



SUMMARY

28701 Highridge Rd, Rolling Hills

Estates, CA 90274

Shahram Fozoonmehr

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Corey Galceran
Certified Master Home Inspector-
InterNACHI
Tactical Inspections
888-991-0822
support@tacinspect.com



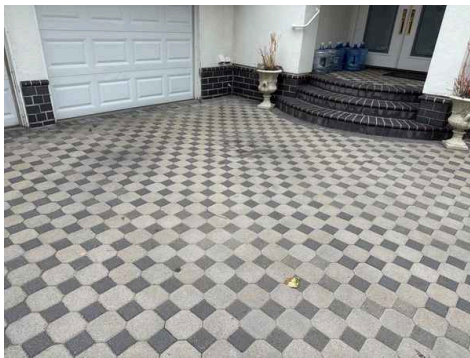
2.2.1 Walkways, Patios & Driveways

STAINS

Driveway/walkways have staining in areas

Recommendation

Contact a qualified professional.



2.2.2 Walkways, Patios & Driveways

PONDING EVIDENCE

Ponding evidence in one or more locations - needs to be serviced

Recommendation

Contact a qualified professional.



2.2.3 Walkways, Patios & Driveways

LOOSE SINKING PAVERS

One or more locations pavers are sinking needs to be serviced

Recommendation

Contact a qualified professional.



2.3.1 Property line fence/walls

WORN / WEATHERED

The property line fence/wall shows signs of significant wear and weathering, including discoloration and deterioration of materials. These deficiencies may compromise the fence/wall's structural integrity and should be addressed to ensure continued durability and security.

Recommendation

Contact a qualified professional.

2.3.2 Property line fence/walls

LOOSE /LEANING FENCE

One or more areas fence leaning observed - needs to be repaired

Recommendation

Contact a qualified professional.



Safety Hazard



2.3.3 Property line fence/walls

WROUGHT IRON FENCE RUST DAMAGE

Needs to be serviced

Recommendation

Contact a qualified professional.



2.3.4 Property line fence/walls

GATE DAMAGED

Side gate is damaged. Does not close properly needs to be serviced.

Recommendation

Contact a qualified professional.



Safety Hazard



2.3.5 Property line fence/walls

SMALL CRACKING

Small cracking observed minor repairs needed

Recommendation

Contact a qualified professional.



2.3.6 Property line fence/walls

LARGE TREES NEAR BLOCK WALL

Large trees near block walls may have potential for future damage to the wall

Recommendation

Contact a qualified professional.



2.9.1 Siding, Flashing & Trim

CRACKING - MINOR

Siding showed cracking in one or more places. This is a result of temperature changes, and typical as homes with stucco age. Recommend monitoring.

Recommendation

Recommended DIY Project



2.9.2 Siding, Flashing & Trim

STAINING

One or more locations visibly stained from rain draining off roof and splashing stucco - installing rain gutters will help eliminate these areas - needs to be serviced

Recommendation

Contact a qualified professional.



2.9.3 Siding, Flashing & Trim

WEEP SCREED MINIMAL TO NO CLEARANCE TO GRADE

The Weeb screed should have a minimum clearance of 3 to 4 inches

Recommendation

Contact a qualified professional.



2.10.1 Exterior Doors

WORN AND WEATHERED

The exterior doors show significant signs of wear and weathering, including fading, cracking, and damage to the finish. It is recommended to refinish or replace the doors to restore their appearance and improve energy efficiency and security.

Recommendation

Contact a qualified professional.



2.10.2 Exterior Doors

DOOR DAMAGED

One or more areas of the door are damaged and some rodent chewing has occurred at base of door. Recommend repair or replace.

Recommendation

Contact a qualified professional.



2.10.3 Exterior Doors

WOOD DETERIORATION

Wood deterioration at door jam. Check termite report for further servicing advice.

Recommendation

Contact a qualified professional.



2.11.1 Windows

DAMAGED / TORN SCREEN

The window screens are damaged or torn, compromising their ability to keep insects and debris out. It is recommended to repair or replace the screens to restore their functionality and maintain proper ventilation.

Recommendation

Contact a qualified professional.

2.11.2 Windows

WORN / WEATHERED

The windows show signs of wear and weathering, including fading, discoloration, and sealant degradation. It is recommended to assess the condition of the windows and consider repairs or replacement to ensure energy efficiency and prevent further damage.

Recommendation

Contact a qualified professional.

2.11.3 Windows

INNER CONDENSATION

The windows show signs of inner condensation between the glass panes, indicating a potential failure of the seals. It is recommended to have the windows inspected and consider repair or replacement to prevent further moisture buildup and improve energy efficiency.

Recommendation

Contact a qualified professional.



2.11.4 Windows

BROKEN/CRACKED WINDOW

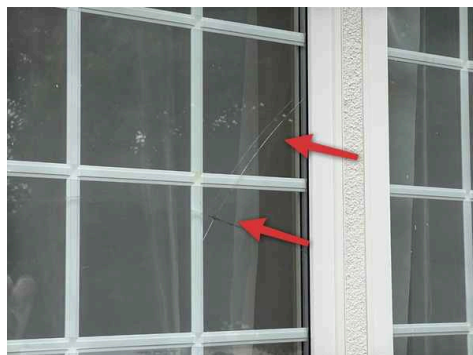
Broken / cracked glass at one or more locations - needs to be serviced

Recommendation

Contact a qualified professional.



Safety Hazard



2.11.5 Windows

ONE OR MORE WINDOWS DIFFICULT TO OPERATE

General Window servicing recommended

Recommendation

Contact a qualified professional.

2.11.6 Windows

WINDOW GLAZING

Window glazing deteriorated as part of normal wear and tear and in need of replacement glazing/reglazing.

