

A NEW TWO STORY PLUS BASEMENT RESIDENCE:
NEW RESIDENCE
 1420 WALNUT AVENUE
 MANHATTAN BEACH, CA. 90266



ARCHITECTURE

2617 NORTH SEPULVEDA BLVD.
 MANHATTAN BEACH, CA 90266
 TEL: 310-318-8089 WWW.TOMARO.COM

PROJECT

NEW RESIDENCE
 1420 WALNUT AVENUE
 MANHATTAN BEACH, CA 90266

STAMP

NOT FOR CONSTRUCTION

PROJECT NUMBER
 21044

PRINT DATE
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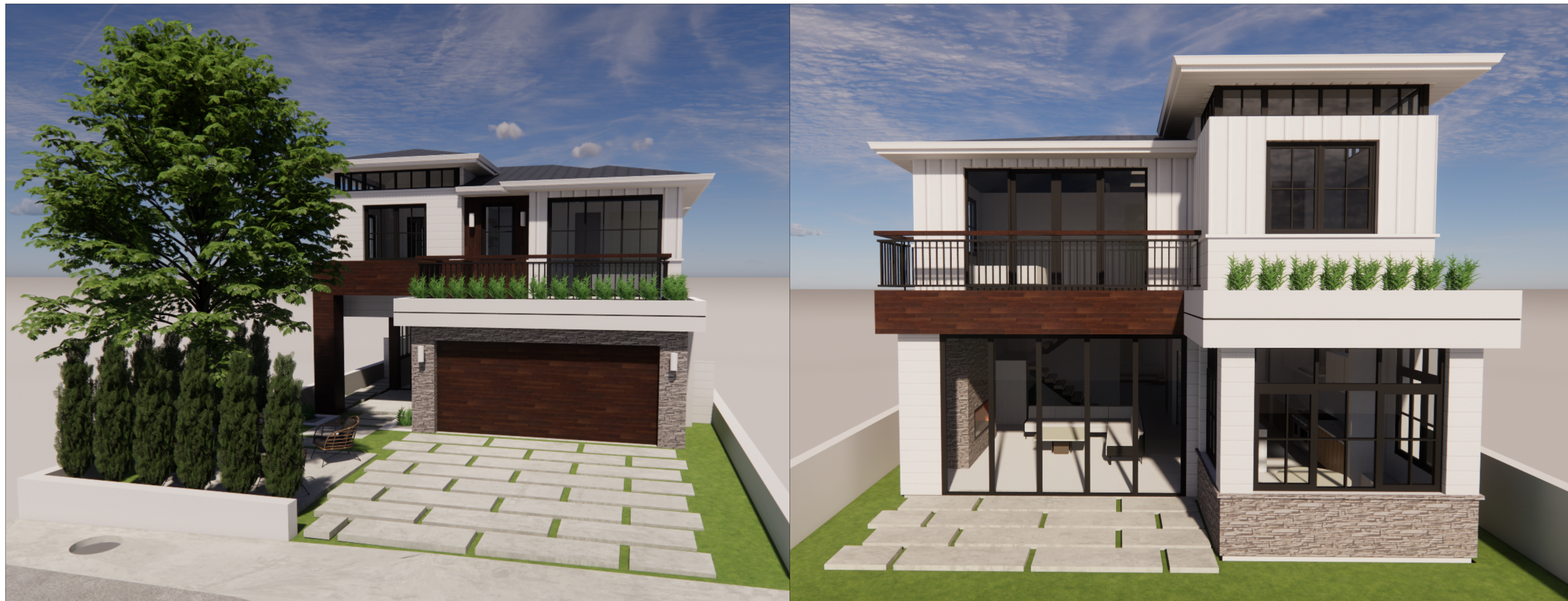
REVISIONS

NUMBER	REVISION SCHEDULE	DESCRIPTION	DATE

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SHEET NUMBER
COVER



A NEW TWO STORY PLUS BASEMENT RESIDENCE:
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 1420 WALNUT AVENUE
 MANHATTAN BEACH, CA. 90266



GENERAL NOTES

- 2019 CBC, 2019 CRC, 2019 CMC, 2019 CPC, 2019 CEC, 2019 CGBS, AND THE CITY OF 'MANHATTAN BEACH'
- AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 UBC.
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. (CPC 402.1, 402.2)
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- ALL WINDOW COVERINGS REQUIRED BY CFRM FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM), (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- GARAGE TO BE FULLY SPRINKLERED.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUB/SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC, SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- GARAGE DOOR EXTENSION SPRINGS SHALL BE FABRICATED FROM EITHER HAND DRAWN - SPRING WIRE (ASTM. A227-21)OR OIL-TEMPERED WIRE (ASTM. A229-71) AND INSULATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION. (CBC. 1211)
- DESIGN STANDARDS. MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES. (ONE CYCLE IS EQUAL TO DOOR OPENING PLUS DOOR CLOSING AT MAXIMUM WORKING LOAD). (CBC. 1211.2)
- PHYSICAL CYCLING TESTS OF EACH EXTENSION SPRING DESIGN AND CONTAINMENT DEVICES SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. (CBC. 1211.3)
- EACH EXTENSION SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. (CBC. 1211.4)
- CERTIFICATE OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND OR TESTING, ALL CF2R FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED HERS PROVIDER DATA REGISTRY. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
- CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED, REGISTERED AND SIGNED/ CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDING.

SEPARATE PERMIT

CONTRACTOR TO SUBMIT SEPARATE PERMIT APPLICATIONS FOR SHORING, GRADING, DEMOLITION, FIRE SPRINKLER SYSTEM, HYDROLOGY CALCULATIONS & ENCROACHMENT

