# New Single Family Residence

# Project Address: 1642 Havemeyer Lane Redondo Beach, Ca. 90277

Abbreviations			Sheet	Index	Statistics	Statistics		
bbreviations	Description	Abbreviations	Description			LOT AREA	2,500 S.F.	
A.F.F.	ABOVE FIN. FLOOR	MIN.	MINIMUM	T.1	TITLE SHEET		·	
ALUM.	ALUMINUM	MISC.	MISCELLANEOUS			LIVING SPACE		
AMP.	AMPERE	MNTD.	MOUNTED	C.1	SURVEY			
BLD'G	BUILDING	MUL.	MULLION	0.1	SORVET			
BLK'G	BLOCKING	NO.	NUMBER			FIRST FLOOR AREA - LIVING SPACE	752 S.F.	
BOT.	BOTTOM	N.I.C.	NOT IN CONTRACT	C.2	SITE PLAN			
CAB.	CABINET	N.T.S.	NOT TO SCALE			SECOND FLOOR AREA - LIVING SPACE	1,226 S.F.	
CLG.	CEILING	0/	OVER	C.3	GRADING PLAN			
CLR.	CLEAR	O.C.	ON CENTER			MEZZANINE AREA - LIVING SPACE	232 S.F.	
COL.	COLUMN	OFF.	OFFICE					
CONC.	CONCRETE	PLAS.LAM.	PLASTIC LAMINATE	C.4	GRADING SECTIONS			
CONT.	CONTINUOUS	PL.	PLATE					
DED.		PLUMB.	PLUMBING	0.5		TOTAL AREA - LIVING SPACE	2,210 S.F.	
DET.		PLYWD.	PLYWOOD	C.5	GENERAL NOTES			
D.F. DIA.	DRINK FOUNTAIN DIAMETER	PR.	PAIR					
DIA. DIAG.	DIAGONAL	PTN.	PARTITION	T24.A	TITLE 24 REPORT	GARAGE		
DIAG. DIM.	DIAGONAL	RAD.	RADIUS	1 Z4.A				
DIM. DN.	DOWN	REF.	REFERENCE					
DWG.	DRAWING	REFRG.	REFRIGERATOR	T24.B	TITLE 24 REPORT - CONTINUED	GARAGE AREA	387 S.F.	
EA.	EACH	REQ'D.	REQUIRED					
ELECT.	ELECTRICAL	R.H.	RIGHT HAND					
ELECT. ELEV.	ELEVATION	RM.	ROOM	A.1	1ST FLOOR PLAN			
	EQUAL	R.O.	ROUGH OPENING					
EQ. EXT.	EXTERIOR	SCHED.	SCHEDULE	A 2				
EXIST.	EXISTING	S.C.	SOLID CORE	A.2	2ND FLOOR PLAN	OUTDOOR LIVING SPACE		
F.D.	FLOOR DRAIN	SECT.	SECTION					
F.E.C.	FIRE EXTINGUISHER	S.F.	SQUARE FEET	A.3	LOFT FLOOR PLAN	ROOF DECK	189 S.F.	
		SHT.	SHEET					
F.H.C.	FIRE HOSE CABINET FINISH	SIM.	SIMILAR			BALCONYS	23 S.F.	
FIN.		SPEC.	SPECIFICATION	A.4	ROOF PLAN			
FXT. FLUOR.	FIXTURE FLUORESCENT	S.S.	STAINLESS STEEL					
		STL.	STEEL	A.5	EXTERIOR ELEVATIONS			
F.O.S.	FACE OF STUD	STOR.	STORAGE					
F.O.W.	FACE OF WALL	STRUCT.	STRUCTURAL	A 0		LOT COVERAGE		
F.S.	FLOOR SINK	SUSP.	SUSPENDED	A.6	EXTERIOR ELEVATIONS			
GL.	GLASS	SYM.	SYMMETRICAL			LOT AREA	2,500 S.F.	
GYP.BRD.	GYPSUM BOARD	TEL.	TELEPHONE	A.7	EXTERIOR ELEVATIONS			
H.C.		TEMP.	TEMPERED			BUILDING FOOTPRINT	1,139 S.F.	
HDWR. H.M.	HARDWARE HOLLOW METAL	THK.	THICKNESS					
HOR.	HORIZONTAL	T.O.W. TYP.	TOP OF WALL TYPICAL	A.8	EXTERIOR ELEVATIONS	1,139 / 2,500 = .45	45%	
HR.	HOUR	U.L.	UNDERWRITERS			1,100, 2,000 110		
HT.	HEIGHT	0.L.	LABORATORY	A.9	BUILDING SECTION			
H.V.A.C.	HEATING	U.N.O.	UNLESS NOTED					
INSUL.	INSULATION	0.11.0.	OTHERWISE	A.10	BUILDING SECTION			
JAN.	JANITOR	V.	VOLT	A.10	DOILDING SECTION	Scope of Work		
J-BOX	JUNCTION BOX	V. V.C.T.	VINYL COMPOSITION					
LAM.	LAMINATE	0.0.1.	TILE					
LAM.PLAS.		VERT.	VERTICAL					
LAV.	LAVATORY	VEST.	VESTIBULE					
L.H.	LEFT HAND	V.I.F.	VERIFY IN FIELD			1. NEW SINGLE FAMILY RESIDENCE		
LT.	LIGHT	W/	WITH					
	MAINTENANCE	W/O	WITHOUT			W/ ATTACHED 2-CAR GARAGE		
MAINT.	MATERIAL	WC	WALL COVERING					
MAINT. MAT.								
MAT.	MAXIMUM	W.C.	WATER CLOSET					
MAT. MAX.	MAXIMUM	W.C. W.H.	WATER HEATER					
MAT.						2. NEW SITE WALLS & RETAINING WALL	.S	

# Consultants

## PROJECT DESIGNER

DG+ASSOCIATES LLC						
ADDRESS	2706 ARTESIA BLVD. SUITE D, REDONDO BEACH CA. 90277					
PHONE	310.920.9995					

# STRUCTURAL ENGINEERING

RAY LIU ASSOCIATES, CORP						
ADDRESS	3452 EAST FOOTHILL BLVD SUITE #620, PASADENA, CA. 91107					
PHONE	626.529.3858					

## ENERGY COMPLIANCE

GOLDEN STATE COMPLIANCE						
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PHONE	310.920.9995					

# SURVEYOR

DENN ENGINEERS							
ADDRESS	3914 PLAZA DEL AMO BLVD. TORRANCE CA. 90503						
PHONE	310.542.9433						

#### CIVIL ENGINEERING

PERU CONSULTANTS ADDRESS --- 5061 ROCK VALLEY ROAD, RANCH PALOS VERDES, CA. 90275 PHONE --- 310.270.0811

# **Project Information**

## GOVERNING CODE

2022 CBC, CMC, CPC, CEC, CFC AND 2022 T-24 ENERGY REG. FORMS 2022 GREEN BUILDING STANDARDS 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA RESIDENTIAL CODE

## CONSTRUCTION TYPE

OCCUPANCY - R3/U

TYPE VB

FIRE SPRINKLERS REQUIRED

## ZONING:

R-1

SINGLE FAMILY RESIDENCE

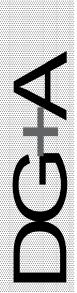
NUMBER OF STORIES

3

LEGAL DESCIPTION

APN # 4160-016-018

REDONDO VILLA TRACT LOT 30 BLK 130



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CLIENT:

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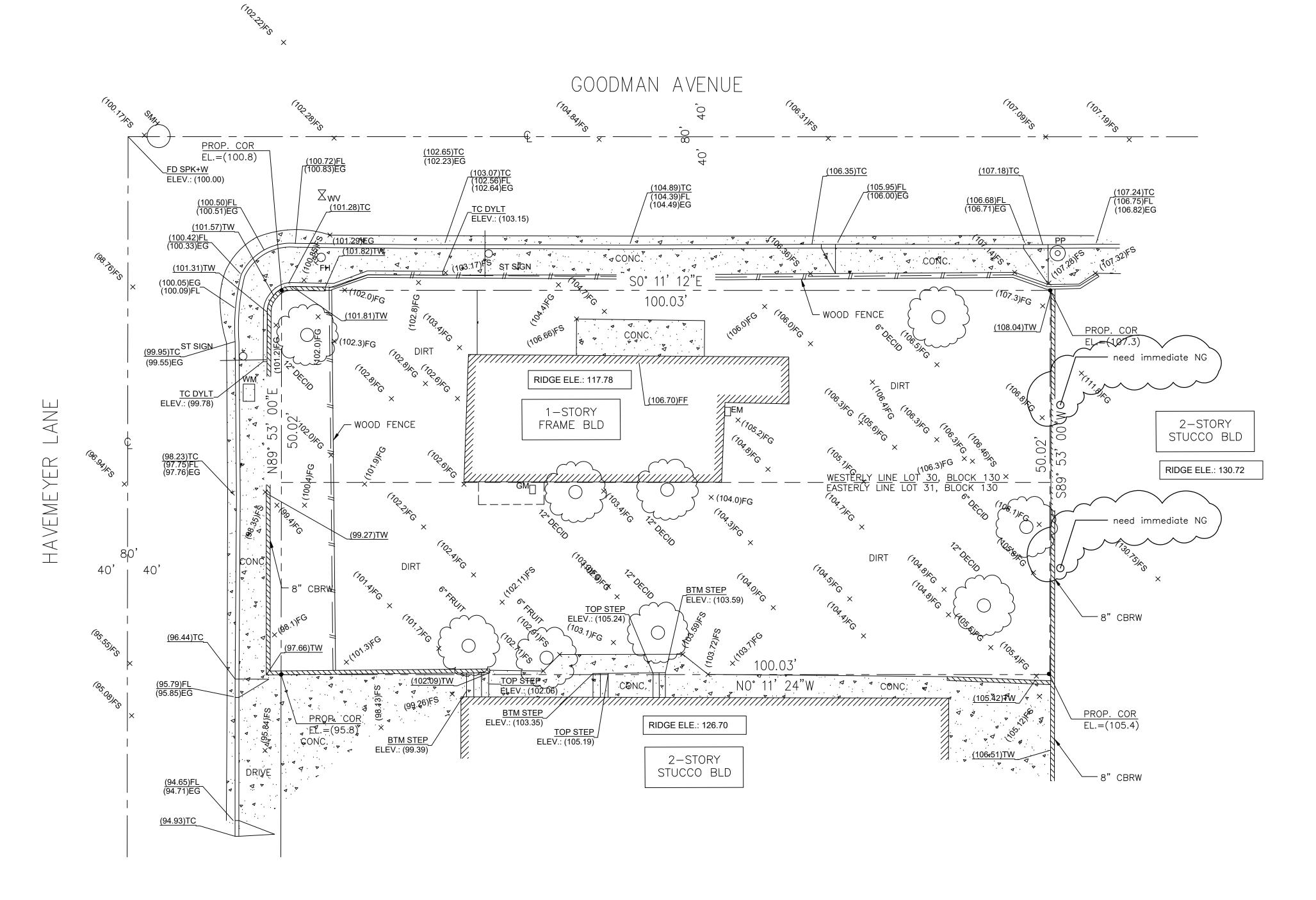
Enrico Properties 2845 W. Valley Blvd Alhambra, Ca. 91803

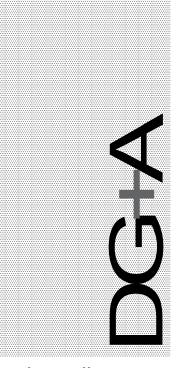
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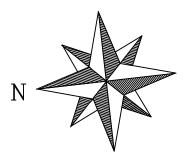
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Title Sheet





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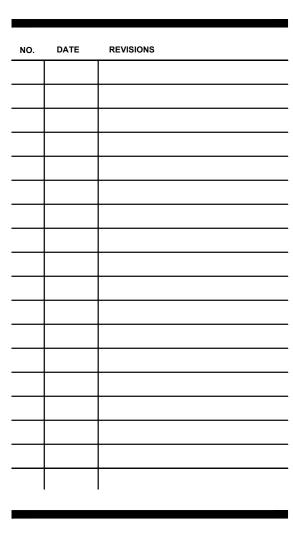
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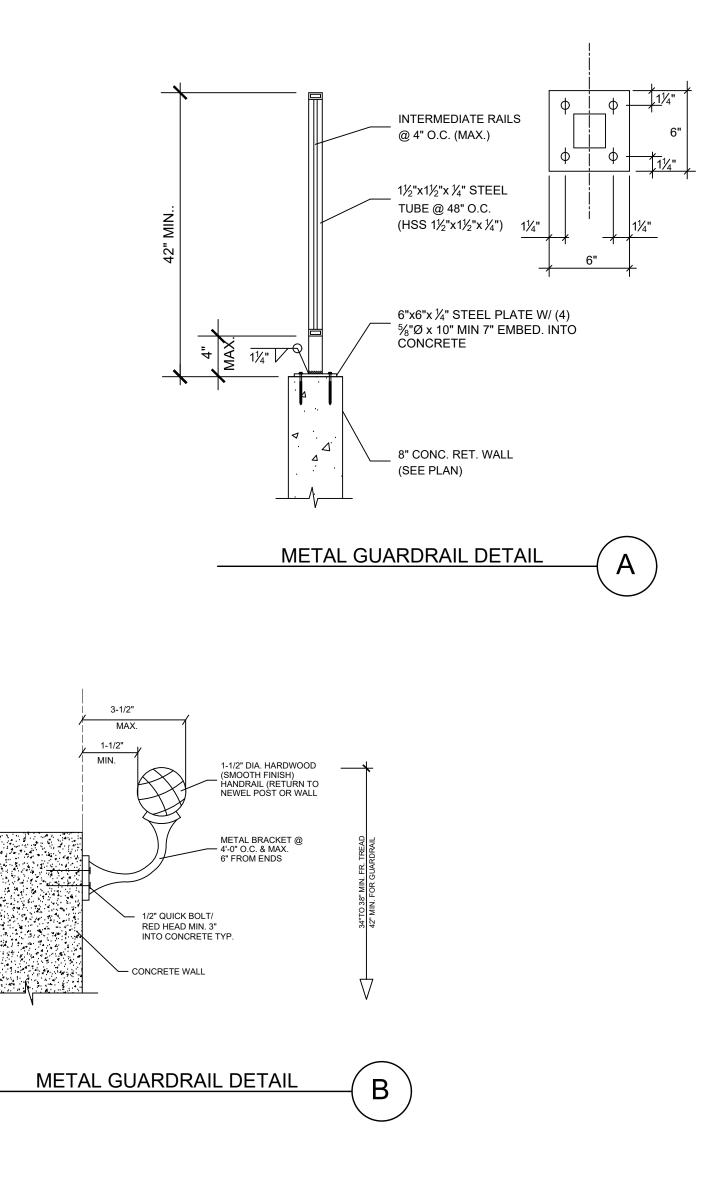