Recommendation

Contact a qualified professional.



2.12.1 Switches / Receptacles

NO POWER**Safety Hazard**

Outlet no power at time of inspection- further evaluation needed

Recommendation

Contact a qualified electrical contractor.



2.12.2 Switches / Receptacles

COVER PLATE LOOSE / MISSING / DAMAGED**Safety Hazard**

A cover plate for a switch and/or a receptacle (outlet) were missing and/or damaged. These plates are intended to contain fire and prevent electric shock from occurring due to exposed wires. Recommend that a qualified person install cover plates where necessary.

Recommendation

Contact a handyman or DIY project



2.13.1 Eaves, Soffits & Fascia

RAFTER WOOD DETERIORATION

The rafter wood in the eaves, soffits, and fascia shows signs of deterioration, including rotting and damage from moisture exposure. It is recommended to replace or repair the affected rafter wood to prevent further structural damage and maintain the integrity of the roof system. Check termite reports.

Recommendation

Contact a qualified professional.



2.13.2 Eaves, Soffits & Fascia

FASCIA - DAMAGED

One or more sections of the fascia are damaged. Recommend qualified roofer evaluate & repair.

Recommendation

Contact a qualified roofing professional.



2.13.3 Eaves, Soffits & Fascia

PAINT/FINISH FAILING

The paint or finish is failing. This can lead to deterioration and rot of the material. Recommend that the areas be properly prepared and painted / finished.

Recommendation

Contact a qualified painting contractor.



2.14.1 Vegetation, Grading, Drainage & Retaining Walls

EXPANSIVE SOIL

Visible signs of expansive, soil on side yard and front yard due to moisture sitting and drying repeatedly- further evaluation needed

Recommendation

Contact a qualified professional.



Safety Hazard



2.14.2 Vegetation, Grading, Drainage & Retaining Walls

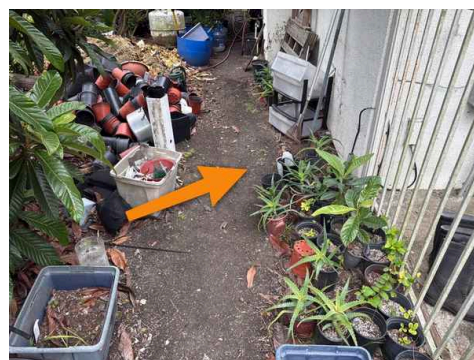
NEGATIVE GRADING

Grading is sloping towards the home in some areas. This could lead to water intrusion and foundation issues. Recommend qualified landscaper or foundation contractor regrade so water flows away from home.

[Here is a helpful article](#) discussing negative grading.

Recommendation

Contact a qualified landscaping contractor



2.16.1 Service / Main Line

PUBLIC SUPPLY PRESSURE >80 PSI

The public water supply pressure exceeds 80 psi, which is above the recommended limit and could put strain on plumbing fixtures and appliances. It is advised to install a pressure-reducing valve to maintain safe pressure levels and prevent potential damage to the plumbing system.

Recommendation

Contact a qualified plumbing contractor.



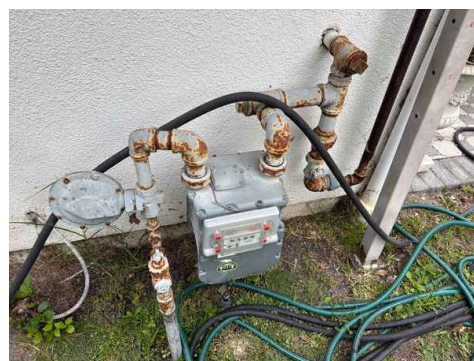
2.17.1 Gas Main Shutoff

RUSTING

Gas line showed signs of rusting needs to be serviced

Recommendation

Contact a qualified professional.



2.17.2 Gas Main Shutoff

NO SEISMIC METER INSTALLED

The gas main shutoff does not have a seismic meter installed, which could be a safety concern in the event of an earthquake. It is recommended to install a seismic gas shutoff valve to automatically turn off the gas supply during seismic activity and prevent potential hazards.

Recommendation

Contact a qualified professional.

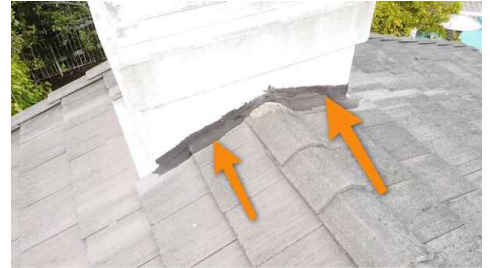
3.2.1 Coverings

PREVIOUS REPAIR

Evidence of previous repair to shingles was apparent. Recommend asking seller if repair work was performed and why.

Recommendation

Recommend monitoring.



3.2.2 Coverings

BROKEN TILE(S)

One or more broken tiles observed - needs to be repaired

Recommendation

Contact a qualified professional.



Safety Hazard



3.2.3 Coverings

DEFLECTION

Deflection is an area or portion of a roof that the surface has an depression, or raises in an area, typically due to the lack of support. Area where structure meets back patio further evaluation needed

Recommendation

Contact a qualified professional.



3.4.1 Flashings

WORN AND WEATHERED

The flashings are worn and weathered, showing signs of deterioration. This deficiency can lead to water penetration around the roofing system, potentially causing leaks and damage to underlying structures if not repaired.

Recommendation

Contact a qualified professional.

3.4.2 Flashings

KICKOUT FLASHING

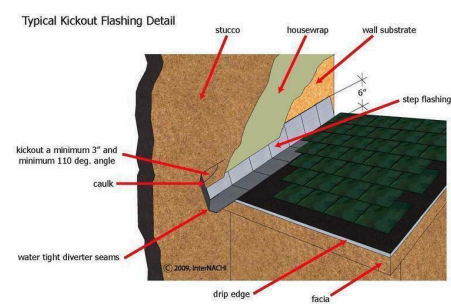
As an upgrade, recommend kickout flashing be installed to divert rain away from sidewall into gutter.