PUBLIC WORKS NOTES

- ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.
- NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY'S HAULER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS/TRASH LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.
- A CLAY 6" PROPERTY LINE CLEANOUT MUST BE INSTALLED ON A CLAY 6" SANITARY SEWER LATERAL. IF THERE IS NO 6" SEWER LATERAL, THEN A NEW ONE MUST BE INSTALLED. THE PROPERTY LINE CLEANOUT MUST STAY WITHIN THE ION SITES PROPERTY LINES. SEE CITY STANDARD PLAN ST-5. CLEANOUT MUST BE ADDED TO THE SITE PLAN.
- A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES FROM THE FIXTURES WITH FLOOD LEVEL RISERS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER. SEE CITY STANDARD PLAN ST-24. MUST BE SHOWN ON THE PLAN IF APPLICABLE.
- IF ANY EXISTING 6" SEWER LATERAL IS USED, IT MUST BE TELEVISED TO CHECK ITS STRUCTURAL INTEGRITY. THE TAPING MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT. THE PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY LATERAL NEEDS REPAIRING, REPLACED, OR THAT IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS PRESENT CONDITION.
- ANY UNUSED WATER OR SANITARY SEWER LATERALS MUST BE ABANDONED AT THE CITY MAIN.
- RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M.B.M.C. 5.24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED. SEE SHEET A.01.
- THE SIDEWALK MUST BE REPLACED FROM THE SOUTH PROPERTY LINE TO THE NORTH PROPERTY LINE AND SHOWN ON THE PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL STREET SIGNS, STREET LAMPS/LIGHTS, PARKING METERS, AND OR TREES AROUND THE PROPERTY. IF THERE ARE DAMAGED, LOST OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY STREET MARKINGS THAT ARE DAMAGED OR REMOVED BY THE CONTRACTOR'S OPERATIONS. CONTACT THE PUBLIC WORKS INSPECTOR FOR SPECIFICATIONS AND SUPPLIERS.
- THE BACK OF DRIVEWAY APPROACH MUST BE SIX INCHES HIGHER THAN THE FLOW LINE ON THE STREET. M.B.M.C. 9.76.030.
- SIDEWALK, DRIVEWAY, CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE CITY STANDARD PLANS ST-1, ST-2, AND ST-3. THE PLANS MUST HAVE A PROFILE OF THE DRIVEWAY, PERCENTAGE (%) OF SLOPE ON DRIVEWAY, AND DRIVEWAY ELEVATIONS FOR EACH SIDE AND THE MIDDLE. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15%. PLANS/SURVEY MUST SHOW ELEVATIONS FOR EACH ADJOINING PROPERTY. NO DEVIATIONS IN ELEVATIONS BETWEEN PROPERTIES OF MORE THAN 14".
- WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METER SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER LOCATION MUST BE SHOWN ON THE PLANS.
- THE WATER METER BOX MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.
- IF ANY PARKWAY TREES ARE REMOVED, THEY MUST BE REPLACED WITH TREES SELECTED FROM THE CITY'S APPROVED PARKWAY TREE LIST, AND PLANTED IN ROOT BARRIER BOXES.
- EROSION AND SEDIMENT CONTROL DEVICES BMP'S (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMP'S MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.
- ALL STORM WATER, NUISANCE WATER, ETC. DRAIN LINES INSTALLED WITHIN THE STREET RIGHT OF WAY MUST BE CONSTRUCTED OF DUCTILE IRON PIPE. DRAINS MUST BE SHOWN ON PLANS.
- ALL RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO MANHATTAN AVENUE. DRAINS MUST BE SHOWN ON THE PLANS.
- PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.
- PUBLIC WORKS CORRECTIONS. MUST SHOW DRIVEWAY ELEVATION POINTS AT BOTH EDGES AND AT THE CENTER OF DRIVEWAY. IT MUST SHOW FROM THE CENTER LINE OF THE STREET TO THE CURB FLOW LINE AND FROM THE CURB FLOW LINE TO THE GARAGE FLOOR FINISH GRADE.
- IT SHALL BE THE DUTY OF EVERY PERSON CUTTING OR MAKING AN EXCAVATION IN OR UPON ANY PUBLIC PLACE, TO PLACE AND MAINTAIN BARRIERS AND WARNING DEVICES FOR THE SAFETY OF THE GENERAL PUBLIC. M.B.M.C. 17.16.80. IF ANY EXCAVATION IS MADE ACROSS ANY PUBLIC STREET, ALLEY, OR SIDEWALK, ADEQUATE CROSSINGS SHALL BE MAINTAINED FOR VEHICLES AND PEDESTRIANS. M.B.M.C. 17.16.100.

