

# Inspection Report

**Sylvia Pulido**  
**Richard Colin**

**Property Address:**  
1642 Havemeyer Ln  
Redondo Beach CA 90278



Subject Property

## Professional Inspection Network

**Christopher Vella**  
**5267 Warner Ave #212**  
**Huntington Beach, CA 92649**  
**714-726-6746**  
**800-454-6630**

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## General Info

<b>Property Address</b> 1642 Havemeyer Ln Redondo Beach CA 90278	<b>Date of Inspection</b> 11/4/2022	<b>Report ID</b> 20221104-1642-Havemeyer-Ln
<b>Customer(s)</b> Sylvia Pulido Richard Colin	<b>Time of Inspection</b> 09:00 AM	<b>Real Estate Agent</b> Joe Safranek Beach City Brokers
<b>Inspection Details</b>		
<b>In Attendance:</b> Seller and Seller's Agent	<b>Type of building:</b> Single Family (2 story)	<b>Approximate age of building(s):</b> 55 Years Old
<b>Building(s) Faces:</b> North	<b>Temperature:</b> Over 60 (F) = 15.5 (C)	<b>Weather:</b> Clear
<b>Ground/Soil surface condition:</b> Dry	<b>Rain in last 3 days:</b> No	<b>Radon Test:</b> No
<b>Water Test:</b> No		

## Comment Key &amp; Definitions

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Major Concern:** = Denotes a major improvement recommendation that is uncommon for a home of this age or location.

**Safety Issue:** = Denotes an observation or recommendation that is considered an immediate health and safety concern.

**Repair or Replace:** = Denotes the item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Improve:** = Denotes improvements that should be anticipated over a short term.

**Monitor:** = Denotes an area where further investigations and/or monitoring is needed. Repairs may be necessary. During the inspection, there was insufficient information. Improvements cannot be determined until further investigations or observations are made.

**Inspected** = The inspector visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

The comments made in this report were based on the condition of the home at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the home again. The proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. My inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

**SCOPE OF THE INSPECTION:**

Professional Inspection Network endeavors to perform all inspections in substantial compliance with the Standards of Practice of the California Real Estate Inspector Association (CREIA). As such, we inspect the readily accessible, visually observable, installed systems and components of a home as designated in the CREIA Standards of Practice. When systems or components designated in the CREIA

Standards of Practice are present but are not inspected, the reason(s) the item was not inspected is identified within this report. This report contains observations of those systems and components that, in the professional judgement of the inspector, are not functioning properly, significantly deficient, unsafe, or are near the end of their service lives. If the cause for the deficiency is not readily apparent, the suspected cause or reason why the system or component is at or near end of expected service life is reported, and recommendations for correction or monitoring are made as appropriate.

**USE OF PHOTOS:**

Your report includes many photographs. Some pictures are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item or area at the time of the inspection. Some of the pictures may be of problem areas, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or conditions will be supported with photos.

This categorization is the opinion of the inspector and is based on what was observed at the time of inspection. It is not intended to imply that items documented in any one category are not in need of correction. Maintenance items or latent defects left unrepaired can soon become significant defects. It should be considered very likely there will be other issues you personally may consider deficient, and you should add these as desired. There may also be defects that you feel belong in a different category, and again, you should feel free to consider the importance you believe they hold and act accordingly.

Please review the report in its entirety. It is ultimately up to your discretion to interpret its findings and to act accordingly. This report does not offer an opinion as to whom among the parties to this transaction should take responsibility for addressing any of these concerns. As with all aspects of your transaction, you should consult with your Realtor® for further advice regarding the contents of this report. Any repairs should be performed by the applicable licensed and bonded tradesman or qualified professional who will provide copies of all receipts, warranties and applicable permits for any repairs that are carried out.

This home is an older home and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

## Summary

### Professional Inspection Network

5267 Warner Ave #212  
Huntington Beach, CA 92649  
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**Customer**  
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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## Summary

### Roof Coverings

1. (1) **Major Concern:** The composition shingle roofing is wearing at uneven rates. The sides of the roofing that are more exposed to the sun's light are wearing more quickly than other areas. Also, there are missing/torn shingles in many locations. The composition asphalt shingle roof is at the end of its service life. It is in need of replacement. Suggest further review by a qualified roofing contractor to provide replacement options and cost.



Item 1 - Item 1(Picture) Roofing



Item 1 - Item 2(Picture) Roofing





Item 1 - Item 3(Picture) Roofing



Item 1 - Item 4(Picture) Roofing



Item 1 - Item 5(Picture) Roofing



Item 1 - Item 6(Picture) Roofing



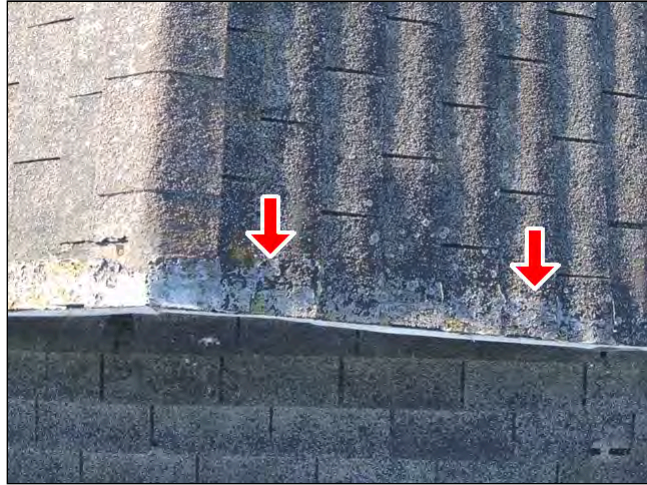
Item 1 - Item 7(Picture) Roofing

- 2. (2) **Monitor:** The edge of the roof is covered with paint/mastic throughout. This is an indication of a past problem and note that these areas could not be properly viewed and will require ongoing maintenance. Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stains that shows up on the interior.





Item 2 - Item 1(Picture) Roofing



Item 2 - Item 2(Picture) Roofing

### Flashings/Vents

3. **Repair or Replace:** The mastic at all rooftop vents and penetrations is weathered and cracked. It is suggested that all vent and penetrations be examined and sealed with approved material by a qualified professional.



Item 3 - Item 1(Picture) Roofing



Item 3 - Item 2(Picture) Roofing

### Chimneys

4. **Improve:** The masonry chimney lacks a rain cap to prevent water from entering the chimney. It is suggested that one be installed by a qualified professional.

### Wall Cladding, Flashing, Trims, Beams, Rafters, Eaves, Fascia Boards, Decks, Balconies, Stoops, Steps, Stairways, Areaways, Bridges, Porches, Patio/Cover and Applicable Railings

5. (1) **Major Concern:** The repairs performed at the front wall balcony are non-conforming. The repairs performed at the front balcony appear to have been done by a non-professional. They are not in accordance with industry standards. We suggest that the entire balcony and structure should be evaluated by a qualified contractor to provide replacement options and cost.





Item 5 - Item 1(Picture) Exterior



Item 5 - Item 2(Picture) Exterior



Item 5 - Item 3(Picture) Exterior



Item 5 - Item 4(Picture) Exterior



Item 5 - Item 5(Picture) Exterior

6. (2) **Repair or Replace:** The steps at the East exterior wall of the home have been installed directly to the exterior wall. No visible flashing was observed between the exterior wall and steps. Possible seepage can occur. This area shows signs of settlement and previous repair. This would suggest that water and/or moisture has entered the home and structure. Recommend further evaluation and repairs by a qualified contractor.





Item 6 - Item 1(Picture) Exterior

7. (3) **Repair or Replace:** The exterior wooden elements throughout the exterior of the home have not been maintained for some time. The wooden trims, doors, fascia boards, eaves, rafters and etc require (in various degrees) repair, replacement, sanding and painting. Suggest further evaluation by a qualified trades person determination, evaluation and or corrective repairs and replacement.



Item 7 - Item 1(Picture) Exterior



Item 7 - Item 2(Picture) Exterior

8. (4) **Repair or Replace:** Wood deterioration was observed at the base of the garage overhead door frame. The wood frame is in contact with the ground. This configuration is prone to rot and insect activity. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



Item 8 - Item 1(Picture) Exterior



Item 8 - Item 2(Picture) Exterior

9. (6) **Safety Issue:** The height of the front wall balcony rail/wall does not comply with today's building standards. We suggest the wall should be repaired or replaced by a qualified technician to conform to standard trade practices.



Item 9 - Item 1(Picture) Exterior

#### **Doors (Exterior)**

10. **Repair or Replace:** The rear exterior wall water heater closet door is deteriorated. The door and frame are in need of replacement. Suggest replacement by a qualified contractor.

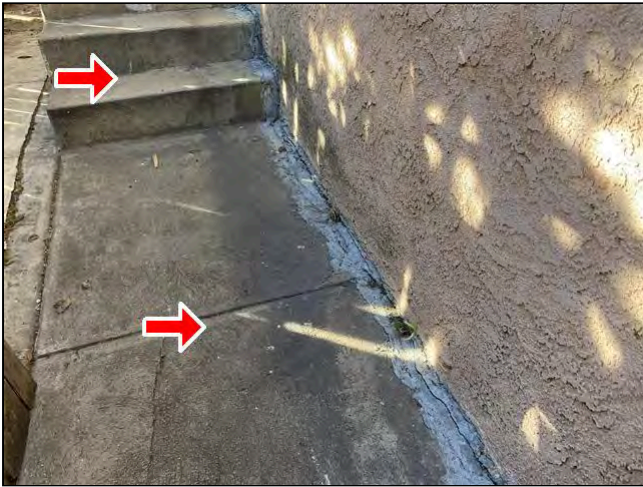


Item 10 - Item 1(Picture) Exterior

#### **Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)**

11. (1) **Repair or Replace:** The steps and walkway at the East wall of the home have settled away from the home. This settlement has created an opening allowing water to enter the home. There are signs of water intrusion on the interior side of the foundation, wall or slab. Protection against the penetration of water into the building envelope is strongly urged. Suggest further review by a qualified contractor to provide replacement options and cost.





Item 11 - Item 1(Picture) Exterior

12. (2) **Repair or Replace:** There is a negative slope towards the home at the front East wall. This configuration can cause or contribute to water intrusion or deterioration of the foundation. Water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



Item 12 - Item 1(Picture) Exterior

13. (3) **Improve:** The crawl space vent openings are at grade level in many locations. This configuration can allow water to enter the crawl space and cause damage. Suggest further review by a qualified contractor to provide drainage options and cost.

Item 13 - Item 1(Picture) Exterior  
Exterior Closet

Item 13 - Item 2(Picture) Exterior

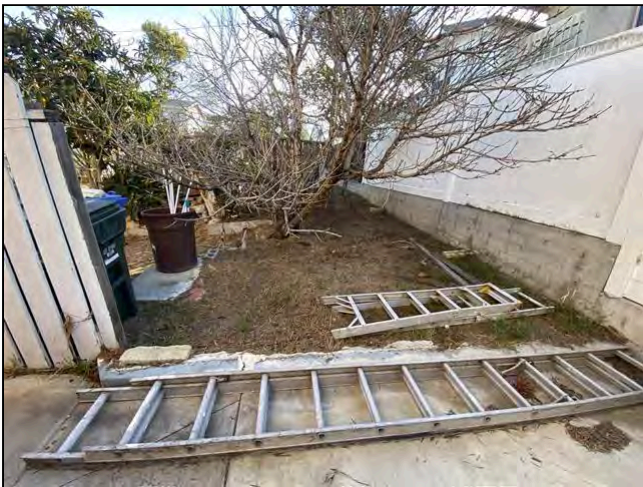
14. **Safety Issue:** Evidence of rodents was found in the form of feces was observed at the water heater. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary. Future costs could be incurred from prior rodent damage not visible at time of inspection.