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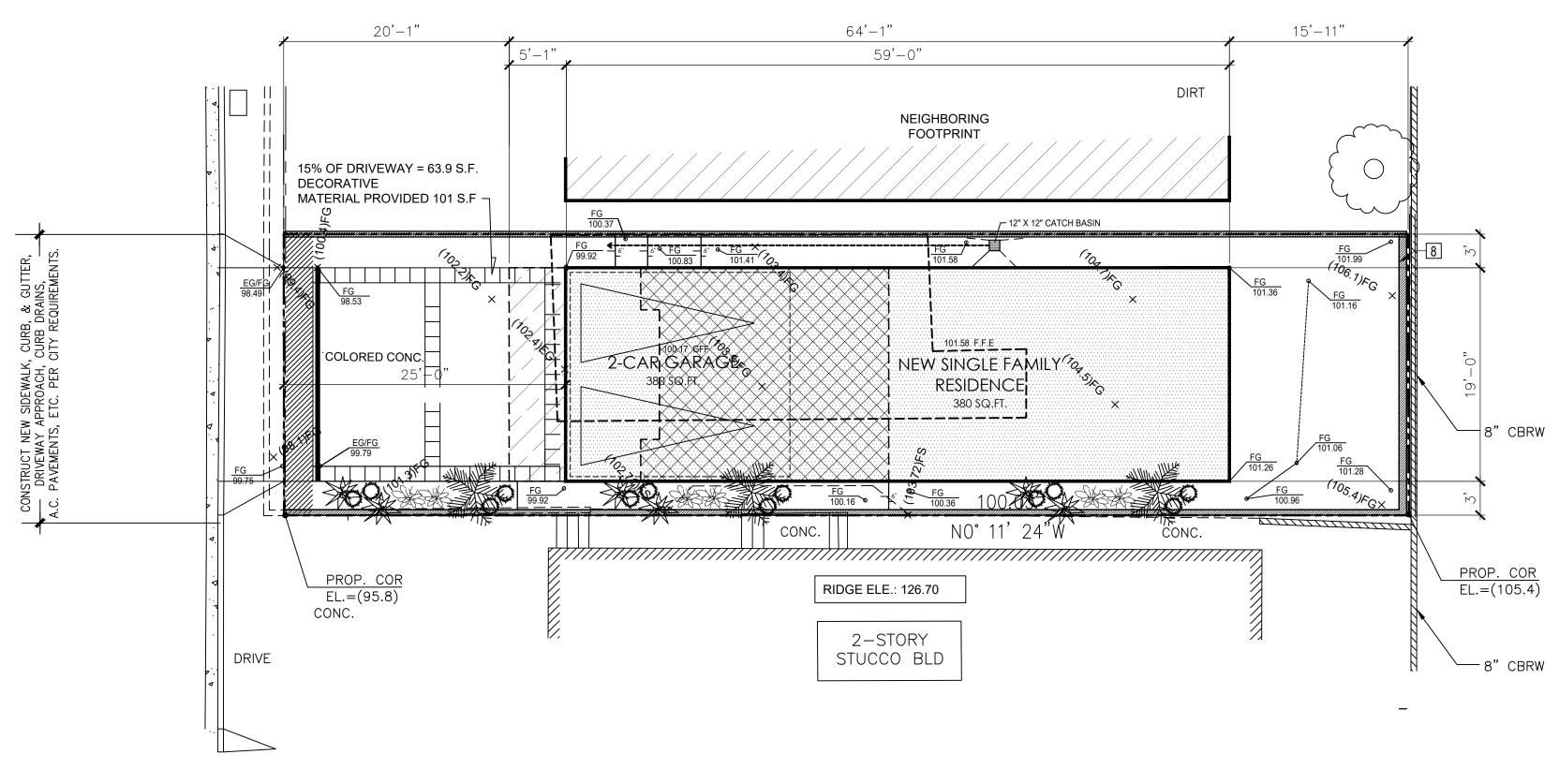
Survey



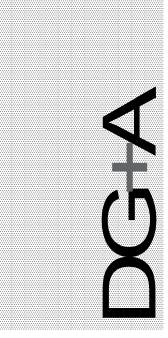


# SITE PLAN - KEY NOTES

1	Electrical meter location verify with Power Company.	TYP	ALL EXTERIOR LIGHTING TO BE DIRECTED AWAY FROM ADJACENT RESIDENTIAL LAND USES.		PROPERTY LINE
2	ADU / Jr-ADU (2 HEAD CLUSTER Meter Location - 200 amp)	11	DRIVEWAYS TO BE 3 1/2" THK. COLORED CONCRETE OVER BASE PER SOILS REPORT PROVIDE CONTROL JOINTS AS SHOWN. (MED BROOM TEXTURED FINISH & 15% MIN. DECORATIVE PAVING)		EXISTING BUILDING PERIMETER
		12	PROVIDE / INSTALL LANDSCAPE IRRIGATION SYSTEM AND HOSE BIBBS AT COMMON AREAS (TYP.) CONNECT TO "HOUSE" WATER METER		
3	GAS METER	13	30% EXTERIOR PLASTER OVER MASONRY OR POURED CONCRETE & 70% WOOD FENCING 6'-0" HIGH PROPERTY LINE WALLS AS		ADU CONVERSION
3	WATER HEATER	_	REQUIRED (TYP. U.N.O)		
		14	3 1/2" THK CONC. WALKS, STOOPS , PATIOS ON-GRADE STAIRS. (MED. BROOM FINISH) : STAIRS TO BE 4" MIN. / 7" MAX . RISE W/ 11" MIN. TREADS (TYP.)		
4	12" WIDE TRENCH DRAIN W/ TRAFFIC RATED GRATE	15	18'-0" x 19'-0" MIN. CLEAR AT INTERIOR OF GARAGE (TYP.)		BUILDING PERIMETER
5	(2) 2" C.I.P THRU CURB PER APWA STD. 150	16	PROVIDE / INSTALL NEW CONC. APPROACH PER CITY REQUIREMENTS		
6	(E) 42" BLOCK WALL REPLACE AS NEEDED	17	SUMP PUMP (SEPARATE PERMIT REQUIRED)HORSEPOWER - 1/3 HPMANUFACUCTURER - ZOELLERVOLTAGE - 115VMAKE - MODEL# 151PHASE - 1		3RD FLOOR LOFT AREA
7	NEW 6" SEWER LATERAL	18	NEW ELECTRICAL METER LOCATION PROVIDE 200AMP UNDERGROUND SERVICE.PANEL LOCATION TO BE APPROVED BY EDISON PRIOR TO		PROPOSED 5' TALL RETAINING WALL
8	(2) 3" C.I.P THRU CURB PER APWA STD. 150		INSTALLATION.		
9	6" SEWER CLEAN-OUT BEHIND PROPERTY LINE	19	15% OF DRIVEWAY = 63.9 S.F. DECORATIVE MATERIAL PROVIDED 101 S.F	FG	FINISH GRADE
10	12" FULL DEPTH A.C PAVEMENT	20	AREA TO BE DEDICATED TO THE CITY VIA EASEMENT DEED FOR SIDEWALK	EG	
TYP	ALL UTILITIES TO BE INSTALLED UNDERGROUND. SEE CIVIL DRAWINGS FOR ALL UTILITY INFORMATION.		USE . TO BE CONSTRUCTED TO MATCH SIDEWALK.		EXISTING GRADE
TYP	ALL BUILDINGS ARE TO BE TWO STORYS w/ ATTACHED GARAGE(S)	21	GAS METER	NG	NEIGHBORING GRADE



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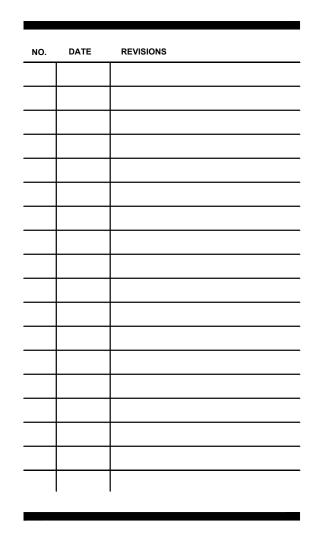
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Site Plan





LICENSED SURVEYOR TO PROVIDE MONITORING OF SHORING ANA IMPROVEMENTS ON ADJACENT PROPERTIES AND SUBMIT RESULTS WITH A REPORT TO THE SHORING DESIGN ENGINEER AND TO THE BUILDING INSPECTOR ON A DAILY BASIS DURING EXCAVATION AND SHORING AND WEEKLY BASIS THEREAFTER. WHERE DEWATERING IS REQUIRED, MONITORING SHALL CONTINUE UNTIL DEWATERING IS Stopped

IN LIEU OF SPECIAL INSPECTION BY DEPUTY INSPECTOR, GEOTECHNICAL ENGINEER SHALL PROVIDE CONTINUOUS INSPECTIONS DURING THE SHORRING AND EXCAVATION OPERATIONS AND DURING REMOVAL OF SHORING.

CONTRACTOR SHALL NOTIFY ADJACENT PROPERTY OWNERS BY CERTIFIED MAIL 10 DAYS PRIOR TO STARTING ANY EXCAVATION WORK. (CIVIL CODE SECTION 832). PROOF OF CERTIFIED MAIL SHALL BE PROVIDED PRIOR TO EXCAVATION PERMIT.

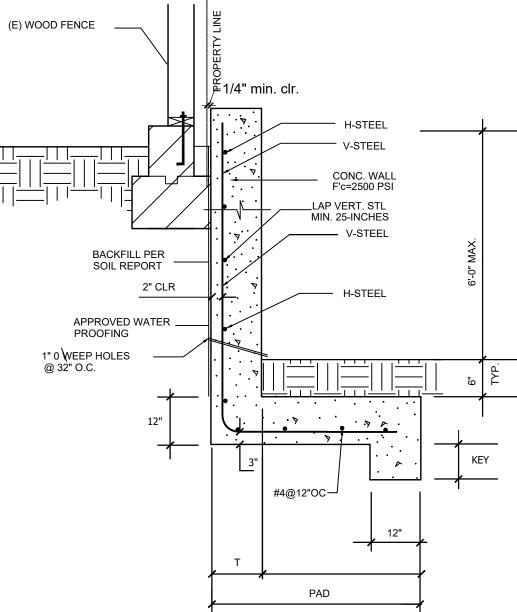
NO GRADING PERMITS CAN BE ISSUED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

TEMPORARY EXCAVATIONS RECOMMENDATIONS: THE PLANNED EXCAVATIONS WILL REQUIRE AN A-B SLOT-CUT METHOD. THE PROPOSED EXCAVATION WILL REQUIRE TO BE TRIMMED AT A 1 TO 1 (HORIZONTAL TO VERTICAL) GRADIENT UP TO A TOTAL HEIGHT OF 10 FEET. THE A-B SLOT-CUT METHOD WILL THEN CONSIST OF 6'-0" WIDE SECTIONS OF SOILS, WHICH WOULD BE ALTERNATELY EXCAVATED WITH A 5' VERTICAL AT BOTTOM OF THE CUT, FOUNDATION PLACED WITH CONCRETE AND WALL CONSTRUCTED.

EXCAVATIONS ALONG PROPERTY LINE WILL REQUIRE THE A-B SLOT-CUT METHOD WHICH WILL CONSIST OF 6 FEET WIDE SECTIONS OF SOILS, WHICH WOULD BE ALTERNATELY EXCAVATED WITH A 5 FEET VERTICAL AT THE BOTTOM OF THE CUT, FOUNDATION PLACED WITH CONCRETE AND A WALL CONSTRUCTED. OUR TEMPORARY SLOT-CUT CALCULATIONS ARE ATTACHED IN APPENDIX "A". CARE SHOULD BE TAKEN TO PROVIDE OR MAINTAIN ADEQUATE LATERAL SUPPORT FOR ALL ADJACENT IMPROVEMENTS AND STRUCTURES AT ALL TIMES DURING THE GRADING OPERATIONS AND CONSTRUCTION PHASE. THESE CUTS SHALL BE OBSERVED BY A REPRESENTATIVE OF THIS FIRM DURING GRADING AND CONSTRUCTIONS PHASE.