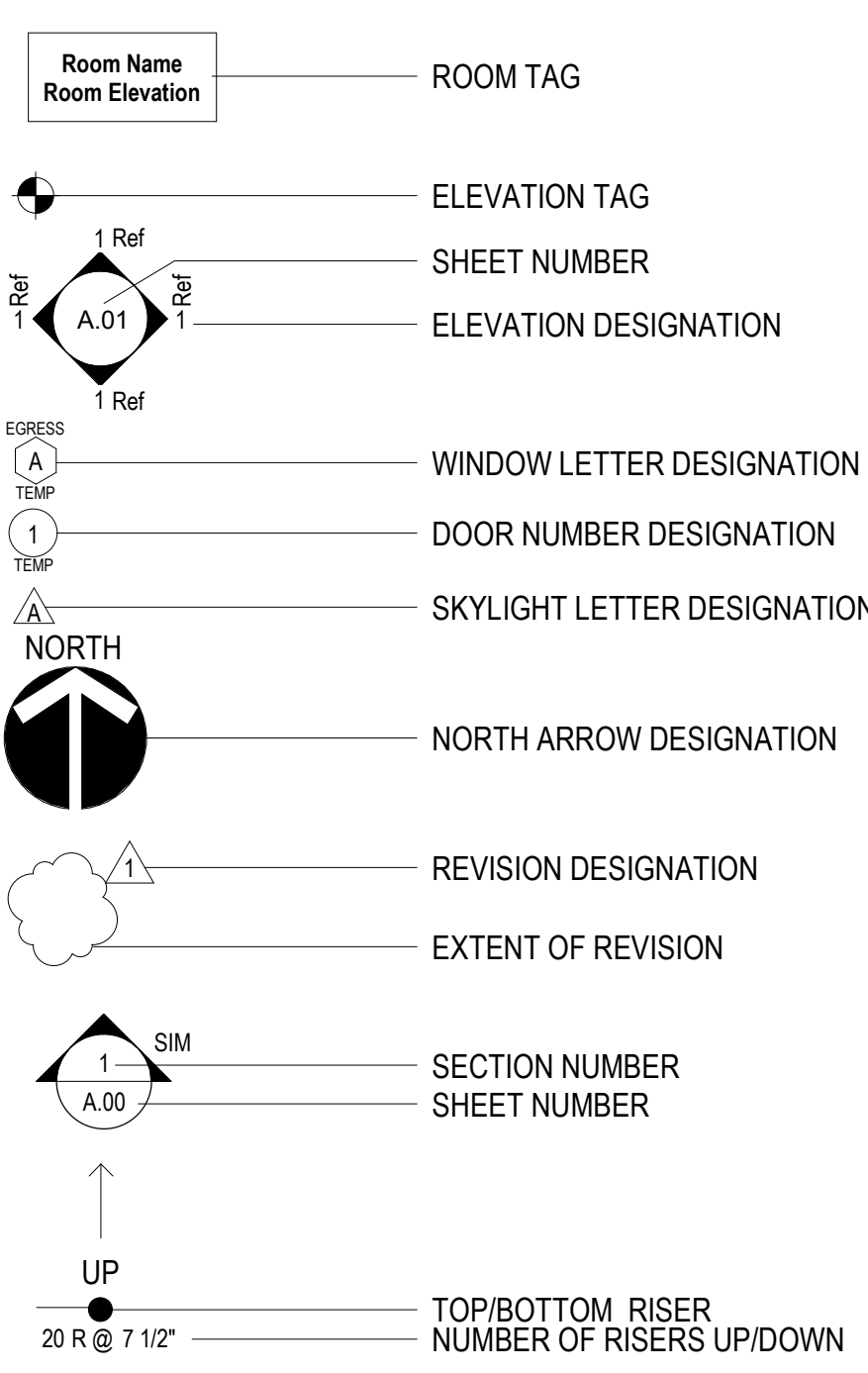
SHORING NOTES & EXCAVATION NOTES

- PROVIDE CONTINUOUS INSPECTION DURING EXCAVATION OF SHORING AND INSTALLATION OF SHORING MEMBERS. (MBMC.9.01.070)
- AN EXCAVATION/CONSTRUCTION PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY. THIS INCLUDES, BUT IS NOT LIMITED TO, STANDARD SIDEWALKS, CURBS, GUTTERS, DRIVEWAY APPROACHES, OR UNDERGROUNDING OF UTILITIES.
- CONTRACTOR TO PROVIDE EVIDENCE OF PERMIT FROM CALIFORNIA STATE DEPARTMENT OF INDUSTRIAL SAFETY FOR EXCAVATION 5'-0" OR DEEPER. CALL 213.736.3041.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT "DIG ALERT" PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. (800) 227-2600
- PROVIDE TEMPORARY SHORING OF ADJACENT PROPERTY. QUALIFIED PERSONS REGISTERED WITH THE STATE SHALL DESIGN SHORING. H.B.
- A SEPARATE PERMIT IS REQUIRED FROM THE STATE DIVISION OF INDUSTRIAL SAFETY FOR TRENCHES OR EXCAVATION 5' (1.52 METERS) OR DEEPER OR BUILDING/STRUCTURE OVER 3 STORES HIGH, OR BUILDING OVER 36' (11 METERS) HIGH. H.B.
- SEE SHT SP-03 FOR GEOTECHNICAL INFORMATION PER NORCAL ENGINEERING

PLANNING NOTES

- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/PLOT PLAN.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE. (36" IF OBSTRUCTING DRIVEWAY VISIBILITY, COMBINED RETAINING AND FREE STANDING WALL).
- PROVIDE STREET ADDRESS LETTERS AT A MINIMUM 4" INCHES IN HEIGHT @ APPROVED LOCATION.
- PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT A 20' WIDE FRONT YARD DRIVEWAY.
- A 'CAPPED TEE' FITTING MUST BE INSTALLED OVER THE COLD WATER SUPPLY LINE ABOVE THE WATER HEATER FOR FUTURE SOLAR WATER HEATING. P&T RELIEF VALVE SHALL TERMINATE OUTSIDE THE BUILDING.
- ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDOUT ST-13. STUB OUT TO PROPERTY LINE FOR FUTURE UNDERGROUNDING OF UTILITIES WHEN APPLICABLE.
- PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS (TOP NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING).
- GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
- CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
- CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5 FEET, PROVIDED THE LENGTH AND WIDTH OF THE CHIMNEY PORTION EXCEEDING THE HEIGHT LIMIT SHALL NOT EXCEED 3 FEET IN WIDTH AND 5 FEET IN LENGTH.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
- AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (MBMC10.12.030(0)) SEE SITE PLAN.
- ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES. (NOTE: UBC AND SCE REQUIRE THAT ELECTRIC BOXES MUST PROVIDE 3 FEET CLEAR TO ANY OBSTRUCTION, AND IF LOCATED ADJACENT TO A PARKING AREA PROTECTIVE BARRIERS 3 FEET AWAY FROM THE BOX IS REQUIRED. PROTECTIVE BARRIERS MAY NOT ENCROACH INTO THE REQUIRED PARKING OR VEHICLE MANEUVERING AREA.)

SYMBOL LEGEND



PROJECT DATA PROPERTY OWNERS

HEINZ REI, LLC
 212 AVENUE E'
 REDONDO BEACH, CA 90277

LEGAL DESCRIPTION

LOT 7, BLOCK 55
 TRACT NO. 1638
 M.B. 23-34-35
 APN 4170-003-007

OCCUPANCY AND ZONING

OCCUPANCY: R-3U
 ZONING: RS
 CONSTRUCTION TYPE: V-B (SPRINKLERED)
 AREA DISTRICT: II
 NUMBER OF UNITS: 1
 NUMBER OF STORIES: 2 + BASEMENT

CITY, STATE, NATIONALLY APPLICABLE CODES

2019 CRC, 2019 CBC, 2019 CMC, 2019 CPC, 2019 CEC, STATE OF CALIFORNIA, AND THE CITY OF MANHATTAN BEACH

AREA CALCULATIONS

LOT SIZE	= 4,198.5 SF
BASEMENT FLOOR LIVING	= 629 SF
BASEMENT FLOOR STAIR	= 65 SF
FIRST FLOOR LIVING	= 1,456 SF
SECOND FLOOR LIVING	= 1,408 SF
TOTAL LIVING	= 3,558 SF
GARAGE FLOOR	= 398 SF
BALCONIES / DECKS	= 335 SF
STORAGE / MECHANICAL	= 38 SF
TOTAL BUILDABLE	= 4,329 SF

HEIGHT CALCULATIONS

105.40' NW + 102.20' NE + 106.13' SW + 102.10' SE = 415.83'
 415.83' / 4 = 103.96'
 103.96' + 26' = 129.96'

MAXIMUM ALLOWABLE HEIGHT = 129.96'

ACTUAL HEIGHT =

BUILDABLE FLOOR AREA CALCS.

MAXIMUM ALLOWABLE B.F.A.	= 2,939 SF
= (LOT SIZE x 0.7)	
= (4,198.5 SF x 0.7)	
ACTUAL B.F.A.	= 2,929 SF
BASEMENT FLOOR	= 65 SF
FIRST FLOOR	= 1,456 SF
SECOND FLOOR	= 1,408 SF
TOTAL B.F.A.	= 2,929 SF

MINIMUM SUPPLEMENTAL SETBACK	= 252 SF
= (LOT SIZE x 0.06)	
= (4,198.5 SF x 0.06)	

ACTUAL SUPPLEMENTAL SETBACK	= 261 SF
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MAX. ALLOWABLE DECK IN SUPP. SETBACK	= 130.5 SF
= (SUPP. SETBACK x 0.5)	
= (261 SF x 0.5)	