Item 14 - Item 1(Picture) Exterior

**Fence/Block Walls & Gates**

15. **Repair or Replace:** The wood fence throughout the East side of the property is deteriorated, leaning and/or missing. The fence is in need of replacement.



Item 15 - Item 1(Picture) Exterior

**Floors/Columns/Piers**

16. (1) **Repair or Replace:** Water staining, wood deterioration and possible fungus was observed at the first floor bathroom subfloor. It is suggested that the subfloor below bathrooms be further evaluated by a qualified contractor to determine if wood subfloors or in need of repair and or replacement.





Item 16 - Item 1(Picture) Structural Components



Item 16 - Item 2(Picture) Structural Components

17. (2) **Improve/Monitor:** The girder and post connections are not reinforced according to modern standard building practice. No adverse effects resulting from this condition are noted. We suggest as an up-grading these connections would be considered optional.



Item 17 - Item 1(Picture) Structural Components

**Roof Structure & Attic Space**

18. (1) **Major Concern:** A significant amount of water damage was observed at the exposed structure at the garage ceiling. The balcony deck above this location appears to have been leaking for sometime causing a considerable amount of damage to the structure. There is an extra risk of hidden damage at areas beyond view. Suggest further review by a qualified contractor and structural engineer to provide repair/replacement options and cost.



Item 18 - Item 1(Picture) Structural Components



Item 18 - Item 2(Picture) Structural Components





Item 18 - Item 3(Picture) Structural Components

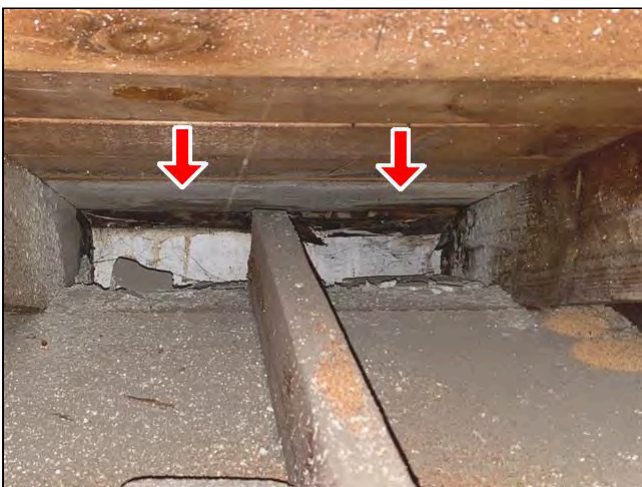


Item 18 - Item 4(Picture) Structural Components



Item 18 - Item 5(Picture) Structural Components

19. (2) **Repair or Replace:** Wood deterioration was observed on the underside of the roof sheathing along the edge of the roof. Deterioration is possible due to the current condition of the roofing materials. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



Item 19 - Item 1(Picture) Structural Components



Item 19 - Item 2(Picture) Structural Components

20. (4) **Monitor:** Signs of insect activity (possible wood destroying) was observed at the attic space of the home in many locations.





Item 20 - Item 1(Picture)

### Heating Equipment

21. **Monitor:** The thermostat for the forced air heater is inoperative. Unable to test and operate the forced air heater during the inspection. Because of this, we recommend further evaluation/safety check be performed by the local gas company before the end of your contingency period.



Item 21 - Item 1(Picture) Heating/Central Air  
Flues and Vents (for gas heating systems)

22. (1) **Repair or Replace:** The forced air heater metal exhaust vent is rusted. Suggest replacement of the venting system by a qualified HVAC contractor.



Item 22 - Item 1(Picture) Heating/Central Air

23. (2) **Safety Issue:** The forced air heater vent passes through a ceiling or wall without the use of an approved thimble or spacer. This could be a fire hazard. We suggest a qualified technician should install an approved, listed thimble or spacer.



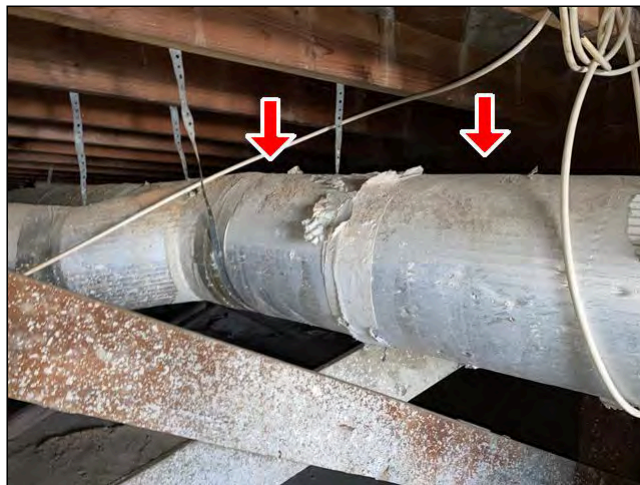
Item 23 - Item 1(Picture) Heating/Central Air

#### Air Return & Distribution Systems

24. **Safety Issue:** The ducting for the forced air heater appears to be asbestos. The identification of Asbestos is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the ducting and make further recommendations. Testing and remediation of Asbestos can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, Asbestos can be released into the interior of the building and may create a health hazard. The ducting material shows signs of deterioration in many locations. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" (damaged, crumbling, or in any state that allows the release of fibers). Suggest further review, testing and removal by a qualified professional.



Item 24 - Item 1(Picture) Heating/Central Air

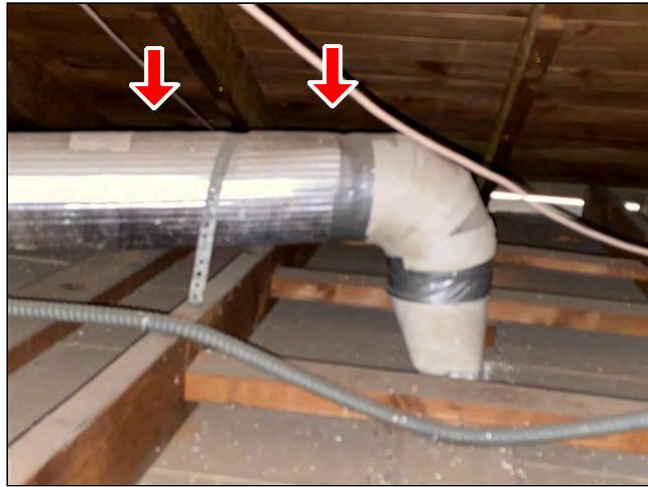


Item 24 - Item 2(Picture) Heating/Central Air





Item 24 - Item 3(Picture) Heating/Central Air Plumbing Drain, Waste and Vent Systems



Item 24 - Item 4(Picture) Heating/Central Air

25. (1) **Repair or Replace:** The cast iron drain pipes at the rear area of the crawl space are corroded and leaking. The drain pipes are in need of replacement. Suggest further review and replacement by a qualified plumber.

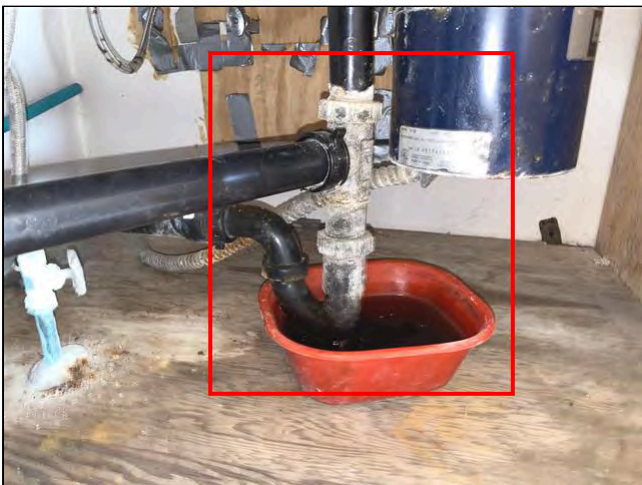


Item 25 - Item 1(Picture) Plumbing System



Item 25 - Item 2(Picture) Plumbing System

26. (2) **Repair or Replace:** The kitchen sink drain pipe is leaking. Suggest repair by a qualified professional.



Item 26 - Item 1(Picture) Plumbing System

27. (3) **Monitor:** We cannot determine the condition of underground drain and waste piping during our inspection. Drain lines can experience blockages due to construction debris, lack of proper slope in the lines, or improper fittings. -- We recommend that the building sewer be evaluated by camera by a qualified plumber to determine if any repairs or



modifications are needed.

### Plumbing Water Supply, Distribution System and Fixtures

28. (1) **Major Concern:** Galvanized steel pipes are used in the interior water supply, and generally have a finite life span. The quality of the plating, installation methods, water temperature, water quality and water usage all factor into the actual serviceable life. Scale builds up inside the pipe which eventually restricts the flow of water to the fixtures. Corrosion eats away at the inside of the pipes, eventually causing leaks. Thirty to forty years is the average life of galvanized pipes. The exterior surfaces of the galvanized steel pipes are corroded/rusted in many locations. There is visible debris, and possible metal flakes, when water is run to the sinks in the home. The makeup of this debris is unknown. The galvanized steel pipes are in need of replacement. Suggest further review by a qualified plumber to provide replacement options and cost.



Item 28 - Item 1(Picture) Plumbing System



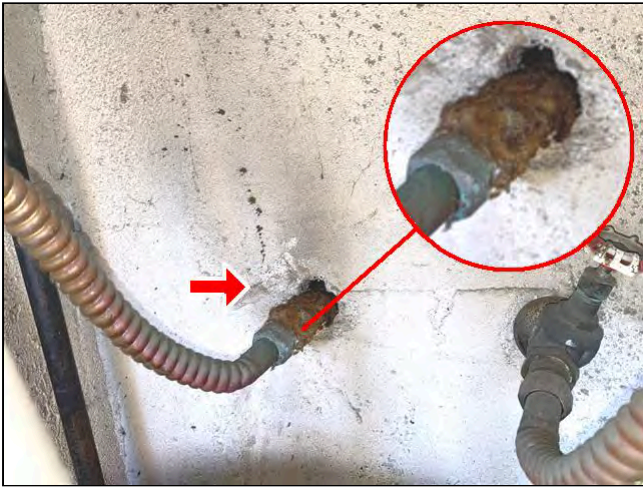
Item 28 - Item 2(Picture) Plumbing System



Item 28 - Item 3(Picture) Plumbing System

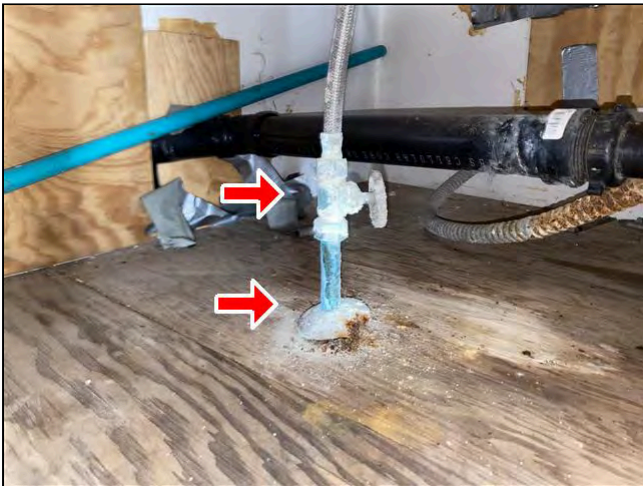
29. (2) **Repair or Replace:** The water supply pipe at the rear wall the water heater is corroded. Although the valve is not leaking it is suggested that it be replaced by a qualified professional.