A C.4

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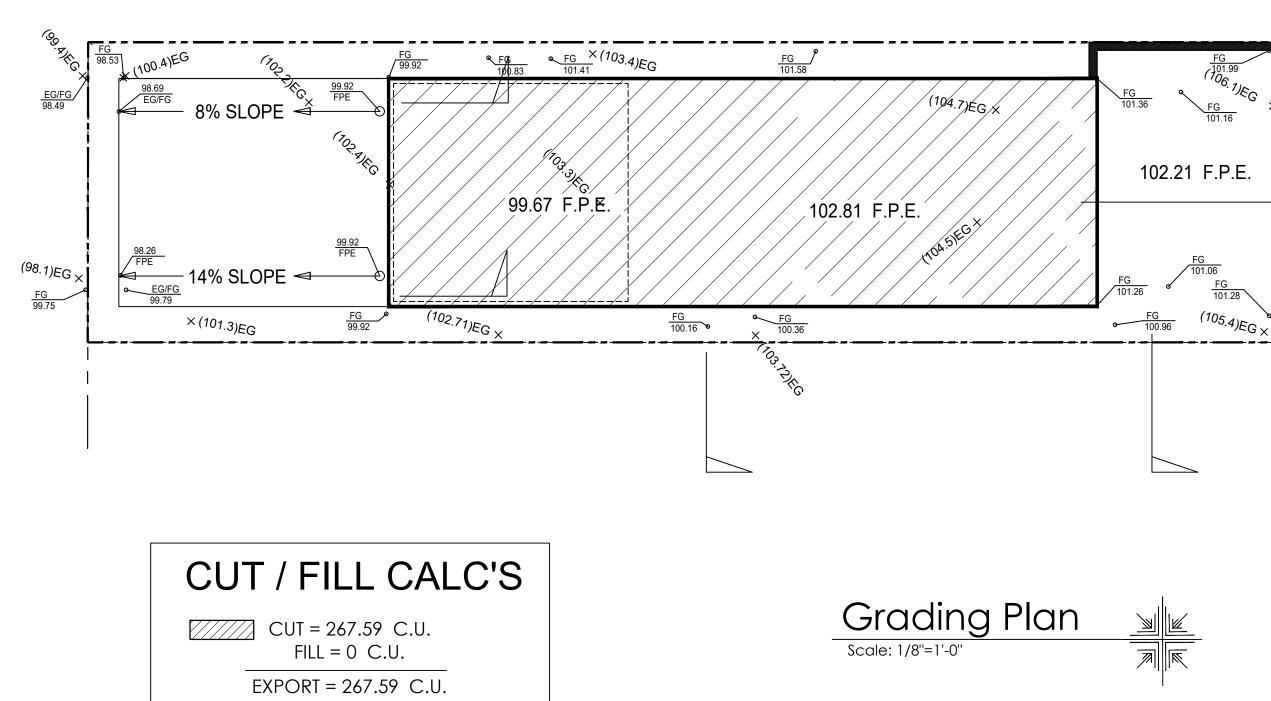
ΗТ	т	V-STEEL	H-STEEL	TOE	TOE STEEL	HL	HL STEEL	PAD	в	KEY <sup>*</sup>
6'	10"	#5 @ 12" OC	#4 @ 12"OC	3'-6"	#4 @ 12"OC	0	0	4'-4"	12"	6"
5'	10"	#5 @ 12" OC	#4 @ 12"OC	3'-6"	#4 @ 12"OC	0	0	4'-2"	12"	2"
4'	10"	#5 @ 12" OC	#4 @ 12"OC	3'-0"	#4 @ 12"OC	0	0	3'-8"	12"	no
3'	10"	#5 @ 12" OC	#4 @ 12"OC	2'-0"	#4 @ 12"OC	0	0	2'-8"	12"	no
2'	10"	#5 @ 12" OC	#4 @ 12"OC	1'-6"	#4 @ 12"OC	0	0	2'-2"	12"	no
1'	10"	#5 @ 12" OC	#4 @ 12"OC	1'-6"	#4 @ 12"OC	0	0	2'-2"	12"	no
-	6' 5' 4' 3' 2'	6' 10" 5' 10" 4' 10" 3' 10" 2' 10"	6'       10"       #5 @ 12" OC         5'       10"       #5 @ 12" OC         4'       10"       #5 @ 12" OC         3'       10"       #5 @ 12" OC         2'       10"       #5 @ 12" OC	6'       10"       #5 @ 12" OC       #4 @ 12"OC         5'       10"       #5 @ 12" OC       #4 @ 12"OC         4'       10"       #5 @ 12" OC       #4 @ 12"OC         3'       10"       #5 @ 12" OC       #4 @ 12"OC         2'       10"       #5 @ 12" OC       #4 @ 12"OC         2'       10"       #5 @ 12" OC       #4 @ 12"OC	6'       10"       #5 @ 12" OC       #4 @ 12"OC       3'-6"         5'       10"       #5 @ 12" OC       #4 @ 12"OC       3'-6"         4'       10"       #5 @ 12" OC       #4 @ 12"OC       3'-0"         3'       10"       #5 @ 12" OC       #4 @ 12"OC       2'-0"         2'       10"       #5 @ 12" OC       #4 @ 12"OC       2'-0"	6'       10"       #5 @ 12" OC       #4 @ 12"OC       3'-6"       #4 @ 12"OC         5'       10"       #5 @ 12" OC       #4 @ 12"OC       3'-6"       #4 @ 12"OC         4'       10"       #5 @ 12" OC       #4 @ 12"OC       3'-6"       #4 @ 12"OC         3'       10"       #5 @ 12" OC       #4 @ 12"OC       3'-0"       #4 @ 12"OC         3'       10"       #5 @ 12" OC       #4 @ 12"OC       2'-0"       #4 @ 12"OC         2'       10"       #5 @ 12" OC       #4 @ 12"OC       1'-6"       #4 @ 12"OC	6'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0         5'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0         4'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0         3'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-0"       #4 @ 12" OC       0         3'       10"       #5 @ 12" OC       #4 @ 12" OC       2'-0"       #4 @ 12" OC       0         2'       10"       #5 @ 12" OC       #4 @ 12" OC       1'-6"       #4 @ 12" OC       0	6'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0       0         5'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0       0         4'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0       0         3'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-0"       #4 @ 12" OC       0       0         3'       10"       #5 @ 12" OC       #4 @ 12" OC       2'-0"       #4 @ 12" OC       0       0         2'       10"       #5 @ 12" OC       #4 @ 12" OC       1'-6"       #4 @ 12" OC       0       0	6'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0       0       4'-4"         5'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0       0       4'-2"         4'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-6"       #4 @ 12" OC       0       0       4'-2"         3'       10"       #5 @ 12" OC       #4 @ 12" OC       3'-0"       #4 @ 12" OC       0       0       3'-8"         3'       10"       #5 @ 12" OC       #4 @ 12" OC       2'-0"       #4 @ 12" OC       0       0       2'-8"         2'       10"       #5 @ 12" OC       #4 @ 12" OC       1'-6"       #4 @ 12" OC       0       0       2'-8"         2'       10"       #5 @ 12" OC       #4 @ 12" OC       1'-6"       #4 @ 12" OC       0       0       2'-2"	6'       10"       #5@12"OC       #4@12"OC       3'-6"       #4@12"OC       0       0       4'-4"       12"         5'       10"       #5@12"OC       #4@12"OC       3'-6"       #4@12"OC       0       0       4'-2"       12"         4'       10"       #5@12"OC       #4@12"OC       3'-6"       #4@12"OC       0       0       4'-2"       12"         4'       10"       #5@12"OC       #4@12"OC       3'-0"       #4@12"OC       0       0       3'-8"       12"         3'       10"       #5@12"OC       #4@12"OC       2'-0"       #4@12"OC       0       0       2'-8"       12"         2'       10"       #5@12"OC       #4@12"OC       1'-6"       #4@12"OC       0       0       2'-8"       12"         2'       10"       #5@12"OC       #4@12"OC       1'-6"       #4@12"OC       0       0       2'-8"       12"         2'       10"       #5@12"OC       #4@12"OC       1'-6"       #4@12"OC       0       0       2'-8"       12"

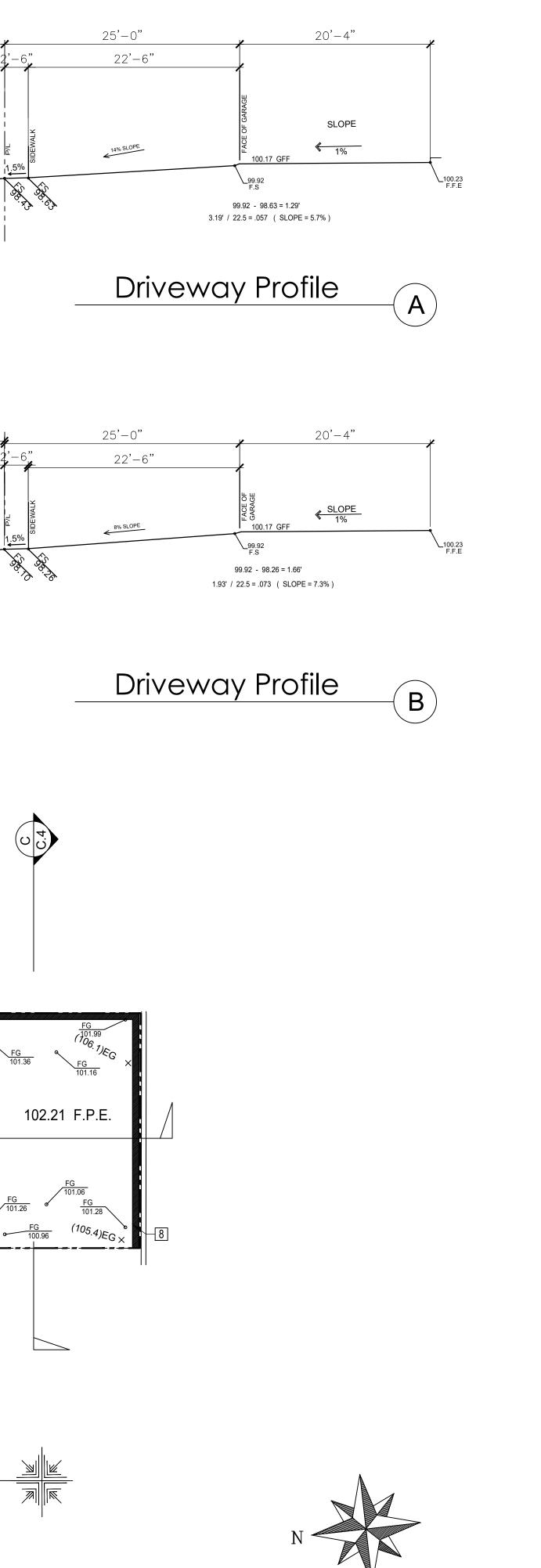
 $\left( \begin{array}{c} \mathbf{D} \\ \mathbf{Q} \\ \mathbf{Q} \end{array} \right)$ 

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\* SLAB ON GRADE AGAINST WALL, NO KEY REQUIRED









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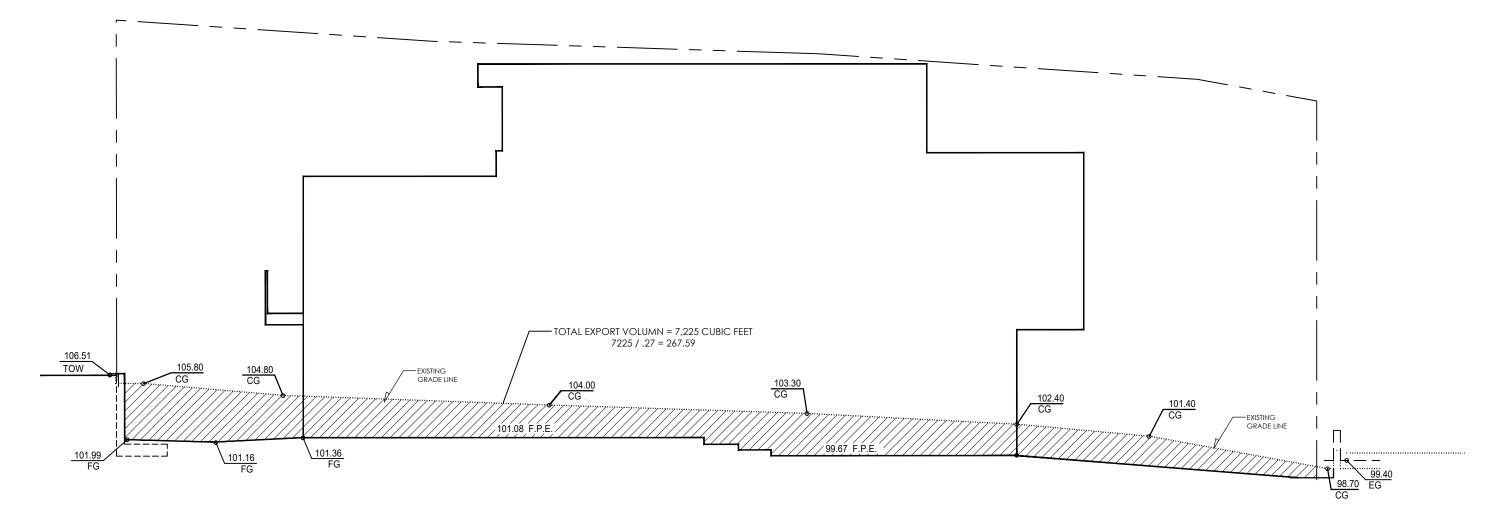
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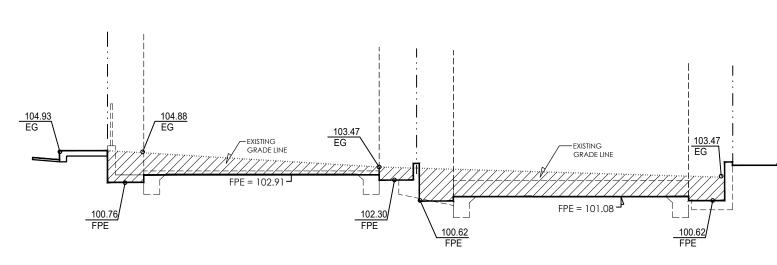
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Grading Plan

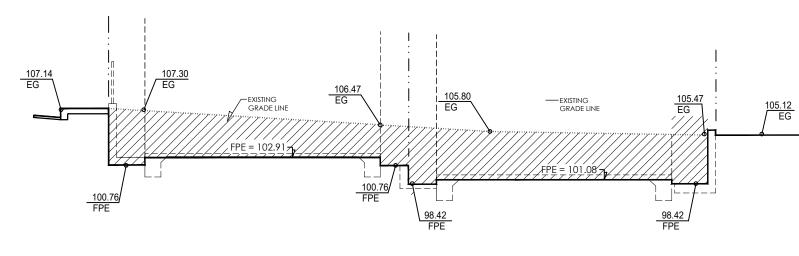




Grading Section "A" 









# East Elevation

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**DRAWN BY: D.GREGG DATE :** 11/22/23