ACTUAL DECK IN SUPP. SETBACK	= 130 SF
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CONSULTANTS

CIVIL SURVEY CONSULTANT

DENI ENGINEERS
 3914 DEL AMO BLVD., SUITE 921
 TORRANCE, CA 90503
 T:310.542.9433

CIVIL CONSULTANT

FGB & ASSOCIATES
 17410 ELAINE AVE.
 ARTESIA, CA 90701
 T:562.584.1071

STRUCTURAL CONSULTANT

MS STRUCTURAL ENGINEERING INC.
 3719 EMERALD ST., UNIT A
 TORRANCE, CA 90503
 T:310.809.7061

GEO-TECHNICAL CONSULTANT

NORCAL ENGINEERING
 10641 HUMBOLT ST.
 LOS ALAMITOS, CA 90720
 T:562.799.9469

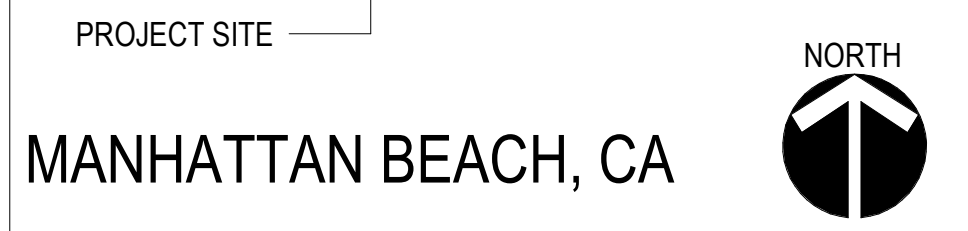
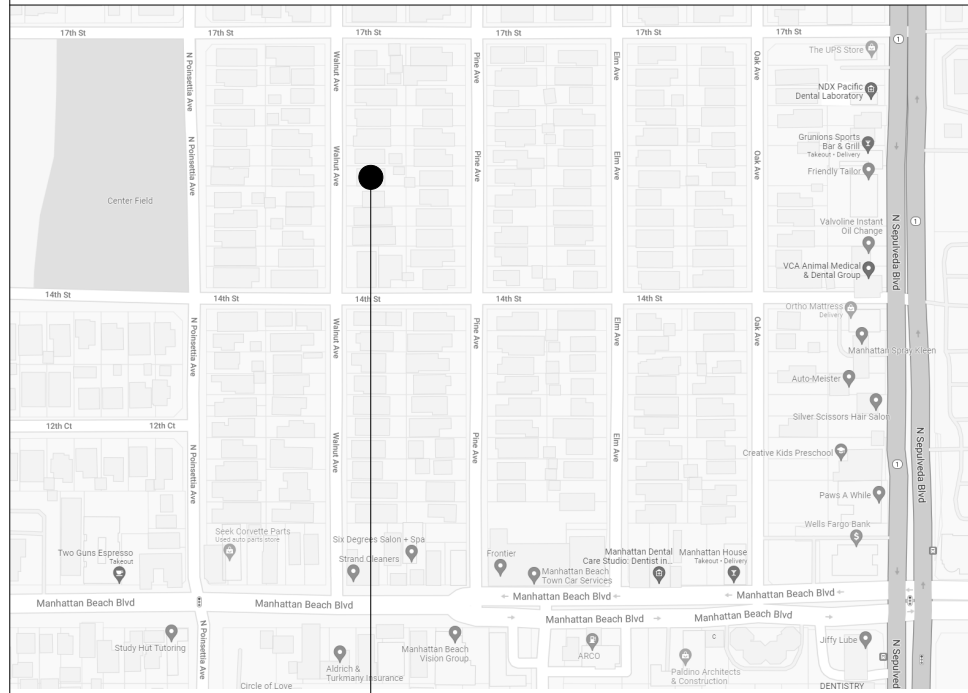
ENERGY CONSULTANT

SEEKING BALANCE INC.
 2505 RALSTON LANE
 REDONDO BEACH, CA 90278
 T:310.701.5490

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C.3.0	GRADING & DRAINAGE PLAN
C.4.0	EROSION CONTROL PLAN
C.5.0	DETAILS
C.5.1	DETAILS
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A.03	FIRST FLOOR PLAN
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A.05	ROOF PLAN
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D.05	DETAILS
D.06	DETAILS
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D.08	DETAILS
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D.10	DETAILS
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E.03	SECOND FLOOR ELECTRICAL PLAN
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R.02	FIRST FLOOR REFLECTED CEILING PLAN
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SP.04	GREEN BUILDING REQUIREMENTS
SP.04.1	GREEN BUILDING REQUIREMENTS

