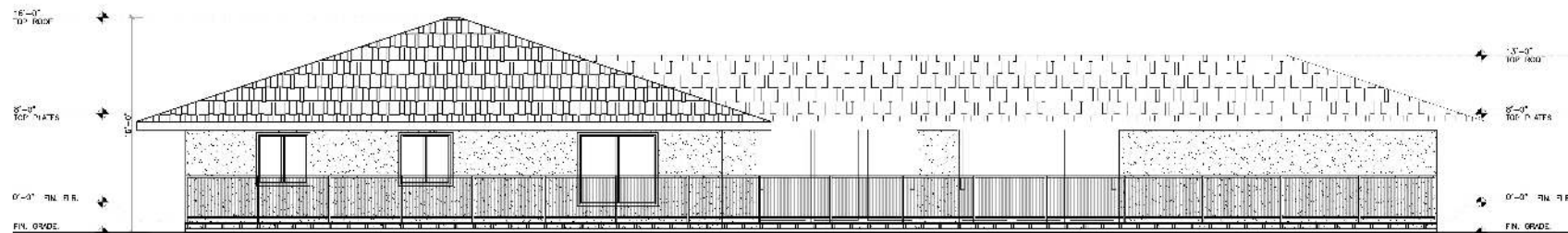
JOB NO.
23-057
ENGINEER
JH
CHECKED BY
GS
DATE
10.2.23

SHEET NUMBER
A2.5
OF
20



1 EXISTING EAST ELEVATION

SCALE: 1/4" = 1' 0"



2 EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1' 0"



CASTILLO ENGINEERING
ARCHITECTS - ENGINEERS - PLANNERS
10000 W. 10TH AVE., SUITE 100
DENVER, CO 80231

CHECK AND VERIFY ALL DIMENSIONS
BEFORE PROCEEDING WITH THE
WORK. REPORT ANY DISCREPANCIES
TO THE ENGINEER. ALL
CONSTRUCTION SHALL CONFORM
TO THE C.D.C.

ENGINEER:

PROJECT:

**TARRAGON RESIDENCE
ADDITION & REMODEL**

6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

NO.	DATE	REVISIONS

TITLE
**EXISTING
ELEVATIONS**

JOB NO.
23-057
DRAWN
JH
CHECKED
GS
DATE
10.10.24

SHEET NUMBER
A3.0
10/10



CHECK AND VERIFY ALL DIMENSIONS
BEFORE PROCEEDING WITH THE
WORK. REPORTING ANY DISCREPANCIES
TO THE ENGINEER. ALL
CONSTRUCTION SHALL CONFORM
TO THE C.S.D.C.

ENGINEER:

PROJECT
**TARRAGON RESIDENCE
ADDITION & REMODEL**
6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

NO.	DATE	REVISION
1		

TITLE
**EXISTING
ELEVATIONS**

JOB NO.
23-057
ENGINEER
JH
DATE
10/27/24

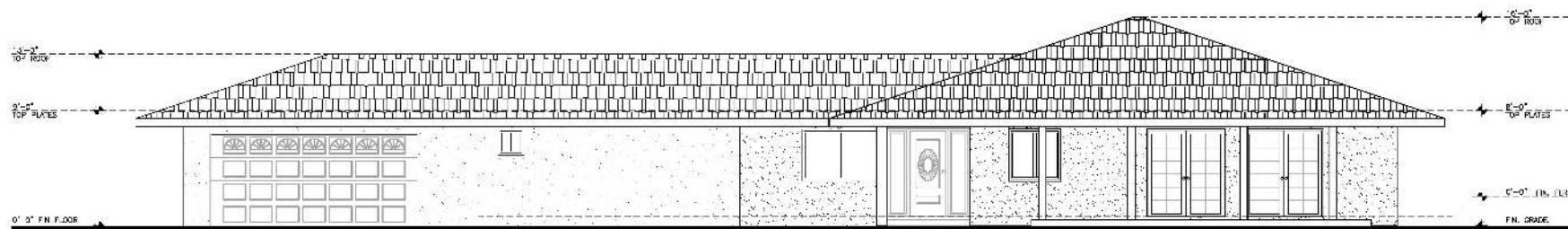
SHEET NUMBER
A3.1

15'-0"
TOP ROOF

9'-0"
TOP PLATES

0'-0" FIN. FLOOR

1 EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0"

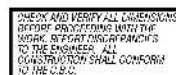


2 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

336.00
334.00
332.00
330.00
328.00
326.00
324.00
322.00
320.00
318.00
316.00
314.00
312.00
310.00
308.00
306.00
304.00
302.00
300.00
298.00

[illegible]

PROPOSED ADDITIONS ARE CONSISTENT WITH THE DESIGN OF THE EXISTING SINGLE-FAMILY RESIDENCE.