When installed properly, they provide excellent protection against the penetration of water into the building envelope.

Here is an article for more information: [CLICK HERE](#)

Recommendation

Contact a qualified professional.



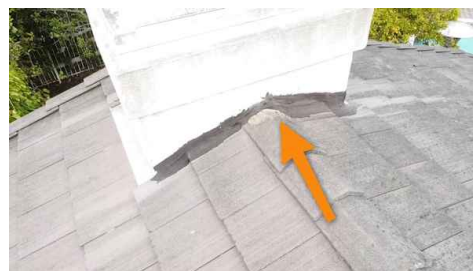
3.5.1 Chimney & Flues

FLASHING

Flashing appears substandard and will wear away causing to water penetration between the chimney on the roof structure. RMB commander and qualified professional install correct flashing.

Recommendation

Contact a qualified professional.



3.6.1 Roof Penetrations/Boots

VENT, PENETRATIONS, CRACKING WEATHERED

The vent penetrations show signs of cracking and weathering, which can compromise their seal. This deficiency may lead to water infiltration, reduced efficiency, and potential damage to surrounding materials, requiring prompt repair to maintain proper function and safety.

Recommendation

Contact a qualified professional.

3.7.1 Skylights

WORN OLDER

The skylight is worn and shows signs of aging, which may affect its ability to properly seal. This deficiency increases the risk of leaks, water infiltration, and reduced energy efficiency if not addressed or replaced.

Recommendation

Contact a qualified professional.



4.2.1 Panels

MISSING SCREW FOR DEAD FRONT

Recommend servicing for safety

Recommendation

Contact a qualified professional.



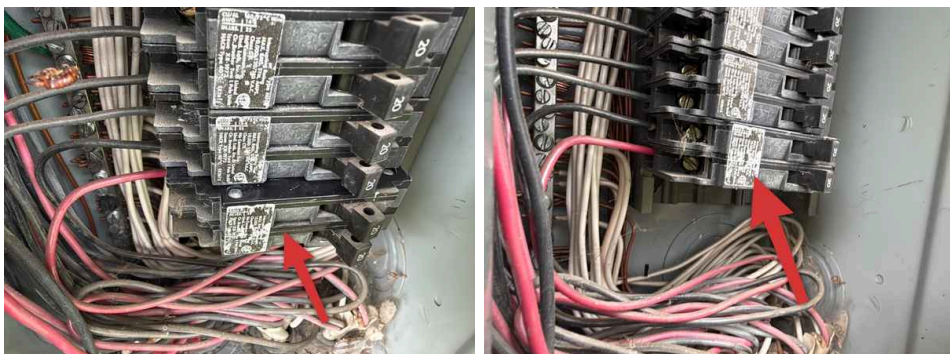
4.4.1 Breakers & Fuses

ONE OR MORE BREAKERS, NOT PROPERLY CONNECTED TO BUS BAR

Needs to be serviced

Recommendation

Contact a qualified professional.



5.2.1 Ceiling

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation

Contact a qualified painting contractor.