Grading Sections

C.4

# WOOD

# 1. ALL STRUCTURAL LUMBER SHALL BE DOUGLAS FIR LARCH AS

- FOLLOWS, UNLESS NOTED OTHERWISE
- 2X JOIST -----GRADE #2
  BEAMS, HEADERS, AND POSTS------GRADE #1
- STUDS-----CONST. GRADE
- GLU-LAM BEAMS SHALL BE GRADE 24f-V4. FABRICATOR SHALL SUBMIT AITC CERTIFICATION TO BUILDING DEPARTMENT AND ENGINEER FOR APPROVAL. PROVIDE STANDARD CAMBER U.N.O.
- MICRO=LAM AND PARALAM BEAMS SHALL BE AS MANUFACTURED BY TRUSS-JOIST PER ESR-1387, AND SHALL BE STAMPED WITH THE MANUFACTURERS LOGO. MANUFACTURER SHALL SUBMIT CERTIFICATION PRIOR TO INSTALLATION.
- MICRO=LAM Fb=2600 psi, Fv=285psi, E=1.8X10E6 psi
- PSL Fb=2900 psi, Fv=285 psi, E=1.8X10E6 psi.
   2-2X BEAMS SHALL BE NAILED TOGETHER W/16d NAILS @12" O.C.
- MAXIMUM. 5. PROVIDE MULTIPLE STUDS FOR SOLID BEARING AT END OF
- MISELLANEOUS BEAMS WHERE POSTS ARE NOT SHOWN
- CARRY ALL STUD OR POSTS DOWN TO FOUNDATION OR SLAB.
   ALL STUD WALL SHALL HAVE FIRE BLOCKING AT 8'-0" O.C. MAXIMUM.
   PROVIDE 2X3 CROSS BRIDGING OR 2XSOLID BLOCKING AT A MAXIMUM
- OF 8'-0" O.C. FOR 2X12 FLOOR JOISTS AND AT A MAXIMUM OF 10'-0" O.C. FOR ROOF RAFTERS. METAL BRIDGING OR EQUAL MAY BE USED.
- 9. PLYWOOD IS TO BE STAMPED BY THE AMERICAN PLYWOOD ASSOCUATION AND SHALL CONFORM TO U.S. PRODUCT STANDARD PSI-95 WITH EXTERIOR GLUE (U.N.O.)
- ROOF SHEATING AND NAILING IS TO BE APPROVED BY THE INSPECTOR BEFORE APPLICATION OF ROOFING.
   ALL NAILING SHALL CONFORM TO CBC TABLE 2304.9.1
- 12. ALL BOLT HEADS AND NUTS WHICH BEAR AGAINST THE FACE OF
- WOOD MEMBERS SHALL USE METAL WASHERS.13. HOLES IN STRUCTURAL MEMBERS FOR PIPES AND CONDUIT SHALL
- COMPLY WITH LOCAL BUILDING DEPARTMENT REQUIREMENTS AND SHALL BE VERIFIED WITH THE ENGINEER. 14. WHERE WOOD IS IN CONTACT WITH CONCRETE OR MANSONRY, USE
- PRESSURE TREATED DOUGLAS FIR. 15. UNLESS SHOWN OTHERWISE, ALL SILL PLATES IN CONTACT WITH CONCRETE OR MANSONRY SHALL BE BOLTED TO CONCRETE OR
- MANSONRY AS FOLLOWS:
  AT EXTERIOR WALLS USE 5/8" dia. BOLTS X12"@4'-0" O.C. BEGINNING
- AT EXTENSION WALLS USE 5/8" dia. BOLTS X12 @4-0" O.C. BEGINNING
  AT INTERIOR WALLS USE 5/8" dia. BOLTS X12"@6'-0" O.C. BEGINNING
  0'-9" FROM END OF PLATE.

# NOTES:

ALL BOLTS SHALL EXTEND A MINIMUM OF 9" INTO CONCRETE OR MANSONRY.

AT INTERIOR WALLS, BOLTS MAY BE SUBSTITUTED WITH SIMPSON "WEDGE-ALL" WEDGE ANCHORS (ER3631) WITH 2-3/4" MINUMUM EMBEDMENT.

- 16. ALL UNSCRIPTION WALLS HIGHER THEN 10'-0" SHALL BE 2X6
- STUDS@16" O.C. U.N.O. ALL UNSUPPORTED WALLS HIGHER THEN 14'-0" SHALL BE 2X8 STUDS@16" O.C. U.N.O.

17. GLULAMS AND PSL MEMBERS EXPOSED TO WEATHER SHALL BE PRESSURE TREATED.

# CONCRETE

## 1. CONCRETE SHALL BE AS FOLLOWS

LOCATION	AGGREGATES	STRENGTH @28 DAYS
A. CONT. FOOTINGS	STONE	2500psl
B. FOOTING PADS	STONE	2500psl
C. GRADE SLAB	STONE	2500psl
D. GRADE BEAM	STONE	3000psI

- 2. NOTE: A HIGHER STRENGTH OF CONCRETE MAY BE SUBSTITUTED FOR THOSE SHOWN ABOVE BUT WILL BE SUBJECT TO THE CODE REQUIREMENTS OF THE HIGHER GRADE. ALL CONCRETE SHALL BE DESIGNED BY ULTIMATE STRENGTH UNLESS NOTED OTHERWISE.
- CEMENT SHALL CONFORM TO ASTM C150
   HARDROCK AGGREGATE SHALL CONFORM TO ASTM C33. THEIR MAXIMUM
- SIZE SHALL BE 1 1/2".FOR FOOTINGS CAISSONS, AND GRADE BEAMS, AND 1" FOR ALL OTHER WORK. 5. LIGHTWEIGHT AGGREGATE SHALL CONFORM TO ASTM C330 AND SHALL
- BE APPROVED BY GOVERNING BUILDING CODES AND/ OR ENGINEER OF RECORD. THE MAXIMUM SIZE OF AGGREGATE SHALL BE 1/2". 6. ONLY ONE GRADE OF CONCRETE SHALL BE POURED ON THE JOB SITE AT
- ONE TIME. 7. CONTINUOUS INSPECTION IS REQUIRED FOR ALL CONCRETE IN EXCESS
- OF 2500 psi. 8. CONCRETE COVER OVER REINFORCING SHALL BE AS FOLLOWS:
- A.POURED AGAINST EARTH------3" B.EXPOSED TO EARTH BUT POURED AGAINST FORMS----2"
- 9. ALL REINFORCING SHOWN CONTINUOUS MAY BE LAPPED 30 DIAMETERS FOR GRADE 40 OR 36 DIAMETERS FOR GRADE 60 AND SLICES SHALL BE MADE AWAY FROM POINTS OF MAXIMUM STRESS. THE MINIMUM LAP SHALL BE 24".
- BEFORE CONCRETE IS POURED CHECK WITH ALL TRADES TO INSURE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, CURBS, CONDUITS, BOLTS, BOLTS, INSERTS, ETC RELATING TO WORK.
   ALL SLEEVES NOT SPECIFICALLY SHOWN ON THE DRAWINGS SHALL BE
- LOCATED BY THE TRADES INVOLVED AND SHALL BE APPROVED BY THE ENGINEER. 12. DRY PACK CONCRETE SHALL BE 1 PART PORTLAND CEMENT, AND 1
- PART SAND WITH SUFFICIENT WATER TO ALLOW A SMALL AMOUNT OF PASTE TO COME TO THE SURFACE. 13. CONCRETE GROUT SHALL BE NON-SHRINKING WITH SUFFICIENT WATER
- TO ALLOW POURING. MINUMUM ULTIMATE STRENGTH F'C AT 28 DAYS SHALL BE 2000 psi. 14. MIX THAT PRODUCES THE LOWEST SLUMP COMPATIBLE WITH PROPER
- PLACEMENT SHALL BE USED, (4-1/2" MAC SLUMP UNLESS OTHERWISE APPROVED BY THE ENGINEER).

# MOISTURE PROTECTION

- INSULATION
  1. EXTERIOR WALLS SHALL BE INSULATED WITH UNBACKED FIBERGLASS BATT INSULATION OF R VALUE AS INDICATED ON DRAWINGS OR TITLE-24 CALCULATIONS.
- 2. ROOF OR CEILINGS SHALL BE INSULATED WITH UNBACKED FIBERGLASS BATT INSULATION OF R VALUE AS INDICATED ON DRAWINGS OR
- TITLE-24 CALCULATIONS.3. INSULATION SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANU-FACTURER'S PRINTED INSTRUCTIONS.

# FLASHING AND SHEET METAL GENERAL

- 1. INSTALL ALL FLASHING IN ACCORDANCE WITH GOOD AND USUAL TRADE PRACTICES AND IN ACCORDANCE WITH ARCHITECTURAL SHEET METAL MANUAL OF SMACNA.
- MATERIALS
  1. SHEET METAL SHALL COMPLY WITH ASTM A526, 26 GA MINIMUM U.N.O., WITH MINIMUM 1.25 OUNCES PER SQUARE FOOT OF GALVANIZED
- COATING.2. FASTENERS: PROVIDE SCREWS AND NEOPRENE WASHERS FOR MECH-ANICALLY FASTENING SHEET METAL COMPONENTS.
- SOLDER AND FLUX SHALL BE TYPE RECOMMENDED FOR MATERIALS BEING USED.
- 4. PLASTIC CEMENT SHALL BE CUTBACK ASPHALTIC TYPE, FEDERAL SPEC. SS-C-00153A, OR AS RECOMMENDED BY ROOFING AND/OR WATER-PROOFING MANUFACTURER.
- 5. LOUVERED ROOF VENTS TO PROVIDE A MINIMUM OF 100 SQ.IN. OF NET FREE AREA EACH VENT.
- INSTALLATION
  1. FLASH AND COUNTERFLASH AT ALL ROOF TO WALL CONDITIONS. G.I. FLASH AND CAULK WOOD BEAMS AND OUTLOOKERS PROJECTING
- THROUGH EXTERIOR WALLS OR ROOF SURFACES.
  2. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOFING, WHICH CONFORMS TO STANDARDS OF LOOM. AND STATE SOURCE.
- WHICH CONFORMS TO STANDARDS OF LOCAL AND STATE CODES.
  BUILDING PAPER, GALVANIZED WIRE MESH AND WATERPROOF CEMENT PLASTER SHALL BE INSTALLED AT WALLS OF SHOWER STALLS AND ON WALLS ABOVE TUBS WITH SHOWERS EXTENDING 6" BEYOND EDGE OF DAM OR TUB AND 6'-0" ABOVE FLOOR BUT NOT LESS THAN 6" ABOVE SHOWER HEAD. USE CLASS "A" OR "B" PAPER. U.N.O.
- LOCK SEAMS AND END JOINTS, FITTING FLASHINGS TIGHTLY INTO PLACE. MAKE CORNERS SQUARE, SURFACES TRUE AND STRAIGHT IN PLANES, AND LINES ACCURATE TO PROFILES.
- 5. INSTALL WORK WITH CONCEALED CLIPS OR OTHER CONCEALED FASTEN-INGS SO THAT NO NAILS OR SCREWS ARE EXPOSED TO VIEW. PROVIDE EXPANSION JOINTS AT EXPANSION CONDITIONS AS REQUIRED BY GOOD PRACTICE AND AS SHOWN.
- 6. LAP FLASHINGS MINIMUM 4" UNLESS SHOWN OR REQUIRED OTHERWISE. SET LAPPED JOINTS IN HYDROSEAL, OR OTHER APPROVED.
- 7. IMMEDIATELY FOLLOWING INSTALLATION OF FLASHINGS, TOUCH-UP AREAS WHERE PRIMER HAS BEEN REMOVED DURING INSTALLATION OPERATIONS AND WHERE SOLDERING HAS OCCURED.
- 8. PROVIDE GALVANIZED SHEET STEEL VENTS AS SHOWN ON DRAWINGS WITH 1/4" GALVANIZED HARDWARE CLOTH MESH.
- 9. PROVIDE FLASHING FOR FLUES AND FRESH AIR INTAKE GRILLES RE-QUIRED FOR APPLIANCE AND EQUIPMENT. SEE DRAWINGS FOR LOCATION.
- EXTERIOR FINISHES1. MOISTURE BARRIER: PROVIDE (1) LAYER 15# ASPHALT SATURATED FELT MINIMUM UNDER ALL EXTERIOR FINISHES.
- 2. ALL EXTERIOR MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE UBC, APPLICABLE EDITION, STATE AND LOCAL CODES.
- K-LATH TO BE APPLIED FOR STUCCO FINISHES NOTE: USE SPECIAL K-LATH PRODUCTS OVER SHEAR WALLS PER CODE.

# SEALANTS AND CAULKING

- MATERIALS
  1. (SEALANTS) PROVIDE THE MATERIALS MANUFACTURED BY PRODUCTS RESEARCH & CHEMICAL CORPORATION, DOW CORNING, GENERAL ELEC. COMPANY OR EQUALS APPROVED IN ADVANCE BY THE ARCHITECT, WHERE INDICATED AND WHERE OTHERWISE REQUIRED FOR A COMPLETE AND PROPER INSTALLATION.
- 2. (PRIMERS) USE ONLY THOSE PRIMERS WHICH HAVE BEEN TESTED FOR DURABILITY ON THE SURFACES TO BE SEALED AND ARE SPECIFICALLY RECOMMENDED FOR THIS INSTALLATION BY THE MANUFACTURER OF THE SEALANT USED.
- 3. (MASKING TAPE) FOR MASKING AROUND JOINTS, PROVIDE AN APPRO-PRIATE MASKING TAPE WHICH WILL EFFECTIVELY PREVENT APPLICATION OF SEALANT ON SURFACES NOT SCHEDULED TO RECEIVE IT, AND WHICH IS REMOVABLE WITHOUT DAMAGE TO THE SUBSTRATE.
- (OTHER MATERIALS) PROVIDE OTHER MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, AS SELECTED BY THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE ARCHITECT.

# ELECTRICAL

- GENERAL
  1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OF GOVERNING AGENCIES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER AND TELEPHONE COMPANIES.
  MATERIALS
- 1. ALUMINUM WIRE NO.6 AWG AND SMALLER SHALL NOT BE USED IN ELECTRICAL WIRING
- 2. WIRE SMALLER THAN NO.6 AWG SHALL BE COPPER.
- ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED UNDER THIS SECTION SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK BT THE OWNER.
   ELECTRICAL GROUNDING SYSTEM SHALL CONFORM TO THE NATIONAL
- ELECTRICAL GROUNDING STSTEM SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE 1996 EDITION, ARTICLE 250.83 (A) "MADE ELECTRODES" CONCRETE ENCASED ELECTRODES (UFER SYSTEM).
   INSTALLATION
- ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHER-PROOF AND G.F.I. PROTECTED.
   RECEPTACLES IN KITCHEN AND BATHROOMS SHALL BE INSTALLED
- ABOVE WORKTOP U.N.O. 3. RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" TO CENTER LINE
- ABOVE FINISH FLOOR. 4. WALL SWITCHES TO BE 42" ABOVE FINISH FLOOR TO CENTER LINE.
- 5. ALL OUTLETS SHALL BE GROUNDED TYPE.
- ALL OUTLETS IN BATHS AND KITCHENS TO BE G.F.I. PROTECTED.
   ALL SMOKE DETECTORS SHALL CONFORM TO THE U.B.C. STANDARD. DETECTORS SHALL BE LOCATED WITHIN 12" OF CEILING. REQ'D SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DIS-CONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. ALL DEVICES SHALL HAVE A BATTERY BACK-UP & INTERCONNECTED.
- 8. SMOKE DETECTORS SHALL BE INSTALLED ON THE CEILING OR WALL OUTSIDE IMMEDIATE VICINITY OF ANY SLEEPING ROOM.
- 9. A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING \$1,000, SHALL REQUIRE THE INSTALLATION OF SMOKE DETECTORS
   10. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED,
- IT. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLE IT SHALL BE INTERCONNECTED IN SUCH A MANNER SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS.