Item 29 - Item 1(Picture) Plumbing System

30. (3) **Repair or Replace:** The water supply pipe at the kitchen sink cabinet floor is corroded. It is suggested that it be replaced by a qualified professional.



Item 30 - Item 1(Picture) Plumbing System

31. (6) **Repair or Replace:** The second floor bathroom toilet is not securely attached at the floor. This could allow leaks at or into the floor. We suggest if no leaks are evident, the bolts can often simply be tightened with a wrench. We strongly recommend that these toilets be removed and reset by a qualified plumber. At the time the toilet is removed, and before it is reset, the floor in the vicinity of the toilet should be carefully inspected for damage, rot or other deterioration caused by water seeping past the seal at the base of the toilet.



Item 31 - Item 1(Picture) Plumbing System

**Hot Water Systems, Controls, Flues and Vents**

32. (1) **Safety Issue:** The Temperature and Pressure Relief valve at the water heater needs a 3/4 pipe to extend within 6 to 24 inches of floor for safety, the current building standards require that the discharge pipe be routed to the exterior of the home and terminate in a safe location. (PVC is not approved for hot water use). Recommend repair by a qualified person.



Item 32 - Item 1(Picture) Plumbing System

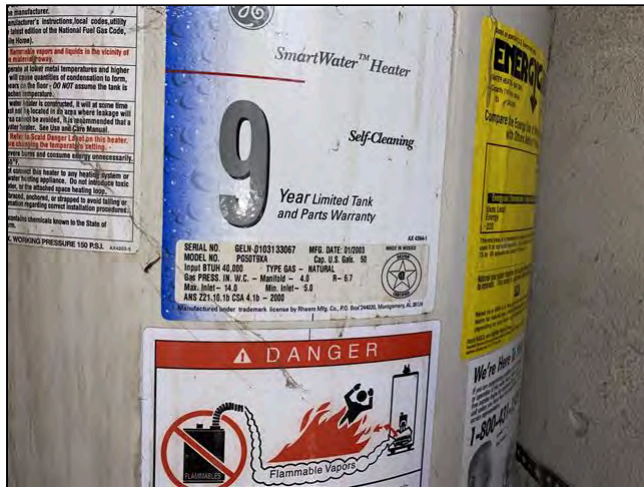
33. (2) **Safety Issue:** The water heater lacks seismic straps. The water heater is in need of seismic straps to prevent movement during earthquakes. Suggest further review and repairs by a licensed plumber.



Item 33 - Item 1(Picture) Plumbing System

34. (3) **Repair/Replace:** The water heater is an older unit. The water heater is at the end of its service life. Typical life expectancy of water heaters is 7 to 12 years. The existing unit is 20 years old. Suggest replacement of the water heater by a licensed and qualified plumber.

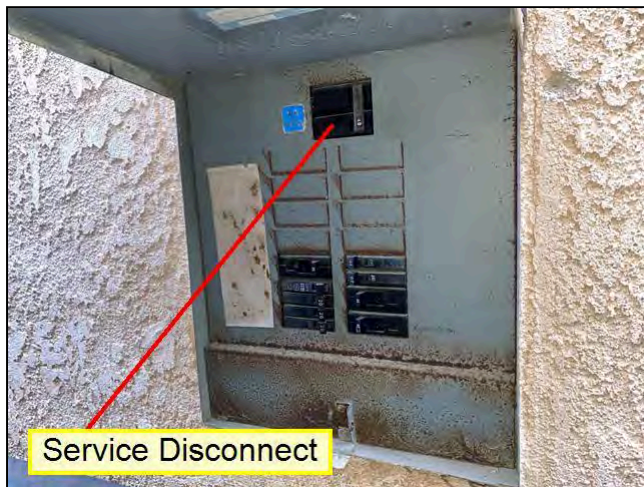




Item 34 - Item 1(Picture)

### Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

35. (1) **Improve/Monitor:** The size of the electrical service supplied to the home (40-Amps) may not be sufficient depending on the lifestyle of the occupants. Most older homes were constructed with a generic 100-amp electrical panel that could provide all of the home's electricity, but as times have changed, so have homes and their electrical needs. Today, a 40-amp electrical panel will struggle or fail to get the job done and you will have to upgrade to a larger service/panel. Calculate your homes wattage needs to determine exactly what size your home requires. Look out for a few common and obvious signs such as your lights flickering, appliances that aren't performing to their full potential, using multiple appliances in your home will trip the breakers, or the panel has begun to simply malfunction. Having an old or undersized electrical panel in your home can not only cause quite the inconvenience but it can also become dangerous. It's important to know the signs to look out for when your panel has become insufficient for your home's wattage needs. A qualified electrician can inspect the system and provide you with replacement options and costs within the inspection contingency period.



Item 35 - Item 1(Picture) Electrical System

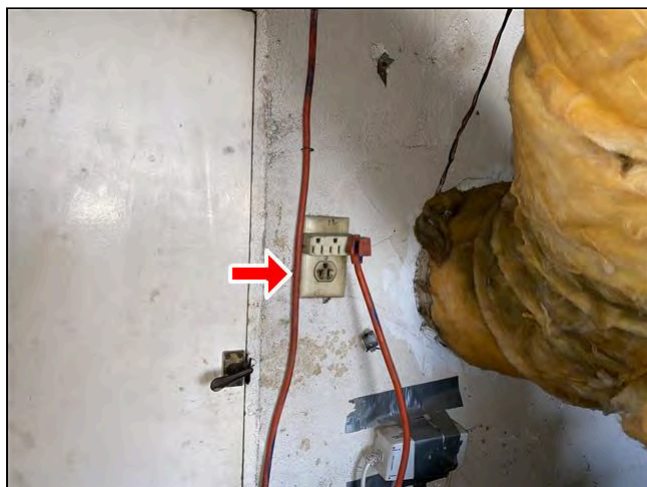
### Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside and outside of the home) Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures.

36. (1) **Safety Issue:** The installation of ground fault circuit interrupter (GFCI) devices is advisable at all kitchen outlets within 3 to 6- feet of the sink. GFCI's are strongly recommended at the disposal unit & dishwasher. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution; suggest repairs by a licensed electrical contractor



Item 36 - Item 1(Picture) Electrical System

37. (2) **Repair or Replace:** It is suggested that the electrical outlets throughout the subject property be replaced by a qualified electrician.
38. (3) **Safety Issue:** The installation of ground fault circuit interrupter (GFCI) devices is advisable at all exterior and garage outlets. GFCI's are strongly recommended. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution; suggest repairs by a licensed electrical contractor.



Item 38 - Item 1(Picture) Electrical System

### Walls and Ceilings

39. (1) **Major Concern:** Evidence of water damage was observed at the laundry room ceiling. A bathroom is located above this area. This damage would suggest that an active leak(s) is present in this location. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest further investigations and repairs by a qualified contractor.





Item 39 - Item 1(Picture) Interiors

40. (2) **Major Concern:** Water damage was observed at the interior walls in the second floor bathroom. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest further investigations and repairs by a qualified contractor.



Item 40 - Item 1(Picture) Interiors

41. (3) **Repair/Replace/Monitor:** Evidence of settlement was observed on the interior wall/ceiling finishes. The interior wall and ceiling finishes are cracked in various locations within the home. This appears to be common settlement and/or movement with older homes. It is suggested that these areas be repaired and patched by a qualified professional and monitored for additional movement to determine if additional repairs to the home will be required.



Item 41 - Item 1(Picture) Interiors

42. (4) **Repair or Replace:** Water damage was observed at the second floor front bedroom East interior wall and ceiling. The source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection.



Item 42 - Item 1(Picture) Interiors

**Floors**

43. (1) **Repair or Replace:** Wood deterioration was observed at the living room floor boards in various locations. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.





Item 43 - Item 1(Picture) Interiors



Item 43 - Item 2(Picture) Interiors

44. (3) **Repair or Replace:** The kitchen vinyl floor is in need of replacement

**Doors (representative number)**

45. **Repair or Replace:** The laundry room rear wall door is in need of replacement.



Item 45 - Item 1(Picture) Interiors

**Steps, Stairways, Balconies and Railings**

46. **Safety Issue:** The spacing between the stairway railing are large enough to allow a small animal or child to fall through. Although acceptable at the time of original construction, the spacing between the railing does not comply with today's building standards.

**Bathroom(s)**

47. (1) **Safety Issue:** There is surface growth and fungal like growth observed at the first floor bathroom in many locations. This may indicate the presence of mold, fungus or other microbial organisms. Areas of past and present moisture are favorable for growing many fungal like organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 47 - Item 1(Picture) Interiors



Item 47 - Item 2(Picture) Interiors

### Garage Ceilings/Walls

48. (1) **Safety Issue:** There is surface growth at the garage ceiling. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 48 - Item 1(Picture) Garage

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.



Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Christopher Vella

# 1. Roofing

**The inspector shall inspect from ground level or eaves:** The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

**The inspector is not required to:** Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material.



Roofing

## Styles & Materials

**Roof Covering:**

Asphalt/Fiberglass Shingles

**Viewed Roof Covering From:**

Drone

**Number Of Roofing Layers:**

Unknown

**Gutters & DownSpouts:**

None

## Items

### 1.0 Roof Coverings

**Comments:** Repair or Replace, Improve

(1) **Major Concern:** The composition shingle roofing is wearing at uneven rates. The sides of the roofing that are more exposed to the sun's light are wearing more quickly than other areas. Also, there are missing/torn shingles in many locations. The composition asphalt shingle roof is at the end of its service life. It is in need of replacement. Suggest further review by a qualified roofing contractor to provide replacement options and cost.



1.0 Item 1(Picture) Roofing



1.0 Item 2(Picture) Roofing





1.0 Item 3(Picture) Roofing



1.0 Item 4(Picture) Roofing



1.0 Item 5(Picture) Roofing



1.0 Item 6(Picture) Roofing



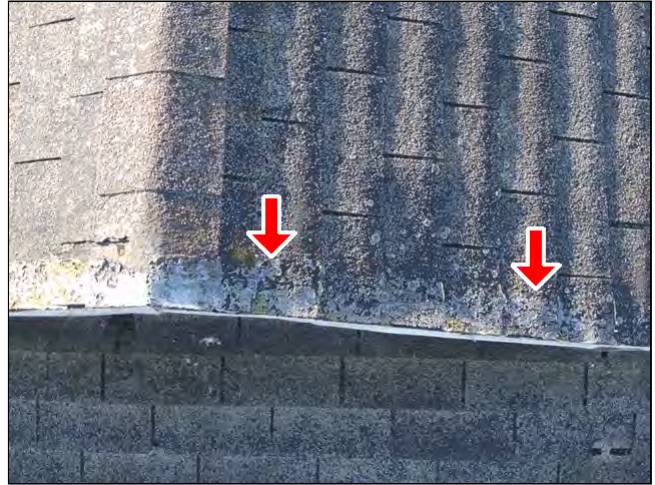
1.0 Item 7(Picture) Roofing



(2) **Monitor:** The edge of the roof is covered with paint/mastic throughout. This is an indication of a past problem and note that these areas could not be properly viewed and will require ongoing maintenance. Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stains that shows up on the interior.