5.2.2 Ceiling

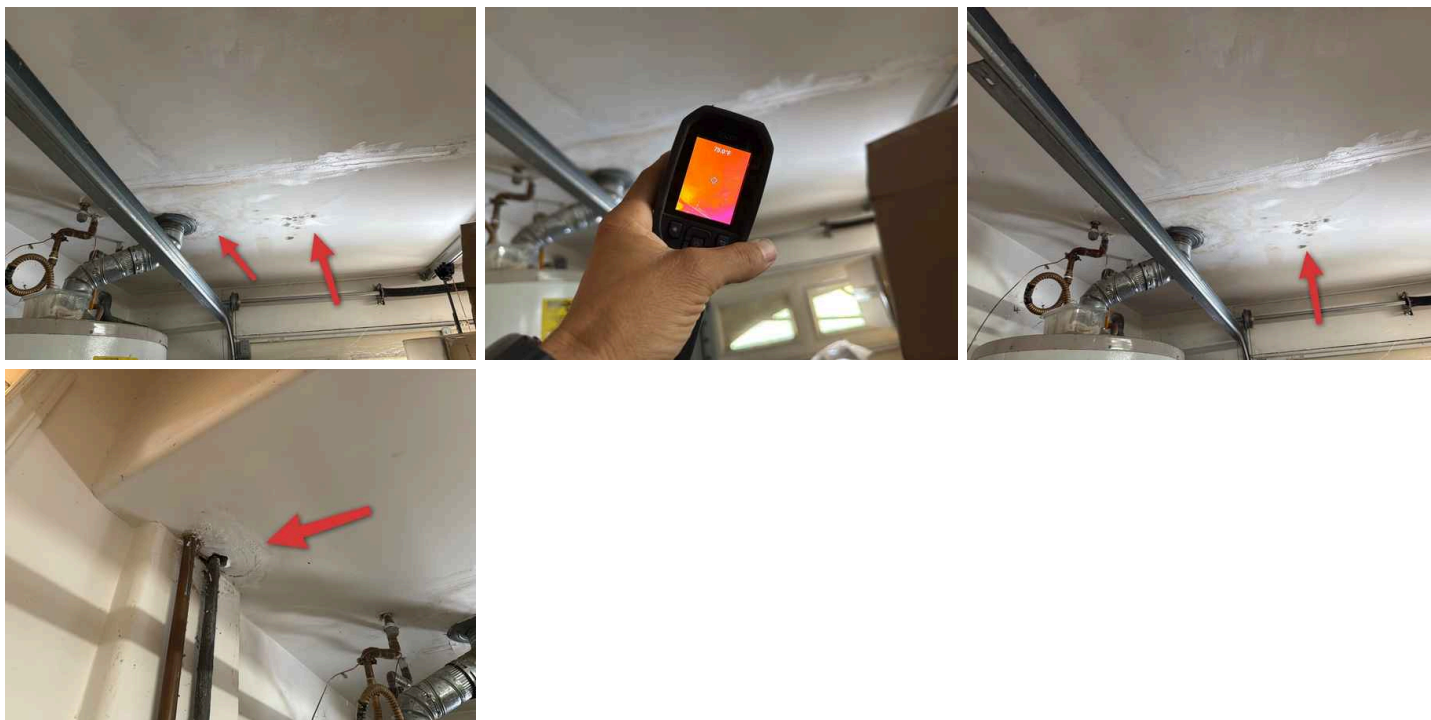
MOISTURE INTRUSION

Ceiling show signs of possible moisture intrusion. It is recommended to contact a qualified contractor to prevent further damage or growth of mold. A qualified contractor should find and evaluate the source of moisture intrusion.

Moisture Intrusion means the invasion of moisture into a building. If unsafe quantities of moisture are present in a building, it can cause the growth of mold, cause accidents and harm the building materials. It can also cause corrosion, decay, staining and many other things.

Recommendation

Contact a qualified professional.



5.2.3 Ceiling

MUSTY SMELL THROUGHOUT GARAGE

Musty smell throughout garage could not find moisture- further evaluation needed

Recommendation

Contact a qualified professional.

5.2.4 Ceiling

MICROBIAL GROWTH

What is microbial growth? Microbial growth, often referred to as mildew or mold, is a family of fungi that is commonly found both indoors and outdoors. Microbial growth indoors occurs when there is high humidity or moisture, low sunlight, oxygen, the right temperature, and organic matter present.

Needs to be further evaluated by qualified professional

Recommendation

Contact a qualified professional.



5.3.1 Walls & Firewalls

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation

Contact a qualified painting contractor.

5.5.1 Fire Door (From garage to inside of home)

DOORSTOP

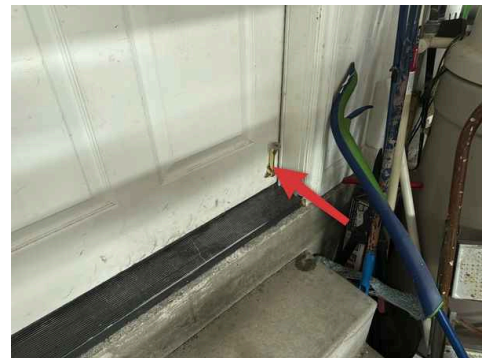


Safety Hazard

Fire door has doorstop installed recommend removing for fire safety

Recommendation

Contact a qualified professional.



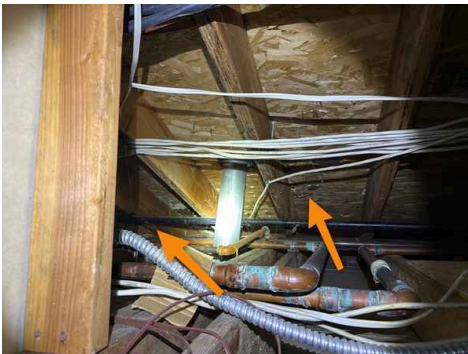
5.12.1 Attic access

STAINING OBSERVED

Further evaluation needed

Recommendation

Contact a qualified professional.



5.12.2 Attic access

MICROBIAL GROWTH OBSERVED IN ATTIC SPACE IN GARAGE

Further evaluation and servicing needed

Recommendation

Contact a qualified professional.

**Safety Hazard**

6.2.1 Hot Water Systems, Controls, Flues & Vents

NEAR END OF LIFE

Water heater showed normal signs of wear and tear. Recommend monitoring it's effectiveness and replacing in the near future.

Recommendation

Contact a qualified plumbing contractor.

6.2.2 Hot Water Systems, Controls, Flues & Vents

NO EXPANSION TANK

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These are required in certain areas for new installs. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.

6.2.3 Hot Water Systems, Controls, Flues & Vents

CORRODED SHUT OFF VALVE

Shut off valve corrosion visible needs to be serviced

Recommendation

Contact a qualified professional.



6.2.4 Hot Water Systems, Controls, Flues & Vents

MISSING SEDIMENT TRAP

Missing sediment trap at gas line recommend installing

Recommendation

Contact a qualified professional.



7.2.1 Air Condensing Unit **LIFESPAN (10-15 YEARS)**

****Observation:**** The HVAC system has an expected lifespan of approximately 10-15 years, and its current age suggests it may be approaching the end of its service life. ****Recommendation:**** A licensed HVAC technician should evaluate the system's condition and recommend maintenance or replacement as needed to ensure continued efficiency and reliability.

Recommendation
Recommend monitoring.

7.2.2 Air Condensing Unit **INSIDE COILS DIRTY**

Evaporator fins were dusty/dirty. Recommend HVAC technician evaluate for cleaning. In some cases, a shop vacuum can be used to remove dust, however, some units require disassembly and washed lightly outside with a hose. Recommend evaluation.

Recommendation
Contact a qualified HVAC professional.

7.2.3 Air Condensing Unit **MISSING LABEL**

The inspector was not able to determine the age and/or size of one or more components due to the manufacturer's label was faded or missing.

Recommendation
Contact a qualified professional.