VICINITY MAP



2617 NORTH SEPULVEDA BLVD.
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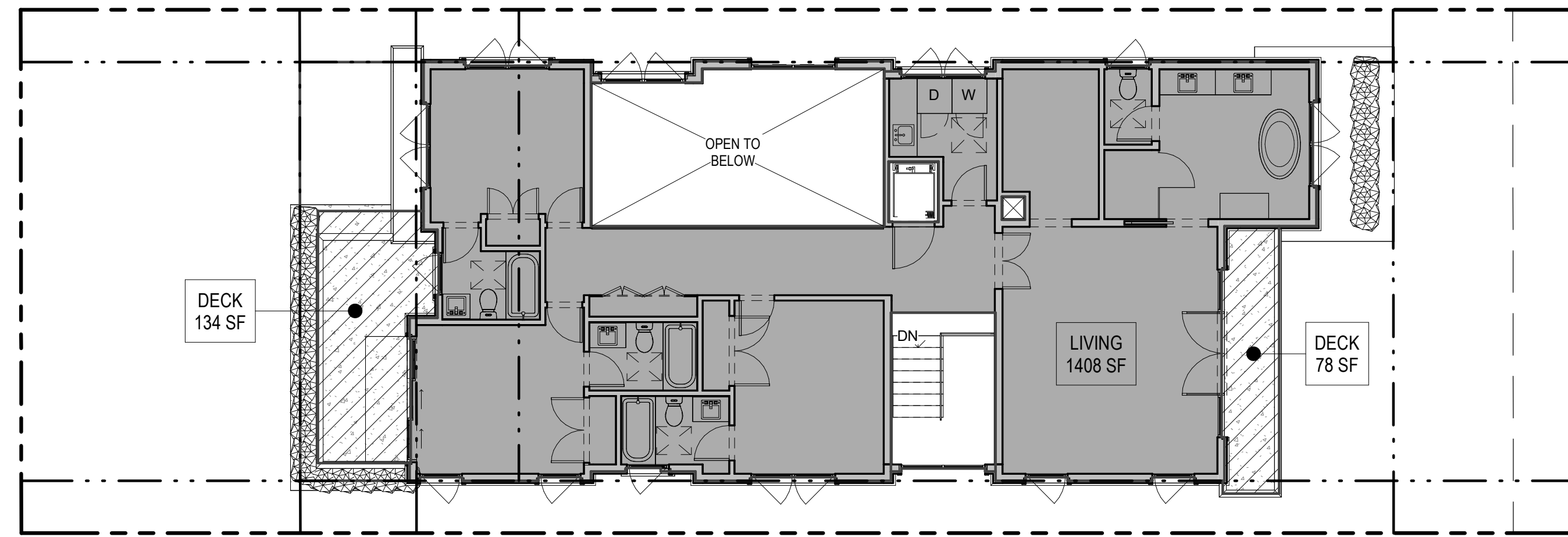
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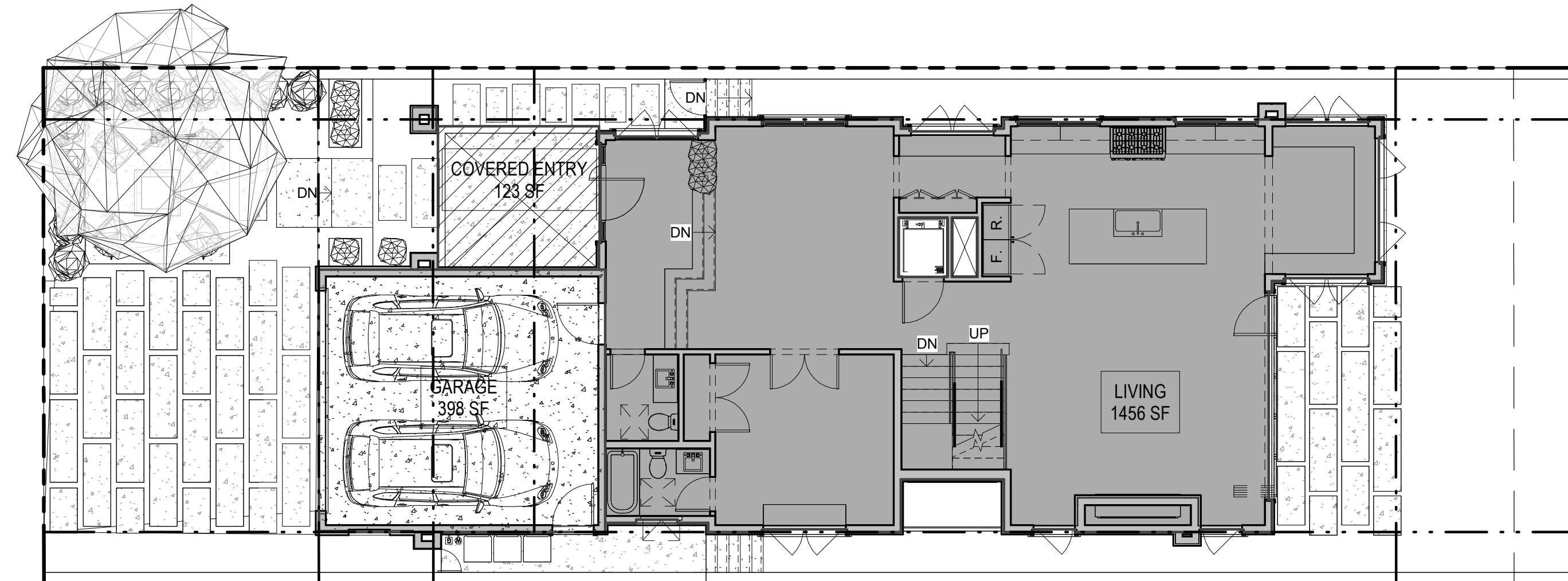
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SECOND FLOOR
SCALE: 1/8" = 1'-0"

LEGEND

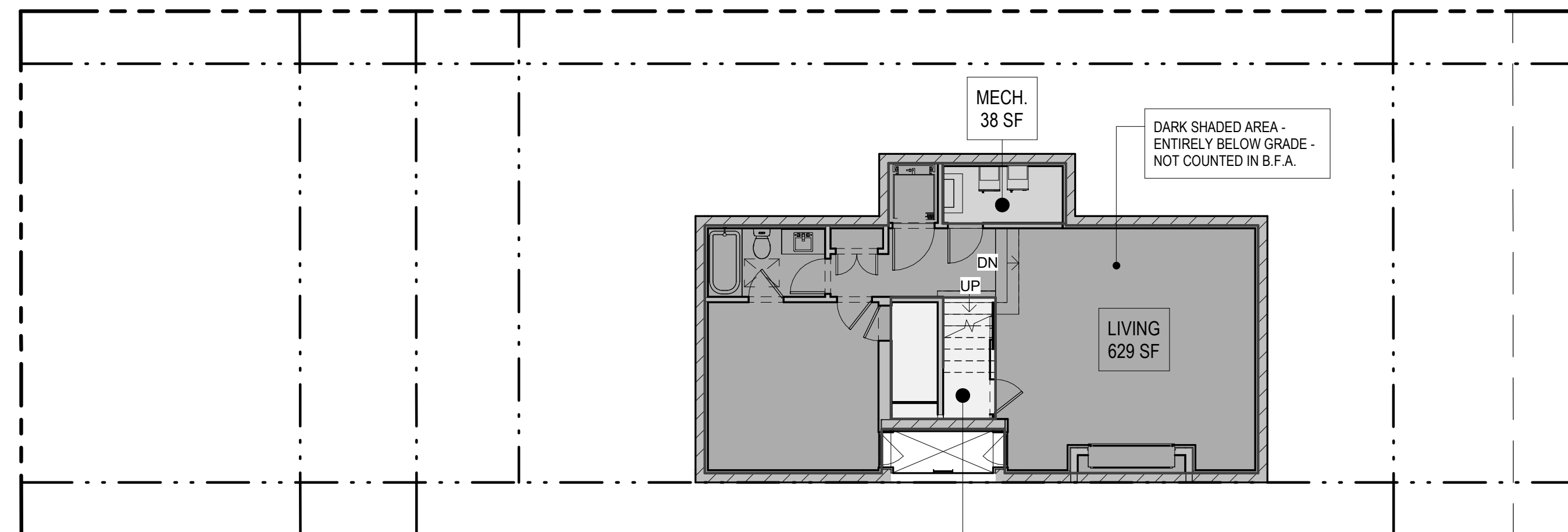
- DECK
- LIVING



FIRST FLOOR
SCALE: 1/8" = 1'-0"

LEGEND

- COVERED ENTRY
- GARAGE
- LIVING



BASEMENT FLOOR
SCALE: 1/8" = 1'-0"

LEGEND

- LIVING
- MECH.
- STAIR



BUILDABLE FLOOR AREA CALCS.