1.0 Item 8(Picture) Roofing



1.0 Item 9(Picture) Roofing

### 1.1 Flashings/Vents

Comments: Repair or Replace

**Repair or Replace:** The mastic at all rooftop vents and penetrations is weathered and cracked. It is suggested that all vent and penetrations be examined and sealed with approved material by a qualified professional.



1.1 Item 1(Picture) Roofing



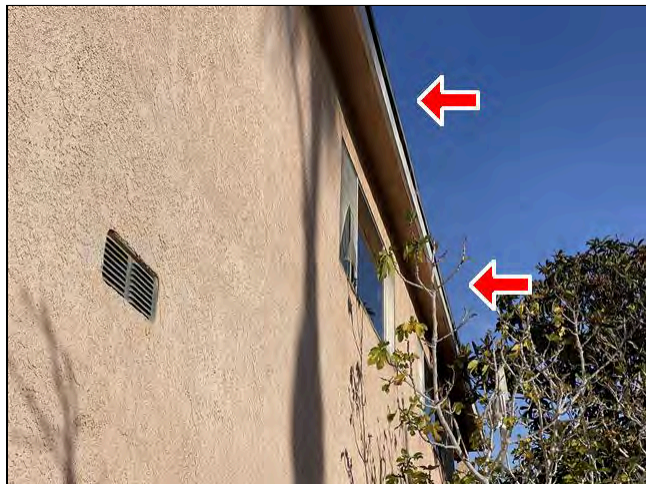
1.1 Item 2(Picture) Roofing

### 1.3 Roof Drainage Systems

Comments: Improve



**Improve:** It is suggested that gutters and downspouts be installed throughout the roofing to prevent damage/deterioration to the foundation and exterior walls.



1.3 Item 1(Picture) Roofing

#### 1.4 Chimneys

**Comments:** Improve

**Improve:** The masonry chimney lacks a rain cap to prevent water from entering the chimney. It is suggested that one be installed by a qualified professional.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The entire underside of the roof sheathing is not inspected for evidence of leakage.

Interior finishes may disguise evidence of prior leakage.

No comment can be offered on the condition of the membrane beneath the roof surface.

Professional Inspection Network recommends an annual inspection and tune-up to minimize the risk of leakage and to maximize roof life. It is impossible to inspect the total underside surface of the roof sheathing for evidence of leaks. Evidence of prior leaks may be disguised by interior finishes. Leakage can develop at any time and may depend on rain intensity, wind direction, and other factors. Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage.

## 2. Exterior

**The inspector shall inspect:** The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

**The inspector is not required to:** Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.



Exterior

### Styles & Materials

**Siding Material:**

Stucco Cladding

**Exterior Entry Doors:**

Wood  
Sliding Glass

**Appurtenance:**

Balcony

**Driveway:**

Concrete

**Walkways:**

Concrete

**Fence Type:**

Wood  
Vinyl

### Items

**2.0 Wall Cladding, Flashing, Trims, Beams, Rafters, Eaves, Fascia Boards, Decks, Balconies, Stoops, Steps, Stairways, Areaways, Bridges, Porches, Patio/Cover and Applicable Railings**

Comments: Major Concern, Repair or Replace, Monitor



(1) **Major Concern:** The repairs performed at the front wall balcony are non-conforming. The repairs performed at the front balcony appear to have been done by a non-professional. They are not in accordance with industry standards. We suggest that the entire balcony and structure should be evaluated by a qualified contractor to provide replacement options and cost.



2.0 Item 1(Picture) Exterior



2.0 Item 2(Picture) Exterior



2.0 Item 3(Picture) Exterior



2.0 Item 4(Picture) Exterior



2.0 Item 5(Picture) Exterior

(2) **Repair or Replace:** The steps at the East exterior wall of the home have been installed directly to the



exterior wall. No visible flashing was observed between the exterior wall and steps. Possible seepage can occur. This area shows signs of settlement and previous repair. This would suggest that water and/or moisture has entered the home and structure. Recommend further evaluation and repairs by a qualified contractor.

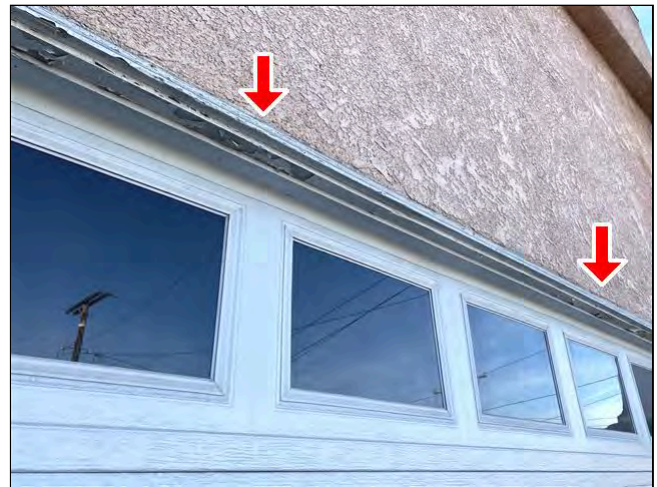


2.0 Item 6(Picture) Exterior

(3) **Repair or Replace:** The exterior wooden elements throughout the exterior of the home have not been maintained for some time. The wooden trims, doors, fascia boards, eaves, rafters and etc require (in various degrees) repair, replacement, sanding and painting. Suggest further evaluation by a qualified trades person determination, evaluation and or corrective repairs and replacement.



2.0 Item 7(Picture) Exterior



2.0 Item 8(Picture) Exterior



(4) **Repair or Replace:** Wood deterioration was observed at the base of the garage overhead door frame. The wood frame is in contact with the ground. This configuration is prone to rot and insect activity. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



2.0 Item 9(Picture) Exterior



2.0 Item 10(Picture) Exterior

(5) **Monitor:** The home was built in an era before weep screeds were installed at the bottom edge of the stucco siding, the stucco was extended into the soil. The stucco wicks water up out of the soil which causes the stucco to deteriorate from being moist for prolonged periods. We recommend minimizing moisture around the building to help protect the stucco and the foundation from moisture damage.

(6) **Safety Issue:** The height of the front wall balcony rail/wall does not comply with today's building standards. We suggest the wall should be repaired or replaced by a qualified technician to conform to standard trade practices.



2.0 Item 11(Picture) Exterior

## 2.1 Doors (Exterior)

Comments: Repair or Replace

**Repair or Replace:** The rear exterior wall water heater closet door is deteriorated. The door and frame are in need of replacement. Suggest replacement by a qualified contractor.



2.1 Item 1(Picture) Exterior

## 2.2 Windows

**Comments:** Inspected

## 2.4 Vegetation, Grading, Drainage, Driveways, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

**Comments:** Repair or Replace, Improve

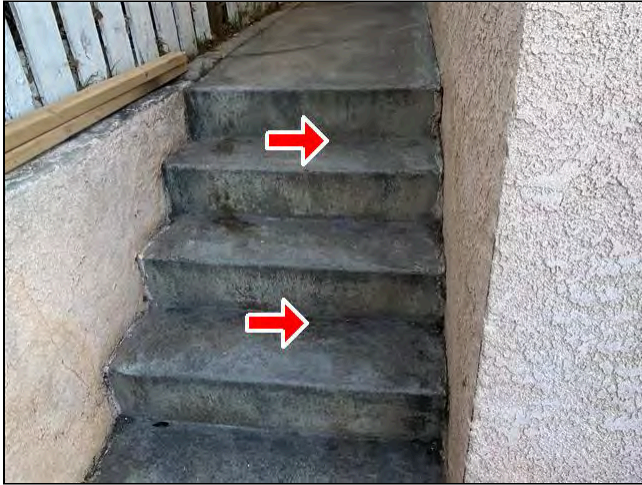
(1) **Repair or Replace:** The steps and walkway at the East wall of the home have settled away from the home. This settlement has created an opening allowing water to enter the home. There are signs of water intrusion on the interior side of the foundation, wall or slab. Protection against the penetration of water into the building envelope is strongly urged. Suggest further review by a qualified contractor to provide replacement options and cost.



2.4 Item 1(Picture) Exterior



(2) **Repair or Replace:** There is a negative slope towards the home at the front East wall. This configuration can cause or contribute to water intrusion or deterioration of the foundation. Water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



2.4 Item 2(Picture) Exterior

(3) **Improve:** The crawl space vent openings are at grade level in many locations. This configuration can allow water to enter the crawl space and cause damage. Suggest further review by a qualified contractor to provide drainage options and cost.



2.4 Item 3(Picture) Exterior



2.4 Item 4(Picture) Exterior

## 2.5 Exterior Closet

Comments: Safety Issue

**Safety Issue:** Evidence of rodents was found in the form of feces was observed at the water heater. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary. Future costs could be incurred from prior rodent damage not visible at time of inspection.



2.5 Item 1(Picture) Exterior

## 2.6 Fence/Block Walls & Gates

Comments: Repair or Replace

**Repair or Replace:** The wood fence throughout the East side of the property is deteriorated, leaning and/or missing. The fence is in need of replacement.



2.6 Item 1(Picture) Exterior

## 2.11 Grounds

Comments: Monitor

**Monitor:** The evaluation of soil conditions and/or stability is not within the scope of this inspection. For information on soil stability and/or the potential for movement, we recommend that you determine if the owners have information on the soils condition, or contact a qualified geotechnical engineer who is familiar with conditions in this area.



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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspection does not include an assessment of geological conditions and/or site stability. If further concerned about hillside, lot, or soil conditions, we recommend that you refer to a qualified licensed Geo-Technical Engineer before the close of escrow.

### 3. Structural Components

**The inspector shall inspect:** The basement. The foundation. The crawlspace. The visible structural components. Any present conditions or clear indications of active water penetration observed by the inspector. And report any general indications of foundation movement that are observed by the inspector, such as but not limited to sheetrock cracks, brick cracks, out-of-square door frames or floor slopes.

**The inspector is not required to:** Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector, Move stored items or debris, Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.

#### Styles & Materials

<b>Foundation:</b> Poured Concrete	<b>Method used to observe Crawlspace:</b> Crawled	<b>Floor Structure:</b> Wood Joists
<b>Wall Structure:</b> Not Visible	<b>Columns or Piers:</b> Wood Piers	<b>Ceiling Structure:</b> Wood Joist
<b>Roof Structure:</b> Stick-built Plywood Rafters	<b>Roof-Type:</b> Gable	<b>Method used to observe attic:</b> From Entry

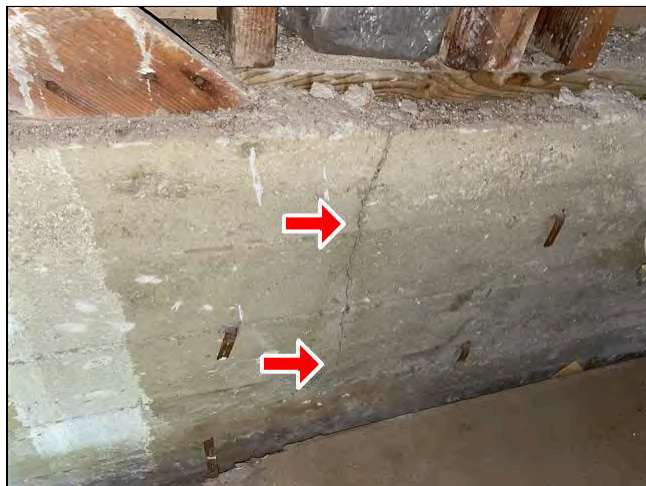
#### Items

### 3.0 Foundations, Basement and Crawlspace

**Comments:** Improve, Monitor

(1) **Safety Issue:** Evidence of rodents was found in the form of feces was observed at the crawl space. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary. Future costs could be incurred from prior rodent damage not visible at time of inspection.