7.2.4 Air Condensing Unit **NEAR LIFESPAN**

 **Safety Hazard**

By industry lifespan standards, one or more hvac components appeared to be at or near its useful lifespan (~15 years) and may need replacing or significant repairs at any time. Recommend budgeting for a replacement in the near future or discussing replacement options with a qualified HVAC technician to determine applicable costs.

Recommendation
Contact a qualified HVAC professional.

7.2.5 Air Condensing Unit

TEMP DID NOT REACH 20° SEPARATION

**Safety Hazard**

Upon testing AC unit did not reach 20° separation from what was going into the system to what was coming back out needs to be serviced

Recommendation

Contact a qualified professional.

7.2.6 Air Condensing Unit

REFRIGERANT LINE MISSING INSULATION

Insulation missing at copper coolant line needs to be serviced

Recommendation

Contact a qualified professional.



7.5.1 Heating / Forced Air

LIFESPAN (15-20 YRS)

****Observation:**** The forced air heating system has an expected lifespan of 15-20 years and is nearing or within this range, which may lead to decreased efficiency and potential component failure.

****Recommendation:**** A licensed HVAC technician should assess the system's performance and recommend maintenance or replacement as needed to ensure continued safe and efficient operation.

Recommendation

Recommend monitoring.

7.5.2 Heating / Forced Air

NO SECONDARY CONDENSATION LINE OR SHUTOFF SWITCH INSTALLED

Recommend adding secondary or cut off switch at forced air unit

Recommendation

Contact a qualified professional.

7.5.3 Heating / Forced Air

MISSING SEDIMENT TRAP AT GAS LINE

Recommend installing

Recommendation

Contact a qualified professional.

8.1.1 Ceilings

SMALL CRACKS, SMALL HOLES , BLEMISHES

These locations show signs of cracking, reason for cracking unknown - Recommend further evaluation / paint and patching

Recommendation
Contact a qualified painting contractor.

8.1.2 Ceilings

STAIN(S) ON CEILING

There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined.

Recommendation
Contact a qualified professional.

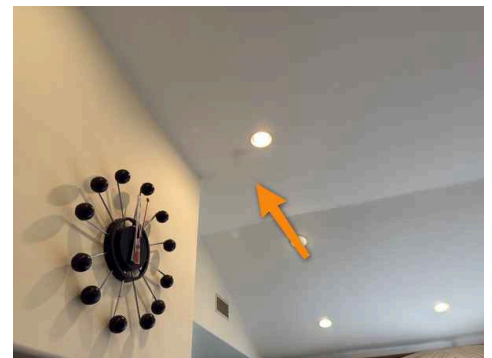


8.1.3 Ceilings

PATCHING

Patching observed in one or more locations - inquire with seller as to repairs made

Recommendation
Contact a qualified professional.



8.2.1 Walls

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation
Contact a qualified painting contractor.

8.3.1 Floors

SEVERE WEAR

Floors have severe surface wear in many areas. Recommend a qualified flooring contractor evaluate & remedy.

[Here is a DIY article](#) that outlines how to refinish wood floors yourself.

Recommendation
Contact a qualified flooring contractor

8.3.2 Floors

WORN / SCRATCHED

Worn / scarred areas typical wear for age

Recommendation

Contact a qualified professional.

8.4.1 Windows

WORN / WEATHERED

One or more windows were observed to be worn and weathered - Needs to be weather serviced

Recommendation

Contact a qualified professional.

8.5.1 Countertops & Cabinets

WET BAR VALVES IN OFF POSITION

Needs to be further evaluated

Recommendation

Contact a qualified professional.

8.7.1 Switches / Receptacles

NO POWER

No power to receptacle needs to be serviced

Recommendation

Contact a qualified electrical contractor.



Safety Hazard



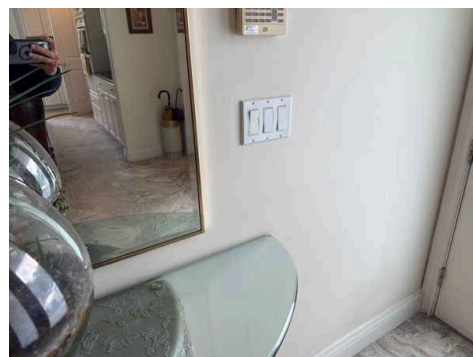
8.7.2 Switches / Receptacles

SWITCH DAMAGED / STUCK

One or more switches were damaged and/or stuck. Recommend a qualified licensed electrician repair as necessary.

Recommendation

Contact a qualified electrical contractor.



8.9.1 Fireplaces

SWITCH FOR ELECTRIC IGNITER PAINTED OVER, INOPERABLE

Recommend installing new switch



Safety Hazard

Recommendation
Contact a qualified professional.



8.10.1 Smoke Detectors

WORN OLDER DETECTORS

Recommended upgrading

Recommendation
Contact a qualified professional.

8.11.1 Carbon Monoxide Detectors

NO CARBON MONOXIDE DETECTOR

Needs to be installed

 Safety Hazard

9.1.1 Ceilings

SMALL CRACKS, SMALL HOLES , BLEMISHES

****Observation:**** The kitchen ceiling has small cracks, holes, and blemishes, which appear to be cosmetic but may indicate minor settling or past repairs. ****Recommendation:**** Monitor for any changes over time and consider patching and repainting to improve appearance; if cracks worsen, consult a contractor for further evaluation.

Recommendation
Contact a qualified painting contractor.

9.2.1 Walls

SMALL CRACKS, SMALL HOLES , BLEMISHES

****Observation:**** The kitchen wall has small cracks, holes, and blemishes, which appear to be cosmetic but may indicate minor settling or past repairs. ****Recommendation:**** Monitor for any changes over time and consider patching and repainting to improve appearance; if cracks worsen, consult a contractor for further evaluation.

Recommendation
Contact a qualified painting contractor.

9.4.1 Countertops & Cabinets

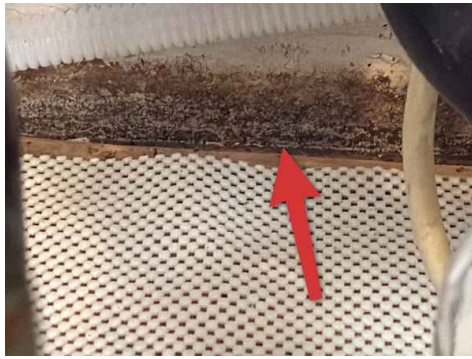
MICROBIAL GROWTH

 Safety Hazard

Microbial Growth was found in cabinet - needs to be serviced

Recommendation

Contact a qualified professional.



9.4.2 Countertops & Cabinets

MOISTURE DAMAGE

Visible moisture damage at base of cabinet, dry upon inspection - needs to be serviced

Recommendation

Contact a qualified professional.



9.5.1 Sinks / Fixtures

DRAINED SLOWLY OR CLOGGED

****Observation:**** The kitchen sink drains slowly, indicating a partial clog or buildup in the plumbing. ****Recommendation:**** A licensed plumber should inspect and clear the drain to restore proper water flow and prevent further blockage.

Recommendation

Contact a qualified plumbing contractor.



9.7.1 Drain, Waste, & Vent Systems

IMPROPER CONNECTION

An improper connection was observed at a drain, waste or vent pipe. Recommend a qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.



9.7.2 Drain, Waste, & Vent Systems

REPAIRS MADE

Visible repairs have been made - inquire with seller as to why these repairs were made - further evaluation needed

Recommendation

Contact a qualified professional.

9.8.1 Garbage Disposal

INOPERABLE

Garbage disposal was inoperable at the time of inspection. Recommend qualified handyman repair.

[Here is a DIY resource for troubleshooting.](#)

Recommendation

Contact a qualified handyman.



9.10.1 Built-in Microwave

INOPERABLE

Needs to be serviced

Recommendation

Contact a qualified professional.



Safety Hazard

9.11.1 Range/Oven/Cooktop

MISSING/ DAMAGED CONTROL KNOBS

Exhaust hood was missing control knobs. Recommend contacting manufacturer for replacement parts.

Recommendation

Contact a qualified professional.



9.11.2 Range/Oven/Cooktop

OVEN DIRTY

Oven dirty inside - needs to be cleaned

Recommendation

Contact a qualified professional.

9.11.3 Range/Oven/Cooktop

RANGE DIRTY

Range / Stove top dirty - needs to be cleaned

Recommendation

Contact a qualified professional.

9.11.4 Range/Oven/Cooktop

EXHAUST VENTS GREASY/DIRTY

Recommend cleaning or replacing filters

Recommendation

Contact a qualified professional.

9.11.5 Range/Oven/Cooktop

EXHAUST FAN LIGHTING, INOPERABLE

Recommend servicing

Recommendation

Contact a qualified professional.



9.14.1 Windows

WORN / WEATHERED

One or more windows were observed to be worn and weathered - Needs to be weather serviced

Recommendation
Contact a qualified professional.

10.1.1 Ceilings

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation
Contact a qualified painting contractor.

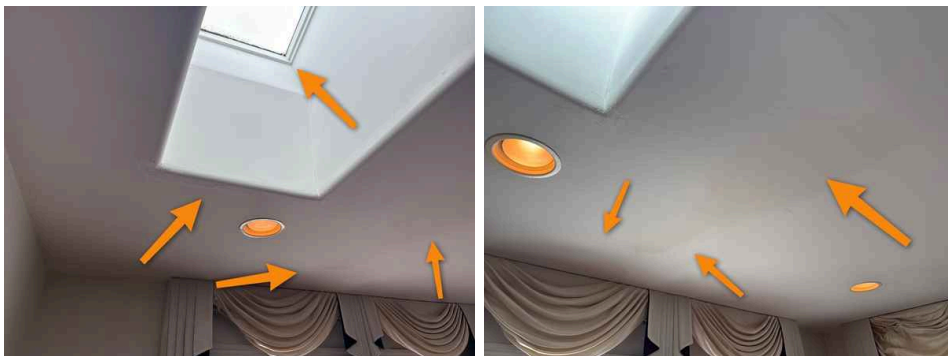


10.1.2 Ceilings

STAIN(S) ON CEILING

There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined.

Recommendation
Contact a qualified professional.



10.2.1 Walls

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation
Contact a qualified painting contractor.

10.3.1 Floors

SEVERE WEAR

Floors have severe surface wear in many areas. Recommend a qualified flooring contractor evaluate & remedy.

[Here is a DIY article](#) that outlines how to refinish wood floors yourself.

Recommendation

Contact a qualified flooring contractor

10.3.2 Floors

WORN/SCRATCHED

Worn/scratched areas normal wear

Recommendation

Contact a qualified professional.

10.5.1 Windows

WORN WEATHERED

Recommend window weather maintenance

Recommendation

Contact a qualified professional.

10.5.2 Windows

ONE OR MORE WINDOWS DIFFICULT TO OPERATE

One or more windows difficult to operate -recommend general window maintenance

Recommendation

Contact a qualified professional.

10.7.1 Lighting & Fans

ONE OR MORE LIGHTS DID NOT OPERATE DAY OF INSPECTION

Needs to be serviced

Recommendation

Contact a qualified professional.



10.8.1 Smoke Detectors

OLDER UNITS

Recommend replacing

Recommendation

Contact a qualified professional.

10.9.1 Fireplaces

INOPERABLE

Heating element was inoperable at time of inspection. Recommend qualified HVAC professional evaluate & ensure functionality.

Recommendation

Contact a qualified fireplace contractor.



10.9.2 Fireplaces

IGNITER NOT OPERATIONAL

Needs to be serviced

Recommendation

Contact a qualified professional.

11.1.1 Ceilings

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation

Contact a qualified painting contractor.

11.1.2 Ceilings

PATCHING

Patching observed - enquire with seller to repairs made

Recommendation

Contact a qualified professional.



11.2.1 Walls

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation

Contact a qualified painting contractor.

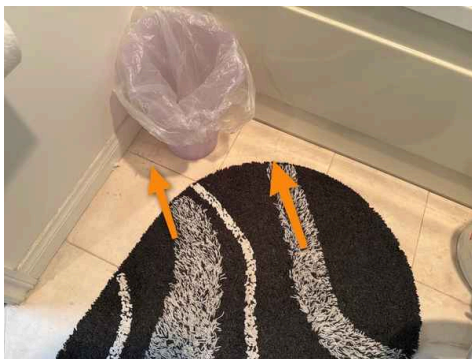
11.3.1 Floors

CRACKED / BROKEN TILE

Needs to be repaired

Recommendation

Contact a qualified professional.



11.3.2 Floors

WORN / CRACKED GROUT

Grout cracking in areas - needs to be serviced

Recommendation

Contact a qualified professional.

11.5.1 Windows

WORN WEATHERED

Recommend window weather maintenance

Recommendation

Contact a qualified professional.

11.7.1 Sinks / Fixtures

DRAINED SLOWLY OR CLOGGED

Slowly draining sink - need to be serviced

Recommendation

Contact a qualified plumbing contractor.



11.7.2 Sinks / Fixtures

FAUCET HANDLES MISSING / LOOSE / DIFFICULT

One or more faucet handles were missing, loose and/or difficult to operate. Recommend that a qualified person repair or replace handles as necessary.

Recommendation

Contact a qualified plumbing contractor.



11.7.3 Sinks / Fixtures

FAUCET FAULTY

One or more sink faucets appeared to be faulty. Recommend repairs be made by a qualified licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



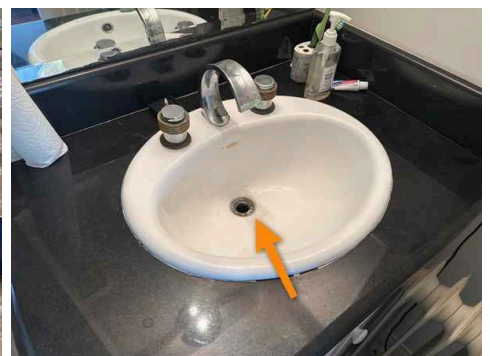
11.7.4 Sinks / Fixtures

DRAIN STOP MISSING OR DAMAGED

Drain stop missing or damaged needs repair by certified professional

Recommendation

Contact a qualified professional.





11.7.5 Sinks / Fixtures

RUST OBSERVED UNDER SINK BASE

Recommend servicing or replacing

Recommendation

Contact a qualified professional.



11.8.1 Angle Stops (shutoff valves)

CORRODED ANGLE STOPS

One or more angle stops, observed to have corrosion, which is a sign of a slow leak needs to be serviced- Jack and Jill right sink

Recommendation

Contact a qualified professional.



11.8.2 Angle Stops (shutoff valves)

WORN OLDER ANGLE STOP

Worn older angle, stop recommend upgrading

Recommendation

Contact a qualified professional.

11.10.1 Bathtub / Shower

DIVERTER PULL DAMAGED

The diverter pull was not functioning properly. Recommend repair.

Recommendation

Contact a qualified plumbing contractor.



11.10.2 Bathtub / Shower

DRAINED SLOWLY / CLOGGED - BATHTUB

The bathtub drained slowly or was clogged. Recommend clearing drain and/or that a qualified plumber repair if necessary.

Recommendation

Contact a qualified plumbing contractor.



11.10.3 Bathtub / Shower

JETTED TUB JETS INOPERABLE



Safety Hazard

One or more jets in the jetted tub were not operating at time of inspection. Recommend qualified plumber evaluate and repair.

Recommendation

Contact a qualified plumbing contractor.



11.10.4 Bathtub / Shower

SHOWER HEAD DRIPS

The shower head was dripping when the shower was turned off. Recommend that a qualified person repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



11.10.5 Bathtub / Shower

SHOWER HEAD CLOGGED

Shower head appeared to be clogged or had low flow. Recommend repair by a qualified person.

Recommendation

Contact a qualified plumbing contractor.



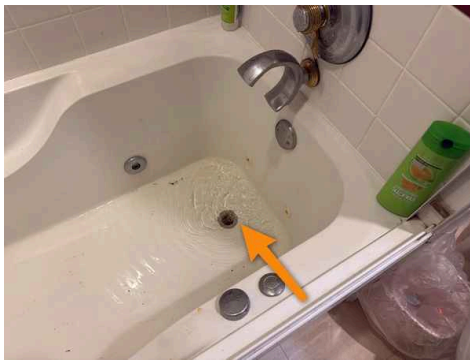
11.10.6 Bathtub / Shower

TUB DRAIN STOPPER MISSING/NOT OPERATIONAL

Needs to be serviced

Recommendation

Contact a qualified professional.



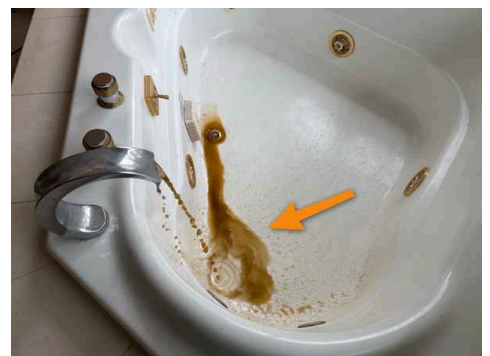
11.10.7 Bathtub / Shower

DISCOLORED WATER

Discolored water observed need license plumber to further

Recommendation

Contact a qualified professional.



