

# Inspection Report

*This inspection performed in accordance with current "Standards of Practice" of the California Real Estate Inspection Association.*



*This home inspection report prepared specifically for:*

**Susan Madrid**  
1291 W Newport Street  
San Luis Obispo, CA 93405



*Inspected by:* **Gregory S. Terry**



## **Table of Contents**

General Information.....1	Bathrooms.....10
Roof.....2	Interior Rooms.....11
Exterior.....3	Garage & Carport.....13
Grounds & Drainage.....4	Attic.....14
Heating & Cooling.....5	Foundation.....15
Plumbing.....6	Deficiency Summary
Electrical.....7	Addendum.....(if noted)
Kitchen & Laundry.....8	Photos.....(if noted)



PROPERTY / CLIENT INFORMATION

Report Date: 3/30/2023

Customer File # 19190

Susan Madrid

Address:

Phone:

Fax:

Email:

Inspection location: 1291 W Newport Street San Luis Obispo, CA 93405

Send report to: Linda Wilson Wilson & Company

Phone:

County: San Luis Obispo

Area/Neighborhood:

Sub-division:

GENERAL INFORMATION

Main entry faces: South

Bedrooms: 4

Estimated Age: 60

Levels: 1

Type Structure: Single Family Home

Full Baths: 2

Stories: 1

Half Baths:

Type Foundation: Slab

Garages: conv

Soil condition: Dry

Weather: Clear

Temp: 50-60

Date: 3/30/2023

Time:

Unit occupied: yes

Client present: no

Attendees: Inspector Only

General Overview

Notice to 3rd parties or other purchasers: Receipt of this report by any purchasers of this property other than the above listed party(s) is not authorized. This report is prepared for the exclusive and sole use of the client listed above. This report is a work product and is copyrighted by the company shown above. Duplication by any means whatsoever is prohibited. Unauthorized duplication of, use or reliance on this report has the effect of all parties agreeing to hold harmless, individually or jointly, and or otherwise, the inspector, the Corporation, their successors and assigns.

Inspector: \_\_\_\_\_

Gregory S. Terry

REPORT LIMITATIONS

This report has been prepared for the sole and exclusive use of the client indicated above and is limited to an impartial opinion which is not a warranty that the items inspected are defect-free, or that latent or concealed defects may exist as of the date of this inspection or which may have existed in the past or may exist in the future. The report is limited to the components of the property which were visible to the inspector on the date of the inspection and his opinion of their condition at the time of the inspection.

# Roof

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Roof coverings: <b>Acceptable</b>		
2	Ventilation: <b>Acceptable</b>		
3	Flashings: <b>Most Acceptable</b>	Repair - See Comments below	Active Leak
4	Skylights: <b>N/A</b>		
5	Chimneys: <b>Most Acceptable</b>	Recommend further evaluation by a Fireplace Contractor	Fire Hazard
6	Gutter system: <b>Acceptable</b>		
7	:		
8	:		

## INFORMATION

9	Main roof age: <u>15 Years old approximately</u>	14	Ventilation: <u>Eaves &amp; Gables</u>
10	Other roof age:	15	Chimney: <u>Masonry</u>
11	Inspection method: <u>Walked entire roof</u>	16	Chimney flue: <u>Lined</u>
12	Roof covering: <u>Fiberglass Shingle</u>	17	Gutters: <u>Aluminum</u>
13	Roofing layers: <u>1st</u>	18	Roof Style: <u>Gable</u>

## ROOF COMMENTS

18 **General Note:** Our roof inspection is to report on the type and condition of the roofing materials, missing and/or damaged materials and attachments. (excluding ancillary items such as antennas, satellite dishes, solar panels, etc.) This does not constitute a warranty, guarantee, roof certification or life expectancy evaluation of any kind. Roofs are not water tested for leaks. Condition of the roof underlayment is not visible and therefore cannot be evaluated. Structures that have concrete tile, clay or wood shake/shingle materials that are going to be tented for fumigation are advised to be reinspected for damage caused after the tent is removed and prior to the close of escrow.

**Maintenance Note:** Some of the down spouts have no splash block or extension to divert the runoff water from the roof away from the foundation. Recommend installing proper drainage of roof water away from the structure to reduce foundation moisture and potential foundation settlement.

1.) There is thermal cracking on the outside brick wall of the chimney.

**Fire Safety Upgrade Note:** The spark arrestor on top of the chimney(s) is substandard. Recommend installing a four sided spark arrestor with a rain cap at the top of the chimney.

2.) The storm collar is missing at the furnace exhaust flue and there is evidence of leaks at the furnace exhaust flue.



**INSPECTION PHOTOS**

**Roof # R**



**Thermal cracking on the outside brick wall of the chimney.**

**Roof # R**



**Evidence of leak at the furnace flashing.**

**Roof # R**



**Evidence of leak at the furnace flashing.**

**Roof # R**



**Missing storm collar the furnace exhaust.**

**Roof # R**



**Substandard spark arrester at the chimney.**

# Exterior

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Siding: <b>Acceptable</b>		
2	Trim/fascias/soffits: <b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Moderate Concern</b>
3	Veneer: <b>N/A</b>		
4	Doors: <b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Maintenance Item</b>
5	Windows: <b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Maintenance Item</b>
6	Hose faucets: <b>Acceptable</b>		
7	Electrical cable: <b>Not Inspected</b>		
8	Exterior electrical:	<b>See the Electrical Page</b>	

## INFORMATION

9	Siding type: <b>Stucco</b>	13	Window Type: <b>Fixed/Sliding</b>
10	Veneer type: <b>None</b>		
11	Trim/fascias type: <b>Wood</b>	14	Window material: <b>Aluminum</b>
12	Door type: <b>Wood/Glass, Metal/Glass &amp; Sliders</b>	15	Electric service cable: <b>Overhead</b>

## EXTERIOR COMMENTS

- 16 1.) All of the fascia boards and eaves are in need of painting.
- 2.) There is moisture damage to the following locations:  
 A.) The eave and fascia board at the SW corner of the roof.  
 B.) The fascia board at the NE corner of the roof.  
 C.) The door, door frame and the base of the wall at the water heater closet.
- 3.) There is one missing window screen and one damaged screen.
- 4.) The outside handle is missing at the sliding glass door.



## INSPECTION PHOTOS

Exterior

# EX



The eaves need to be painted.

Exterior

# EX



Moisture damage at the SW eave.

Exterior

# EX



The eaves need to be painted.

Exterior

# EX



Moisture damage at the NE fascia.

Exterior

# EX



Moisture damage at the water heater closet door.

# Grounds & Drainage

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Drainage: <b>Acceptable</b>		
2	Trees & shrubs: <b>Acceptable</b>		
3	Walks & Steps: <b>Most Acceptable</b>	Repair - See Comments Below	<b>Safety Hazard</b>
4	Porch/Deck: <b>Acceptable</b>		
5	Driveway: <b>Poor Condition</b>	Repair - See Comments Below	<b>Maintenance Item</b>
6	Retaining walls: <b>N/A</b>		
7	Fencing & Gates: <b>Most Acceptable</b>	Repair - See Comments Below	<b>Maintenance Item</b>
8	:		

## INFORMATION

9	Walks & Steps: <b>Concrete</b>	13	Porch: <b>Concrete</b>
10	Patio: <b>Concrete &amp; Pavers</b>	14	Location: <b>Front</b>
11	Location: <b>Rear</b>	15	Retaining walls: <b>N/A</b>
12	Driveway: <b>Asphalt</b>	16	:

## GROUND & DRAINAGE COMMENTS

- 17 **Soil condition and stability on sloped or steep lots is not determined or within the scope of this inspection. If concerned, this evaluation would require the expertise of a qualified and licensed Geotechnical Engineer.**

**General Note:** Any reference to grading is limited to only areas around the exposed areas of the foundation or exterior walls. We cannot determine drainage performance of the site or site soil conditions. We do not evaluate any detached structures such as storage sheds and stables, nor mechanically or remotely controlled components such as driveway gates.

**Information Note:** The outbuilding in the backyard was not included in the scope of this inspection.

**Safety Hazard Note:** There are tripping hazards at the interface of the asphalt driveway and the city sidewalk, at the interface of the front paver walkway to the concrete driveway and at the front entry concrete landing.

- 1.) There is a general settlement crack in the concrete driveway at the NW corner of the property.
- 2.) The fence gate in the east side yard needs adjustment/repair.

**Maintenance Note:** The asphalt driveway appears to be in poor condition. Cracks, tree root damage and general deterioration were observed.



**INSPECTION PHOTOS**

**Grounds & Drainage # GD**



**Tripping hazard at the driveway and sidewalk.**

**Grounds & Drainage # GD**



**Tripping hazard at the front walkway.**

**Grounds & Drainage # GD**



**Tripping hazard at the front walkway.**

**Grounds & Drainage # GD**



**General settlement crack in the concrete driveway at the NW corner of the property.**

**Grounds & Drainage # GD**



**The asphalt driveway needs to be resealed.**



# Heating & Cooling

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	A/C operation:	N/A	
2	Heating operation:	Functional	See General Note Below
3	System back-up:	N/A	
4	Exhaust system:	Acceptable	
5	Distribution:	Acceptable	See Comments Below
6	Thermostat:	Acceptable	
7	Gas Piping:	Acceptable	
8	Condensate:	N/A	
9	:		
10	Filter:	Acceptable	

### INFORMATION

11	# Heating Units:	1	18	# Cooling Units:	0
12	Heating Types:	Forced Air	19	A/C Types:	
13	Heating Ages:	24 years	20	A/C age:	
14	Heating Fuels:	Natural Gas	21	Filter:	Disposable Media - Base of Heater
15	Distribution:	Ductwork	22	Heat Source Mfg.	Bryant (66,000 BTU)
16	Duct Insulation Type:	Fiberglass	23	A/C Source Mfg.	
17	Gas Shutoff Location:	East Wall			

### HEATING & COOLING COMMENTS

24 **Our inspection of the major HVAC systems is limited to the normal functions of the systems. Independent evaluations including adequacy/inadequacy of heating and cooling systems (such as cracked heat exchangers, air conditioning pressure tests, coolant charge, line integrity, air balance or evaporative cooling coils, etc.) are not within the scope of this inspection. Thermostats are not checked for calibration or timer functions. Normal service maintenance of these systems is recommended to be performed annually.**



**General Note: Forced Air Heating systems greater than 15 years old and Air Conditioning & Heat Pump systems greater than 10 years old are considered at the end of a normal life expectancy by the standards of most manufacturers and tradesmen. The inspector will operate these systems to see if they are functional at the time of inspection however, they may be subject to failure at any time. If concerned about life expectancy of these systems, it is advised to have these systems fully evaluated by a qualified and licensed HVAC Contractor prior to close of escrow.**

**Information Note: The insulation on the ducting in this home may be an asbestos product. For more information contact a qualified and licensed Asbestos Contractor.**

## INSPECTION PHOTOS

HVAC

# HC



Insulation around the ducting may be asbestos.

# Plumbing

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Supply pipes:	Acceptable	
2	Waste/vent pipes:	Acceptable	
3	Funct'l water flow:	Acceptable	
4	Funct'l waste drain:	See Comments Below	
5	Well system:	N/A	
6	Septic system:	N/A	
7	Water heater:	See Comments Below	
8	TPR Valve:	Repair - See Comments Below	Safety Hazard

## INFORMATION

9	Water supply represented as:	Municipal	14	Waste system represented as:	Municipal
10	Supply pipes:	Copper	15	Septic location:	N/A
11	Pipe insulation type:	None	16	Waste/Vent pipes:	ABS Plastic
12	Water Shutoff Location:	Front Entry	17	Water Heater Manf.:	Rheem
13	Well location:	N/A	18	Water Heater Gallons:	40
			19	Water Heater Fuel:	Natural Gas
				Age:	21 years

## PLUMBING COMMENTS

20 The water temperature is not tested or verified. Water that is hotter than the manufacturers recommended setting is a scalding hazard. The water temperature should never be set higher than the manufacturers recommended setting. We recommend that the temperature setting on the hot water heater be checked at move-in for safety.

Shutoff valves and angle stops at kitchen or bathrooms sinks and toilets are not tested due to the possibility of leaking.

Information Note: The water pressure was measured at 60 psi at the time of inspection. This is within a normal and acceptable range. Since the house is equipped with a pressure regulator it should be monitored and retested periodically to ensure that the pressure is below the maximum allowable 80 psi.

1.) There is an active leak at the pressure regulator at the main water riser.

Information Note: The water heater is older and may have a limited life expectancy.

Safety Hazard Note: The discharge pipe for the temperature/pressure relief valve on the water heater is missing. This should be installed and plumbed to the exterior of the home.

Information Note: Based on the age of this home it is advised to have a video-cam inspection performed on the main sewer lateral prior to close of escrow. The condition of this pipe cannot be determined because it is buried below underground. Sometimes, these older pipes can fail due to age and/or root intrusion.



## INSPECTION PHOTOS

Plumbing

# P



Leak at the pressure regulator at the main water shut off.

# Electrical System

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 Wiring at main box:	<b>Most Acceptable</b>	<b>Fire Hazard - Advise repairs by an Electrical Contractor</b>	<b>Fire Safety Hazard</b>
2 Ground:	<b>Acceptable</b>		
3 GFCI:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Safety Upgrade</b>
4 Amperage:	<b>Acceptable</b>		
5 Wiring:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Safety Hazard</b>
6 Outlets:	<b>Acceptable</b>		
7 Lighting:	<b>Acceptable</b>		
8 :			

### INFORMATION

9	Amps: <b>100</b>	14	Branch circuit wiring: <b>Copper</b>
10	Volts: <b>110/220</b>	15	Grounding: <b>Water Pipes</b>
11	Main box location: <b>North Wall</b>	16	Ground fault protection at: <b>Kitchen</b>
12	Main Disconnect: <b>At Main Panel</b>		
13	Main service conductor: <b>Copper</b>	17	Main box type: <b>Breakers</b>
		18	Wiring type: <b>Romex</b>

### ELECTRICAL SYSTEM COMMENTS

19 **Information Note:** There is furniture and storage throughout the home and garage which may conceal faulty wiring and restricts the ability to test all of the outlets.

**Information Note:** The type of electrical panel installed in this home was manufactured by Zinsco. This panel has had some controversy among electrical contractors because in some cases they can arc and burn where they connect to the bus bar. It is not possible to see this condition without removal of the circuit breakers. Recommend further evaluation by a qualified and licensed Electrical Contractor.

**Fire Safety Hazard Note:** There is double tapping in the main electrical service panel. (This is where two conductors are connected to a single circuit breaker.) This is advised to be corrected by a qualified and licensed Electrical Contractor.

**Safety Upgrade Note:** There is no GFCI protection for the outlets in the bathrooms due to the age of this home. Recommend upgrading for safety.

**Safety Hazard Note:** There is a frayed Romex wire with exposed single conductors in the attic space adjacent to the access opening.



## INSPECTION PHOTOS

Electrical

# EL



Frayed electrical romex wiring in the attic.

# Kitchen & Laundry

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
<b>KITCHEN</b>			
1	Walls/ceiling/floor:		
2	Doors & windows:	<b>Acceptable</b>	
3	Heating & cooling:	<b>See HVAC Page</b>	
4	Cabinets/shelves:	<b>Acceptable</b>	
5	Sink plumbing:	<b>Acceptable</b>	

<b>APPLIANCES</b>			
6	Disposal:	<b>Functional</b>	
7	Dishwasher:	<b>N/A</b>	
8	:		
9	Exhaust fan:	<b>Defective</b>	<b>Repair - See Comments Below</b>
10	Microwave:	<b>N/A</b>	<b>Moderate Concern</b>
11	:		
12	:		
13	Range/oven:	<b>Functional</b>	
14	Gas or electric?	<b>Gas</b>	

<b>LAUNDRY</b>			
15	Walls/ceiling/floor:	<b>See Interior Page</b>	
16	Doors & windows:	<b>See Interior Page</b>	
17	Washer plumbing:	<b>Acceptable</b>	
18	Sink plumbing:	<b>N/A</b>	
19	Cabinets/shelves:	<b>Acceptable</b>	
20	Heating & cooling:	<b>See HVAC Page</b>	
21	Dryer vent:	<b>Acceptable</b>	<b>See Comments Below</b>
22	:		
23	:		
24	Dryer service:	<b>Acceptable</b>	
25	Gas or electric?	<b>Both</b>	

## KITCHEN AND LAUNDRY COMMENTS

**26** Inspection of the kitchen components is limited to the built-in appliances and plumbing systems. These items are tested under normal operating conditions. Extensive evaluation such as calibration of timers, clocks, heat settings, thermostat accuracy, self-cleaning functions, etc. are outside the scope of this inspection. Stored personal belongings can restrict viewing of cabinet interiors and should be checked during your final walkthrough prior to close of escrow. Dishwasher cleaning and drying adequacy is not verified.



**Fire Safety Maintenance Note:** The dryer lint exhaust vent needs to be cleaned annually to prevent a back up of lint which is a very common cause of a residential fire. In most cases owners never have the lint vent cleaned. It is recommended to have the dryer lint exhaust vent professionally cleaned prior to the installation of the dryer and then annually after that.

1.) One of the control knobs for the range is broken.

# Kitchen & Laundry

## KITCHEN AND LAUNDRY COMMENTS - Continued

26 2.) The cover for the exhaust fan is missing at the fan is inoperable.




## INSPECTION PHOTOS

Kitchen & Laundry

# K



Control knob broken at the range.

Menu

# Bathrooms

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 Walls, ceiling, floor:		See Interior Page	
2 Doors & windows:		See Interior Page	
3 Heating & cooling:		See HVAC Page	
4 Cabinets & counter:	Acceptable		
5 Vents:	Acceptable		
6 Sinks:	Most Acceptable	Repair - See Comments Below	Maintenance Item
7 Toilets:	Acceptable		
8 Tubs:	Acceptable		
9 Showers:	Acceptable		
10 :			

## BATHROOMS INSPECTED

11 # of Half baths: 12 # of Full baths: 2 13 # of 3/4 baths:

## BATHROOM COMMENTS

14 **Our inspection of the bathrooms is to report on visible leaks and operations of the fixtures. Inaccessible piping and shower pans are outside the scope of this inspection. Shower pans, enclosures and doors are not tested for water tightness, visual observations only. All areas under sinks may not be visible due to stored items and should be checked during your final walkthrough prior to close of escrow.**

**Low Flow Information for State requirements:**

- A.) The master bathroom has a low flow 1.6 GPF toilet. The shower does have a low flow shower head of 2.5 GPM
- B.) The hall bathroom has a low flow 1.6 GPF toilet. The shower does have a low flow shower head of 2.5 GPM.

- 1.) There is a slow drain at the sink in the master bathroom.
- 2.) There is moisture damage to the drywall at both sides of the master shower due to over splash. This has caused a black mildew like substance. (See notes on the Deficiency Summary page at the end of the report regarding the potential for microbial contamination.)

**Repair Note: The drain line for the hall bathroom sink has been installed with corrugated piping. This subjects the drain line to clogs and is recommended to be replaced with smooth wall piping.**



## INSPECTION PHOTOS

Bathroom

# B



Moisture damage and black mildew like substance at the edge of the master shower.

Bathroom

# B



Corrugated piping at the hall bathroom sink.

# Interior Rooms

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1 Walls, ceiling, floor:	<b>Acceptable</b>		
2 Doors & windows:	<b>Acceptable</b>		
3 Heating & cooling:		<b>See HVAC Page</b>	
4 Cabinets & counter:	<b>Acceptable</b>		
5 Wet Bar:	<b>N/A</b>		
6 Fireplc/woodstove:	<b>Acceptable</b>		
7 Smoke detectors:	<b>Most Acceptable</b>	<b>Repair - See Comments Below</b>	<b>Safety Upgrade</b>
8 CO detectors:	<b>Not Present</b>	<b>Repair - See Comments Below</b>	<b>Safety Hazard</b>
9 Stairs/balcony/rails:	<b>N/A</b>		
10 :			

## INFORMATION

<p>11 Rooms inspected: Bedrooms #: <b>4</b> <b>Living Room</b> <b>Dining Room</b></p>	<p>12 Walls &amp; ceilings: <b>Sheet Rock &amp; Acoustical Spray</b></p> <p>13 Floors: <b>Carpet, Vinyl &amp; Laminate</b></p> <p>14 Number of wet bars: <b>0</b></p> <p>15 Number of fireplaces/woodstoves: <b>1</b></p> <p>16 Fuel source: <b>Solid Fuels Only</b></p>
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## INTERIOR ROOM COMMENTS

17 **Our evaluation of the interior is to determine the functionality of doors, windows and interior finishes. Cosmetic issues are not contemplated. Furnishings in the interior of the home can conceal physical or moisture damage. Recommend checking carefully on your final walkthrough. Any concerns should be reinspected prior to close of escrow.**

**Information Note:** Smoke detectors were present in the following locations at the time of inspection: In the living room and each of the four bedrooms.

**Safety recommendation:** The smoke detectors are tested during the inspection however, this only determines that they are functional on the day of the inspection. Smoke detectors can fail at any time. Retest all of the smoke detectors during the final walkthrough and again upon moving in. We recommend installing new batteries in all of the smoke detectors upon moving in and testing weekly as recommended by the Consumer Product Safety Commission.

**Fire Safety Hazard:** There is no smoke detector installed in the hallway outside of the bedroom as required.

**Information Note:** The acoustical spray ceilings at the interior of the home may be an asbestos product. For more information contact a qualified and licensed Asbestos Contractor.

**Fire Safety Upgrade Note:** The window in the master bedroom has a sill height which exceeds the maximum allowable of 44 inches. This can be a fire escape hazard. Recommend upgrading for safety.



# Interior Rooms

## INTERIOR ROOM COMMENTS - Continued

- 17 **Information Note:** There are patches at the ceiling in the living room. These were moisture probe tested and found to be dry during the time of inspection.
- 1.) There are cracks in the bricks inside the firebox at the bedroom fireplace.
  - 2.) There is an active leak at the chimney. Water is currently pooling at the base of the firebox.

**INSPECTION PHOTOS**

**Interior Room**

**# IR**



**Cracks in the firebox.**

**Interior Room**

**# IR**



**Water leak inside the fireplace.**

**Interior Room**

**# IR**



**Example of patches at the living room ceiling.**

# Garage & Carport

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Roof: <b>N/A</b>		
2	Walls: <b>N/A</b>		
3	Eaves: <b>N/A</b>		
4	Electrical: <b>N/A</b>		
5	Gutters: <b>N/A</b>		

## INTERIOR

6	Walls/ceiling/floor: <b>N/A</b>		
7	Firewall/firedoor: <b>N/A</b>		
8	Doors & windows: <b>N/A</b>		
9	Garage doors: <b>N/A</b>		
10	Door openers: <b>N/A</b>		
11	Electrical: <b>N/A</b>		
12	Heating & cooling: <b>N/A</b>		

## INFORMATION

EXTERIOR		INTERIOR	
13	Location: _____	17	Walls & ceilings: _____
14	Roof covering: _____	18	Floors: _____
15	Roof age: _____	19	Garage door: _____
16	Gutters: _____		

## GARAGE & CARPORT COMMENTS

20

# Attic

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
1	Access: <b>Acceptable</b>		
2	Framing: <b>Acceptable</b>		
3	Sheathing: <b>Acceptable</b>		
4	Insulation: <b>Acceptable</b>		
5	Ventilation: <b>Acceptable</b>		
6	Exposed wiring:	<b>See the Electrical Page</b>	
7	Plumbing vents: <b>Acceptable</b>		
8	Chimney & flues: <b>Acceptable</b>		
9	Vapor Retarder: <b>N/A</b>		
10	:		

## INFORMATION

11	# of Attic areas: <u>1</u>	14	Framing: <u>Truss system</u>
12	Access locations: <u>Master Closet</u>	15	Sheathing: <u>Solid Boards</u>
13	Access by: <u>Hatch</u>	16	Insulation: <u>Blown 2-3"</u>

## ATTIC COMMENTS

17 **Information Note:** Some areas of the attic can be limited due to low clearances and insulation.



# Foundation

COMPONENT	CONDITION	ACTION RECOMMENDED	PERSPECTIVE
Foundation Type	<b>Slab</b>		
1 Access:	<b>N/A</b>		
2 Foundation walls:	<b>N/A</b>		
3 Floor framing:	<b>N/A</b>		
4 Insulation:	<b>N/A</b>		
5 Ventilation:	<b>N/A</b>		
6 Sump pump:	<b>N/A</b>		
7 Dryness/drainage:	<b>N/A</b>		
8 Floor/Slab:	<b>Most Acceptable</b>	<b>Recommend further evaluation by a General Contractor</b>	<b>Moderate Concern</b>
9 Vapor Retarder:	<b>N/A</b>		
10 Anchor Bolts:	<b>Not Visible</b>		

## INFORMATION

11 Foundation walls:	_____	14	Beams:	_____
12 Floors:	_____	15	Piers:	_____
13 Joist/Truss Detail:		16	Sub Floor:	_____
		17	Insulation:	_____

## FOUNDATION COMMENTS

- 18 *Engineering analysis of a building structure can only be performed by a licensed structural engineer using measurements, calculations and other scientific means of evaluation. Engineering is beyond the scope of a typical home inspection.*

*General Note: All concrete floor slabs experience some degree of cracking due to shrinkage in the curing process. In most instances floor coverings prevent the recognition of cracks or settlement in all but the most severe cases. Where carpeting and floor coverings are installed, the materials and condition of the slab underneath cannot be determined. Areas hidden from view by finished walls or stored items cannot be judged and are not part of this inspection. We are not specialists, and in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert. We always recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs.*

**Information Note:** The concrete foundation slab on grade is not visible due to the finish flooring in the home. There were no secondary visible observations of problems throughout the home which would indicate a significant structural deficiency with the slab. There is some settlement cracks with patching at the SW corner of the home. Having a manometer survey is recommended.



## INSPECTION PHOTOS

Foundation

# F



Settlement crack with patching at the SW corner.

# Deficiency Summary

Terry Home Inspection Services, Inc. PO Box 2705 Atascadero, CA 93423 (805) 434-2694

Insp Date: 3/30/2023

1291 W Newport Street

File # 19190

**NOTE: The client(s) is/are strongly advised to further investigate, or contract with qualified and/or licensed appropriate tradesperson to further investigate, the complete extent of possible repairs and associated costs with all the items in the body of the report not listed as "Acceptable" or "Functional" PRIOR TO CLOSE OF ESCROW.**

Mold, mildew, fungus and other microbial organisms commonly occur in areas that show evidence of or have the potential for leaking, moisture intrusion and/or inadequate ventilation. The identification of or presence of these organisms is beyond the scope of this inspection. If concerned about this possibility, we recommend further investigation be performed by a Certified Industrial Hygienist to determine if there exists an active (or potential for) infestation or climate for incubation of a microbial contamination prior to close of escrow.

Product recalls and consumer product safety alerts are added almost daily. If client(s) is/are concerned about appliances or other items in the home that may be on such lists, client(s) may wish to visit the U.S. Consumer Product Safety Commission (CPSC) web site at [www.cpsc.gov](http://www.cpsc.gov) or [www.recalls.com](http://www.recalls.com)

The presence of environmental hazards, materials or conditions including, but not limited to, lead, asbestos, radon, toxic, combustible or corrosive contaminants is outside the scope of this inspection. If client(s) is/are concerned regarding these matters, it is recommended to obtain the consultation services of an appropriate and qualified tradesperson who specializes in these types of investigations and evaluations.

## **Important Note to prospective buyers:**

If this inspection was performed and the report prepared for a "Listing Inspection" for the seller, the report may be relied on (within the scope of the original contractual agreement) by the seller of the property. The subsequent buyer of the property may rely on the report prepared, if the buyer executes a Post Inspection Agreement with the inspector, participates in a consultation and pays the requisite fee, all of which must be done prior to closing escrow on the property. The report is not intended to be distributed to any individual or entity not a party to the original contractual agreement or a post inspection agreement.

**Special Information Note: The subject property has had additions and/or renovations completed. Buyer is advised to research the status of all required permits with the Authority having Jurisdiction prior to close of escrow.**

## **ROOF**

**Maintenance Note:** Some of the down spouts have no splash block or extension to divert the runoff water from the roof away from the foundation. Recommend installing proper drainage of roof water away from the structure to reduce foundation moisture and potential foundation settlement.

1.) There is thermal cracking on the outside brick wall of the chimney.

**Fire Safety Upgrade Note:** The spark arrestor on top of the chimney(s) is substandard. Recommend installing a four sided spark arrestor with a rain cap at the top of the chimney.

2.) The storm collar is missing at the furnace exhaust flue and there is evidence of leaks at the furnace exhaust flue.

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## EXTERIOR

- 1.) All of the fascia boards and eaves are in need of painting.
- 2.) There is moisture damage to the following locations:
  - A.) The eave and fascia board at the SW corner of the roof.
  - B.) The fascia board at the NE corner of the roof.
  - C.) The door, door frame and the base of the wall at the water heater closet.
- 3.) There is one missing window screen and one damaged screen.
- 4.) The outside handle is missing at the sliding glass door.

## GROUNDNS

**Safety Hazard Note:** There are tripping hazards at the interface of the asphalt driveway and the city sidewalk, at the interface of the front paver walkway to the concrete driveway and at the front entry concrete landing.

- 1.) There is a general settlement crack in the concrete driveway at the NW corner of the property.
- 2.) The fence gate in the east side yard needs adjustment/repair.

**Maintenance Note:** The asphalt driveway appears to be in poor condition. Cracks, tree root damage and general deterioration were observed.

## HVAC

**General Note:** Forced Air Heating systems greater than 15 years old and Air Conditioning & Heat Pump systems greater than 10 years old are considered at the end of a normal life expectancy by the standards of most manufactures and tradesmen. The inspector will operate these systems to see if they are functional at the time of inspection however, they may be subject to failure at any time. If concerned about life expectancy of these systems, it is advised to have these systems fully evaluated by a qualified and licensed HVAC Contractor prior to close of escrow.

**Information Note:** The insulation on the ducting in this home may be an asbestos product. For more information contact a qualified and licensed Asbestos Contractor.

## PLUMBING

- 1.) There is an active leak at the pressure regulator at the main water riser.

**Information Note:** The water heater is older and may have a limited life expectancy.

**Safety Hazard Note:** The discharge pipe for the temperature/pressure relief valve on the water heater is missing. This should be installed and plumbed to the exterior of the home.

**Information Note:** Based on the age of this home it is advised to have a video-cam inspection performed on the main sewer

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lateral prior to close of escrow. The condition of this pipe cannot be determined because it is buried below underground. Sometimes, these older pipes can fail due to age and/or root intrusion.

## ELECTRICAL

**Information Note:** The type of electrical panel installed in this home was manufactured by Zinsco. This panel has had some controversy among electrical contractors because in some cases they can arc and burn where they connect to the bus bar. It is not possible to see this condition without removal of the circuit breakers. Recommend further evaluation by a qualified and licensed Electrical Contractor.

**Fire Safety Hazard Note:** There is double tapping in the main electrical service panel. (This is where two conductors are connected to a single circuit breaker.) This is advised to be corrected by a qualified and licensed Electrical Contractor.

**Safety Upgrade Note:** There is no GFCI protection for the outlets in the bathrooms due to the age of this home. Recommend upgrading for safety.

**Safety Hazard Note:** There is a frayed Romex wire with exposed single conductors in the attic space adjacent to the access opening.

## KITCHEN & LAUNDRY

**Fire Safety Maintenance Note:** The dryer lint exhaust vent needs to be cleaned annually to prevent a back up of lint which is a very common cause of a residential fire. In most cases owners never have the lint vent cleaned. It is recommended to have the dryer lint exhaust vent professionally cleaned prior to the installation of the dryer and then annually after that.

- 1.) One of the control knobs for the range is broken.
- 2.) The cover for the exhaust fan is missing at the fan is inoperable.

## BATHROOM

- 1.) There is a slow drain at the sink in the master bathroom.
- 2.) There is moisture damage to the drywall at both sides of the master shower due to over splash. This has caused a black mildew like substance. (See notes on the Deficiency Summary page at the end of the report regarding the potential for microbial contamination.)

**Repair Note:** The drain line for the hall bathroom sink has been installed with corrugated piping. This subjects the drain line to clogs and is recommended to be replaced with smooth wall piping.

## INTERIOR

**Safety recommendation:** The smoke detectors are tested during the inspection however, this only determines that they are functional on the day of the inspection. Smoke detectors can fail at any time. Retest all of the smoke detectors during the final walkthrough and again upon moving in. We recommend installing new batteries in all of the smoke detectors upon moving in and testing weekly as recommended by the Consumer Product Safety Commission.

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**Fire Safety Hazard: There is no smoke detector installed in the hallway outside of the bedroom as required.**

**Information Note: The acoustical spray ceilings at the interior of the home may be an asbestos product. For more information contact a qualified and licensed Asbestos Contractor.**

**Fire Safety Upgrade Note: The window in the master bedroom has a sill height which exceeds the maximum allowable of 44 inches. This can be a fire escape hazard. Recommend upgrading for safety.**

**Information Note: There are patches at the ceiling in the living room. These were moisture probe tested and found to be dry during the time of inspection.**

- 1.) There are cracks in the bricks inside the firebox at the bedroom fireplace.
- 2.) There is an active leak at the chimney. Water is currently pooling at the base of the firebox.

## FOUNDATION

**Information Note: The concrete foundation slab on grade is not visible due to the finish flooring in the home. There were no secondary visible observations of problems throughout the home which would indicate a significant structural deficiency with the slab. There is some settlement cracks with patching at the SW corner of the home. Having a manometer survey is recommended.**

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