(2) **Repair or Replace:** Signs of cracking and movement were visible in portions of the foundation at more than one location. Although the cracking is isolated to these areas, we feel this could affect the performance of the entire foundation, especially during seismic activity. We suggest a qualified foundation contractor or structural engineer should evaluate the foundation, and determine what repairs are needed.



3.0 Item 1(Picture) Structural Components



3.0 Item 2(Picture) Structural Components





3.0 Item 3(Picture) Structural Components

(3) **Improve/Monitor:** A condition known as efflorescence is evident on portions of the concrete foundation walls or slab. This whitish, fuzzy material is a mineral deposit left when moisture in the concrete evaporates. The presence of efflorescence often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations.



3.0 Item 4(Picture) Structural Components

(4) **Improve/Monitor:** A condition known as efflorescence is evident on portions of the garage foundation walls or slab. This whitish, fuzzy material is a mineral deposit left when moisture in the concrete evaporates. The presence of efflorescence often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations.

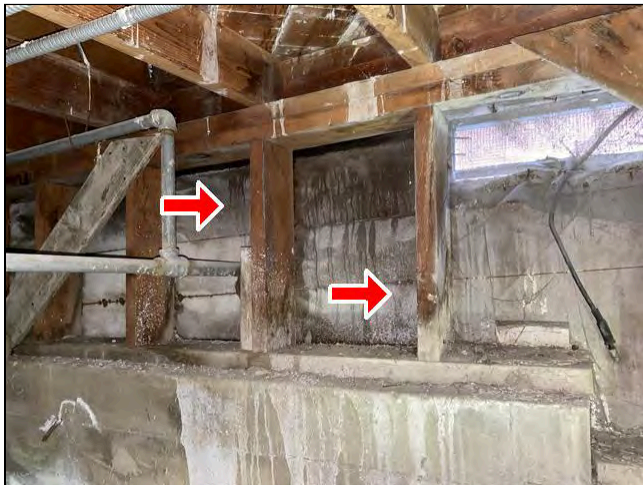


3.0 Item 5(Picture) Structural Components



3.0 Item 6(Picture) Structural Components

(5) **Improve:** The cripple walls have not been reinforced and/or lack adequate support from movement. It is suggested that the cripple walls be reinforced by a qualified professional. The primary purpose of earthquake retrofitting is to keep your home/cripple walls from movement - making the building safer and less prone to major structural damage during an earthquake. Existing homes need to be retrofitted because our understanding of the effects of earthquakes as well as construction techniques have improved after the homes were built.



3.0 Item 7(Picture) Structural Components



(6) **Monitor:** The original building is anchored to the foundation using older technology. The original configuration appears to have performed adequately to date. Consider upgrades as part of any future modernization and/or remodeling.



3.0 Item 8(Picture) Structural Components

(7) **Improve/Monitor:** Water staining/intrusion was observed at the East area of the crawl space. Water intrusion can lead to more costly repairs and increase damage if not corrected. Water intrusion can cause deterioration and excessive moisture on building components if not corrected. Exterior drainage improvements are recommended.



3.0 Item 9(Picture) Structural Components

### 3.2 Floors/Columns/Piers

Comments: Repair or Replace, Improve, Monitor

(1) **Repair or Replace:** Water staining, wood deterioration and possible fungus was observed at the first floor bathroom subfloor. It is suggested that the subfloor below bathrooms be further evaluated by a qualified contractor to determine if wood subfloors or in need of repair and or replacement.



3.2 Item 1(Picture) Structural Components



3.2 Item 2(Picture) Structural Components

(2) **Improve/Monitor:** The girder and post connections are not reinforced according to modern standard building practice. No adverse effects resulting from this condition are noted. We suggest as an up-grading these connections would be considered optional.



3.2 Item 3(Picture) Structural Components

### 3.5 Roof Structure & Attic Space

Comments: Major Concern



(1) **Major Concern:** A significant amount water damage was observed at the exposed structure at the garage ceiling. The balcony deck above this location appears to have been leaking for sometime causing a considerable amount damage to the structure. There is an extra risk of hidden damage at areas beyond view. Suggest further review by a qualified contractor and structural engineer to provide repair/replacement options and cost.



3.5 Item 1(Picture) Structural Components



3.5 Item 2(Picture) Structural Components



3.5 Item 3(Picture) Structural Components

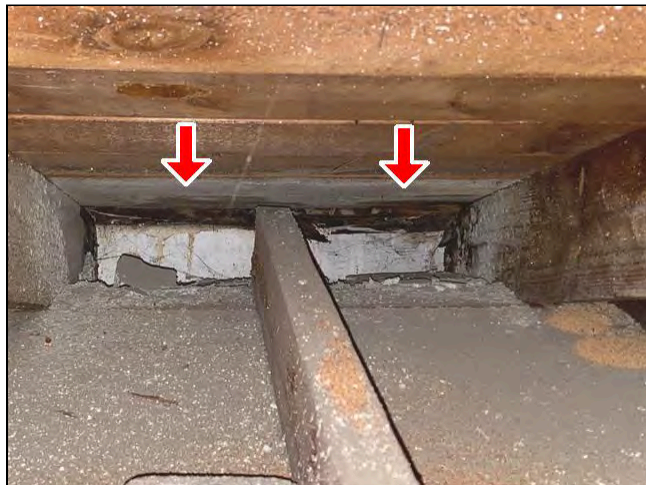


3.5 Item 4(Picture) Structural Components



3.5 Item 5(Picture) Structural Components

(2) **Repair or Replace:** Wood deterioration was observed on the underside of the roof sheathing along the edge of the roof. Deterioration is possible due to the current condition of the roofing materials. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



3.5 Item 6(Picture) Structural Components



3.5 Item 7(Picture) Structural Components

(3) **Monitor:** Water staining was observed on the underside of the roof sheathing and structure in various locations. The source of the leak(s) should be identified and repairs performed as necessary.



3.5 Item 8(Picture) Structural Components



(4) **Monitor:** Signs of insect activity (possible wood destroying) was observed at the attic space of the home in many locations.



3.5 Item 9(Picture)

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Structural components concealed behind finished surfaces could not be inspected.

Only a representative sampling of visible structural components was inspected in the attic garage. Evaluation of permits, identifying the extent of modifications and code compliance are beyond the scope of this inspection.

## 4. Heating / Central Air Conditioning

**The inspector shall inspect:** The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls. The fireplace, and open and close the damper door if readily accessible and operable. Hearth extensions and other permanently installed components. And report as in need of repair deficiencies in the lintel, hearth and material surrounding the fireplace, including clearance from combustible materials.

**The inspector is not required to:** Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage. Inspect the flue or vent system. Inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels. Determine the need for a chimney sweep. Operate gas fireplace inserts. Light pilot flames. Determine the appropriateness of such installation. Inspect automatic fuel feed devices. Inspect combustion and/or make-up air devices. Inspect heat distribution assists whether gravity controlled or fan assisted. Ignite or extinguish fires. Determine draft characteristics. Move fireplace inserts, stoves, or firebox contents. Determine adequacy of draft, perform a smoke test or dismantle or remove any component. Perform an NFPA inspection. Perform a Phase 1 fireplace and chimney inspection.

### Styles & Materials

**Heat Type:**

Forced Air

**Heater Location:**

Garage

**Energy Source:**

Natural Gas

**Number of Heat Systems (excluding wood):**

One

**Heater System Brand:**

PAYNE

**Heater System Age:**

16 Years Old

**Ductwork:**

Possible Asbestos Ducting

**Filter Type:**

Disposable

**BTU's:**

66,000

**Fireplace(s):**

One

**Type of Fireplace(s):**

Masonry

### Items

#### 4.0 Heating Equipment

**Comments:** Monitor

**Monitor:** The thermostat for the forced air heater is inoperative. Unable to test and operate the forced air heater during the inspection. Because of this, we recommend further evaluation/safety check be performed by the local gas company before the end of your contingency period.



4.0 Item 1(Picture) Heating/Central Air



**4.1 Heater Gas Supply**

Comments: Improve

**4.2 Operating Controls/Thermostat**

Comments: Improve

**Repair or Replace:** The thermostat for the forced air heater is inoperative. Unable to test and operate the forced air heater during the inspection.



4.2 Item 1(Picture) Heating/Central Air

**4.3 Flues and Vents (for gas heating systems)**

Comments: Repair or Replace

(1) **Repair or Replace:** The forced air heater metal exhaust vent is rusted. Suggest replacement of the venting system by a qualified HVAC contractor.



4.3 Item 1(Picture) Heating/Central Air

(2) **Safety Issue:** The forced air heater vent passes through a ceiling or wall without the use of an approved thimble or spacer. This could be a fire hazard. We suggest a qualified technician should install an approved, listed thimble or spacer.



4.3 Item 2(Picture) Heating/Central Air

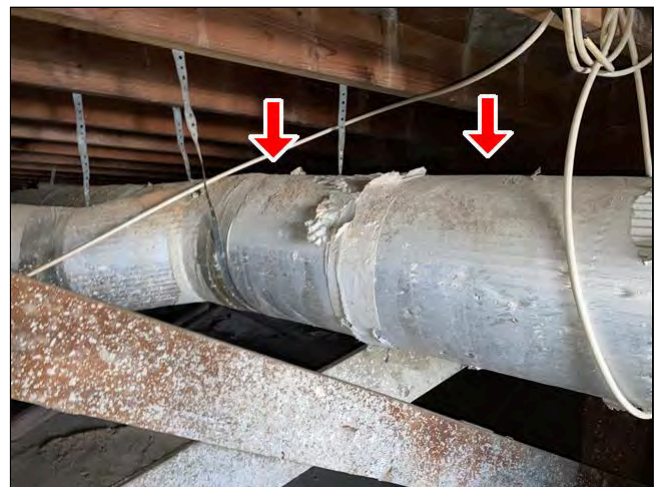
#### 4.5 Air Return & Distribution Systems

Comments: Safety Issue

**Safety Issue:** The ducting for the forced air heater appears to be asbestos. The identification of Asbestos is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the ducting and make further recommendations. Testing and remediation of Asbestos can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, Asbestos can be released into the interior of the building and may create a health hazard. The ducting material shows signs of deterioration in many locations. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" (damaged, crumbling, or in any state that allows the release of fibers). Suggest further review, testing and removal by a qualified professional.