# MECHANICAL

PLUMBING AND HEATING 1. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CODES, RULES

- AND REGULATIONS OF GOVERNING AGENCIES.
- 1. COPPER TUBE FOR WATER PIPING SHALL HAVE A WEIGHT OF NOT LESS THAN THAT OF COPPER WATER TUBE TYPE 1. EXCEPTION: TYPE M COPPER TUBING MAY BE USED FOR WATER PIPING WHEN PIPING IS ABOVE GROUND, AND THE NORMAL MAXIMUM PRESSURE DOES NOT EXCEED 100 LBS. AND THE WORKING TEMPERATURE DOES NOT EXCEED
- 210 DEGREES FAHRENHEIT.
   ALL HOSE BIBS AND LAWN HYDRANTS SHALL BE PROTECTED BY AN APPROVED NON-REMOVABLE TYPE BACKFLOW PREVENTION DEVICE OR CHECK VALVE AT MAIN WATER LINE OF HOUSE.
- WATER HEATER
- WITH NON-RIGID WATER CONNECTIONS, STRAP WATER HEATER FOR LATERAL SUPPORT (2- 2"x16" STEEL STRAPS)
- 2. PROVIDE A PRESSURE TEMPERATURE RELIEF VALVE AT WATER HEATER. GAS PIPING
- 1. ALL PIPE USED FOR THE INSTALLATION OF ANY GAS PIPING SHALL BE STANDARD WEIGHT WROUGHT IRON OR STEEL (GALV. OR BLACK), YELLOW BRASS (CONTAINING NOT MORE THAN 75% COPPER OR INTERNALLY TINNED OR EQUIVALENTLY TREATED COPPER OF IRON PIPE SIZE.)
- 2. ALL FITTINGS USED IN CONNECTION WITH THE ABOVE PIPING SHALL BE OF MALLEABLE IRON OR YELLOW BRASS (CONTAINING NOT MORE THAN 75% COPPER).

WASTE PIPING

- 1. ALL WASTE PIPING WHICH PENETRATES WALLS WITH ONE HOUR FIRE RESISTIVE MATERIALS APPLIED SHALL BE CAST IRON OR OTHER NON-COMBUSTIBLE PIPING MATERIAL APPROVED BY THE U.B.C. APPLICABLE EDITION, STATE AND LOCAL CODES.
- 2. RAPID FIT WASTE AND OVERFLOW FITTINGS SHALL BE USED IN LIEU OF ACCESS PANEL AS PER I.A.P.M.O. FILE NO. 966.
- 2ND FLOOR HORIZONTAL RUN OVER LIVING AREA TO BE CAST IRON.
   ALL TUBS SHALL BE PROVIDED WITH TIP TOE DRAINS AND ALL WASTE AND OVERFLOW FITTINGS SHALL BE USED IN LIEU OF ACCESS PANEL AS PER I.A.P.M.O. FILE NO. 966. ALL CONNECTIONS SHALL BE SOLVENT WELDED TO COMPLY WITH COMMERCIAL STANDARD CS-270-65.
   FAN SYSTEMS
- FAN SYSTEMS EXHAUSTING AIR FROM THE BUILDING TO THE OUTSIDE SHALL BE PROVIDED WITH BACKDRAFT DAMPERS INSTALLED TO PREVENT AIR I FAKAGE WHEN THE FAN IS NOT OPERATING
- PREVENT AIR LEAKAGE WHEN THE FAN IS NOT OPERATING. 2. PROVIDE FAN UNIT IN EACH BATH/TOILET ROOM WITHOUT VENTABLE
- WINDOW TO PROVIDE ONE COMPLETE AIR CHANGE EVERY 5 MINUTES.
  CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO 14'-0" WITH TWO ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION. REDUCE THIS LENGTH BY 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO. VENT MAY HAVE TO BE INCREASED.
- COMBUSTION AIR VENTS
- 1. COMBUSTION AIR VENTS AND DUCTS SHALL BE PROVIDED WITH MIN. UNOBSTRUCTED COMBUSTION AIR OPENINGS EQUAL TO THAT SET FORTH IN THE TABLE BELOW.
- WHERE THE FLOOR AREA OF THE APPLIANCE COMPARTMENT IS LESS THAN TWICE THE FLOOR AREA OF THE APPLIANCES THEREIN, THE MIN. TOTAL FREE AREA SHALL NOT BE LESS THAN 200 SQ. INCHES.
- 3. WHERE THE FLOOR AREA OF THE APPLIANCE COMPARTMENT IS MORE THAN TWICE THE FLOOR AREA OF THE APPLIANCE THEREIN, THE MIN. FREE TOTAL AREA SHALL NOT BE LESS THAN 100 SQ. INCHES.

COMBUSTION AIR REQUIREMENTS FOR FUEL BURNING EQUIPMENT

INPUT	MIN. TOTAL FREE AREA OF DUCTS OR OPENINGS, WHERE FLOOR AREA OF COMPARTMENT IS TWICE THE FLOOR AREA OF THE APPLIANCES THEREIN.	MIN. TOTAL FREE AREA OF DUCTS OR OPENINGS, WHERE FLOOR AREA OF COMPARTMENT IS LESS THAN TWICE THE FLOOR AREA OF THE APPLIANCE THEREIN.
0 THRU 500,000 BTU'S	2 SQ. INCHES FOR 1000 BTU'S	1 SQ. INCH FOR 1000 BTU'S
500,000 THRU 1,000,000 BTU'S	1,000 SQ. INCHES PLUS 2 SQ. INCHES FOR EACH 1500 BTU'S OVER 500,000 BTU'S	500 SQ. INCHES PLUS 1 SQ. INCHES FOR EACH 1500 BTU'S OVER 500,000 BTU'S
OVER 1,000,000 BTU'S	1,666 SQ. INCHES PLUS 2 SQ. INCHES FOR EACH 2000 BTU'S OVER 1,000,000 BTU'S.	833 SQ. INCHES PLUS 1 SQ. INCH FOR EACH 2000 BTU'S OVER 1,000,000 BTU'S.

- 4. F.A.U. COMPARTMENTS SHALL BE 12" WIDER THAN F.A.U. WITH MIN. 3" CLEARANCE AT SIDES, BACK AND TOP AND 6" IN FRONT. CIRCUL-ATING AIR SUPPLY OPENINGS AND DUCTS SHALL BE MINIMUM 200 SQ. INCHES OR MINIMUM 2 SQ. INCHES PER 1,000 BTU, BUT NEED NOT EXCEED THE SIZE OF THE CIRCULATING AIR SUPPLY. DUCTS SHALL BE A MINIMUM 200 SQ. INCHES OR MINIMUM 2 SQ. INCHES PER 1,000 BTU WITH 1/2 IN THE UPPER 12" OF THE COMPARTMENT AND NOT MORE THAN 12" ABOVE THE BASE OF THE F.A.U. SEPERATE DUCTS TO OUT-SIDE AIR OR VENTILATED ATTIC SPACE TERMINATING 6" ABOVE THE CEILING JOISTS, SHALL BE USED FOR THE UPPER AND LOWER COMB-USTION AIR SUPPLY.
- PROVIDE COMBUSTION AIR FOR WATER HEATERS, 1 SQ. INCH PER 1,000 BTU (MINIMUM 50 SQ. INCHES) LOCATED WITHIN 6" TOP AND BOTTOM OF WATER HEATER COMPARTMENT.
- INSULATE DUCTS IN UNHEATED SPACES WITH ROCK SLAG OR GLASS BLANKETS (OR EQUAL) THAT 1/2" MINIMUM THICHNESS (1.5 P.C.F. MINIMUM DENSITY) OR 1" MINIMUM THICKNESS (0.6 P.C.F. MINIMUM DENSITY).
- ALL TRANSVERSE DUCT PLENUM AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE TAPE OR MASTIC.

# DOORS & WINDOWS (CONT.)

### GLASS AND GLAZING

- 1. IN LOCATIONS WHICH MAY BE SUBJECT TO HUMAN IMPACT SUCH AS FRAMELESS GLASS DOOR, GLASS ENTRANCE AND EXIT DOORS, FIXED GLASS PANELS, SLIDING GLASS DOORS, SHOWER DOORS, TUB ENCLOSURES, AND STORM DOORS SHALL MEET THE REQUIREMENTS SET FORTH IN THE UNIFORM BUILDING CODE APPLICABLE EDITION, STATE AND LOCAL CODES, AND THE SAFETY STANDARD FOR ARCH-ITECTURALE GLAZING MATERIALS (16CFR 1201).
- 2. U.B.C. LABELS SHALL BE PERMANENTLY ETCHED AND MUST BE LABELED SAFETY GLAZING FOR IMPACT. ALL GLASS LESS THAN 18" ABOVE ADJACENT WALKING SURFACE AND OVER 6 S.F. IN AREA SHALL BE TEMPERED.
- 3. GLASS SHOWER OR TUB ENCLOSURES SHALL BE LAMINATED OR TEMPERED. ALL MIRRORED WARDROBE DOORS TO BE TEMPERED GLASS. WEATHERSTRIPPING
- ALL SLIDING, SWINGING DOORS, AND WINDOWS OPENING TO THE EXT-ERIOR OR TO UNCONDITIONED AREAS SHALL BE FULLY WEATHERSTRIP-PED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION.
- ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE AIR INFILTRATION STANDARDA OF THE 1972 A.N.S.I. A.S.T.M. E283-73 WITH A PRESSURE DIFFERENTIAL OF 1.57 LBS/S.F. AND SHALL BE CERTIFIED AND LABELED.

# FINISH HARDWARE

1. ALL EXTERIOR ENTRANCE AND SERVICE DOORS TO BE KEYED ALIKE. GLASS AND GLAZING

- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD.
- FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24" ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. READ CODE FOR EXCEPTIONS.
- 3. ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36" HORIZONTALLY OF A WALKING SURFACE; WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE PANE OF THE ADJACENT WALKING SURFACE.
- 4. ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

# **FINISHES**

#### GYPSUM WALL BOARD 1. ALL GYPSUM WALL BOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE U.B.C. APPLICABLE EDITION, STATE AND LOCAL CODES, THE PLANS AND SPECIFICATIONS, AND PRINTED MANUF'S INSTRUCTIONS.

- GYPSUM WALL BOARD SHALL NOT BE INSTALLED UNTIL WEATHER
- PROTECTION FOR THE INSTALLATION IS PROVIDED.
  3. 5/8" TYPE 'X' FIRE RESISTANT TAPERED EDGE BOARDS SHALL BE USED WHERE REQUIRING FOR RATED FIRE PROTECTION AS INDICATED
- ON DRAWINGS.
  4. ALL CORNER BEADS SHALL BE NO. 10 SQUARE CORNER BEAD BY GOLD BOND BUILDING PRODUCTS (OR APPROVED EQUAL). RADIUS CORNER BEAD IF SPECIFIED (BULLNOSE) SHALL BE BEADEX MANUF. COMPANY, 3/4" RADIUS SOFTLINE CENTER BEAD. SEE DETAILS FOR APPLICATION.
- ALL EDGES AND ENDS OF GYPSUM WALL BOARD SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS WHICH ARE PERPENDICULAR TO THE FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM WALL BOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CONCEALED SPACES WHERE FIRE RESISTIVE CONSTRUCTION OR DIAPHRAGM ACTION IS NOT REQUIRED.
- 6. THE SIZE AND SPACING OF FASTENERS SHALL COMPLY WITH U.B.C. APPLICABLE EDITION, STATE AND LOCAL CODES. FASTENERS SHALL BE SPACED NOT LESS THAN 3/8" FROM EDGES AND ENDS OF GYPSUM WALL BOARD. FASTENERS AT THE TOP AND BOTTOM PLATES OF VERTICAL ASSEMBLIES, OR THE EDGES AND ENDS OF HORIZONTAL ASSEMBLIES PERPENDICULAR TO SUPPORTS, AND AT THE WALL LINE MAY BE OMMITTED EXCEPT ON SHEAR RESISTING ELEMENTS, OR FIRE RESISTIVE ASSEMBLIES. FASTENERS SHALL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PAPER WITH THE FASTENER HEAD. (SEE SHEARWALL SCHEDULE IF APPLICABLE)
- 7. ALL GYPSUM WALL BOARD NAILING TO BE INSPECTED AND APPROVED PRIOR TO TAPING.
- CERAMIC TILE 1. FLOOR TILE SHALL BE SET IN FULL FLOAT MORTAR BED, U.N.O. TILE OR OTHER HARD SURFACE MATERIAL AS SELECTED BY OWNER. SEE SCHEDULES.
- COUNTER AND SHOWER/TUB TILE SHALL BE SET IN MIN. 3/4" AND 1 1/2" MORTAR BEDS RESPECTIVELY. CHECK EXACT FINISH THICKNESS WITH PLUMBER PRIOR TO SETTINGS ROUGH PLUMBING VALVES.

#### PAINTING AND FINISHING GENERAL

 PROVIDE PAINTING WORK AS INDICATED ON DRAWINGS AND SPECIFIED HEREIN. APPLY PER MANUF. SPECIFICATIONS. DUNN EDWARDS OR EQUAL.

# PROTECTION

1. ADEQUATELY PROTECT OTHER SURFACES FROM PAINT AND DAMAGE. REPAIR DAMAGES AS A RESULT OF INADEQUATE OR UNSUITABLE PROTECTION.