MAXIMUM ALLOWABLE B.F.A. = 2,939 SF
= (LOT SIZE x 0.7)
= (4,198.5 SF x 0.7)

ACTUAL B.F.A. = 2,929 SF

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= (LOT SIZE x 0.06)
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= (SUPP. SETBACK x 0.5)
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ACTUAL DECK IN SUPP. SETBACK = 130 SF

AREA CALCULATIONS

LOT SIZE = 4,198.5 SF

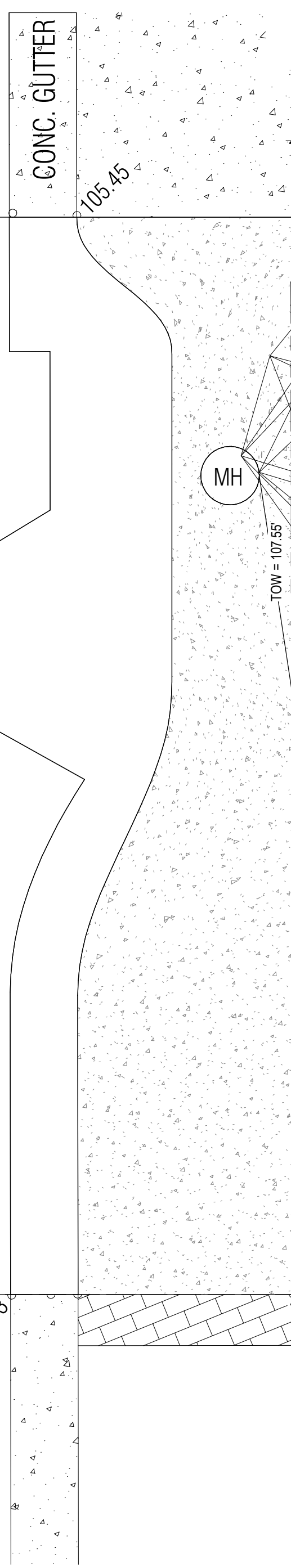
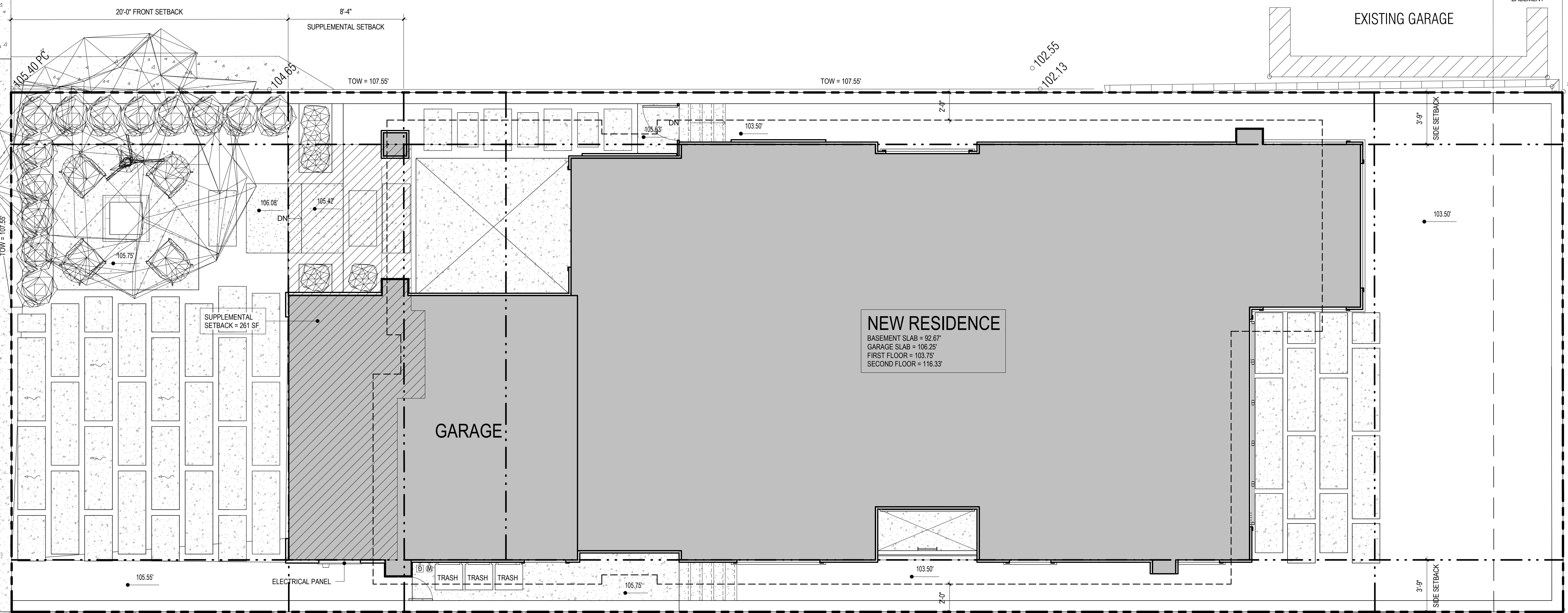
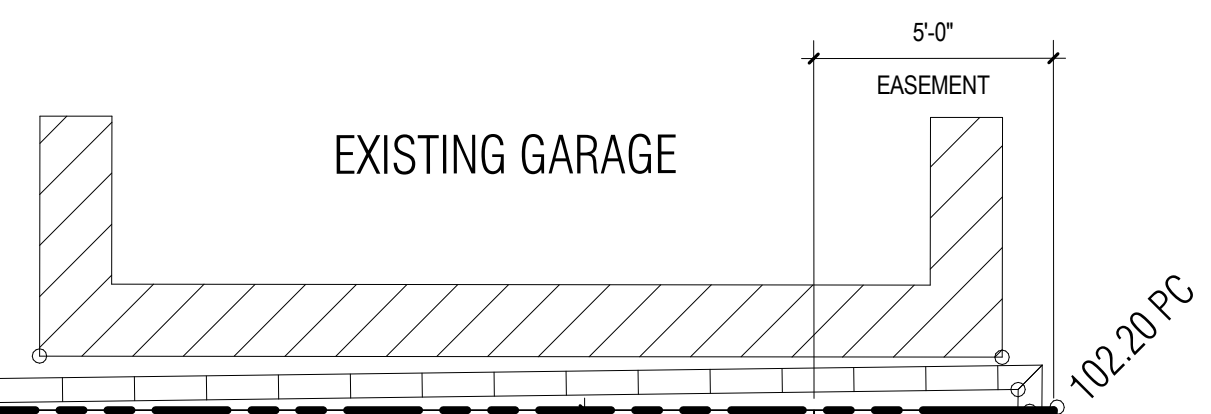
BASEMENT FLOOR LIVING = 629 SF
BASEMENT FLOOR STAIR = 65 SF
FIRST FLOOR LIVING = 1,456 SF
SECOND FLOOR LIVING = 1,408 SF
TOTAL LIVING = 3,558 SF