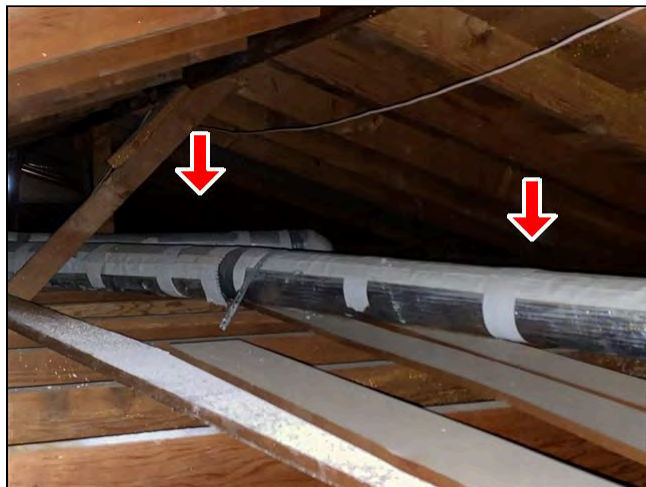


4.5 Item 1(Picture) Heating/Central Air



4.5 Item 2(Picture) Heating/Central Air





4.5 Item 3(Picture) Heating/Central Air



4.5 Item 4(Picture) Heating/Central Air

#### 4.13 Fireplace(s)

Comments: Monitor

**Monitor:** The NFPA (National Fire Protection Association) 211 standards state that upon a sale or transfer of property a Level II inspection should be conducted on a fireplace and chimney. Please note that a change in burning habits can result in a fire loss or personal injury if the system does not meet or exceed the industry standards and/or manufacturers requirements. This means that a change in operation or use, such as a property resale, is a time of higher risk. We suggest a Level II inspection by a qualified F.I.R.E. and CSIA Certified Fireplace Inspector.



4.13 Item 1(Picture) Fireplace



4.13 Item 2(Picture) Fireplace

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 5. Plumbing System

**The inspector shall:** Verify the presence of and identify the location of the main water shutoff valve. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Flush toilets. Run water in sinks, tubs, and showers. Inspect the interior water supply including all fixtures and faucets. Inspect the drain, waste and vent systems, including all fixtures. Describe any visible fuel storage systems. Inspect the drainage sump pumps testing sumps with accessible floats. Inspect and describe the water supply, drain, waste and main fuel shut-off valves, as well as the location of the water main and main fuel shut-off valves. Inspect and determine if the water supply is public or private. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously. Inspect and report as in need of repair deficiencies in installation and identification of hot and cold faucets. Inspect and report as in need of repair mechanical drain-stops that are missing or do not operate if installed in sinks, lavatories and tubs. Inspect and report as in need of repair commodes that have cracks in the ceramic material, are improperly mounted on the floor, leak, or have tank components which do not operate.

**The inspector is not required to:** Light or ignite pilot flames. Determine the size, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or the reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines or their connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains. Evaluate gas, liquid propane or oil storage tanks. Inspect any private sewage waste disposal system or component of. Inspect water treatment systems or water filters. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves. Examine ancillary systems or components, such as, but not limited to, those relating to solar water heating, hot water circulation.

### Styles & Materials

**Water Source:**

Public

**Water Filters:**

(We do not inspect filtration systems)

**Plumbing Water Supply (Main Line):**

Copper

**Plumbing Water Distribution:**

Galvanized  
Copper

**Plumbing Waste:**

Cast Iron  
ABS

**Water Heater Power Source:**

Gas

**Water Heater Capacity:**

50 Gallon (2-3 people)

**Water Heater Location:**

South Exterior Wall

**Water Heater Manufacturer:**

GE

**Water Heater Suspected Age:**

20 Years Old

### Items

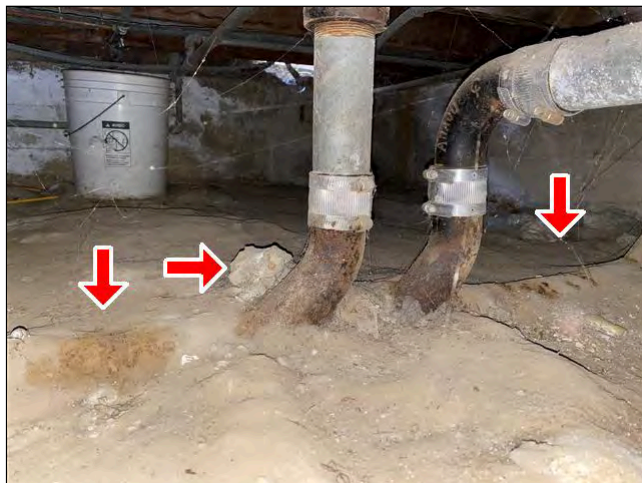
#### 5.0 Plumbing Drain, Waste and Vent Systems

Comments: Repair or Replace, Monitor

(1) **Repair or Replace:** The cast iron drain pipes at the rear area of the crawl space are corroded and leaking. The drain pipes are in need of replacement. Suggest further review and replacement by a qualified plumber.



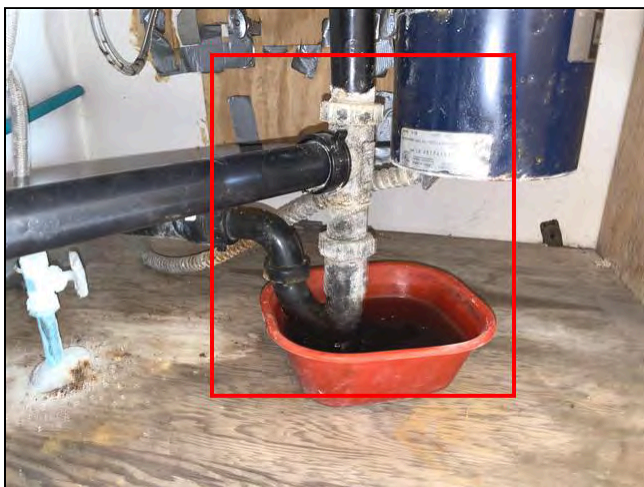
5.0 Item 1(Picture) Plumbing System



5.0 Item 2(Picture) Plumbing System



(2) **Repair or Replace:** The kitchen sink drain pipe is leaking. Suggest repair by a qualified professional.



5.0 Item 3(Picture) Plumbing System

(3) **Monitor:** We cannot determine the condition of underground drain and waste piping during our inspection. Drain lines can experience blockages due to construction debris, lack of proper slope in the lines, or improper fittings. -- We recommend that the building sewer be evaluated by camera by a qualified plumber to determine if any repairs or modifications are needed.

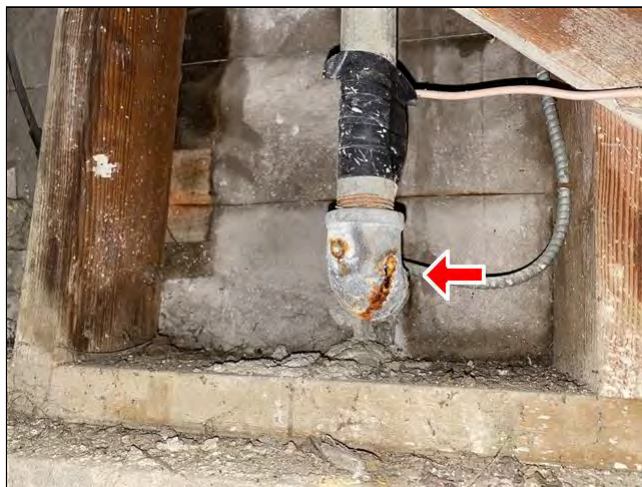
### 5.1 Plumbing Water Supply, Distribution System and Fixtures

Comments: Major Concern, Improve

(1) **Major Concern:** Galvanized steel pipes are used in the interior water supply, and generally have a finite life span. The quality of the plating, installation methods, water temperature, water quality and water usage all factor into the actual serviceable life. Scale builds up inside the pipe which eventually restricts the flow of water to the fixtures. Corrosion eats away at the inside of the pipes, eventually causing leaks. Thirty to forty years is the average life of galvanized pipes. The exterior surfaces of the galvanized steel pipes are corroded/rusted in many locations. There is visible debris, and possible metal flakes, when water is run to the sinks in the home. The makeup of this debris is unknown. The galvanized steel pipes are in need of replacement. Suggest further review by a qualified plumber to provide replacement options and cost.



5.1 Item 1(Picture) Plumbing System

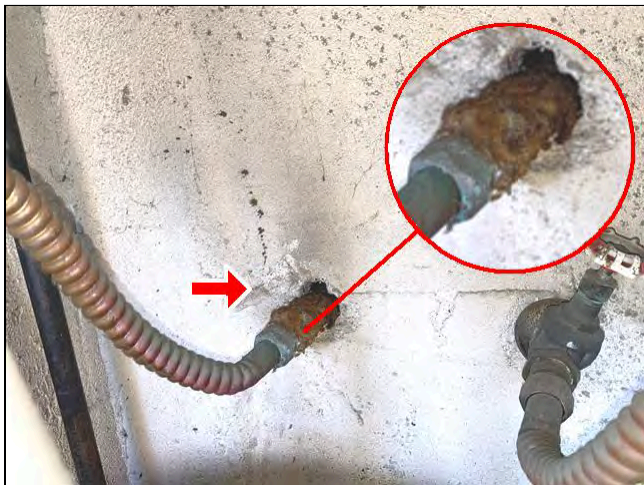


5.1 Item 2(Picture) Plumbing System



5.1 Item 3(Picture) Plumbing System

(2) **Repair or Replace:** The water supply pipe at the rear wall the water heater is corroded. Although the valve is not leaking it is suggested that it be replaced by a qualified professional.



5.1 Item 4(Picture) Plumbing System



(3) **Repair or Replace:** The water supply pipe at the kitchen sink cabinet floor is corroded. It is suggested that it be replaced by a qualified professional.



5.1 Item 5(Picture) Plumbing System

(4) **Improve:** All exterior hose bibs should provided vacuum breakers to prevent hose water from being drawn back into the home's water supply system.



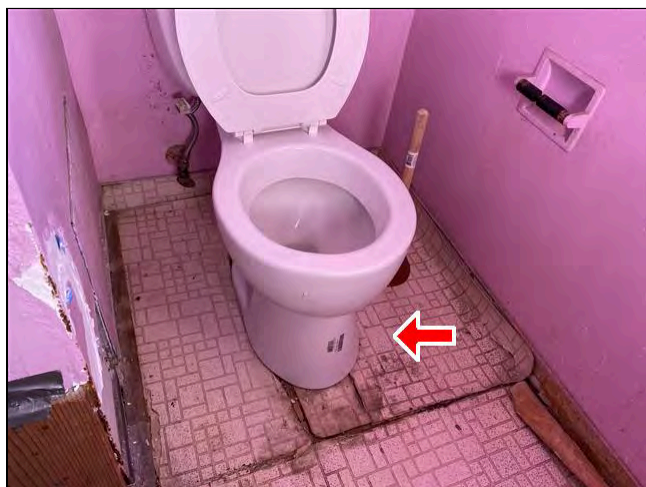
5.1 Item 6(Picture) Plumbing System

(5) **Improve:** It is suggested that the older main water shut off valve at the front exterior wall of the home replaced with a quarter turn ball valve type by a licensed plumber.



5.1 Item 7(Picture) Plumbing System

(6) **Repair or Replace:** The second floor bathroom toilet is not securely attached at the floor. This could allow leaks at or into the floor. We suggest if no leaks are evident, the bolts can often simply be tightened with a wrench. We strongly recommend that these toilets be removed and reset by a qualified plumber. At the time the toilet is removed, and before it is reset, the floor in the vicinity of the toilet should be carefully inspected for damage, rot or other deterioration caused by water seeping past the seal at the base of the toilet.