ENGINEER:

PROJECT

**TARRAGON RESIDENCE
ADDITION & REMODEL**

9071-751-0011#559
6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275



TITLE

ELEVATIONS

JOB NO.
 22-827
 TIME/DATE
 10
 1200-1200-11
 00
 DATE :
 14 JUL 74

SHEET NUMBER

A

A3.2

The diagram illustrates a cross-section of a proposed building addition. Key features include:

- Roof:** A gabled roof with a pitch of 12:12, indicated by a triangle with a vertical side of 12 and a horizontal side of 12.
- Structure:** A single-story addition with a textured exterior wall and a flat roof section.
- Windows:** Two windows are shown on the front facade, each with a width of 4'-0" and a height of 4'-0".
- Foundation:** A foundation is shown below the ground line, with a depth of 4'-0" from the ground level to the base of the foundation.
- Elevations:** The diagram includes several elevation markers:
 - 322.00 (E) ROOF HEIGHT
 - 320.00 (E) TOP PLATES
 - 312.00 (E) 1ST GRADE ELEVATION GOVERNED BY STRUCTURE
 - 310.00 (E) NATURAL GRADE
 - 308.00 (E) 2ND GRADE ELEVATION
 - 306.00 (E) 3RD GRADE ELEVATION
 - 304.00 (E) 4TH GRADE ELEVATION
 - 302.00 (E) 5TH GRADE ELEVATION
 - 300.00 (E) 6TH GRADE ELEVATION
 - 298.00 (E) 7TH GRADE ELEVATION
- Dimensions:** The overall width of the addition is 16'-0".

KEYNOTES

THE KEYNOTES DIRECTLY BELOW REFER TO THE ELEMENTS ONLY.

- [illegible]

NOTES

PAID IN ADDITION AND EXPENDITURE WITH IT. IT SHOULD BE
CLOSING OFFICE - ONLY RESIDING.



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C.

ENGINEER:

PROJECT

**TARRAGON RESIDENCE
ADDITION & REMODEL**

6347 TARRAGON RD,
RANCHO PALOS VERDES, CA 90275

$6N^2N^2A$ 	11×11 	$10D^2N^2N^2(1/2)A$ 
---	---	--

TITLE

ELEVATIONS

JOB NO. 22-027
 DRAWN BY JIN
 CHECKED BY JJ
 DATE: 14.07.24

A3.3

KEYNOTES

THE KEYNOTES SHOWN BELOW REFER TO THE SECTIONS ONLY

- [1] FOUNDATION, SEE STRUCTURAL
- [2] 7/8" PORTLAND CEMENT PLASTER (STUCCO) OVER 1/2" GYP BOARD
- [3] 1/2" GYP BOARD OVER 1/2" INSULATION (STUCCO BOARD 1/2" MIN. GYP)
- [4] PLASTER SPACING, SEE STRUCTURAL
- [5] SHED WALLS, SEE STRUCTURAL
- [6] CEILING, SEE STRUCTURAL
- [7] ROOF FRAMING, SEE STRUCTURAL, SEE ROOF FRAMING PLAN ON SHEET A2.5 FOR ROOF TYPE, MANUFACTURER, UNDERLAYMENT AND ADD'L DIM. NOTES
- [8] ROOF DRAIN
- [9] 2x FASCIA
- [10] R-13 WALL INSULATION
- [11] R-30 CEILING INSULATION
- [12] 1/2" GYPSUM BOARD AT WALL
- [13] 1/2" GYPSUM BOARD AT CEILING
- [14] 5/8" GYPSUM BOARD AT CEILING
- [15] RETAINING WALL



CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER. ALL CONSTRUCTION SHALL CONFORM TO THE C.C.C.

ENGINEER:

PROJECT
**TARRAGON RESIDENCE
ADDITION & REMODEL**
6347 TARRAGON RD.,
RANCHO PALOS VERDES, CA 90275

NO.	DATE	REVISIONS
1	10/1/00	ISSUED FOR PERMIT

TITLE
**SECTION
AND DETAIL**

JOB NO.
23-057
ENGINEER
JH
CHECKED BY
GS
DATE
10/1/00

SHEET NUMBER
A3.4
OF
300

1 SECTION A
SCALE: 1/4" = 1'-0"

