

A NEW TWO STORY RESIDENCE WITH BASEMENT:  
**MORRIS/CHAVEZ**  
 104 SPINDRIFT DRIVE  
 RANCHO PALOS VERDES, CA



ARCHITECTURE

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 CALIFORNIA 90266

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PROJECT

**MORRIS/CHAVEZ**  
 RESIDENCE

104 SPINDRIFT RD  
 RANCHO PALOS VERDES  
 CALIFORNIA 90275

STAMP

REVISIONS

PROJECT NO.  
 14062

PRINT DATE

2/27/2018 3:56:59 PM

DRAWING  
**PROJECT**  
 INFORMATION

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SHEET NO.  
**G.00**

NOTES

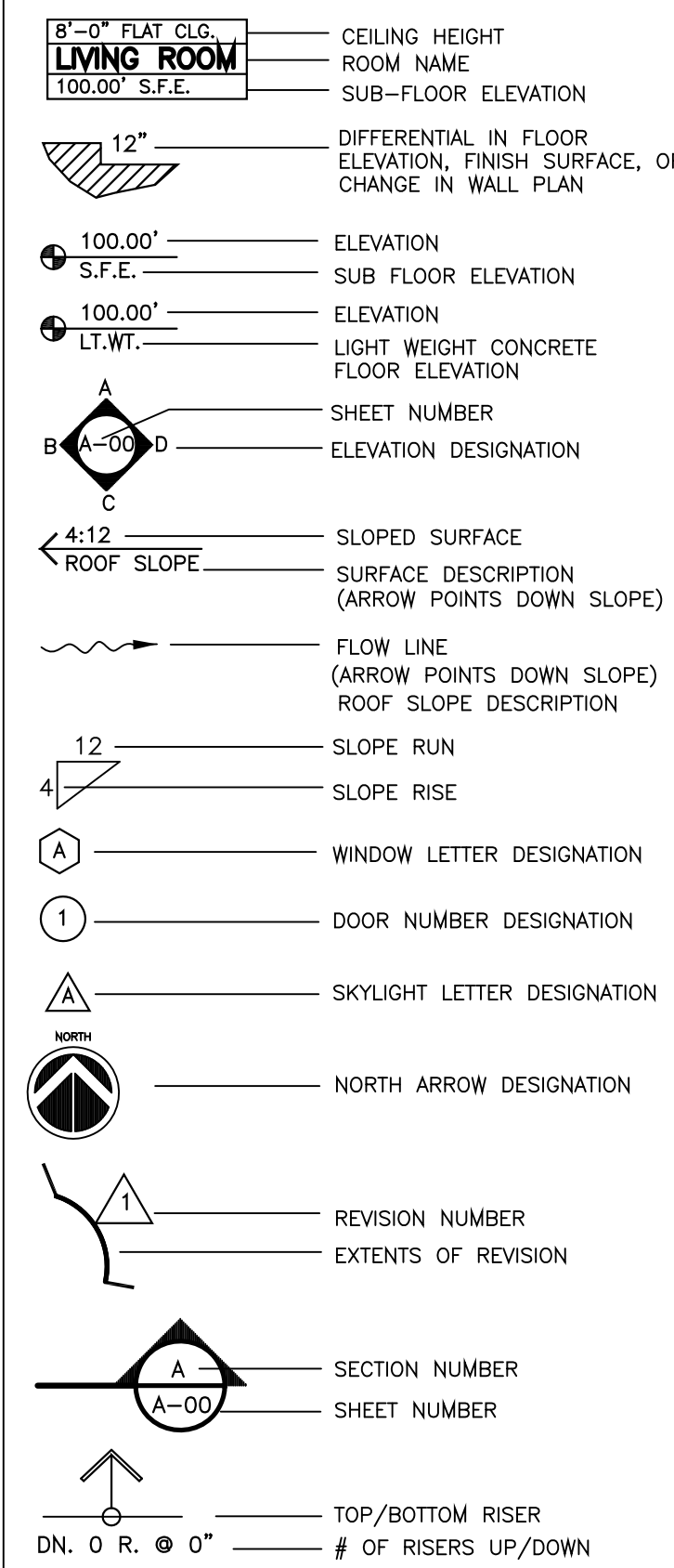
GENERAL NOTES

- 2013 CBC, 2013 CRC, 2013 CMC, 2013 CPC, 2013 CEC, 2013 CGBS, 2008 CEES AND THE CITY OF "MANHATTAN BEACH"
- AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 UBC.
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. (CPC 402.1, 402.2)
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- ALL WINDOW COVERINGS REQUIRED BY CFIR. FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- GARAGE TO BE FULLY SPRINKLERED.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUB/SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC. SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- GARAGE DOOR EXTENSION SPRINGS SHALL BE FABRICATED FROM EITHER HAND DRAWN - SPRING WIRE (ASTM, A227-21) OR OIL-TEMPERED WIRE (ASTM, A229-71) AND INSULATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION. (CBC. 1211.1)
- DESIGN STANDARDS: MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES. (ONE CYCLE IS EQUAL TO DOOR OPENING PLUS DOOR CLOSING AT MAXIMUM WORKING LOAD). (CBC. 1211.2)
- PHYSICAL CYCLING TESTS OF EACH EXTENSION SPRING DESIGN AND CONTAINMENT DEVICES SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. (CBC. 1211.3)
- EACH EXTENSION SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. (CBC. 1211.4)

PLANNING NOTES

- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/PLOT PLAN.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE. (36" IF OBSTRUCTING DRIVEWAY VISIBILITY, COMBINED RETAINING AND FREE STANDING WALL).
- BUILDING ADDRESS NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND, 4" HIGH MINIMUM AND WITH A MINIMUM STROKE WIDTH OF 0.5" - PER SECT. R319.1
- PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT A 20' WIDE FRONT YARD DRIVEWAY.
- INSTALL ON THE COLD WATER SUPPLY PIPE AT TOP OF THE WATER HEATER A CAPPED 'T' FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDOUT ST-13. STUB OUT TO PROPERTY LINE FOR FUTURE UNDER-GROUNDING OF UTILITIES WHEN APPLICABLE.
- PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS (TOP NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING).
- GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
- CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
- CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5 FEET, PROVIDED THE LENGTH AND WIDTH OF THE CHIMNEY PORTION EXCEEDING THE HEIGHT LIMIT SHALL NOT EXCEED 3 FEET IN WIDTH AND 5 FEET IN LENGTH.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
- AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (BMMC10.12.030(D)).
- A TREE REMOVAL PERMIT OR TREE PROTECTION PLAN IS REQUIRED FOR THE REMOVAL OR PRESERVATION OF TREES WITHIN THE FRONT YARD (RESIDENTIAL ZONES), AREA DISTRICT II, WEST OF SEPULVEDA BOULEVARD-BMMC 10.52.120).
- ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES. (NOTE: CBC AND SCE REQUIRE THAT ELECTRIC BOXES MUST PROVIDE 3 FEET CLEAR TO ANY OBSTRUCTION, AND IF LOCATED ADJACENT TO A PARKING AREA PROTECTIVE BARRIERS 3 FEET AWAY FROM THE BOX IS REQUIRED. PROTECTIVE BARRIERS MAY NOT ENCRoACH INTO THE REQUIRED PARKING OR VEHICLE MANEUVERING AREA.)