# PREPARATION

- THOROUGHLY CLEAN ALL SURFACES TO BE PAINTED WITH HYDRO CLEANING PROCESS TO REMOVE CHALK, DIRT AND OTHER DELETERIOUS MATERIALS WHERE SUCH CLEANING METHODS ARE PRACTICAL. SPOT PRIME BEFORE APPLICATION OF FINISH COATS.
   CEMENTIOUS MATERIALS SHALL BE PATCHED AND PRIMED PRIOR TO
- 2. OLIVIENTIOUS WATCHARD SHALL DE PATORED AND PRIMED PRIOR TO PAINTING.
   3. REMOVE CONTAMINATION FROM GYPSUM WALL BOARD SURFACES AND
- PRIME TO SHOW DEFECTS, IF ANY. PAINT AFTER DEFECTS HAVE BEEN REMEDIED.
- 4. REMOVE DIRT, LOOSE SCALE, POWDER, MORTAR AND OTHER FOREIGN MATTER FROM CEMENTIOUS SURFACES WHICH ARE TO BE PAINTED OR TO RECEIVE CLEAR SEALER.
- 5. FILL HAIRLINE CRACKS, SMALL HOLES AND IMPERFECTIONS. SMOOTH OFF TO MATCH ADJACENT SURFACES. WASH AND NEUTRALIZE HIGH ALKALI WHERE THEY OCCUR.
- 6. CLEAN UNPRIMED STEEL SURFACES BY WASHING WITH SOLVENT. APPLY A TREATMENT OF PHOSPHORIC ACID SOLUTION, ENSURING WELDED JOINTS, BOLTS AND NUTS A SIMILAR CLEANING. PRIME SURFACES TO
- INDICATE DEFECTS, IF ANY. PAINT AFTER DEFECTS HAVE BEEN REMEDIED.
  7. WIPE OFF DUST AND GRIT FROM MISC. WOOD ITEMS PRIOR TO PRIMING. SPOT COAT KNOTS, PITCH STREAKS AND SAPPY SECTIONS WITH SEALER.
  FILL NAIL HOLES AND CRACKS AFTER PRIMER HAS DRIED AND SAND BETWEEN COATS. BACK PRIME INTERIOR AND EXTERIOR WOODWORK.

# GENERAL NOTES

- IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.
- 2. PROVIDE AN APPROVED SPARK ARRESTER FOR THE CHIMNEY OF A FIREPLACE, STOVE OR BARBEQUE.
- 3. WATER HEATER MUST BE STRAPPED TO WALL. PER CODE
- PROVIDE EMERGENCY EGRESS FROM SLEEPING ROOMS. MIN.-24" CLEAR HT,
   20" CLEAR WIDTH, 5.7 SQ. FT.. MIN. AREA & 44" MAX. TO BOTTOM OF WINDOW OPENING
- 5. THE DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING, LANDING SHALL NOT BE MORE THAN 8" BELOW THE THRESHOLD.
- LANDING AT A DOOR SHALL HAVE A LENGTH MEASURED IN THE DIRECTION OF TRAVEL OF NO LESS THAN 36".
- 7. ATTIC MUST HAVE ACCESS OPENING (22"x30" MIN.)
- 8. UNDER-FLOOR VENTILATION SHALL BE NOT LESS THAN 1/150 OF UNDER FLOOR AREA.
- ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. IN. FOR EACH 10 SQ. FT.. OF ATTIC AREA) IS REQUIRED.
- 10. DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE, AND DETAIL DRAWINGS IN PREFERENCE TO SMALL SCALE DRAWINGS. CONTRACTOR(S) SHALL CHECK ACCURACY OF ALL DIMENSIONS IN FIELD.
- 11. GARAGE DOOR EXTENSION SPRINGS SHALL BE FABRICATED FROM EITHER HARD DRAWN-SPRING WIRE OR OIL-TEMPERED WIRE AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURES INSTRUCTION.

# EARTHWORK

#### MATERIALS

- 1. FILL MATERIALS SHALL BE FREE FROM DEBRIS, ORGANIC MATTER AND OTHER FOREIGN SUBSTANCES.
- EXCAVATED MATERIAL NOT SUITABLE FOR BACKFILL SHALL BE DISPOSED OF IN A MANNER APPROVED BY ALL GOVERNING AGENCIES.
   EXCAVATION
- EXCAVATIONS FOR FOOTINGS SHALL BE MADE TO THE WIDTH AND LENGTH AND SHALL BE CARRIED INTO NATURAL GRADE OR APPROVED COMPACT FILL AS INDICATED ON PLANS.
- EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER.
   WHERE EXCAVATIONS ARE MADE TO DEPTH GREATER THAN INDICATED, SUCH ADDITIONAL DEPTH SHALL BE FILLED WITH CONCRETE AS SPECI-FIED FOR FOOTINGS.
- BACKFILL
- 1. BACKFILL FOR TRENCHES SHALL BE COMPACTED TO MINIMUM 90 PER-CENT DENSITY OR AS DIRECTED BY SOILS ENGINEER.
- BACKFILL OR PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN SIX INCH LAYERS.
   ALL TRADES SHALL BACKELL THEIR OWN TRENCHES UNLESS OTHER
- 3. ALL TRADES SHALL BACKFILL THEIR OWN TRENCHES UNLESS OTHER-WISE DIRECTED BY THE GENERAL CONTRACTOR.

# SECURITY REQUIREMENTS

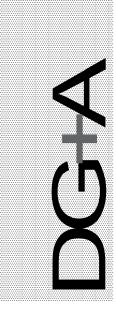
#### DOORS

- EXTERIOR DOORS, DOOR BETWEEN HOUSE AND GARAGE, WINDOWS AND THEIR HARDWARE SHALL CONFORM TO THE SECURITY PROVISIONS OF CHAPTER 67 OF THE BUILDING CODE.
- 2. A SINGLE SWINGING DOOR, ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEAD BOLT AND A DEAD LOCKING LATCH, BOTH KEY OPERATED FROM OUTSIDE. DEAD BOLTS SHALL HAVE A HARDENED INSERT 1" MINIMUM. THROW AND 5/8" MINIMUM EMBEDMENT INTO JAMB.
- 3. SWINGING WOODEN DOORS AND PANELS OF WOODEN DOORS SHALL NOT BE LESS THAN 1 3/8" THICK.
- 4. DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE.
- 5. DOOR STOPS OF WOOD JAMBS OF INSWINGING DOORS SHALL BE ONE-
- PIECE CONSTRUCTION OR JOINTED BY RABBET.
  6. WINDOW AND DOOR LITES WITHIN 40" OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPERED, APPROVED BURGLARY RESISTANT, PROTECTED BY BARS, SCREENS OR GRILLES OR THE LOCK SHALL BE KEY OPERATED FROM THE INSIDE.
- OVERHEAD AND SLIDING GARAGE DOORS SHALL BE SECURED WITH A CYLINDER LOCK, PADLOCK WITH A HARDENED STEEL SHACKLE METAL SLIDE BAR BOLT (OR EQUAL) WHEN NOT OTHERWISE LOCKED BY ELECTRIC POWER OPERATION.
- 8. BURGLAR-PROOF HINGE PINS ARE REQUIRED FOR ALL FRENCH DOORS THAT SWING OUT.

# DOORS & WINDOWS

# DOORS

- EXTERIOR DOOR SEE DOORS SCHEDULE
  1. EXTERIOR SOLID CORE DOORS SHALL BE PRE-PRIMED, VENEER CONST. WITH PARTICLEBOARD CORE. U.N.O.
- INTERIOR DOORS SEE DOORS SCHEDULE
- INTERIOR DOORS SHALL BE PRE-PRIMED HARDBOARD DOORS AS SHOWN IN DOOR SCHEDULE. U.N.O. HARDWARE
- ALL PIN-TYPE HINGES WHICH ARE ACCESSIBLE FROM OUTSIDE THE SECURED AREA WITH DOORS IN CLOSED POSITION, SHALL HAVE NON-REMOVABLE HINGE PINS.
- 2. ALL ENTRY DOORS SHALL BE SUPPLIED WITH DEADBOLTS AND SHALL CONFORM AS FOLLOWS:
  STRAIGHT DEAD BOLTS SHALL HAVE A MINIMUM THROW AT 1" AND EMBEDMENT OF NOT LESS THAN 5/8" AND SHALL CONTAIN HARDENIED INCERTOR
- HARDENED INSERTS.HOOK SHAPED OR EXPANDING LUG DEAD BOLTS SHALL HAVE A MINIMUM THROW OF 3/4".
- THE DEADBOLT LOCK OR LOCKS SHALL BE KEY OPERATED FROM THE EXTERIOR SIDE OF THE DOOR AND ENGAGED OR DISENGAGED FROM THE INTERIOR SIDE OF THE DOOR BY A DEVICE NOT REQUIR-ING A KEY, TOOL, OR EXCESSIVE FORCE.
- SECTIONAL OVERHEAD DOORS1. PROVIDE STANDARD OVERHEAD DOORS OF THE DIMENSIONS AND ARRANGEMENTS SHOWN ON THE DRAWINGS.
- PROVIDE ONE GARAGE DOOR PER DOOR WITH A 1/2 HORSEPOWER STANDARD ELECTRIC MOTOR OPENER WITH PUSHBUTTON AND REMOTE OPERATION. SUPPLY TWO REMOTES.
- WINDOWS
  1. SEE WINDOW SCHEDULE



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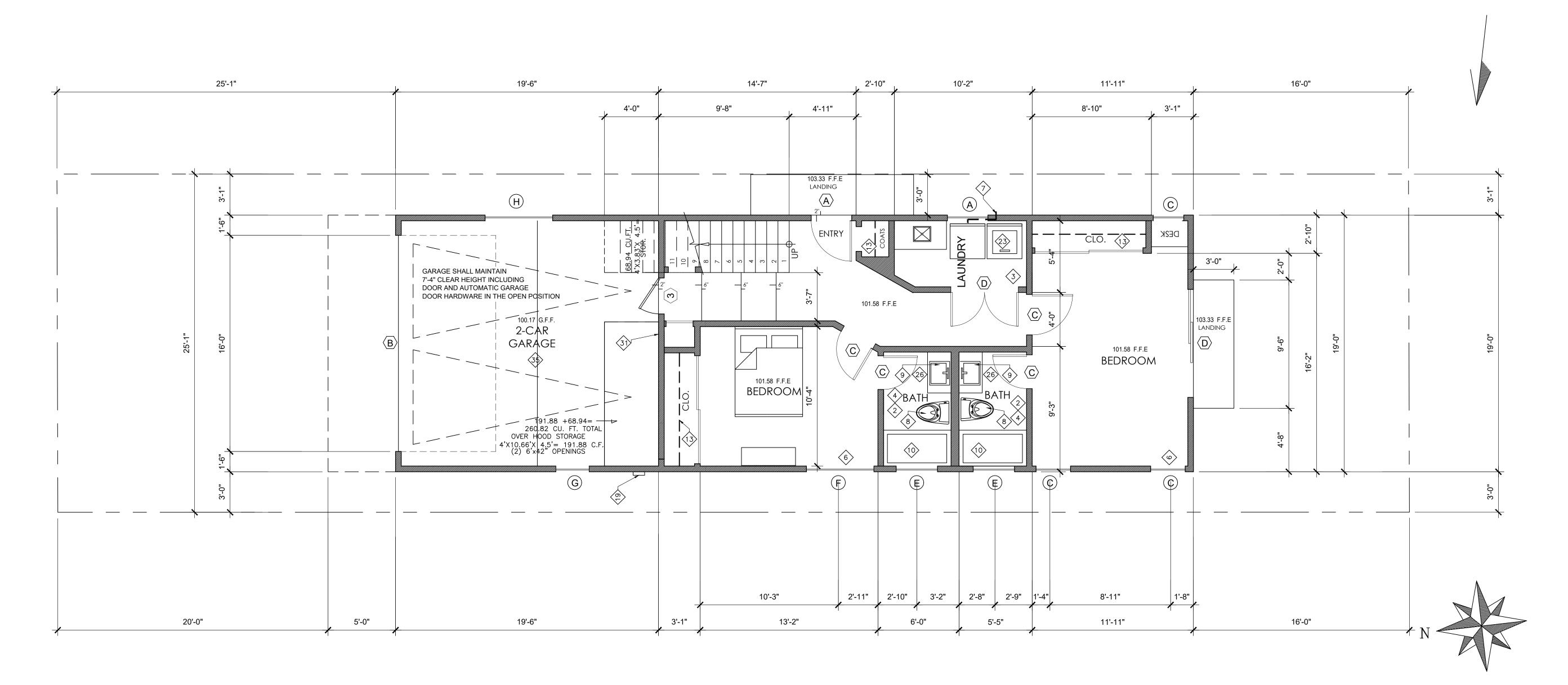
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DRAWN BY: D.GREGG DATE : 11/22/23

# General Notes

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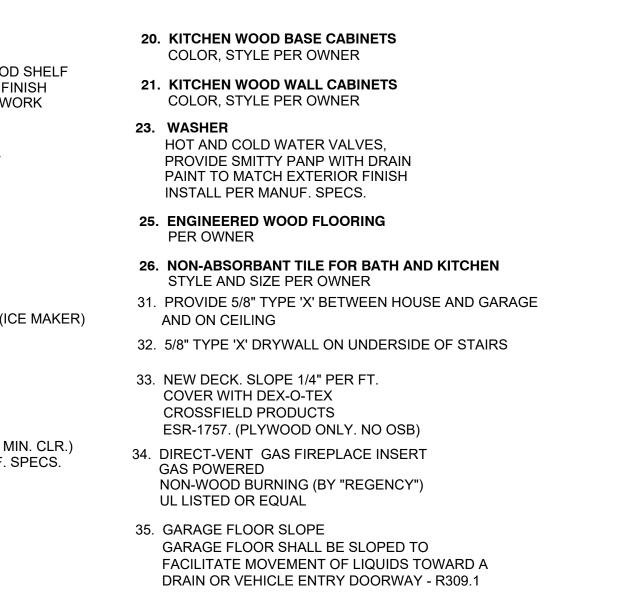