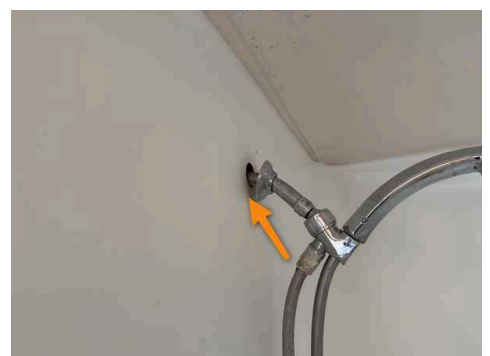
11.10.8 Bathtub / Shower

GAP AT SHOWER HEAD TO WALL

Needs to be serviced

Recommendation

Contact a qualified professional.



11.12.1 Shower Enclosure

CORROSION OBSERVED

One or more locations of corrosion was observed, needs to be serviced

Recommendation

Contact a qualified professional.



11.12.2 Shower Enclosure

EVIDENCE OF PAST OR PRESENT LEAKAGE

Shower enclosure moisture damage at baseboard recommend ceiling enclosure to prevent further damage. Tested dry of inspection.

Recommendation

Contact a qualified professional.



11.13.1 Toilet

TOILET DID NOT FLUSH PROPERLY

Toilet is not flushing properly needs to be serviced- unit 15 both bathrooms

Recommendation
Contact a qualified professional.

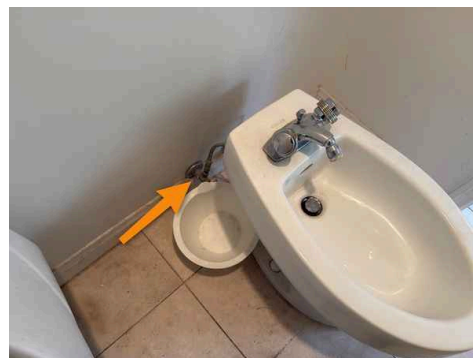


11.13.2 Toilet

CORRODED SHUT OFF VALVE

Toilet valve has signs of corrosion needs to be repaired

Recommendation
Contact a qualified professional.



11.15.1 GFCI & AFCI

GFCI NOT OPERATIONAL

GFCI tested did not trip at time of inspection

Recommendation
Contact a qualified professional.



Safety Hazard



12.2.1 Structure & Sheathing

STAINS CAN'T DETERMINE

One or more dark stains were found in the attic. Due to their location and/or roof configuration, the inspector was not able to determine with thermal imaging or moisture meter if this is an active leak, or a prior leak. Client should consider their options such as having a qualified roofing contractor evaluate these areas prior to closing. In the absence of pouring rain, the inspector cannot guarantee the watertightness of the roof.

Recommendation
Contact a qualified roofing professional.



12.4.1 Attic Insulation

INSUFFICIENT INSULATION

Insulation depth was inadequate. Recommend a qualified attic insulation contractor install additional insulation.

Recommendation

Contact a qualified insulation contractor.

12.4.2 Attic Insulation

RODENT ACTIVITY OBSERVED



Safety Hazard

Rodent activity observed contact pest control to further evaluate

Recommendation

Contact a qualified professional.



12.5.1 Ventilation

ATTIC VENTILATION INSUFFICIENT

Attic venting was insufficient at time of inspection. Modern standards recommend 1.5 square feet of venting area for every 300 square feet of attic floor space. Recommend an attic contractor evaluate and remedy.

Recommendation

Contact a qualified professional.

12.6.1 Ducting

OLDER WORN DUCTS

Recommended general maintenance/ cleaning

Recommendation

Contact a qualified professional.

12.7.1 Wiring

JUNCTION BOX COVER PLATES LOOSE, MISSING OR BROKEN**Safety Hazard**

****Observation:**** One or more junction box cover plates in the attic are loose, missing, or broken, exposing wiring and creating a potential electrical hazard. ****Recommendation:**** A licensed electrician should install or replace cover plates to ensure all electrical connections are properly enclosed for safety and code compliance.

Recommendation

Contact a qualified electrical contractor.



12.8.1 Plumbing

CORROSION AT COPPER PLUMBING

Corrosion at copper, plumbing further evaluation needed by licensed plumber

Recommendation

Contact a qualified professional.



13.1.1 Ceilings

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation

Contact a qualified painting contractor.

13.1.2 Ceilings

MOISTURE INTRUSION

Ceiling show signs of possible moisture intrusion. It is recommended to contact a qualified contractor to prevent further damage or growth of mold. A qualified contractor should find and evaluate the source of moisture intrusion.

Moisture Intrusion means the invasion of moisture into a building. If unsafe quantities of moisture are present in a building, it can cause the growth of mold, cause accidents and harm the building materials. It can also cause corrosion, decay, staining and many other things.

Recommendation

Contact a qualified professional.



13.1.3 Ceilings

PATCHING OBSERVED

Inquire with seller as to why repairs were made

Recommendation

Contact a qualified professional.



13.2.1 Walls

SMALL CRACKS, SMALL HOLES , BLEMISHES

Minor areas of concern - Recommend paint and patching

Recommendation

Contact a qualified painting contractor.

13.2.2 Walls

POOR PATCHING

Sub-standard drywall patching observed at time of inspection.
Recommend re-patching.

Recommendation

Contact a qualified drywall contractor.



13.5.1 Windows

WORN / WEATHERED

Recommend window weather maintenance

Recommendation

Contact a qualified professional.