5.1 Item 8(Picture) Plumbing System

## 5.2 Hot Water Systems, Controls, Flues and Vents

Comments: Safety Issue



(1) **Safety Issue:** The Temperature and Pressure Relief valve at the water heater needs a 3/4 pipe to extend within 6 to 24 inches of floor for safety, the current building standards require that the discharge pipe be routed to the exterior of the home and terminate in a safe location. (PVC is not approved for hot water use). Recommend repair by a qualified person.



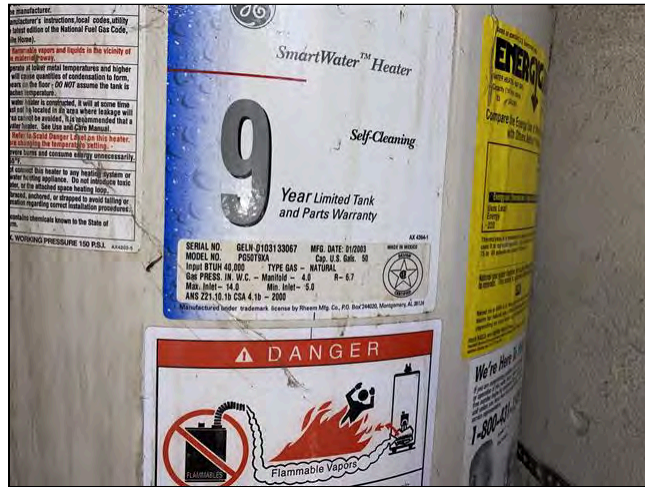
5.2 Item 1(Picture) Plumbing System

(2) **Safety Issue:** The water heater lacks seismic straps. The water heater is in need of seismic straps to prevent movement during earthquakes. Suggest further review and repairs by a licensed plumber.



5.2 Item 2(Picture) Plumbing System

(3) **Repair/Replace:** The water heater is an older unit. The water heater is at the end of its service life. Typical life expectancy of water heaters is 7 to 12 years. The existing unit is 20 years old. Suggest replacement of the water heater by a licensed and qualified plumber.



5.2 Item 3(Picture)

#### 5.4 Gas Supply & Gas Piping

Comments: Improve

**Improve:** The gas supply pipe at the water heater lacks a sediment trap. It is suggested that one be installed by a licensed plumber.



5.4 Item 1(Picture) Plumbing System

#### 5.5 Main Fuel Shut-off

Comments: Inspected, Improve



(1) **Inspected:** The main gas meter is located at the West wall of the home.



5.5 Item 1(Picture) Plumbing System

(2) **Improve:** The main gas meter lacks a seismic shut off valve. It is suggested that one be installed by a licensed plumber as needed and required.

## 5.6 Main Water Shut-off Device

**Comments:** Inspected

**Inspected:** The main water shut off valve is located at the West wall of the home.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, and beneath the yard were not inspected.

Water quality is not tested. The effect of lead content in solder and or supply lines is beyond the scope of the inspection.

An inspection of the water main shut off valve, pressure regulator (@ water main), yard sprinklers, and angle stops beneath plumbing fixtures are outside the scope of this inspection. We recommend that these be observed and tested on a regular basis.

The washing machine faucets were not tested for leaks given hoses are connected to machine. Faucets were not operated without means to catch water. Recommend further review before connecting hoses to washing machine.

The plumbing drain system of this house is not visible and was not inspected. If further concerned we recommend that the drains be reviewed with a video camera by a qualified licensed plumbing service.

## 6. Electrical System

**The inspector shall inspect:** The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances.

**The inspector is not required to:** Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting.

### Styles & Materials

<b>Electrical Service Conductors:</b> Below Ground 120/240 Volt	<b>Panel Type:</b> Circuit Breakers	<b>Panel Capacity:</b> 40 Amps
<b>Main Disconnect/Panel:</b> Located: West Exterior Wall	<b>Electric Panel Manufacturers:</b> GENERAL ELECTRIC	<b>Branch wire 15 and 20 AMP:</b> Copper
<b>Wiring Methods:</b> Romex Conduit	<b>Grounding:</b> Cold Water Pipe Copper Wire	<b>Outlets:</b> Grounded & Ungrounded
<b>Ground Fault Circuit Interrupter:</b> None Found	<b>Arc Fault Circuit Interrupter:</b> None Found	

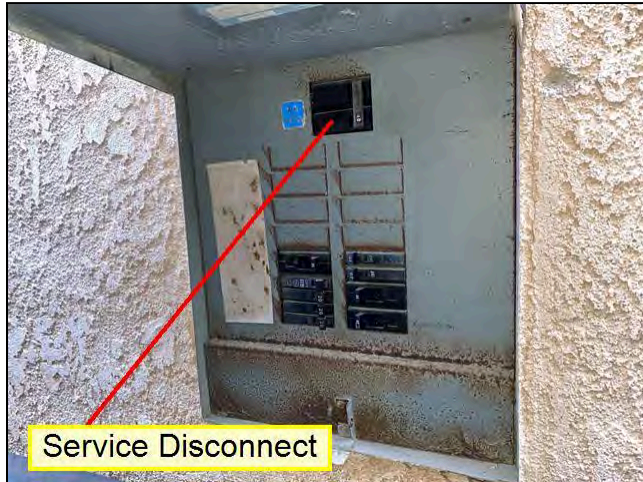
### Items

#### 6.0 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

Comments: Improve, Monitor



(1) **Improve/Monitor:** The size of the electrical service supplied to the home (40-Amps) may not be sufficient depending on the lifestyle of the occupants. Most older homes were constructed with a generic 100-amp electrical panel that could provide all of the home's electricity, but as times have changed, so have homes and their electrical needs. Today, a 40-amp electrical panel will struggle or fail to get the job done and you will have to upgrade to a larger service/panel. Calculate your homes wattage needs to determine exactly what size your home requires. Look out for a few common and obvious signs such as your lights flickering, appliances that aren't performing to their full potential, using multiple appliances in your home will trip the breakers, or the panel has begun to simply malfunction. Having an old or undersized electrical panel in your home can not only cause quite the inconvenience but it can also become dangerous. It's important to know the signs to look out for when your panel has become insufficient for your home's wattage needs. A qualified electrician can inspect the system and provide you with replacement options and costs within the inspection contingency period.



6.0 Item 1(Picture) Electrical System

(2) **Improve:** It is suggested that the circuit breakers at the main electrical panel be labeled as to function by a qualified professional.

### 6.1 Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage

Comments: Inspected

### 6.2 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside and outside of the home) Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures.

Comments: Safety Issue, Repair or Replace

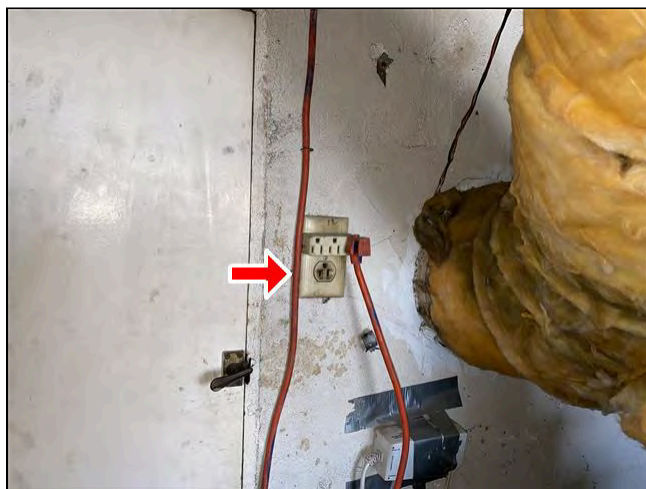
(1) **Safety Issue:** The installation of ground fault circuit interrupter (GFCI) devices is advisable at all kitchen outlets within 3 to 6- feet of the sink. GFCI's are strongly recommended at the disposal unit & dishwasher. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution; suggest repairs by a licensed electrical contractor



6.2 Item 1(Picture) Electrical System

(2) **Repair or Replace:** It is suggested that the electrical outlets throughout the subject property be replaced by a qualified electrician.

(3) **Safety Issue:** The installation of ground fault circuit interrupter (GFCI) devices is advisable at all exterior and garage outlets. GFCI's are strongly recommended. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution; suggest repairs by a licensed electrical contractor.



6.2 Item 2(Picture) Electrical System

### 6.3 Electrical Bonding

**Comments:** Safety Issue

**Safety Issue:** Bonding is not visible. Bonding on gas piping was not observed. It was possibly concealed behind a wall or covered by something (insulation under the house, etc). The points of attachment of the bonding jumpers should be accessible. Professional Inspection Network recommends evaluation and correction as needed by a qualified professional. Generally speaking, the difference between grounding and



bonding is: Bonding is connecting the electrical system ground to the houses other systems metal components (water, gas, metal ducting, etc.). Bonding occurs when metal that could carry electricity (but is not supposed to) is intentionally connected together to provide a permanent low resistance path that is capable of conducting all electricity accidentally carried by the metal back to its source (earth/ground). Grounding is a direct connection to the earth to aid in removing damaging transient over-voltages due to lightning. The purpose of bonding is to ensure the electrical continuity of the fault current path, to provide the capacity and ability to conduct safely, any fault current likely to be imposed, and to aid in the operation of the over-current protection device (breaker, GFCI, fuse, etc). Properly bonding all metal parts within an electrical system and metal piping in the building (water and gas pipes) helps ensure a low-impedance fault current path, instead of your body.

## 6.6 AFCI (ARC Fault Circuit Interrupters)

Comments: Improve

**Improve:** It should be noted that the building's electrical system was not equipped with branch circuit Arc-Fault-Interrupter protection device(s) controlling all electrical outlets in the family room, dining room, living room, parlors, libraries, dens, bedrooms sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. It is recommended that consideration be given to having this important electrical protection installed by a qualified electrician.

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The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Electrical components concealed behind finished surfaces could not be inspected.

Only a representative sampling of outlets and light fixtures were tested.

## 7. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

### Styles & Materials

**Attic Insulation:**

None

**Ventilation:**

Gable vents

**Dryer Power Source:**

Gas Connection

**Floor System Insulation:**

None

### Items

#### 7.0 Insulation in Attic

**Comments:** Improve

**Improve:** The attic space of the home lacks insulation.



7.0 Item 1(Picture) Insulation & Ventilation

#### 7.3 Ventilation of Attic & Crawl Space Areas

**Comments:** Inspected

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests are performed.

Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.

An analysis of indoor air quality is beyond the scope of this inspection.

Any estimates of insulation R-values or depths are rough average values.

No access was gained to the roof cavity of the sloped ceilings.

Insulation within the roof or ceiling cavities obstructs viewing of structural members, light fixtures and electrical connections.



## 8. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

**The inspector shall:** Open and close a representative number of doors and windows. Inspect the walls, ceilings, steps, stairways, and railings. Inspect garage doors and garage door openers by operating first by remote (if available) and then by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. And report as in need of repair any windows that are obviously fogged or display other evidence of broken seals.

**The inspector is not required to:** Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine any sauna, steam-jenny, kiln, toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small, ancillary devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors

### Styles & Materials

**Ceiling Materials:**

Gypsum Board

**Wall Material:**

Gypsum Board

**Floor Covering(s):**

Vinyl

Plaster

Plaster

Wood

**Interior Doors:**

Wood

**Window Types:**

Single pane

Sliders

Metal

**Cabinetry:**

Wood

**Countertop:**

Tile

*Items*

**8.1 Walls and Ceilings**

Comments: Major Concern, Repair or Replace, Monitor

(1) **Major Concern:** Evidence of water damage was observed at the laundry room ceiling. A bathroom is located above this area. This damage would suggest that an active leak(s) is present in this location. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest further investigations and repairs by a qualified contractor.



8.1 Item 1(Picture) Interiors



(2) **Major Concern:** Water damage was observed at the interior walls in the second floor bathroom. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest further investigations and repairs by a qualified contractor.



8.1 Item 2(Picture) Interiors

(3) **Repair/Replace/Monitor:** Evidence of settlement was observed on the interior wall/ceiling finishes. The interior wall and ceiling finishes are cracked in various locations within the home. This appears to be common settlement and/or movement with older homes. It is suggested that these areas be repaired and patched by a qualified professional and monitored for additional movement to determine if additional repairs to the home will be required.



8.1 Item 3(Picture) Interiors

(4) **Repair or Replace:** Water damage was observed at the second floor front bedroom East interior wall and ceiling. The source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial

organisms is outside the scope of this inspection.



8.1 Item 4(Picture) Interiors

### 8.2 Floors

Comments: Repair or Replace

(1) **Repair or Replace:** Wood deterioration was observed at the living room floor boards in various locations. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



8.2 Item 1(Picture) Interiors



8.2 Item 2(Picture) Interiors



(2) **Repair or Replace:** The kitchen vinyl floor is in need of replacement



8.2 Item 3(Picture) Interiors

(3) **Repair or Replace:** The kitchen vinyl floor is in need of replacement

### 8.3 Windows (representative number)

Comments: Inspected

### 8.4 Doors (representative number)

Comments: Repair or Replace

**Repair or Replace:** The laundry room rear wall door is in need of replacement.



8.4 Item 1(Picture) Interiors

### 8.5 Steps, Stairways, Balconies and Railings

Comments: Safety Issue

**Safety Issue:** The spacing between the stairway railing are large enough to allow a small animal or child to fall through. Although acceptable at the time of original construction, the spacing between the railing does not comply with today's building standards.

### 8.9 Bathroom(s)

Comments: Safety Issue

(1) **Safety Issue:** There is surface growth and fungal like growth observed at the first floor bathroom in many locations. This may indicate the presence of mold, fungus or other microbial organisms. Areas of past and present moisture are favorable for growing many fungal like organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.

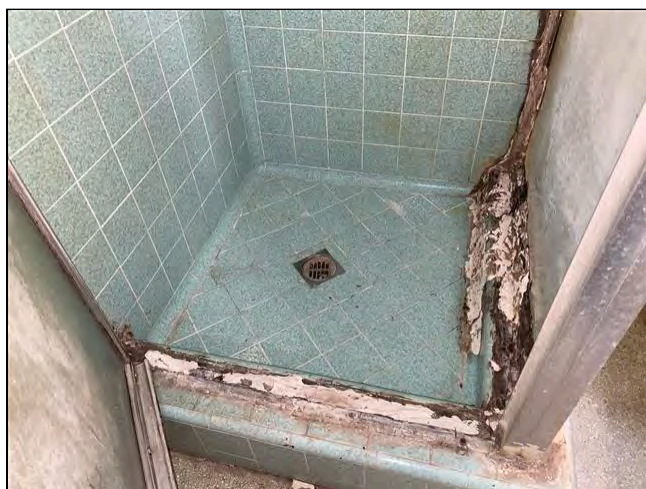


8.9 Item 1(Picture) Interiors



8.9 Item 2(Picture) Interiors

(2) **Monitor:** The testing of shower pan systems are beyond the scope of this inspection. A shower pan is a waterproof barrier that is made of various materials. Typically, they are placed under the tiles of a shower or tub so that they can catch the water and direct it to the drain. It is suggested that all shower pan systems throughout the home be further investigated by a qualified plumber to verify the presence of any leaks that will require repair within the inspection contingency period.



8.9 Item 3(Picture) Interiors

### 8.11 Smoke Detectors & Carbon Monoxide Detectors

Comments: Safety Issue, Monitor



(1) **Safety Issue:** It is suggested that smoke detectors and carbon monoxide detectors be installed in the appropriate locations prior to close of escrow.

(2) **Smoke Detectors:** Commentary

1. Test smoke alarms monthly, and replace their batteries at least twice per year. Change the batteries when you change your clocks for Daylight Saving Time. Most models emit a chirping noise when the batteries are low to alert the homeowner that they need replacement.
2. Smoke alarms should be replaced when ownership is assumed, when they fail to respond to testing, every 10 years. The radioactive element in ionization smoke alarms will decay beyond usability within 10 years. Ten year old detectors are less than 50% effective.
3. Smoke detectors should be replaced if they become damaged or wet, are accidentally painted over, are exposed to fire or grease, or are triggered without apparent cause.
4. Never disable a smoke alarm. Use the alarms silencing feature to stop nuisance or false alarms triggered by cooking smoke or replaces.
5. Parents should stage periodic night-time re drills to assess whether their children will awaken from the alarm and respond appropriately.
6. Smoke alarms should be installed in the following locations: on the ceiling or wall outside of each separate sleeping area in the vicinity of bedrooms; in each bedroom, as most res occur during sleeping hours; in the basement, preferably on the ceiling near the basement stairs; in the garage, due to all the combustible materials commonly stored there; on the ceiling or on the wall with the top of the detector no less than 12 inches from the intersection on each level within a building, including basements and cellars, but not crawlspaces or uninhabited attics.
7. A qualified professional should be used to install smoke detectors that are hard wired to the house electrical system.

(3) **Carbon Monoxide Detectors:** California Requirements

California law requires that as of July 1, 2011, all existing single-family dwellings have no less than one carbon monoxide detector per level installed inside the home.

## 8.12 Environmental Issues

Comments: Monitor

(1) **Monitor:** Based on the age of this building, there is a possibility that remaining older materials apart of the structure, systems and components may contain some asbestos. This can only be verified by laboratory analysis which is beyond the scope of this inspection. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" (damaged, crumbling, or in any state that allows the release of fibers). If any sections of the above listed areas are indeed friable, or become friable over time, a specialist should be engaged. Due to the age of construction, there may be other materials that contain asbestos but are not identified by this inspection report.

(2) **Monitor:** There is the potential for lead content in the drinking water. Lead in water may have two sources; the piping system of the utility delivering water and/or the solder used on copper pipes prior to 1988. This can only be confirmed by laboratory analysis. An evaluation of lead in water is beyond the scope of this inspection.

(3) **Monitor:** Lead based paint was in use until approximately 1978. According to the Federal Department of Housing and Urban Development, a lead hazard can be present in a building of this age. This can only be confirmed by laboratory analysis. An evaluation of lead in paint is beyond the scope of this inspection.

(4) **Monitor:** The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.

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The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Smoke detectors were inspected for location only. For future reference, testing with only button verifies battery and alarm function, not capacity to detect smoke. We advise testing all smoke detectors as per manufacturer before occupying the building and regularly there after.

Carbon monoxide detectors were inspected for location only. For future reference, testing button verifies battery and alarm function, not device's capacity to detect carbon monoxide. We advise testing all carbon monoxide detectors as per manufacturers directions before occupying the building and regularly there after.

The interior surface appears to have been painted recently. Unable to determine if further water stains or other evidence of leakage has been covered over. Refer to written explanation of sellers regarding any other previous leakage occurrences.

Please also understand that the pictures used within report are intended to help identify defective conditions. The photos do not represent all areas where such defects are present on property. Recommend that servicing contractors/individuals make a thorough review of property conditions and provide written costs to cure for all repair needed. Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.



## 9. Garage

Our inspection of the garage includes a visual examination of the readily accessible portions of the walls, ceilings, floors, vehicle and personnel doors, steps and stairways, fire resistive barriers, garage door openers and hardware if applicable. Garage door openers are operated with the mounted control button only. Please note that a representative sample of accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of stored personal property. In such cases, some items may not be inspected.

### Styles & Materials

#### Garage Door Type:

One Automatic  
Roll-Up

#### Garage Door Material:

Metal

#### Auto-opener Manufacturer:

GUARDIAN

### Items

#### 9.1 Garage Door(s)

Comments: Inspected

#### 9.2 Garage Door Operator(s)

Comments: Monitor

**Monitor:** The garage door and opener were functional and opened and closed the door. The light beams responded when tested and caused the door(s) to stop and auto reverse. Testing of the downward force (pressure test) was not performed as this can damage the door and is outside the scope of this inspection. Proper operation of the reversing mechanism should be verified prior to the close of the inspection contingency period. Information on garage door openers is available from the Consumer Product Safety Commission at [www.cpsc.gov](http://www.cpsc.gov).



9.2 Item 1(Picture) Garage

#### 9.4 Garage Ceilings/Walls

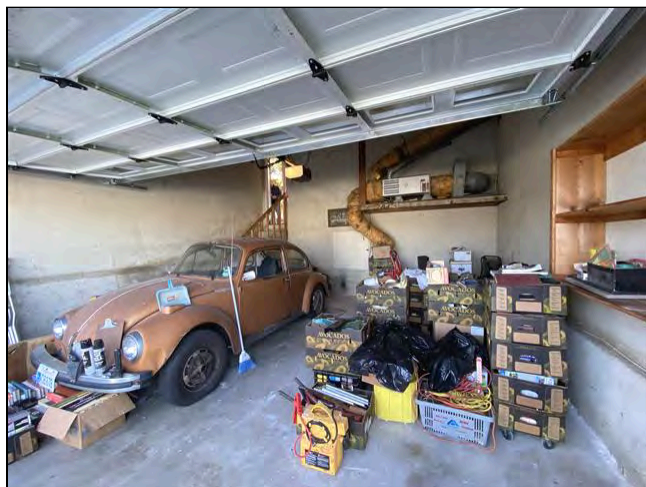
Comments: Monitor

(1) **Safety Issue:** There is surface growth at the garage ceiling. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



9.4 Item 1(Picture) Garage

(2) **Monitor:** The occupants belongings at the garage prevents full view.



9.4 Item 2(Picture) Garage

## 9.5 Garage Floor

Comments: Monitor

**Monitor:** The occupants belongings at the garage prevents full view.



## 10. Built-In Kitchen Appliances

The kitchen appliances were all tested by activating one of the user control functions. We did not test every function or cycle on each appliance and cannot confirm that every function or cycle is operable. Testing all cycles or functions on appliances is outside the scope of a home inspection, but is recommended prior to the close of escrow. FURTHER RECOMMENDATION: Obtain a Home Warranty Protection Policy to insure against the failure of any appliance that may occur after taking possession of the home.

### Items

#### 10.9 Appliances

Comments: Repair or Replace

**Repair/Replace/Monitor:** The kitchen appliances are at the end of there service life.



10.9 Item 1(Picture) Appliances



10.9 Item 2(Picture) Appliances



10.9 Item 3(Picture) Appliances



10.9 Item 4(Picture) Appliances



### 10.9 Item 5(Picture) Appliances

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Self-cleaning oven noted, not tested. Determining whether the self-cleaning cycle of oven, timers, or correct temperature calibration of oven controls to oven temperature are operational is beyond the scope of this inspection. Refer to seller and owners manual for further review.

Product recalls and consumer product safety alerts are added almost daily. If the client is concerned about appliances or other items installed in the home that may be on such lists, the client may wish to visit the U.S. Consumer Protection Safety Commission (CPSC) web site <http://www.cpsc.gov> or [www.recalls.gov](http://www.recalls.gov) for further information. A basic home inspection does not include the identification or research for appliances and other items installed in the home that may be on the CPSC lists.