# FLOOR PLAN NOTES:

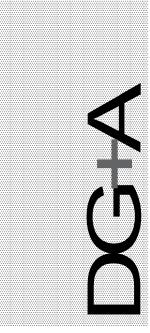
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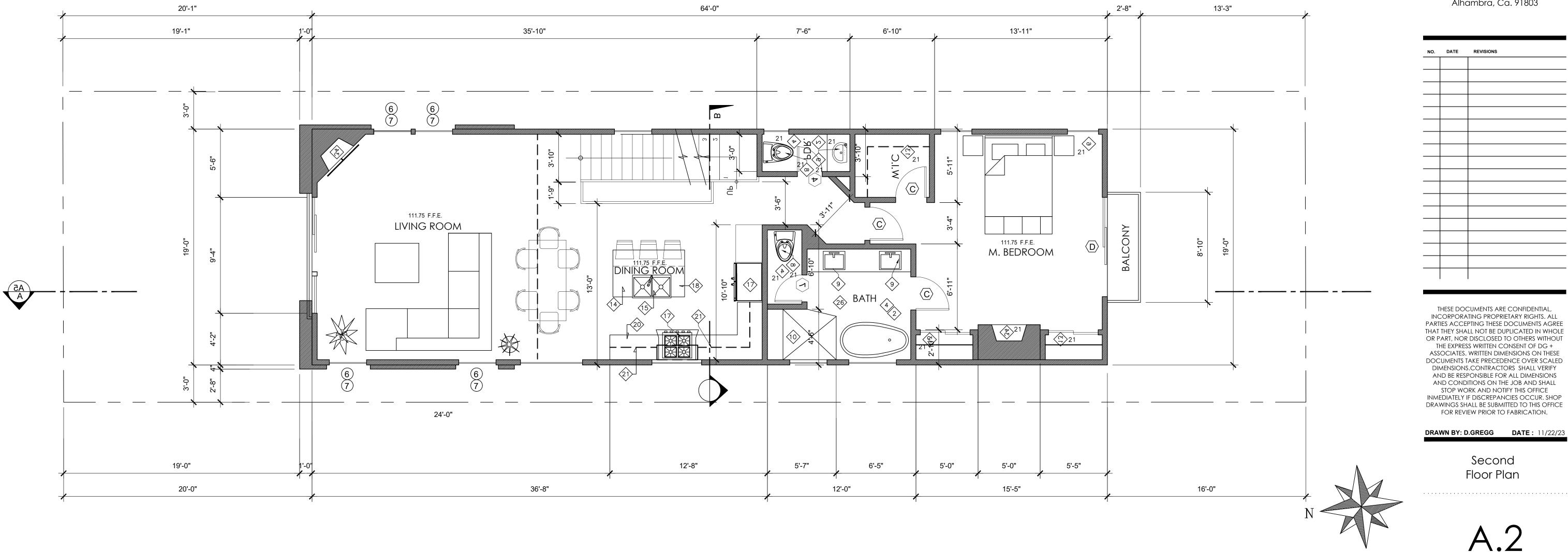
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# First Floor Plan

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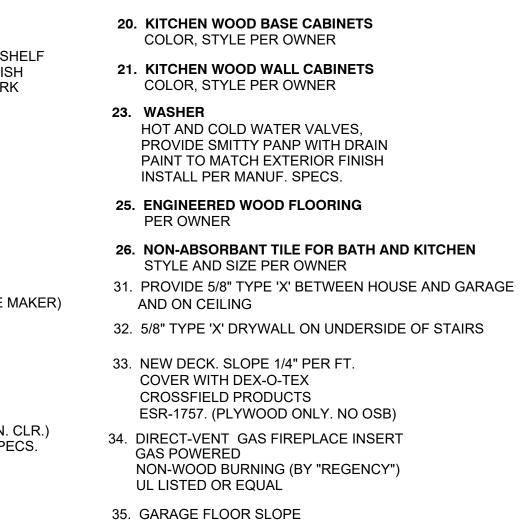
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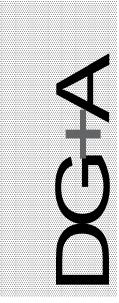
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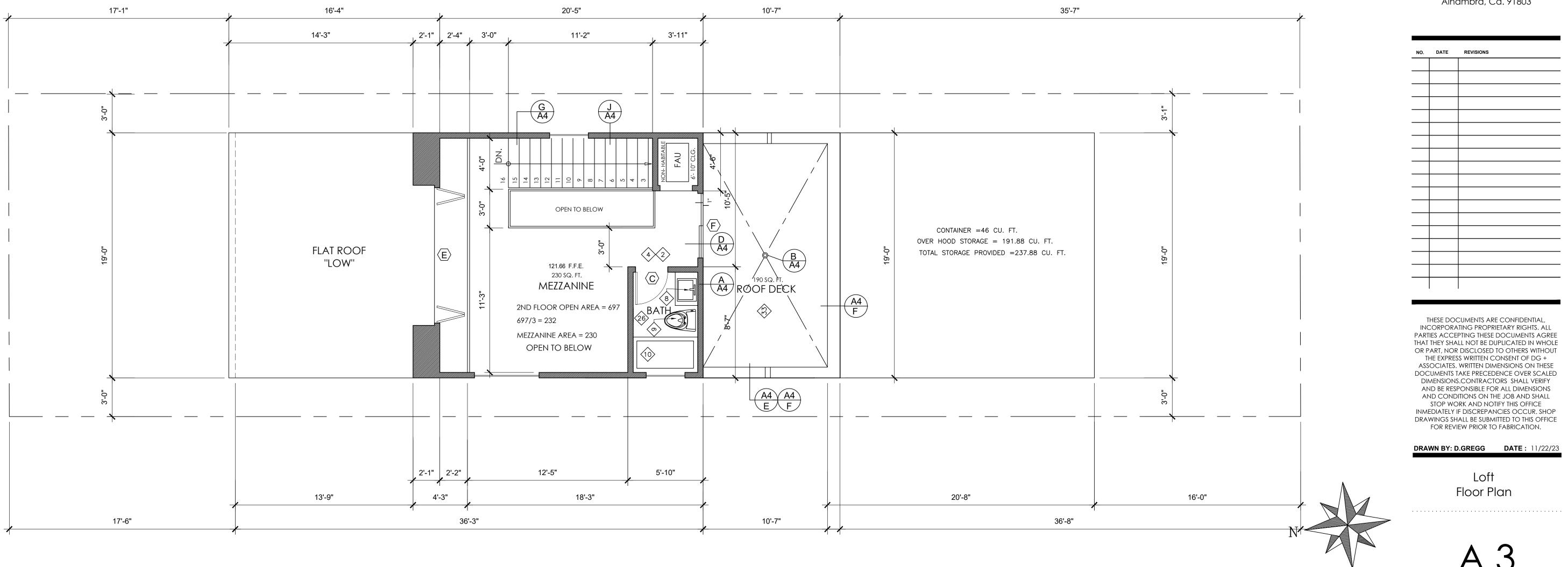
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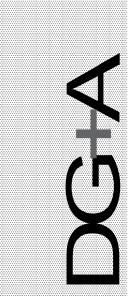
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	20. KITCHEN WOOD BASE CABINETS COLOR, STYLE PER OWNER
D SHELF INISH ORK	21. KITCHEN WOOD WALL CABINETS COLOR, STYLE PER OWNER
	23. WASHER HOT AND COLD WATER VALVES, PROVIDE SMITTY PANP WITH DRAIN PAINT TO MATCH EXTERIOR FINISH INSTALL PER MANUF. SPECS.
	25. ENGINEERED WOOD FLOORING PER OWNER
	26. NON-ABSORBANT TILE FOR BATH AND KITCHEN STYLE AND SIZE PER OWNER
CE MAKER)	31. PROVIDE 5/8" TYPE 'X' BETWEEN HOUSE AND GARAGE AND ON CEILING
	32. 5/8" TYPE 'X' DRYWALL ON UNDERSIDE OF STAIRS
	33. NEW DECK. SLOPE 1/4" PER FT. COVER WITH DEX-O-TEX CROSSFIELD PRODUCTS ESR-1757. (PLYWOOD ONLY. NO OSB)
IIN. CLR.) SPECS.	34. DIRECT-VENT GAS FIREPLACE INSERT GAS POWERED NON-WOOD BURNING (BY "REGENCY") UL LISTED OR EQUAL
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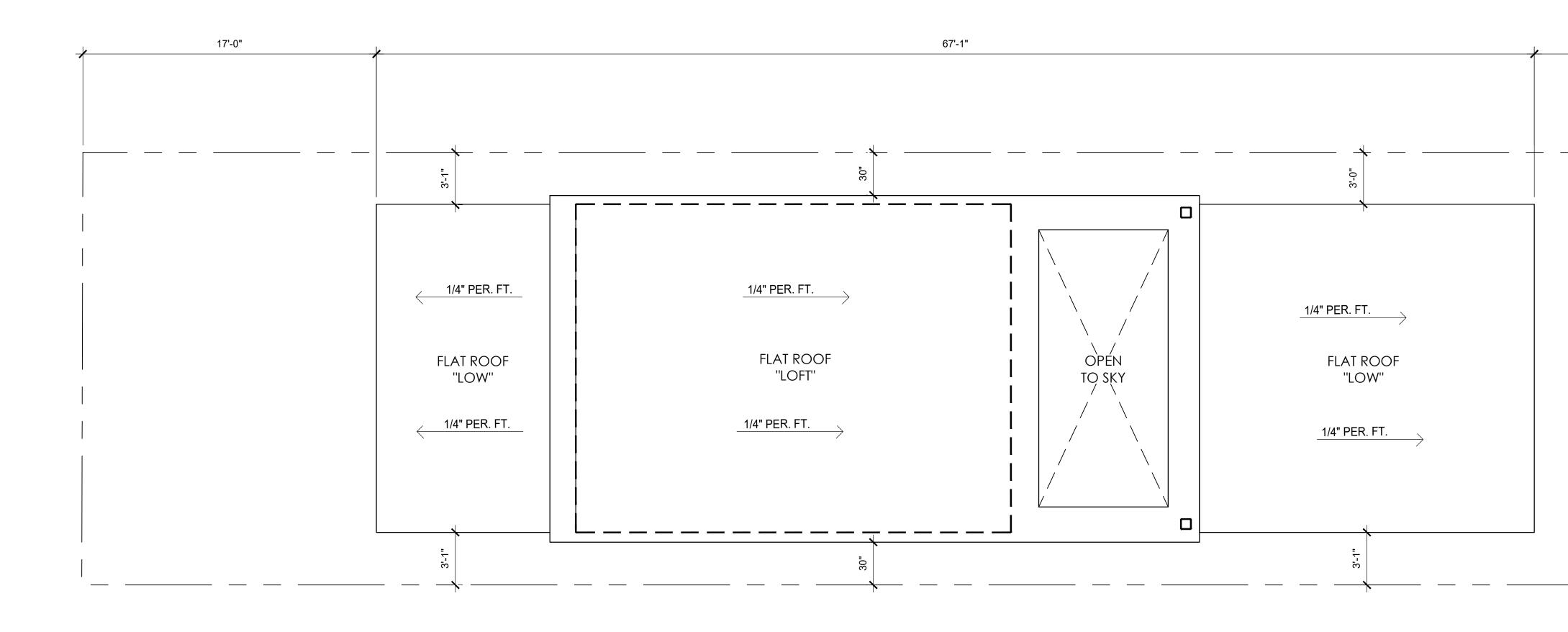
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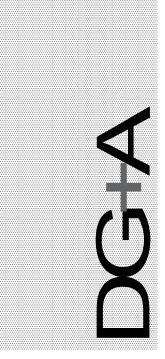


# ROOF PLAN NOTES:

- 1) PROVIDE TYPICAL FINISH MATERIALS AS FOLLOWED, CLASS "A" (ROOF SLOPES FROM 2:12 - 4:12) COMP. ASPHALT SHINGLES O/ 2LAYERS OF 15# FELT WITH 19" OVERLAP O/1/2" CDX PLYWOOD
- 2) FOR SLOPES LESS THAN 2:12 USE BUILT UP ROOF CLASS 'B' MIN. ROLL ROOFING O/ 2 LAYERS 0F 19# FELT 1/2" CDX PLYWOOD
- 3) PROVIDE FLASHING AT VALLEYS, W/T MINIMUM 25 GUAGE GALVANIZED IRON. 4) PROVIDE ROOF GUTTERS AND DOWNSPOUTS, ALL DRAINAGE TO TERMINATE AT
- STREET VIA NONCOROSIVE DEVICE.
- 5) PROVIDE ATTIC VENTIALATION FOR EACH SEPERATE SPACE WITH NOT LESS THAN 1/150 OF VENT AREA; AND WITH BALANCE OF VENTILATION PROVIDED BY EAVE VENTS, AND/OR GABLE. END VENTS.
- NOTE: ROOF EMITTANCE U-VALUE 0.644

16'-0"

\_\_\_\_\_



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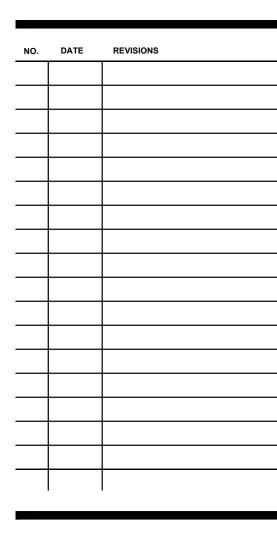
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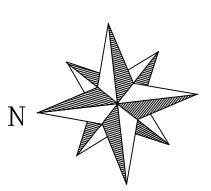


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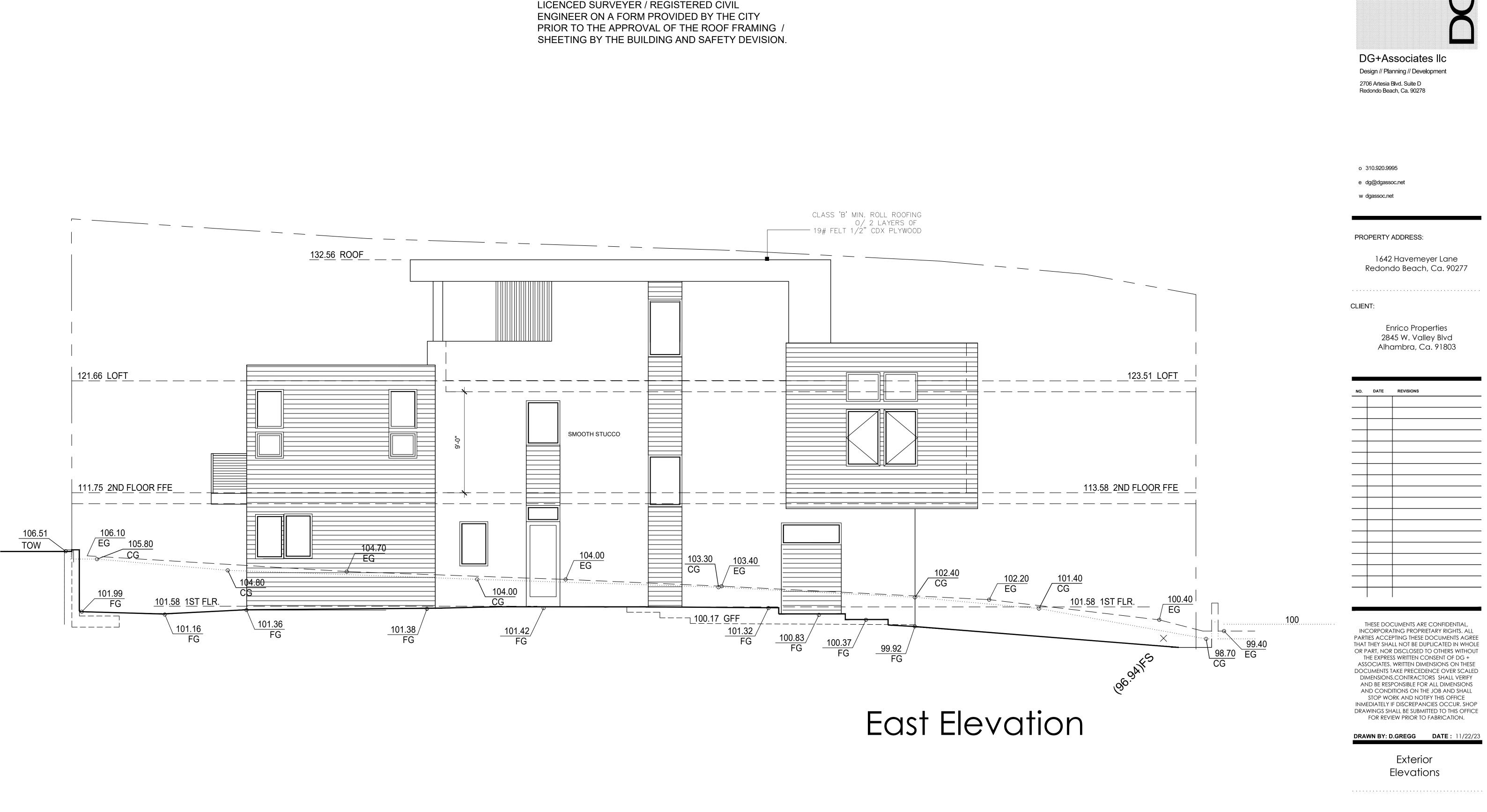
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Roof Plan