SYMBOL LEGEND



ABBREVIATION

A.H.	ACTUAL HEIGHT
A.W.	AWNING WINDOW
B.O.W.	BOTTOM OF WALL
C.H.	CRITICAL HEIGHT
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
C.W.	CASEMENT WINDOW
DM.	DIMENSION
DN.	DOWN
ELEV.	ELEVATION
F.A.	FROM ABOVE
FLR.	FLOOR
FX.	FIXED
HORZ.	HORIZONTAL
HT.	HEIGHT
LAND.	LANDING
LT.WT.	LIGHT WEIGHT CONCRETE
MAX.	MAXIMUM
MIN.	MINIMUM
OP.	OPERABLE
PLINE.	PROPERTY LINE
REQ.	REQUIRED
SECT.	SECTION
S.F.E.	SUB FLOOR ELEVATION
SHT.	SHEET
SK.	SKEWED
SL.	SLOPED
T.O.W.	TOP OF WALL

PROJECT DATA

PROPERTY OWNERS

MORRIS/CHAVEZ  
 104 SPINDRIFT  
 RANCHO PALOS VERDES, CA 90275  
 7572-022-031

LEGAL DESCRIPTION

LOT 104  
 REGION 14  
 CLUSTER 14085  
 AIN 7572-022-031

OCCUPANCY AND ZONING

OCCUPANCY: R3/U  
 ZONING: RS-2  
 CONSTRUCTION TYPE: TYPE V-B - FULLY SPRINKLERED  
 COASTAL SETBACK ZONE  
 NO. OF UNITS: 1  
 NO. OF STORIES: 2  
 SPRINKLERED: YES

**AUTOMATIC FIRE SPRINKLERS  
 REQUIRED FOR ENTIRE  
 BUILDING PER CRC SECT.  
 R313.2**

CITY, STATE, NATIONALLY  
 APPLICABLE CODES

2013 CRC, 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC,  
 STATE OF CALIFORNIA, AND THE CITY OF RANCHO PALOS  
 VERDES

AREA CALCULATIONS

LOT SIZE = 3151 S.F.

EXISTING  
 BASEMENT FLOOR LIVING AREA = 405 S.F.  
 FIRST FLOOR LIVING AREA = 1071 S.F.  
 TOTAL EXISTING LIVING = 1476 S.F.

PROPOSED  
 BASEMENT FLOOR LIVING AREA = 841 S.F.  
 FIRST FLOOR LIVING AREA = 1279 S.F.  
 TOTAL PROPOSED LIVING = 2120 S.F.  
 TOTAL PROPOSED GARAGE = 410 S.F.  
 TOTAL PROPOSED = 2530 S.F.

LOT COVERAGE CALCS

BALCONIES/DECKS 30'+ AREA = 171 S.F.  
 DRIVEWAY AREA = 231 S.F.  
 IMPERVIOUS SURFACE AREA = 1738 S.F.  
 - 320 S.F. (BACK PATIO)

WALKWAY SURFACE AREA = 0 S.F.  
 = 1820 S.F.

MAX. ALLOWABLE LOT COVERAGE = 40%  
 EXISTING LOT COVERAGE = 1822 S.F.= 57.8%  
 PROPOSED LOT COVERAGE = 1820 S.F.= 57.7%

SETBACK INFO

	REQ'D	EXISTING	PROPOSED
FRONT	20'-0"	5'-0"	9'-0"
SIDE	5'-0"	4'-5"	5'-0"
REAR	15'-0"	16'-6"	10'-1/2"

GRADING INFO

SEE SHEET C.02 FOR CALCULATIONS

PLUMBING FIXTURE INFO

PROPOSED INDOOR PLUMBING FIXTURES - 25

CONSULTANTS

- CIVIL SURVEY CONSULTANT  
 DCA CIVIL ENGINEERING GROUP 310.327.0018  
 17625 CRENSHAW BLVD. STE. 300  
 TORRANCE, CA. 90504
- CIVIL CONSULTANT  
 BOLTON ENGINEERING CORP 310.325.5580  
 25834 NARBONNE AVENUE SUITE 210  
 LOMITA, CA. 90717
- STRUCTURAL CONSULTANT  
 PARS AND ASSOCIATES  
 118 S. CATALINA AVENUE, SUITE E  
 REDONDO BEACH, CA. 90277  
 310.318.6769
- GEO-TECHNICAL CONSULTANT  
 HAMILTON AND ASSOCIATES  
 1641 BORDER AVE  
 TORRANCE, CA 90501  
 (310)618-2190
- ENERGY CONSULTANT  
 NEWTON ENERGY 310.375.2699  
 24050 MADISON STREET SUITE 209  
 TORRANCE, CA. 90505

SHEET INDEX

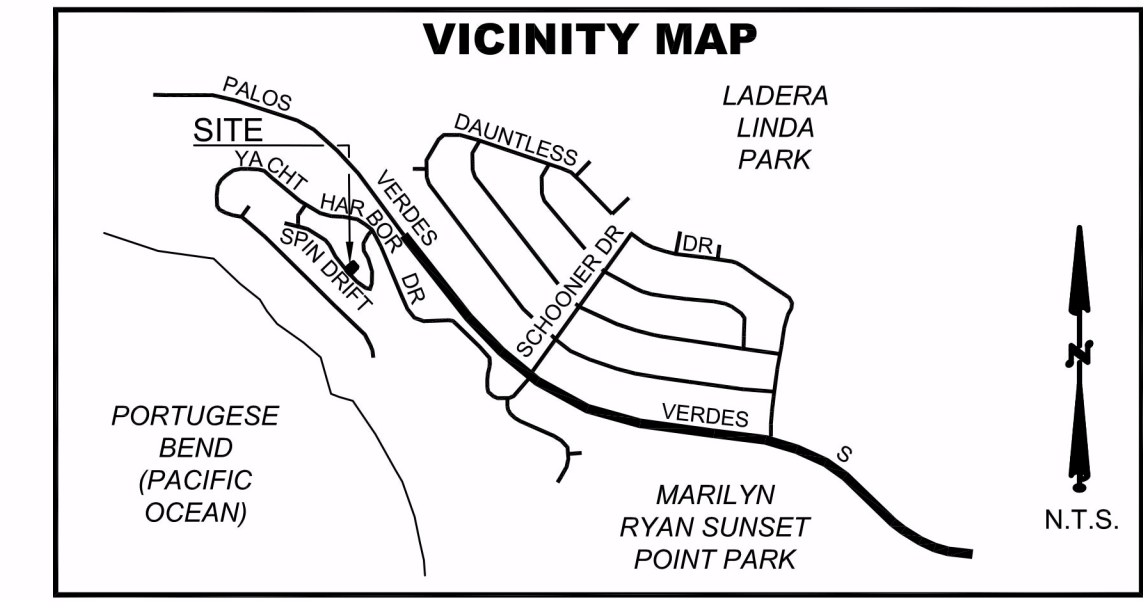
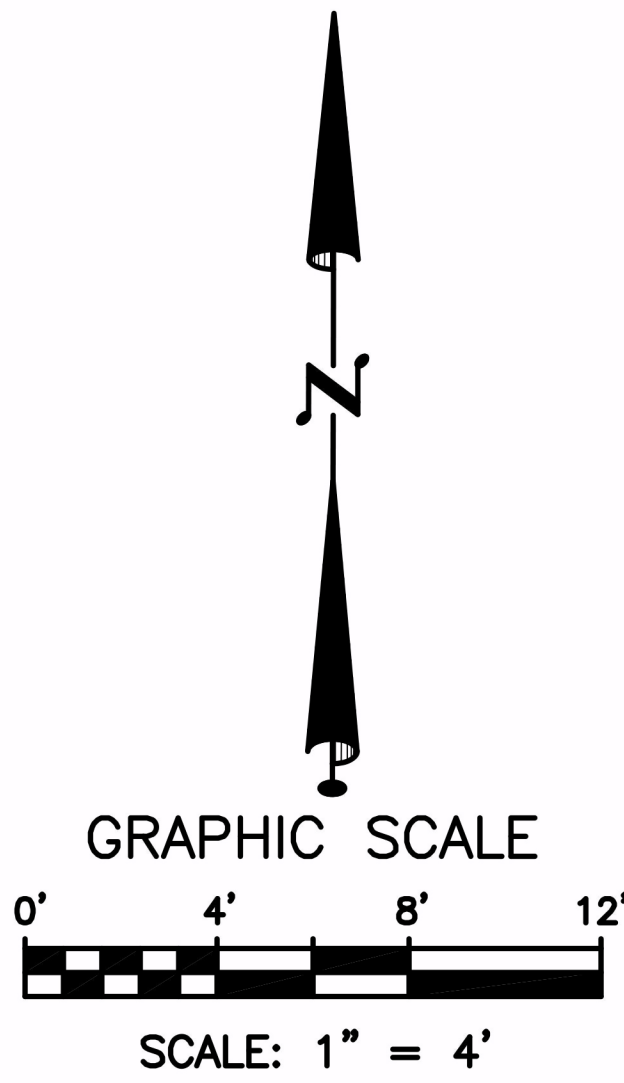
G.00	PROJECT INFORMATION
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H2	OFF-SITE HYDROLOGY & HYDRAULICS
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D.04	STRUCTURAL DETAILS
D.05	STRUCTURAL DETAILS
D.06	STRUCTURAL DETAILS
D.07	STRUCTURAL DETAILS
D.08	STRUCTURAL DETAILS
D.09	STRUCTURAL DETAILS
D.10	STRUCTURAL DETAILS
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D.12	DETAILS
D.13	DETAILS
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L-2	PLANTING PLAN
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SP.03	SOILS REPORT
SP.04	GREEN BUILDING NOTES
SP.04.1	GREEN BUILDING NOTES

VICINITY MAP



# TOPOGRAPHIC PLAN

IN THE CITY OF RANCHO PALOS VERDES, COUNTY OF LOS ANGELES

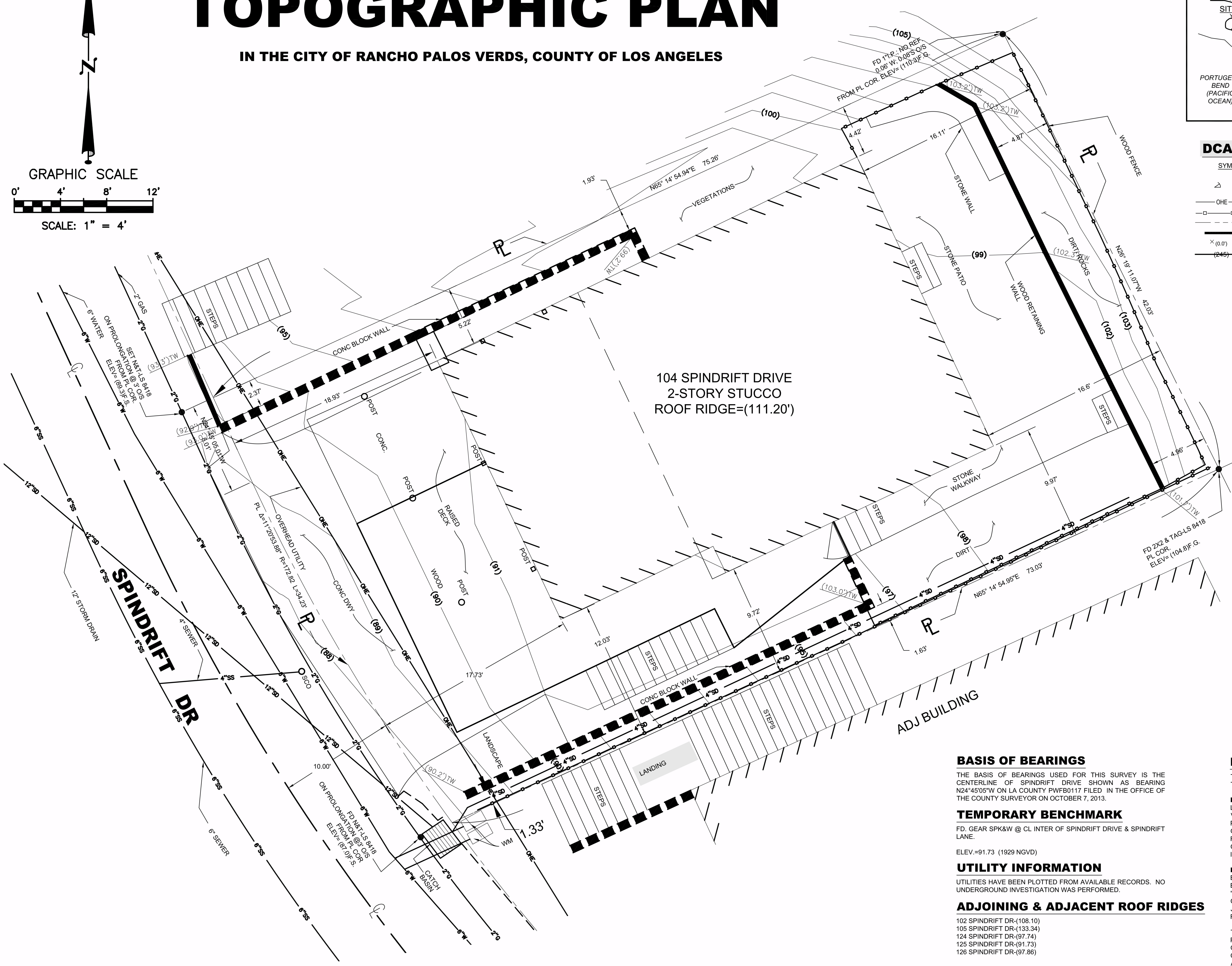


## DCA CIVIL ENGINEERING LEGEND

SYMBOLS	
	= SWING GATE
	= OVERHEAD UTILITY
	= CHAIN LINK FENCE
	= PROPERTY LINE
	= RETAINING WALL
	= EXISTING SPOT ELEVATIONS
	= CONTOUR

## ABBREVIATIONS

BLDG	= BUILDING
(C)	= CALCULATED
CL	= CENTERLINE
CONC	= CONCRETE
EM	= ELECTRICAL METER
FF	= FINISHED FLOOR
FF(2)	= 2ND STORY FINISH FLOOR
FS	= FINISH SURFACE
FS(2)	= 2ND STORY FINISH SURFACE
FL	= FLOW LINE
GM	= GAS METER
R	= PROPERTY LINE
R/W	= RIGHT OF WAY
CLF	= CHAIN LINK FENCE
L	= LENGTH
L.S.C.	= LANDSCAPE
R	= RADIUS
TC	= TOP OF CURB
TW	= TOP OF WALL
DWY	= DRIVEWAY
WM	= WATER METER
SCO	= SEWER CLEAN OUT
□	= SET 2X2 & TAG-LS 8418
▲	= SET MAG & WASHER-LS 8418 ON PROLONGATION @ 3' O/S



104 SPINDRIFT DRIVE  
2-STORY STUCCO  
ROOF RIDGE=(111.20')

## BASIS OF BEARINGS

THE BASIS OF BEARINGS USED FOR THIS SURVEY IS THE CENTERLINE OF SPINDRIFT DRIVE SHOWN AS BEARING N24°45'05"W ON LA COUNTY PWFB0117 FILED IN THE OFFICE OF THE COUNTY SURVEYOR ON OCTOBER 7, 2013.

## TEMPORARY BENCHMARK

FD. GEAR SPK&W @ CL INTER OF SPINDRIFT DRIVE & SPINDRIFT LANE.  
ELEV.=91.73 (1929 NGVD)

## UTILITY INFORMATION

UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. NO UNDERGROUND INVESTIGATION WAS PERFORMED.

## ADJOINING & ADJACENT ROOF RIDGES

- 102 SPINDRIFT DR-(108.10)
- 105 SPINDRIFT DR-(133.34)
- 124 SPINDRIFT DR-(97.74)
- 125 SPINDRIFT DR-(91.73)
- 126 SPINDRIFT DR-(97.86)

## LEGAL DESCRIPTION

THE LAND DESCRIBED BELOW IS PER THE TITLE COMPANY, TITLE DOCUMENT REFERENCED IN THE LOWER RIGHT HEREON.

### PARCEL 1:

LOT 104 OF L.A.C.A. MAP NO. 64, IN THE CITY OF RANCHO PALOS VERDES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP FILED IN BOOK 1, PAGES 12 THROUGH 16, INCLUSIVE, OF ASSESSOR'S MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, AS PROVIDED IN THAT CERTIFICATE OF COMPLIANCE RECORDED JANUARY 13, 1987, AS INSTRUMENT NO. 87-48015, OFFICIAL RECORDS.

### PARCEL 2:

EXCEPT THEREFROM THOSE CERTAIN NON-EXCLUSIVE EASEMENTS MORE PARTICULARLY REFLECTED WITHIN EXHIBIT "D" (TO BE RESERVED) OF THOSE CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED JANUARY 20, 1987 AS INSTRUMENT NO. 87-78057, OF OFFICIAL RECORDS.

THOSE CERTAIN NON-EXCLUSIVE EASEMENTS MORE PARTICULARLY REFLECTED WITHIN EXHIBIT "C" (TO BE GRANTED) OF THOSE CERTAIN DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED JANUARY 20, 1987, AS INSTRUMENT NO. 87-78057, OFFICIAL RECORDS.



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CALIFORNIA 90275

## STAMP

## REVISIONS

## PROJECT NO.

14062

## PRINT DATE

## DRAWING

**SURVEY**

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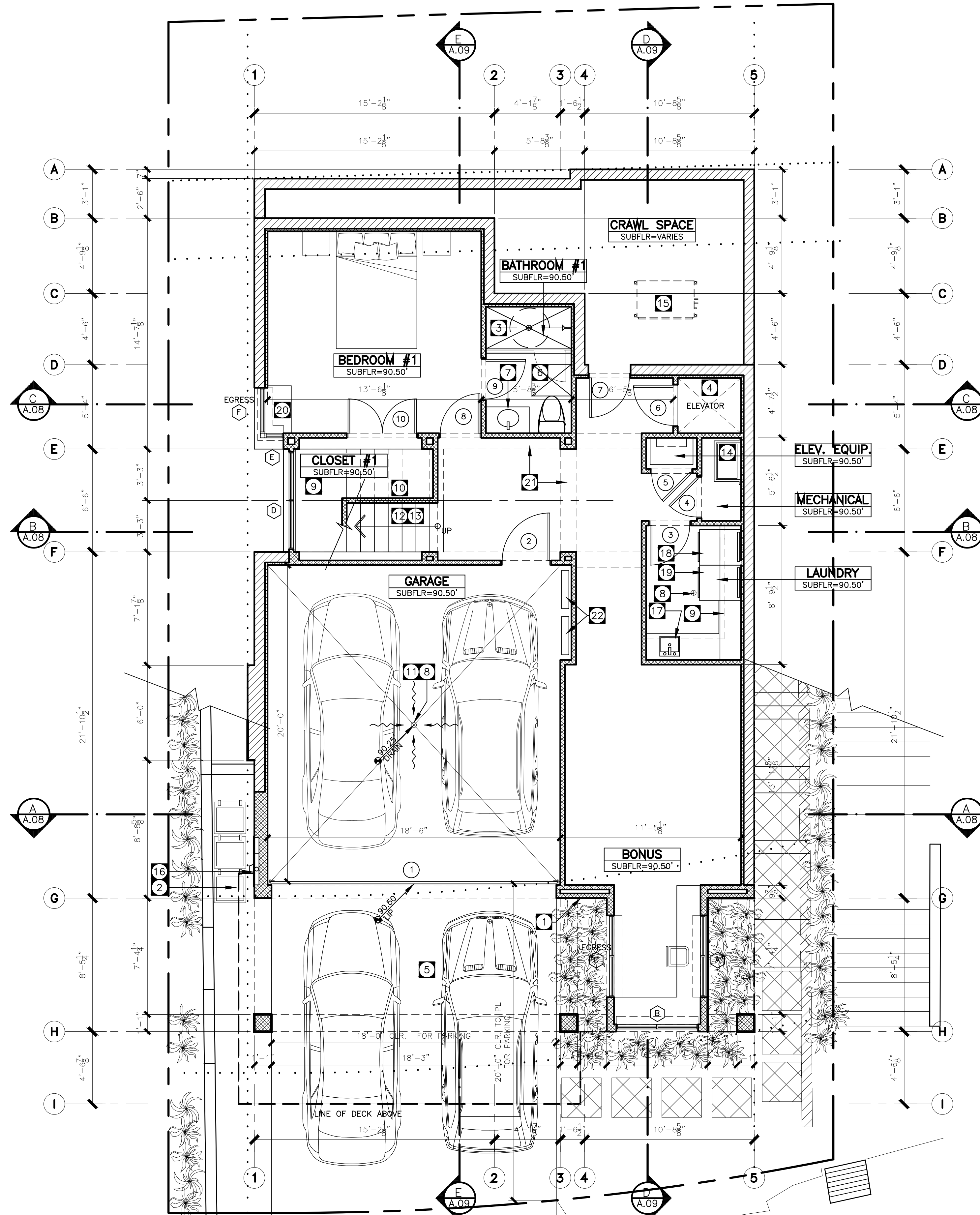
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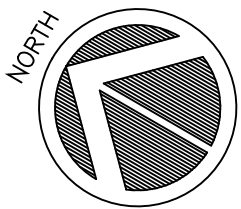
C.01

**BASEMENT FLOOR PLAN  
KEY NOTES**

- 1 RECESSED CONCEALED HOSE BIBB
- 2 TRASH AREA
- 3 30" DIAMETER MIN. INTERIOR CLEAR AT SHOWER AREA, FRAMELESS 3" THICK TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURE, PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS.
- 4 ELEVATOR SHAFT TO BE A 1 HOUR FIRE ENCLOSURE. PROVIDE 5/8" TYPE X DRYWALL ON BOTH SIDES OF WALLS AND CEILING. ELEVATOR DOORS SHALL BE 1 HOUR FIRE RATED PER UBC SECTION 711.
- 5 NEW CONCRETE DRIVEWAY PER CITY STANDARDS. DRIVEWAY TO BE STAMPED CONCRETE. VERIFY WITH ARCHITECT TO SELECT PATTERN AND COLOR
- 6 24" X 30" CLEAR AREA IN FRONT OF TOILET
- 7 +36" COUNTER TOP WITH BACK SPLASH AND BASE CABINET
- 8 3"ø FLOOR DRAIN - DRAIN INTO THE SANITARY SEWER. SLOPE FLOORS TO DRAIN. PROVIDE TRAP PRIMER.
- 9 SINGLE POLE & SHELF
- 10 PROVIDE 5/8" TYPE "X" DRYWALL ON ALL WALLS AND CEILINGS UNDER STAIRS
- 11 GARAGE FLOOR TO BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARDS A DRAIN PER SECTION R309.1 MIN. 1/4"12" SLOPE. ALL AREA DRAINS TO DRAIN INTO SANITARY SEWER WITH TRAP PRIMER
- 12 HANDRAIL SEE DETAIL (9 D.12, 0 D.00)
- 13 STAIRS SEE DETAIL
- 14 TANKLESS WATER HEATER (SEE SHEET M.01) PROVIDED BY OWNER
- 15 FAU
- 16 400 AMP ELECTRICAL SERVICE PANEL
- 17 LAUNDRY SINK
- 18 WASHER
- 19 DRYER - VENT DRYER EXHAUST TO OUTSIDE WITH 4" RIGID METAL DUCT, 14' MAX. LENGTH, WITH MAX. TWO BENDS 100 SQ. IN. OF VENT OPENING FOR CLOTHES DRYER MAKE UP AIR.
- 20 EGRESS BENCH, MIN 3'-0" WIDE.
- 21 LINE OF SOFFIT ABOVE
- 22 TESLA HOUSE BATTERIES

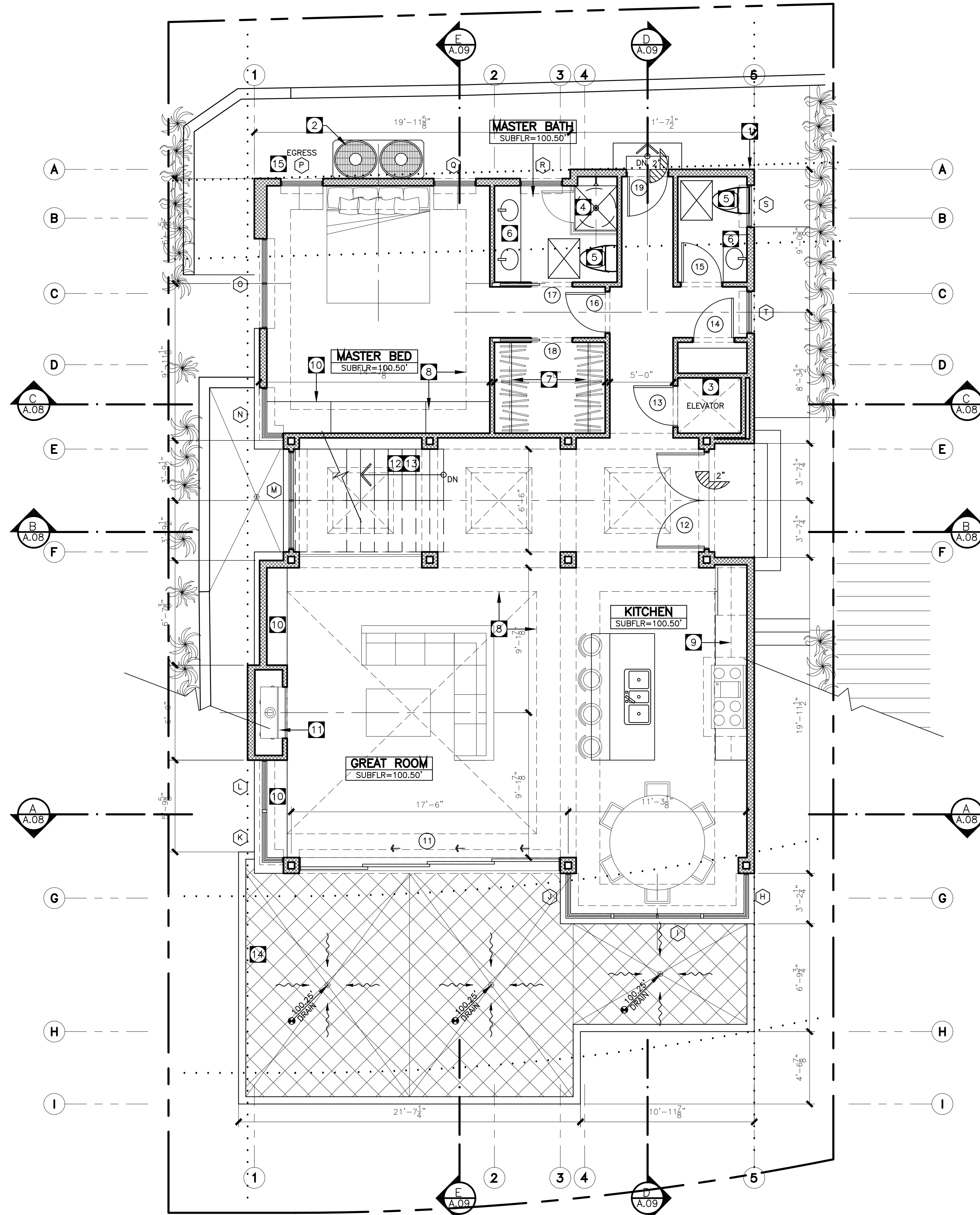


**BASEMENT FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**FIRST FLOOR PLAN  
KEY NOTES**

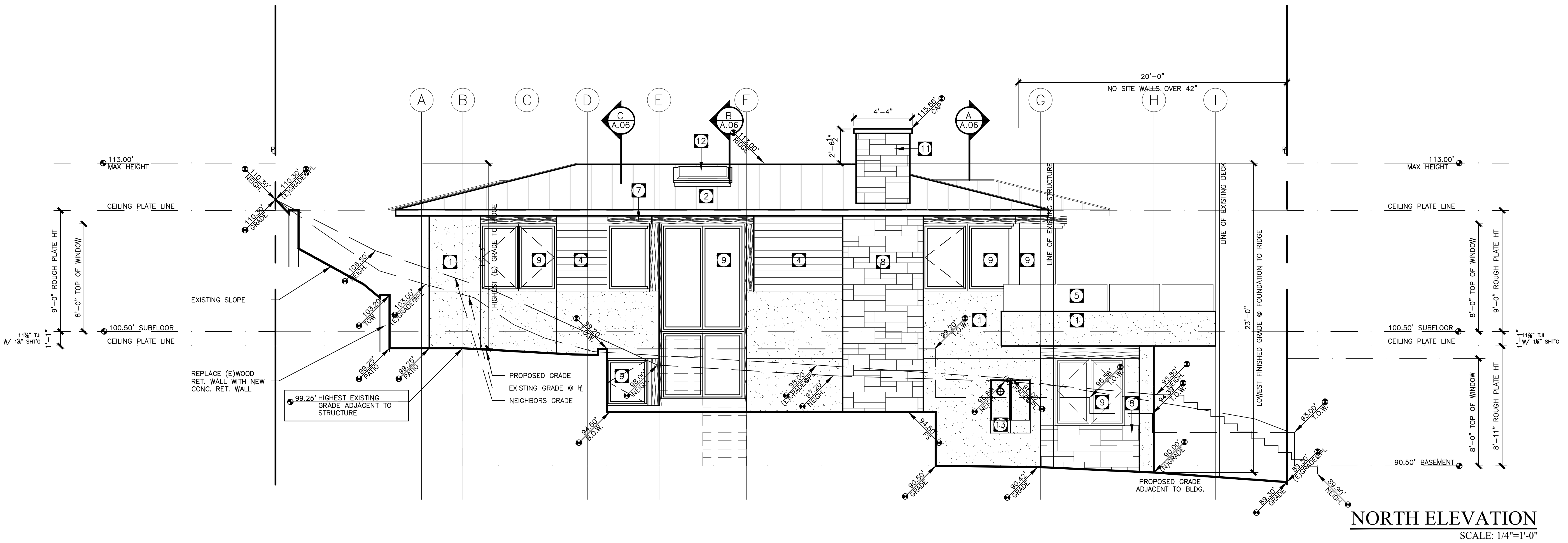
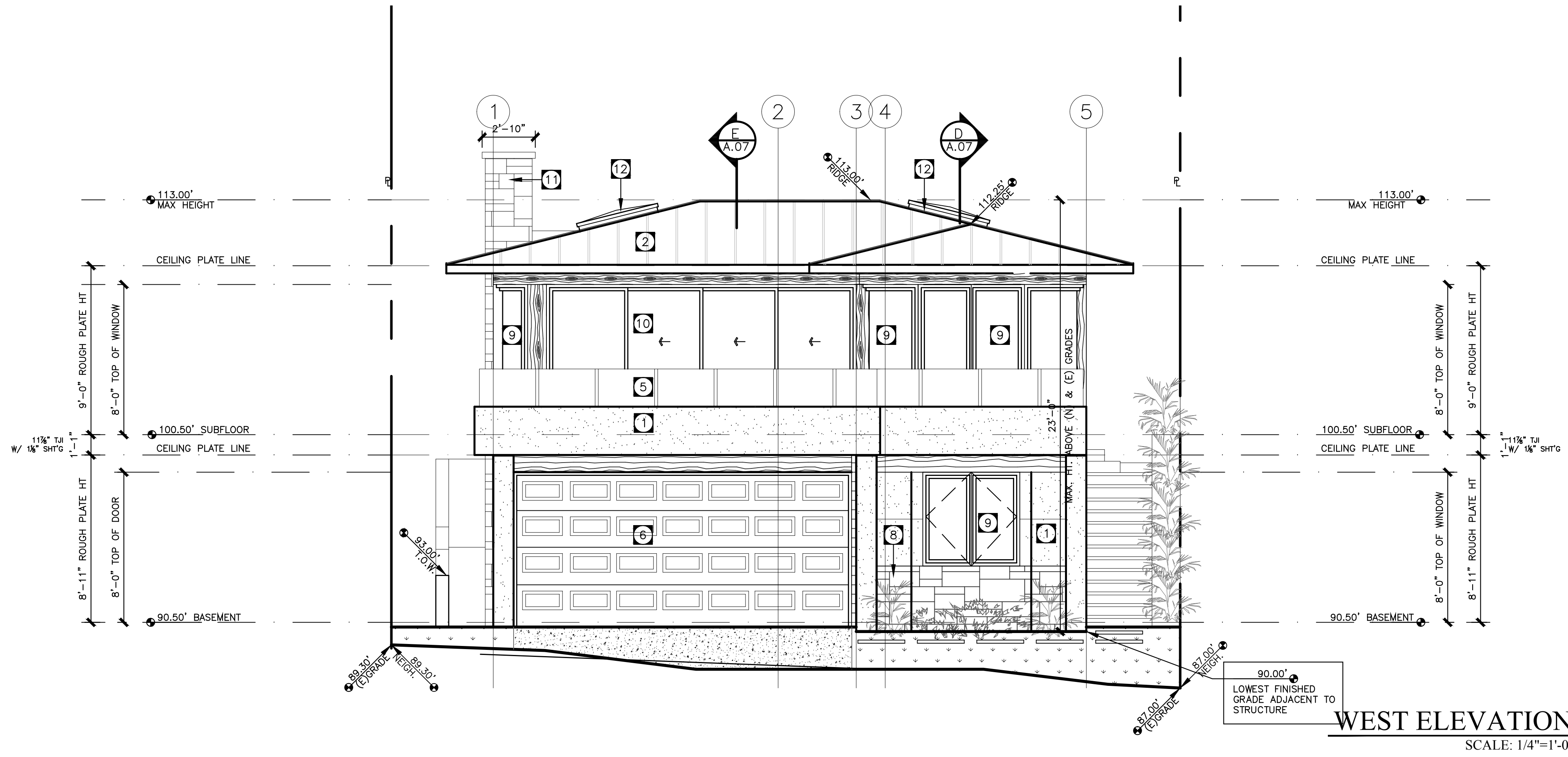
- 1 RECESSED CONCEALED HOSE BIBB
- 2 AIR CONDITIONER CONDENSING UNITS SCREENED TO REDUCE UNIT NOISE. NOISE COMPLIANCE TO BE VERIFIED.
- 3 ELEVATOR SHAFT TO BE A 1 HOUR FIRE ENCLOSURE. PROVIDE 5/8" TYPE X DRYWALL ON BOTH SIDES OF WALLS AND CEILING. ELEVATOR DOORS SHALL BE 1 HOUR FIRE RATED PER UBC SECTION 711.
- 4 DAMLESS SHOWER, 30" DIAMETER MIN. INTERIOR CLEAR AT SHOWER AREA. FRAMELESS 3/4" THICK TEMPERED PLATE GLASS SHOWER DOOR AND ENCLOSURE. PROVIDE SOAP NICHES, OWNER SHALL APPROVE LOCATIONS. SHOWER FLOOR AND WALLS SHALL BE FINISHED WITH A NONABSORBANT SURFACE, SUCH AS WALL SURFACES. SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR - SECTION R307.2
- 5 24" X 30" CLEAR AREA IN FRONT OF TOILET
- 6 +36" COUNTER TOP WITH BASE CABINET
- 7 SINGLE POLE & SHELF
- 8 LINE OF SOFFIT ABOVE. SEE REFLECTED CEILING PLAN
- 9 LINE OF CABINETS ABOVE
- 10 BUILT IN CABINETS
- 11 GAS BURNING SPARK FIRE RIBBON FIREPLACE. ANSI Z21.88-2007 SEE DETAIL
- 12 STAIRS. SEE DETAIL
- 13 HANDRAIL. SEE DETAIL
- 14 PROVIDE 4" SQUARE ADJUSTABLE BRASS DECK DRAIN W/ 3" DIA. DRAIN LINE TO TIE INTO SITE DRAINAGE THROUGH POSITIVE FLOW. DECK TO HAVE 1/4" SLOPE AND PROVIDE STONE TILE APPLIED WITH THINSET OVER FLOAT BED OVER MER-KO-SHUR ICC# ER-5968 WATERPROOF WALKING DECK SYSTEM. (TYPICAL ALL DECKS). OVER FLOW DRAIN 2" ABOVE LOWEST POINT OF DECK. SEE DETAIL
- 15 EGRESS WINDOW: BOTTOM OF WINDOW SHALL BE 44" MAX ABOVE FLOOR LEVEL

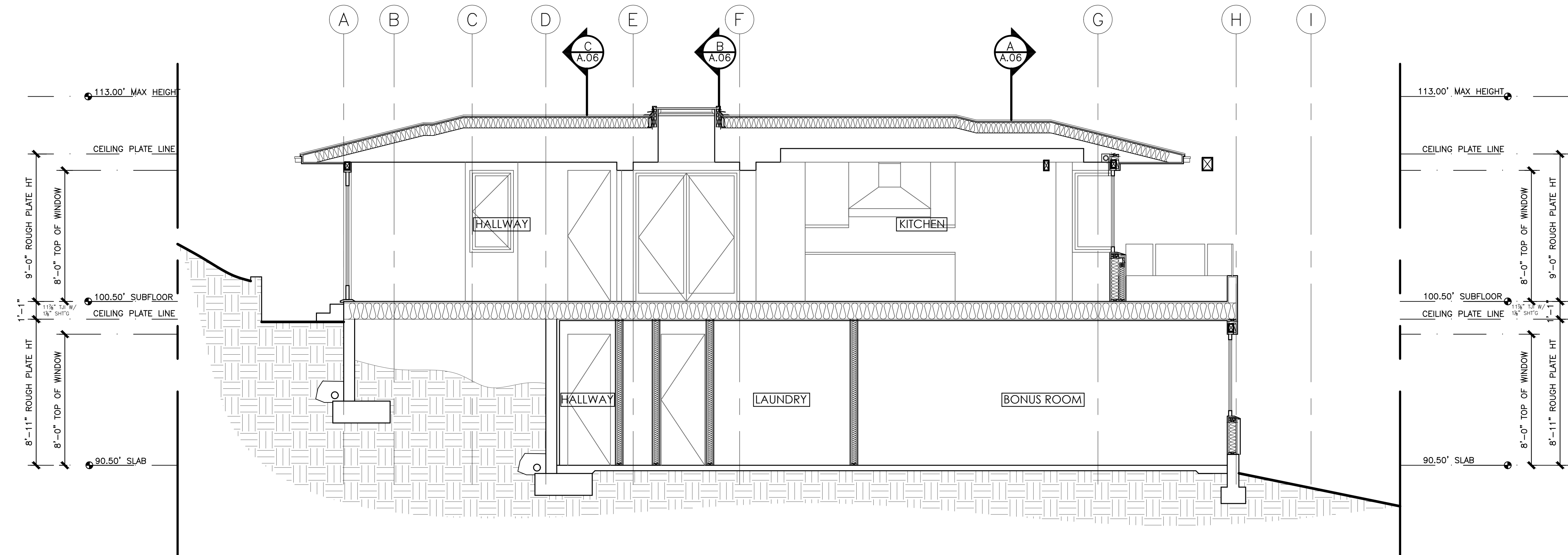


**FIRST FLOOR PLAN**  
SCALE: 1/4"=1'-0"

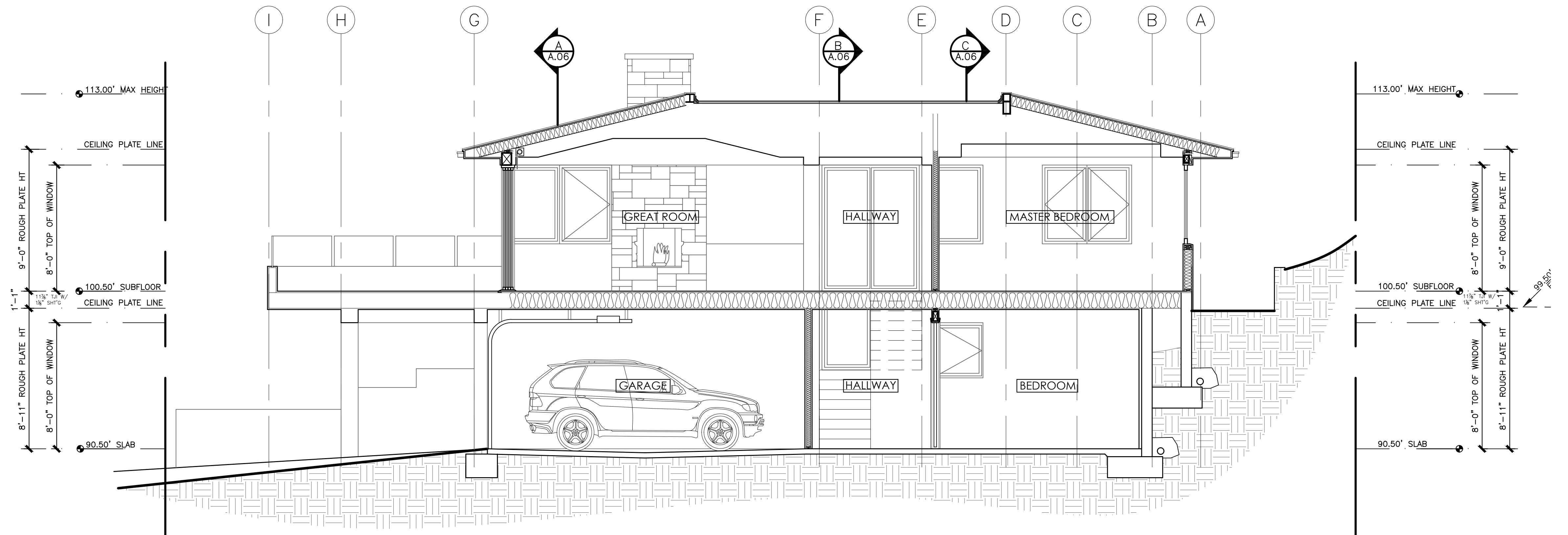
EXTERIOR FINISH NOTES	
1	STUCCO: STUCCO COLOR #2, 7/8" SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH 8d COOLER NAILS @ 6" O.C. OWNER TO SELECT COLOR.
2	SLOPED ROOFING: STANDING SEAM METAL ROOFING W/ COLOR APPROVED BY ARCHITECT PRIOR TO INSTALLATION
3	EXTERIOR STAIRS:
4	WOOD SIDING: HORIZONTAL WOOD OR FAUX WOOD SIDING - ARCHITECT TO SELECT COLOR
5	DECK RAILING: 1/2" LAMINATED GLASS WITH C.R. LAURENCE ALUMINUM BASE SHOE ICC# 3269 - SEE ELEVATIONS FOR MATCHING SIGHT LINES AT DOORS. (SEE DETAIL)
6	GARAGE DOOR
7	WOOD LINTEL: PRIMED AND PAINTED
8	STONE VENEER: STONE VENEER ATTACHED TO STUCCO BROWN COAT SEE DETAIL (ARCHITECT TO APPROVE SELECTION).
9	WINDOWS: SEE DOOR/WINDOW SCHEDULE
10	DOORS: SEE DOOR/WINDOW SCHEDULE
11	CHIMNEY: ICBO APPROVED SPARK ARRESTOR TO TOP OF PREFAB METAL CHIMNEY. PROVIDE IAPMO AND CITY APPROVED METAL CAP OVER. ARCHITECT TO SELECT. TOP OF CHIMNEY AT 2'-0" ABOVE ANY PART OF ROOF WITHIN 10'-0". SEE DETAIL.
12	SKYLIGHT: DUAL GLAZED SKYLIGHT. SEE DETAIL. ALUMINUM FRAME, VELUX OR EQUAL SKYLIGHTS-ICBO #NER-216
13	ELECTRICAL PANEL: SEE ELECTRICAL PLANS

NOTES:  
1. PROVIDE #15 FELT PAPER AT ALL EXTERIOR WALLS PRIOR TO EXTERIOR FINISHES.  
2. PROVIDE TWO LAYERS OF #15 FELT PAPER OVER ALL EXTERIOR SHEAR WALLS.





**SECTION D**  
SCALE: 1/4"=1'-0"



**SECTION E**  
SCALE: 1/4"=1'-0"