GARAGE FLOOR = 398 SF
BALCONIES / DECKS = 335 SF
STORAGE / MECHANICAL = 38 SF
TOTAL BUILDABLE = 4,329 SF



ARCHITECTURE

2617 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90266
TEL: 310-318-8089 WWW.TOMARO.COM



PROJECT
NEW RESIDENCE
1420 WALNUT AVENUE
MANHATTAN BEACH, CA 90266

EXISTING GARAGE

STAMP

NOT FOR CONSTRUCTION

NEW RESIDENCE
BASEMENT SLAB = 92.67'
GARAGE SLAB = 105.25'
FIRST FLOOR = 103.75'
SECOND FLOOR = 116.33'

GARAGE

PROJECT NUMBER
21044

PRINT DATE
4/6/2023 1:29:55 PM

REVISIONS

NUMBER	REVISION SCHEDULE	DESCRIPTION	DATE
1	Revision 1		Date 1

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DRAWING
SITE PLAN

SITE PLAN
SCALE: 1/4" = 1'-0"



SHEET NUMBER
A.01



ARCHITECTURE

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PROJECT NUMBER
21044

PRINT DATE
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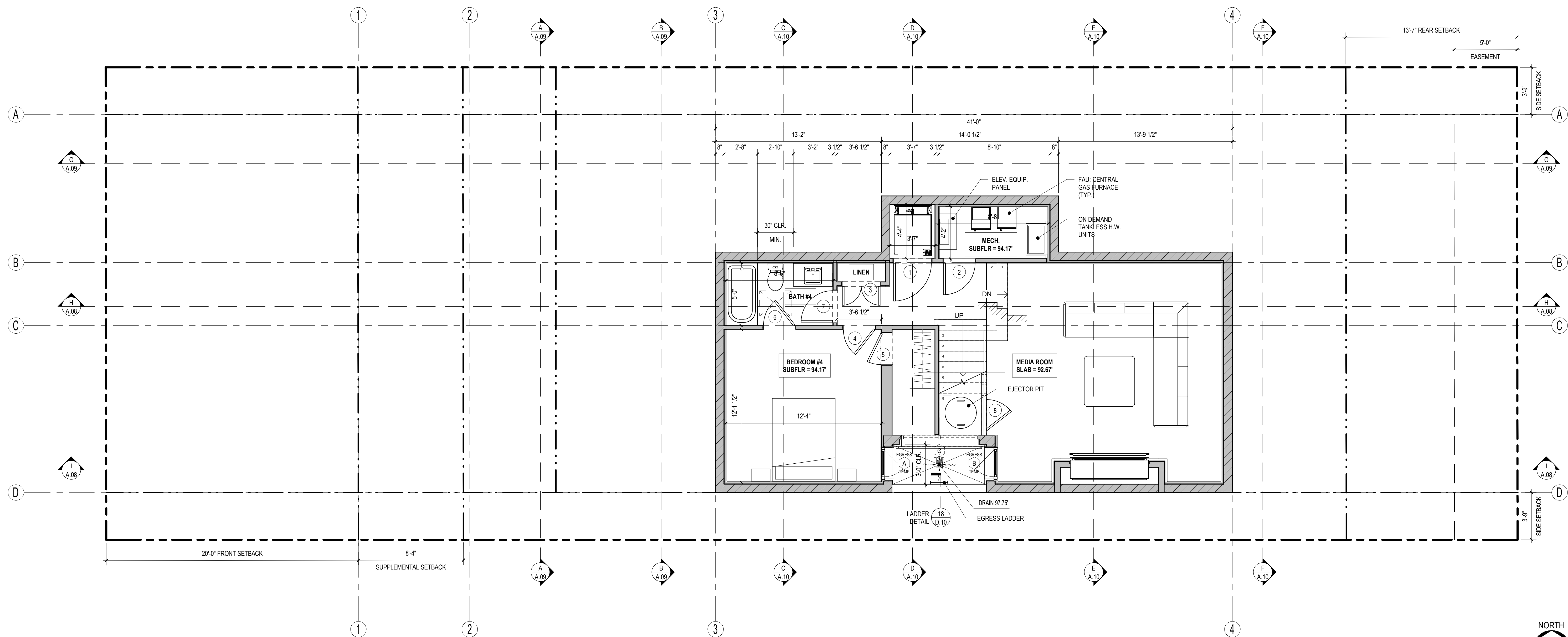
REVISIONS
NUMBER DESCRIPTION DATE

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DRAWING
BASEMENT FLOOR PLAN

SHEET NUMBER

A.02



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"





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MANHATTAN BEACH, CA 90266
TEL: 310-318-8089 WWW.TOMARO.COM

- FLOOR PLAN NOTES:**
- ALL EXTERIOR WALLS SHALL BE 2X6 STUD WALLS WITH R-21 INSULATION MIN.
 - ELEVATOR SHALL COMPLY WITH ASME A17.1/CSA B44 - PER CRC SECTION R321.1
 - IMPERVIOUS MOISTURE BARRIER AT BALCONY FLOOR SHALL NOT BE CONCEALED UNTIL IT HAS BEEN INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SECTION R109.1.5.3
 - DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 26 GAGE MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECTION R302.5.2
 - PROVIDE MINIMUM OF THREE 4-FOOT TALL 2X2 TRASH CANS FOR EACH DWELLING UNIT.

PROJECT
NEW RESIDENCE
1420 WALNUT AVENUE
MANHATTAN BEACH, CA 90266

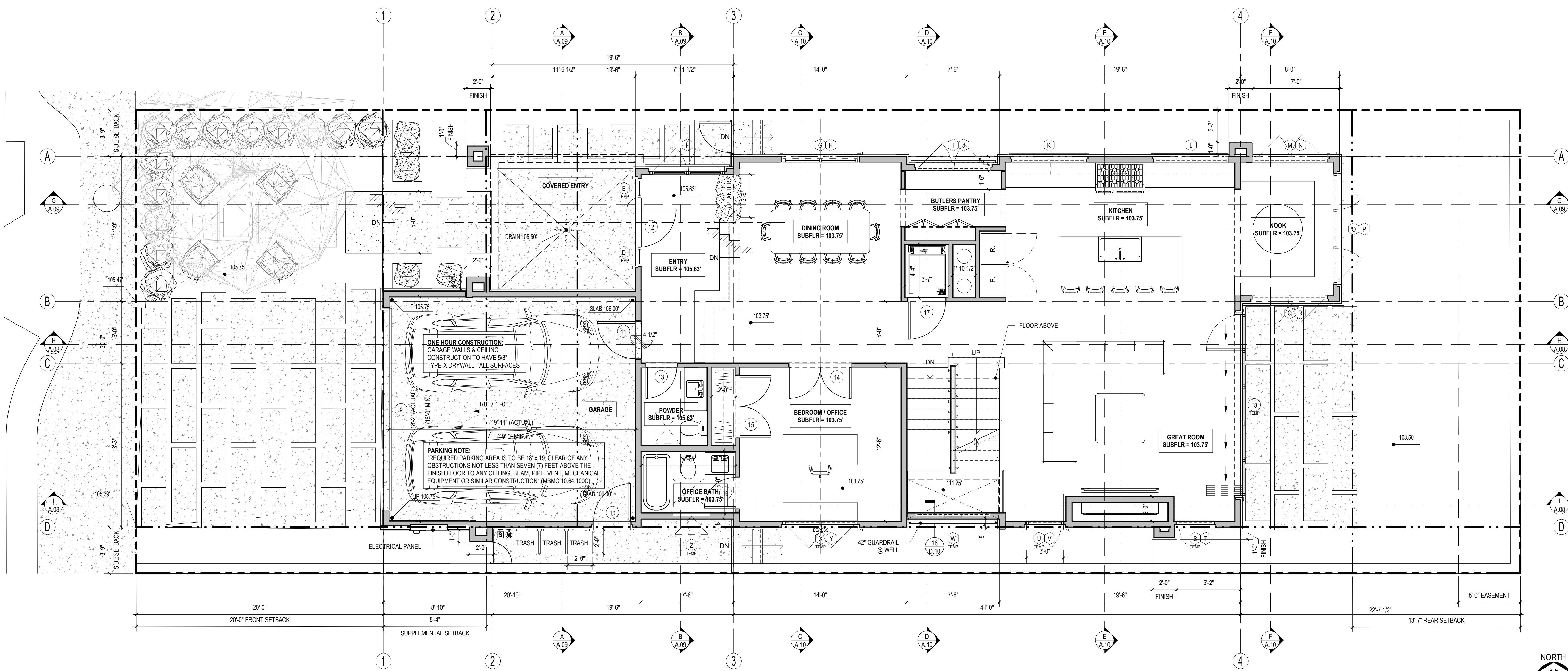
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DRAWING
FIRST FLOOR PLAN

SHEET NUMBER
A.03



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH



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MANHATTAN BEACH, CA 90266
TEL: 310-318-8089 WWW.TOMARO.COM

- FLOOR PLAN NOTES:**
- ALL EXTERIOR WALLS SHALL BE 2X6 STUD WALLS WITH R-21 INSULATION MIN.
 - ELEVATOR SHALL COMPLY WITH ASME A17.1/CSA B44 - PER CRC SECTION R321.1
 - IMPERVIOUS MOISTURE BARRIER AT BALCONY FLOOR SHALL NOT BE CONCEALED UNTIL IT HAS BEEN INSPECTED AND APPROVED BY THE CITY INSPECTOR - CRC SECTION R109.1.5.3
 - DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 26 GAGE MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECTION R302.5.2
 - PROVIDE MINIMUM OF THREE 4-FOOT TALL 2X2 TRASH CANS FOR EACH DWELLING UNIT.

PROJECT
NEW RESIDENCE
1420 WALNUT AVENUE
MANHATTAN BEACH, CA 90266

STAMP
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PROJECT NUMBER
21044

PRINT DATE
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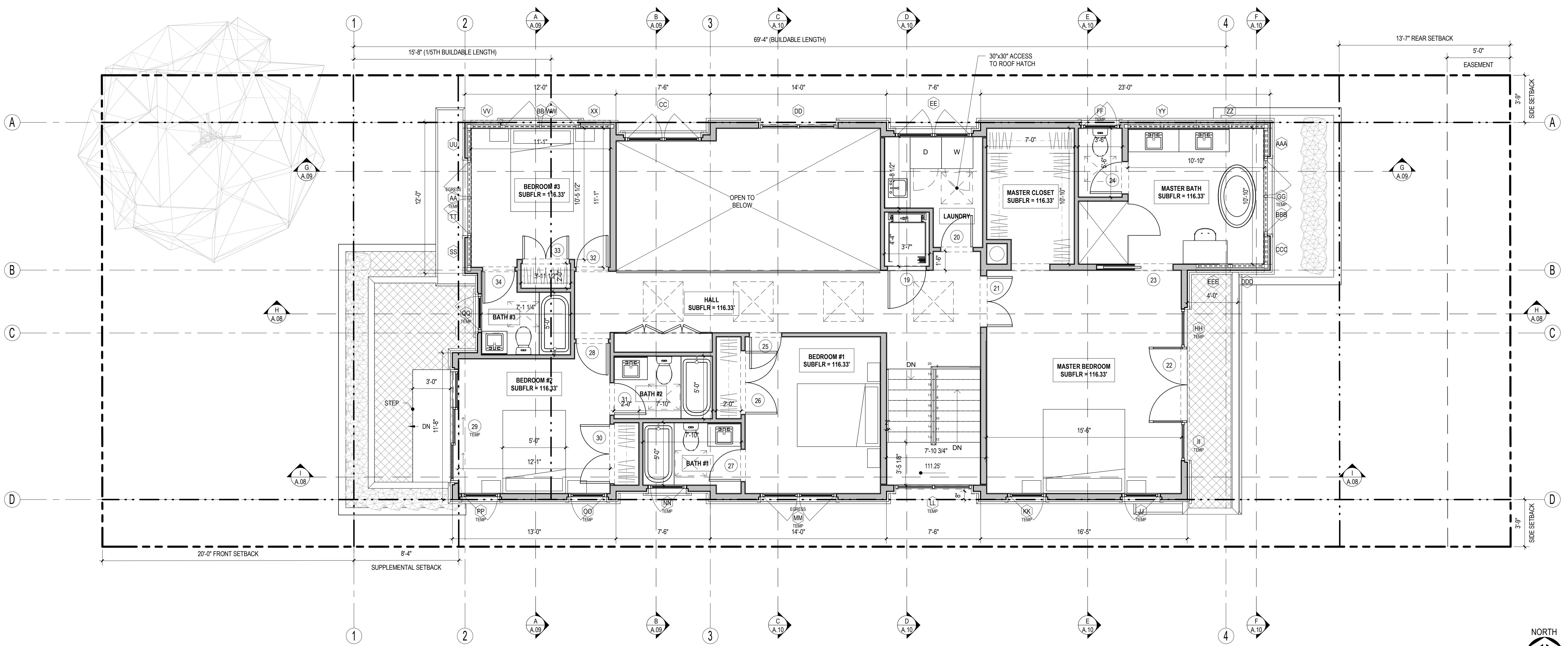
REVISIONS

NUMBER	REVISION SCHEDULE	DESCRIPTION	DATE

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DRAWING
SECOND FLOOR PLAN

SHEET NUMBER
A.04



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