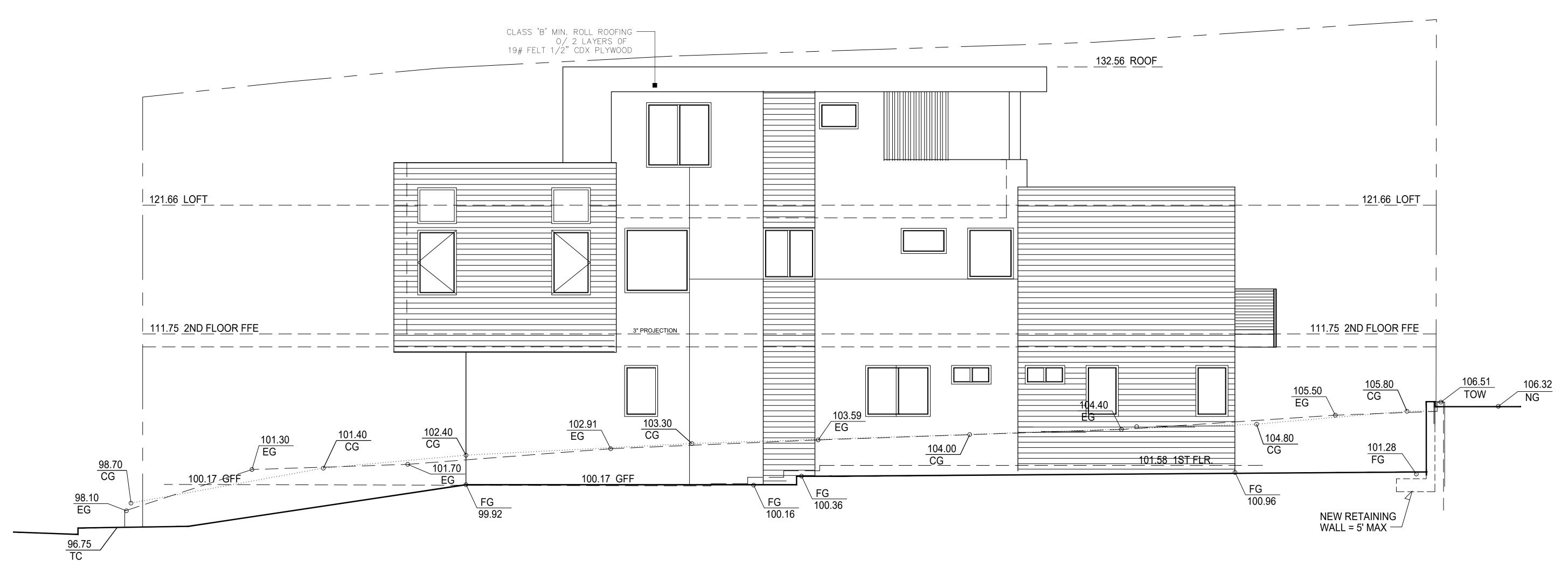




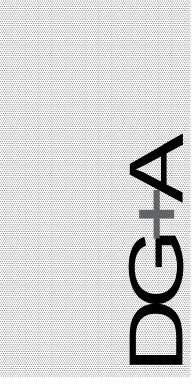
NOTE : THE RIDGE HEIGHT SHALL BE CERTIFIED BY A LICENCED SURVEYER / REGISTERED CIVIL

# A.5

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# West Elevation



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o 310.920.9995

e dg@dgassoc.net

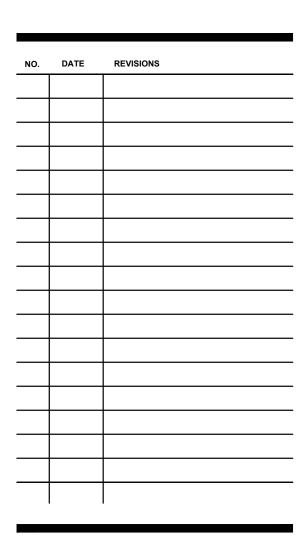
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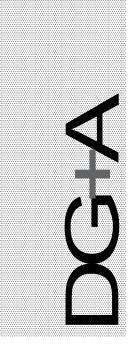
Exterior Elevations



# North Elevation



NOTE : THE RIDGE HEIGHT SHALL BE CERTIFIED BY A LICENCED SURVEYER / REGISTERED CIVIL ENGINEER ON A FORM PROVIDED BY THE CITY PRIOR TO THE APPROVAL OF THE ROOF FRAMING / SHEETING BY THE BUILDING AND SAFETY DEVISION.



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Exterior Elevations

A.7

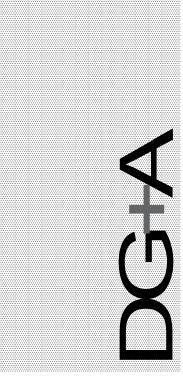
	NOTE : THE RIDGE HEIGH LICENCED SURVE ENGINEER ON A F PRIOR TO THE API SHEETING BY THE
	1 <u>32.56_ROO</u> F
	1 <u>21.66_LOFT</u>
	111.75_2ND FLOOR FFE
	<u>11</u> T

<u>101.58</u> 1ST FLR.

HT SHALL BE CERTIFIED BY A EYER / REGISTERED CIVIL FORM PROVIDED BY THE CITY PPROVAL OF THE ROOF FRAMING / E BUILDING AND SAFETY DEVISION.



# South Elevation



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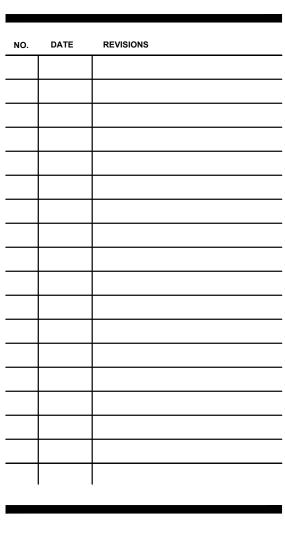
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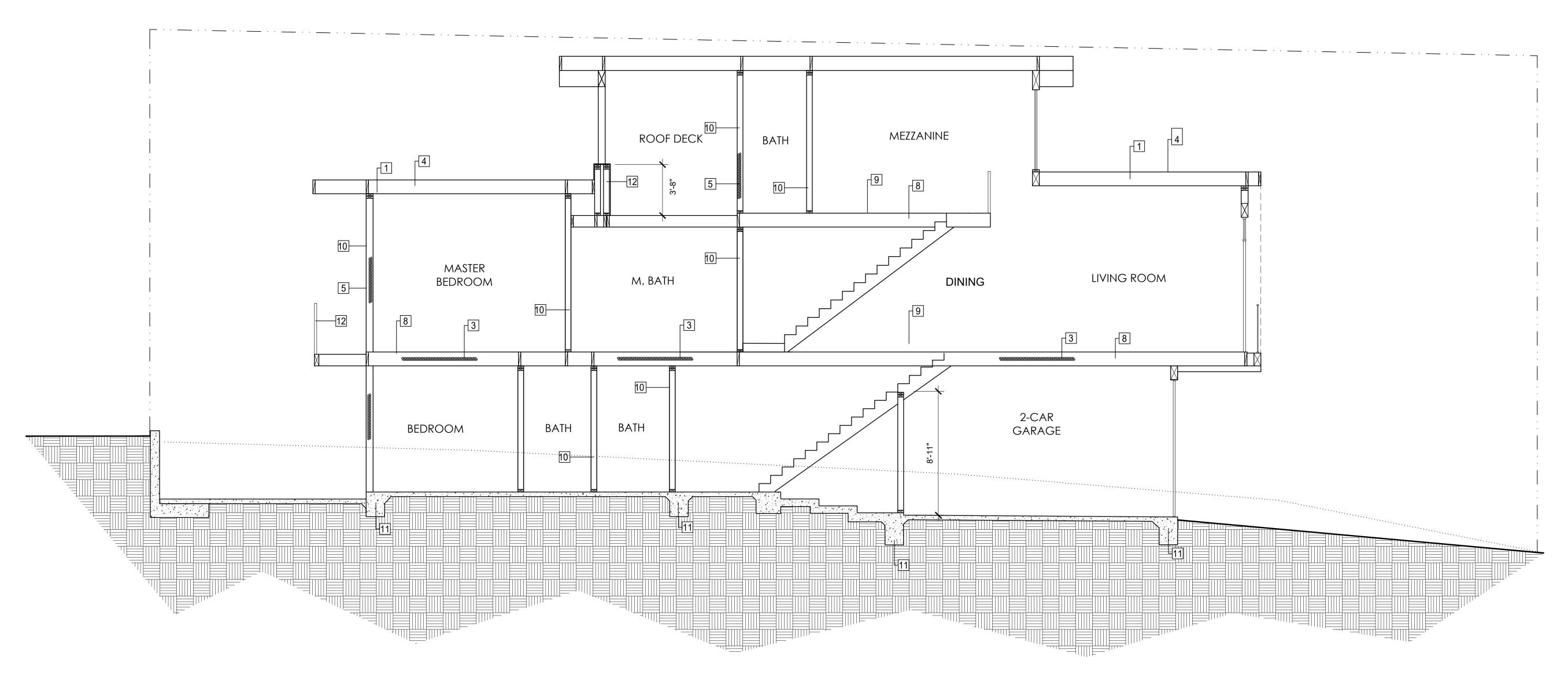


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Exterior Elevations

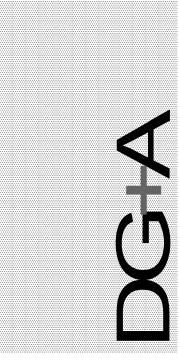
A.8



# **Building Section Notes**

- 1. 2X R.R. @ 16" O.C.
- 2. 5/8" DRYWALL ON WALLS AND CLG.
- 3. R-19 INSULATION FLOORS
- 4. 1/2" CDX PLYWOOD
- 5. R-19 EXTERIOR WALLS
- 6 R-30 INSULATION FLOORS & CEILING

	7	BEAM PER PLAN
G. TYP	8	2X FLR. JST @ 16" O.C PER PLAN
	9	5/8" T&G FLOORING
	10	2X6 STUDS @ 16" O.C (@EXT.WALLSONLY)
	11	CONC. FOOTING. PER PLAN
NGS	12	42" HIGH GUARDRAIL



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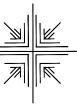
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Building Section

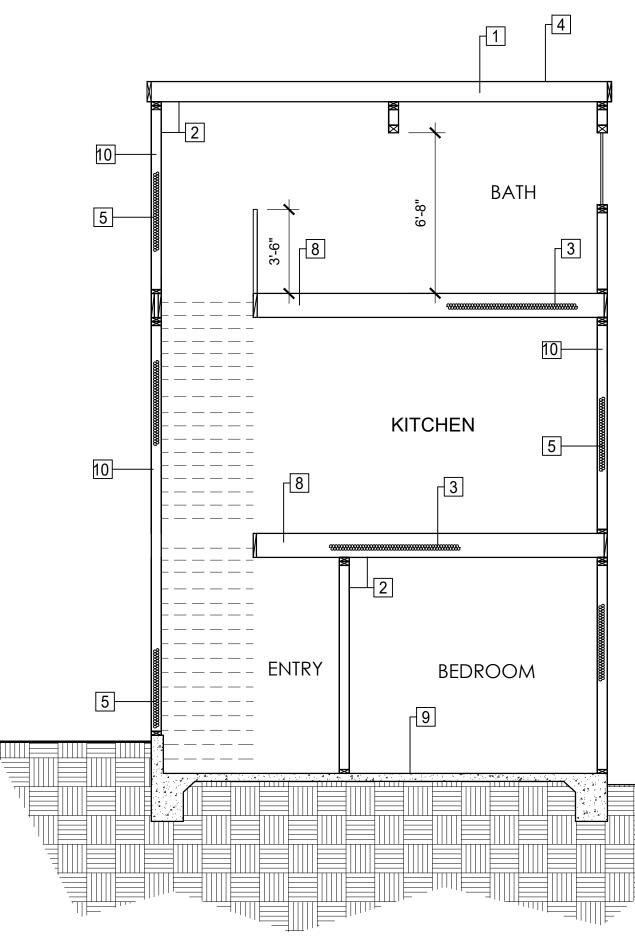


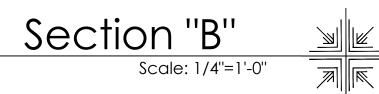


Section "A" Scale: 1/4"=1'-0"

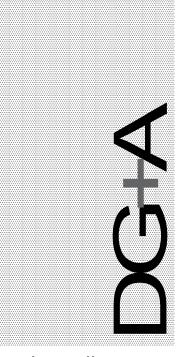
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Building Section



PLYWOOD PER PLAN NOTE:

