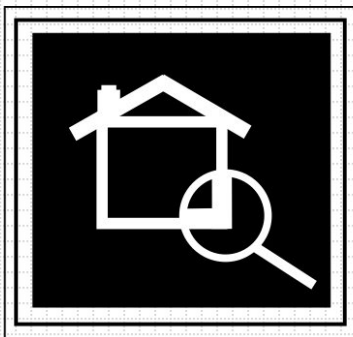
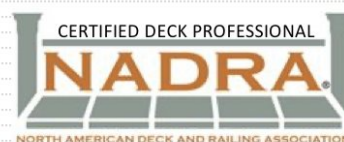


Professional

Inspection Services

Inspection Report



**CERTIFIED FIREPLACE AND
CHIMNEY INSPECTOR**

**BUILDING AND INSPECTING
SWIMMING POOL
FOR OVER 30 YEARS**

Address: 1229 Mill St San Luis Obispo, CA 93401

07/29/2025

Inspector: Keith Vreeken, MCI, FCI
P.O. Box 415 Templeton, CA 93465 O: 805.462.1978 C: 805.440.5050

MASTER INSPECTOR / State Board Member, CALIFORNIA REAL ESTATE INSPECTION ASSOCIATION

Please take the time to review the entire report carefully and completely. If there is anything you would like us to explain, or if there are any questions you have, please feel free to call us. We would be happy to answer any questions you may have.

IMPORTANT: All repairs should be completed or supervised by a licensed contractors. Example;
All plumbing repairs should be done by a licensed plumbing contractor.
All electrical repairs should be done by a licensed electrical contractor.
All heating and/or cooling system repairs should be done by a licensed HVAC contractor.
All roof repairs should be done by a licensed roofing contractor, etc.

This inspection is performed for the client of a property to provide a general, overall report of the conditions as they existed at the time of the inspection. This report focuses on the 6 major systems, which include: **Structural Integrity, Roof, Electrical Systems, Plumbing System, Heating and Cooling Systems and the Fireplaces and Chimneys**. Cosmetic conditions are outside the scope of this inspection and may not be included or reported on as part of a home inspection.

Notice: It is important that the Client follow all recommendations as stated in this report to help prevent damage, deterioration and to help ensure a safe and healthy building. The inspector can not be held liable if all recommendations are not followed completely.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

E&C = Evaluation and Corrections Needed: This issue is a potentially serious concern and should be addressed. Recommend further review and repair by a qualified and licensed professional.

SC = Safety Concern: Dangerous conditions exist that should be corrected immediately for safety. Recommend further review and repairs by a qualified and licensed professional.

FI = Further Investigation is Needed: Client should have an appropriate licensed specialist investigate further until satisfied as to the cause, current conditions, potential future issues and correct as needed.

MR = Maintenance Recommended or Needed: Contact a qualified professional to service this system or component to help prevent future issues and ensure proper working order.

SU = Safety Upgrades: Safety upgrades are recommended, but may not necessarily be required. Contact a qualified professional for additional information.

UPG = Upgrade: Upgrades are recommended or needed by a qualified professional to help improve and maintain the overall performance and/or integrity of the system or component.

DS = Disclosure: This item should be monitored, as future attention, repair or upgrades might be needed. Contact a specialist for additional information and recommendations.

Be advised that, if the building was furnished at the time of the inspection, many areas were not visible or accessible. Therefore, the conditions in these areas could not be determined fully and warrant additional review once the building is vacant. Be aware that some defects, such as water intrusion or leaks that do not visibly show themselves at the time of this inspection, cannot be detected and may only arise after a building has been occupied for a time. A full re-inspection by us is warranted once the building is vacant.

Comments made within this report that are outside the scope of a standard inspection or the CREIA standards are informational only and at the discretion of the inspector. These comments do not in anyway constitute a full or complete inspection or evaluation of that specific system or component.

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General Information

NOTICE: This report contains technical information. If you were not present during the inspection, please contact this office to arrange for a phone consultation with your inspector. If you choose not to consult the inspector, this inspection company and inspector cannot be held liable for your misinterpretation or misunderstanding of this report's contents.

It is the responsibility of the client to check with local building departments for permit information during all real estate transactions.

NOTE: All warranties and liability protection for the client from this inspection applies only to the parties written on the signed contract and is not transferable to any third party without a new signed contract. If you acquired this inspection and are not the contracted party you are required to contact Professional Inspection Services to request for a reduced fee a new contract or forfeit any future liability claims.

IMPORTANT NOTIFICATION (Clients responsibility): Be aware that any defect comment within this report may only identify a portion of a overall condition. Example: A crack or movement in the foundation noted on the South side of the home, or a defective outlet found in the dining area. It is the responsibility of the client to have the appropriate licensed professional to review the entire system, and not only the specific noted defect. Such as per our example, the engineer or contractor shall review the entire foundation systems not only the specific area noted in the report to ensure that additional movement or settling is not occurring in other areas which are not directly identified in the report. Also per the example, the electrical contractor shall review all electrical outlets not just the defective outlet noted in the report to determine if additional defects in the electrical system needs repairing. Additional defects may be discovered during the additional review of the entire system by the appropriate licensed professional.

Hidden Defects: A latent, hidden or concealed defect is one which could not be readily discovered by reasonable, customary and non-invasive visual observation during the inspection. These defects might have been painted over, inside walls, buried under insulation, covered or blocked with furniture and other belongings, or tucked away in hard-to-reach spaces with limited access which require dismantling or the use of special equipment or tools or in areas that the home inspector dreamed unsafe to enter. Defects that are discovered which have been concealed, hidden, or covered up by home owners, etc., are outside the scope of this inspection. Considering home inspections are only visual and non-invasive in scope, the inspector is not required to use x-ray vision or ESP to find hidden or concealed defects and is not responsible or liable if discovered after the close of escrow during remodels, during different weather patterns which were not encountered during the inspection or when the occupant's belongings or flooring have been removed, even if they appear days, months or even years after the move in. If the home is occupied during the inspection, the client shall have the inspector revisit the property, for an additional fee, to inspect areas of the property which were not visible or accessible at the time of the original inspection due to occupant's belongings once the home is vacant and prior to the close of escrow. Failure to do so will void any inspector liability for discovered defects which fall within the standards in areas that were blocked during the original inspection by the occupant's belongings.

WEATHER CONDITIONS

1: Approx. Temperature: 75°F
2: Dry Today

FOR THE PURPOSES OF THIS INSPECTION, THE BUILDING FACES

3: West

INSPECTION DATE
Tuesday, July 29, 2025

START TIME
12:30 pm

FINISH TIME ON-SITE
4:30 pm

INSPECTOR
5: Keith Vreeken, MCI

PROPERTY TYPE

6: Single Family



7: Duplex - **UNIT 1227** and **UNIT 1225**



YEAR/ OCCUPANCY STATUS

8: Approx. Year Built: 1942

9: Occupied.

PRESENT DURING THE INSPECTION

10: Seller's Agent

11: Tenants

ADDITIONS

DS 12: Disclosure: Be aware that some upgrades or additions which may have required building permits were found or suspected. *Client should check with the local building departments for applicable permits.*

THE FOLLOWING ITEMS ARE OUTSIDE THE SCOPE OF THIS INSPECTION:

13: Notice: Building constructed prior to 1979 may contain asbestos and/or lead-based paint. Determining if drywall, flooring, attic insulation, acoustic ceilings or any other component in the house contains asbestos or if the exterior and interior paint contains lead is beyond the scope of this inspection. If concerned have tested.

Grounds

DRIVEWAY TYPE

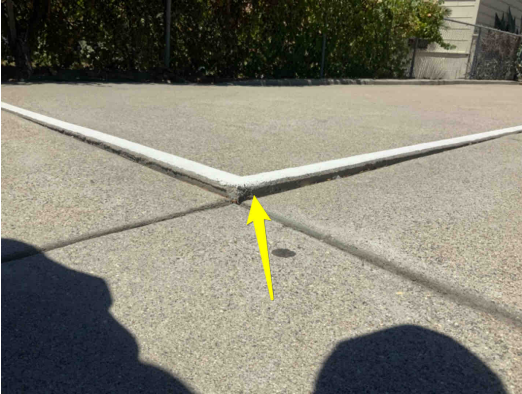
14: Concrete Driveway

DRIVEWAY COMMENTS

15: Driveway appears serviceable.

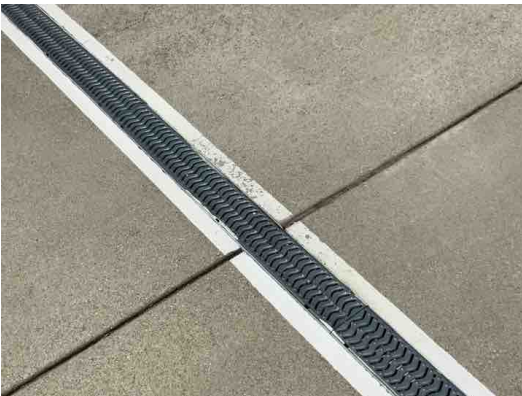
16: Typical & common cracks found in some areas.

SU 17: Areas of the driveway are uneven with potential trip hazards. Upgrades recommended.



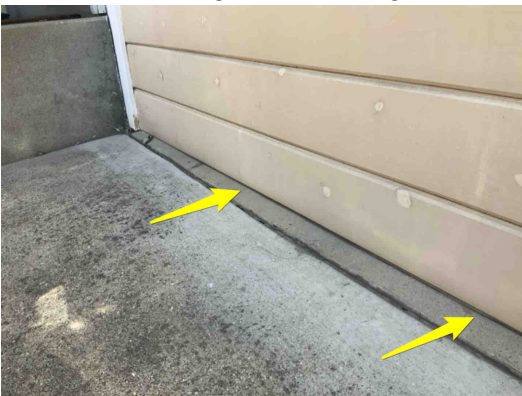
Example

MR DS 18: Surface drains and boxes noted in areas of the driveway. Drains are not tested, conditions of the underground piping and terminations are unknown. Recommend having drains cleaned and tested to determine proper flow and termination. Keep drains clean and free of debris regularly.



DS 19: Due to the slope of the FRONT HOUSE driveway at the garage connection, some water intrusion into the garage may occur during certain weather.

UPG DS 20: Disclosure: Due to the height of the DUPLEX driveway at the exterior wall at the garage conversion / living space at UNIT 1225 some water intrusion into the building may occur during certain weather. No visible watershed flashing at the building exterior and driveway connection. Upgrades recommended.



Example

SIDEWALK / WALKWAY TYPE

21: Concrete Walkways

SIDEWALK / WALKWAY COMMENTS

22: Walkways appear serviceable

23: Some typical and common cracks found at areas of the walkways.

SU 24: Areas of the walkways are uneven with potential trip hazards.



Example

PATIO TYPE

25: Concrete Patios

26: Rock Patios

PATIO COMMENTS

27: Patios appears serviceable.

28: Typical and common cracks found.

DS 29: Areas of some poor drainage and/or improper slope noted at areas of the rock patio(s) with evidence of minor ponding of water.

SU 30: Areas of the rock and paver patios are raised, settled and/or uneven with potential trip hazards.

DS 31: Areas of the UNIT 1227 front entry porch patio appears to be slightly pulling away from the building. Client should investigate further until satisfied as to the cause, condition and potential future issues.



Example

PATIO / PORCH COVERS

UPG 32: The wood support post at UNIT 1227 front entry porch cover found to have a loose connection at the patio. This appears to be from some settling of the concrete porch and the lack of an appropriate metal post base connection. Proper upgrades or repairs are needed to properly support the porch cover roof.



Example

Exterior

Any comments as to water intrusion are not intended to be technically exhaustive per CREIA standards. If some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist. This is a visual, non-destructive inspection.

Disclosure: Wall insulation type & value not determined. Conditions inside walls cannot be judged.

STRUCTURE TYPE

33: Wood Framed

EXTERIOR WALL COVERINGS

34: Painted Stucco

35: Wood Siding

36: Fiber Cement Siding

37: Asbestos shingle siding found at the DUPLEX

Note: Testing of asbestos type products is beyond the scope of a home inspection. Client may wish to contact an environmental professional for further evaluation and testing.

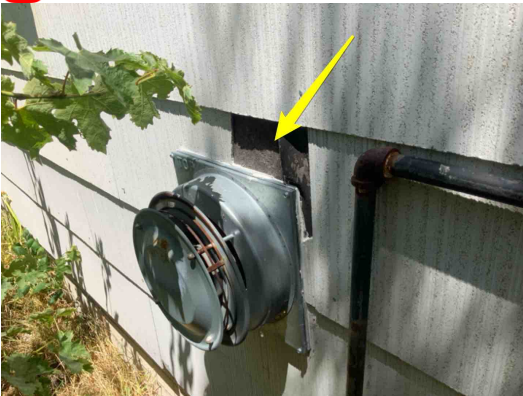


EXTERIOR WALL COMMENTS

MR SU 38: Exterior walls appear in good condition

DS 39: Disclosure: Wall insulation type & value, if installed is not determined. Conditions inside walls cannot be judged.

E&C 40: Some damaged or missing siding found at UNIT 1225 around the wall heater vent.



Expose tar paper

STUCCO

DS 41: Disclosure: Cracks at areas of the exterior stucco siding appear to be typical and common. Cracks should be monitored to determine if any additional cracks, movement or separations occur or if cracks get larger.

EXTERIOR GENERAL

MR 42: Deteriorated paint at areas of the exterior.

SEALING EXTERIOR

MR 43: Recommend sealing holes in exterior walls to prevent water intrusion around areas such as unused open holes in the exterior siding and trim, exterior light fixtures, around exterior electrical boxes, and where utility pipes and/or wires pass through the exterior walls. Have a qualified painter or licensed professional evaluate the entire exterior and seal where needed.



Example

EXTERIOR TRIM

44: TRIM TYPE: Wood

E&C 45: Some moisture and/or bug type damage & deterioration found at exterior areas such as eaves, fascia and/or trim. Refer to the termite report for locations and extent.

MR 46: Caulking is needed at all exterior trim areas such as doors, windows, fascia, etc.

MR 47: Deteriorated paint or finish at areas of the exterior.

Decks

LOCATION & TYPE

48: DECK LOCATION: **UNIT 1227 FRONT ENTRY DECK**

DECK TYPE: Wood Framed - Wood Planks



WOOD DECK COMMENTS

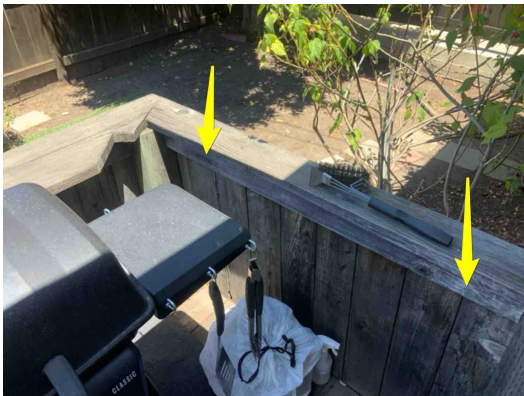
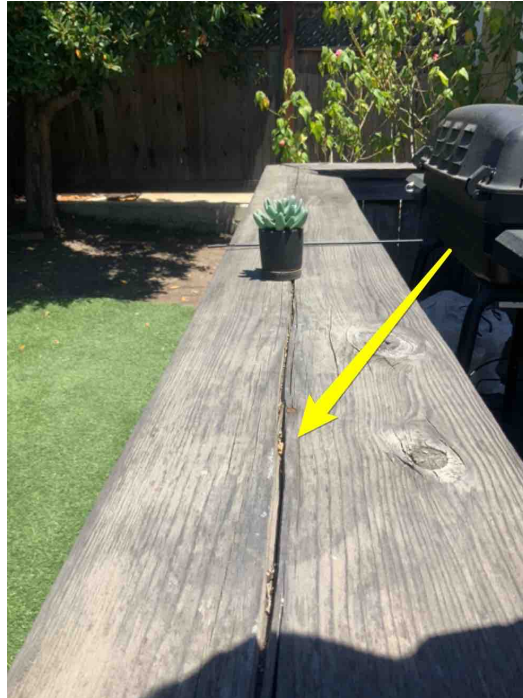
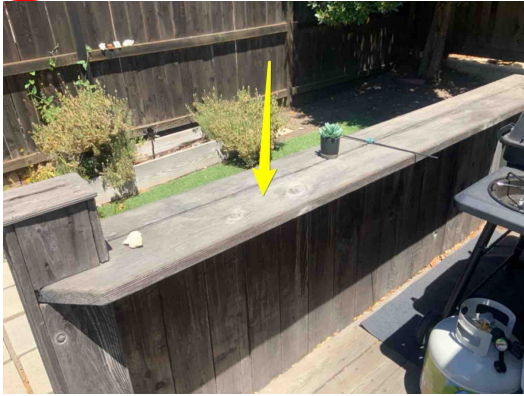
E&C 49: Some moisture and/or bug-type damage and deterioration found at areas of the wood decking and/or wood deck railings: UNIT 1227 FRONT ENTRY DECK. *Refer to the termite report for additional comments and recommendations.*

UPG 50: Earth-to-wood contact visible at areas of the UNIT 1227 FRONT ENTRY DECK wood framing.

UPG DS 51: *Portions of the underside of the UNIT 1227 FRONT ENTRY DECK are not visible or accessible as areas of the wood deck are installed on or at grade level. Type and condition of deck framing are unknown at inaccessible areas. A wood framed deck constructed on the grade generally has a shortened overall life, as it reduces the airflow under the deck allowing fungus and other wood destroying organisms to break down the wood framing members more rapidly. This deck is inspected from the surface only.*

DECK RAILING COMMENTS

E&C 52: A broken 2 x 12 top rail found at the UNIT 1227 FRONT ENTRY DECK railing.



Grading

Geological conditions and site stability are outside the scope of this inspection. For further information contact a licensed civil engineer. Off-site water (i.e. street water, water from a neighboring property, or sub-surface water) influences onto this property are outside the scope of this inspection and are not addressed. If concerned, have evaluated by a licensed geotechnical engineer.

SITE SLOPE

53: Level to Minor Slope

COMMENTS

E&C 54: Recommend some proper landscape grading and maintenance along areas of the exterior. This should help ensure the proper flow of site water away from the building(s) and off the property. This will also help prevent an excessive moisture condition and help maintain the proper clearances from the interior floor level, and/or the exterior stucco, wood or other siding to the top of soil. Trim trees and bushes that are making contact with areas of the exterior siding, trim and/or roof.

MR 55: Plants and/or trees touch the buildings exterior and/or the roof. Proper landscape maintenance needed.

Foundation

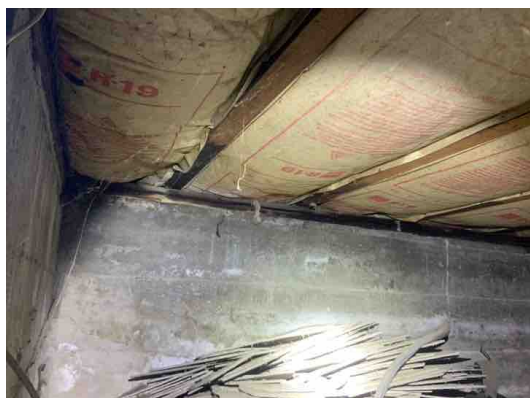
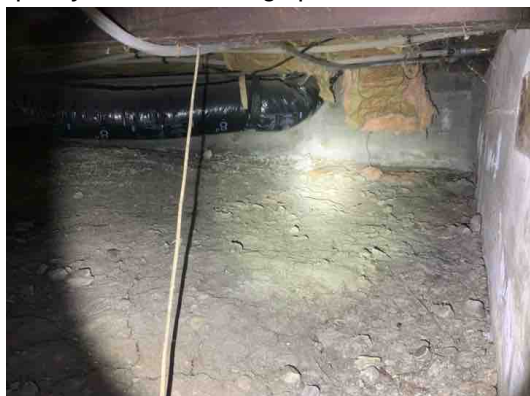
Notice: No engineering of the foundation or any structural component is performed. Areas of the perimeter foundation are not visible. Some typical and common cracks noted in the perimeter foundation. Client is advised to monitor cracks to help determine if future movement or conditions occur.

FRONT HOUSE

FOUNDATION TYPE

DS 56: Raised Foundation with Crawlspace

Disclosure: Be aware that some crawlspaces may contain toxins from current or past animal or critter intrusion, molds, fungus or other issues arising from past moisture or water intrusion which may negatively affect the overall air quality within the crawlspace and living spaces. Determining the air quality inside the home and crawlspace is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces.



DS 57: **Disclosure:** Some typical and common cracks noted at visible areas of the perimeter foundation. Client is advised to measure and monitor cracks to determine if future movement occurs.

58: CRAWLSPACE CONDITION: No **visible** significant defects noted in the crawlspace area.

Note: Not all areas of the crawlspace may be visible or accessible due to conditions such as insulation or lack of access. Refer to the Termite report for additional comments and/or recommendations.

FI 59: Some water stains noted on the underside of the wood framing in areas of the crawlspace under some exterior doors, bathrooms and/or kitchen. Refer to the Termite report for additional comments and recommendations as to the exact location, extent, and if repairs are needed.

60: Installed in areas of the foundation system: Wood Posts on Concrete base

DS 61: Foundation and stem walls are poured concrete. *Common cracks visible in the concrete foundation. Foundation perimeter is not fully visible.*

INSULATION

62: Insulation is installed: (approx.) 4-6 inches thick

Note: *Crawlspace framing is not fully visible due to the insulation. A full evaluation for moisture and/or bug type damage is warranted / recommended by a licensed Termite Inspection Co.*

MR 63: Some loose, hanging or missing insulation in areas of the crawlspace.

DS 64: Disclosure: The Insulation in the crawlspace found to be installed upside-down. The paper should be towards the living space.

RAISED FOUNDATION NOTES

SU DS 65: Disclosure: Areas of the older wood framing in the crawlspace does not meet the current construction or engineering standards. Recommend further review and upgrades by a qualified licensed contractor familiar with current construction, engineering and seismic standards.

MR 66: Some debris noted in areas of the crawlspace. Recommend removal.



Example

VENTILATION

FI 67: The amount of ventilation provided for the crawlspace does not meet the minimum requirements per the minimum California standards [V=1 sf. for 150 sf. of crawlspace]. Recommend additional review and ventilation upgrades by a licensed contractor familiar with minimum installation requirements.

Note: The exact amount of crawlspace ventilation provided was not calculated and this opinion is based solely on a visual observation of the total amount of ventilation openings provided.

MOISTURE IN THE CRAWLSPACE

FI DS 68: Disclosure: Evidence of past and/or seasonal water in the crawlspace. This does not appear to have caused any significant physical damage to the wood framing at this time. Monitor as future issue may arise.

DUPLEX: Unit-1225 & Unit-1227

FOUNDATION TYPE

69: Concrete Slab: UNIT 1225

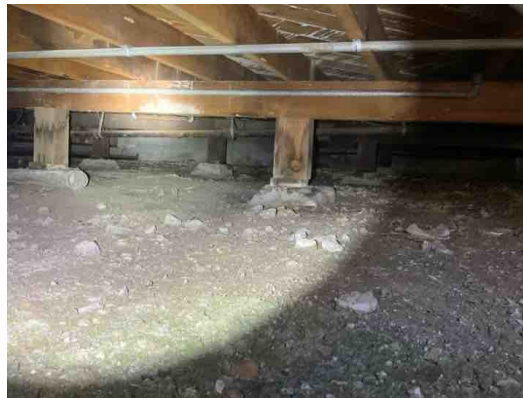
Disclosure: *The concrete slab is not visible due to furnishings and/or floor coverings. Cracks and conditions of the concrete under the flooring are not visible nor determined. Settling, cracking, moisture intrusion from under the slab and flooring or other defects cannot be determined and are outside the scope of this inspection.*

DS 70: Raised Foundation with CrawlSpace: UNIT 1227

Disclosure: Be aware that some crawlspaces may contain toxins from current or past animal or critter intrusion, molds, fungus or other issues arising from past moisture or water intrusion which may negatively affect the overall air quality within the crawlspace and living spaces. Determining the air quality inside the home and crawlspace is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces.



UNIT 1227



UNIT 1227



UNIT 1227



UNIT 1227



DS 71: Disclosure: Some typical and common cracks noted at visible areas of the perimeter foundation. Client is advised to measure and monitor cracks to determine if future movement occurs.

FI 72: Some water stains noted on the underside of the wood framing in areas of the crawlspace under some exterior doors, bathrooms and/or kitchen. Refer to the Termite report for additional comments and recommendations as to the exact location, extent, and if repairs are needed.

FI 73: Some moderate cracks with displacement found at areas of the concrete perimeter foundation stem walls at areas of the DUPLEX FOUNDATION. Evidence of **some** past repairs noted. Unable to verify if the repairs are adequate. Refer to sellers disclosures, or have areas evaluated in appropriate engineer. Recommend additional review by qualified and licensed engineer to evaluate cause, the current conditions and potential future issues.



cracks and displacement at foundation stem wall



cracks and displacement at foundation stem wall



Past repair straps



Some moderate cracks not repaired



74: Some foundation cripple wall framing identified in areas of the crawlspace.

75: Installed in areas of the foundation system: Wood Posts on Concrete base

E&C DS 76: Foundation and stem walls are poured concrete. *Common cracks visible in the concrete foundation. Foundation perimeter is not fully visible.*

RAISED FOUNDATION NOTES

SU DS 77: Disclosure: Areas of the older wood framing in the crawlspace does not meet the current construction or engineering standards. Recommend further review and upgrades by a qualified licensed contractor familiar with current construction, engineering and seismic standards.

VENTILATION

FI 78: The amount of ventilation provided for the crawlspace does not meet the minimum requirements per the minimum California standards [V=1 sf. for 150 sf. of crawlspace]. Recommend additional review and ventilation upgrades by a licensed contractor familiar with minimum installation requirements.

Note: The exact amount of crawlspace ventilation provided was not calculated and this opinion is based solely on a visual observation of the total amount of ventilation openings provided.

MOISTURE IN THE CRAWLSPACE

FI 79: Evidence of seasonal or past ponding of water in the crawlspace. A properly installed sump pump system, proper exterior landscape grading, additional vent openings or mechanical ventilation in the crawlspace, and/or a properly installed vapor barrier are examples of some potential upgrades for the crawlspace. No significant defects found due to the water or moisture at this time.

Roof

This inspection of the roof covering and components such as flashings and skylights is not intended to be technically exhaustive per CREIA standards. Meaning that if defects are found it is recommended to have the entire roof completely re-evaluated by a licensed roof contractor familiar with the current minimum installation requirements. Be aware that additional defects may be discovered during a more comprehensive evaluation by the licensed roofing professional. There should be no more than 2 layers of roofing on a building per standards.

FRONT HOUSE

ROOF STYLE

80: Gable



81: Flat or Low Slope



82: Rolled Asphalt Composition Roof Crickets



83: Roof was walked

84: Number of Visible Layers of Roofing: 1

ROOF MATERIAL TYPE

85: Asphalt Shingle

Average life expectancy of this roof material: 30 years

There is Approx. 10 years of visible wear



86: Rolled Composition

Average life expectancy of this roof material: 25 years

There is Approx. 10 years of visible wear

FLAT / LOW SLOPE ROOF COMMENTS

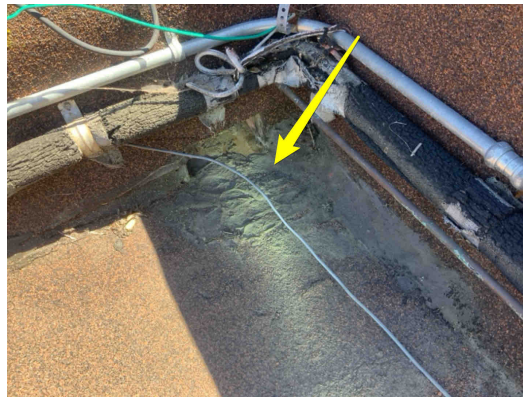
87: [ROOF CONDITION](#): The Rolled Composition roof appears serviceable, within useful life and in good condition.

However, this is not a warranty or guarantee that the roof does not leaks or other future conditions might exist. This is only a physical inspection of the visible areas of the roof system.

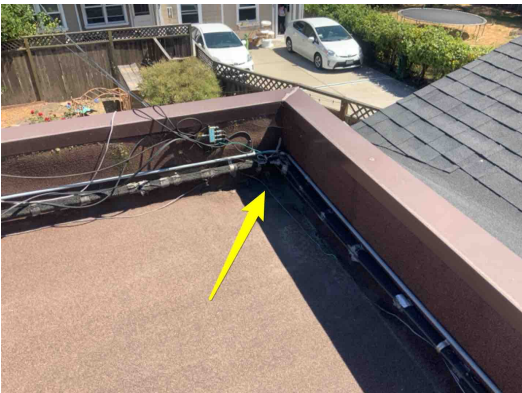
MR **UPG** **88:** Areas of past improper or incomplete past repairs found at areas of the UPSTAIRS FLAT ROOF ROLLED COMPOSITION ROOFING. Areas of exposed mastic found not covered by aggregate found deteriorated.



Example



Around the scupper



Around the scupper

DUPLEX: Unit-1225 & Unit-1227

ROOF STYLE

89: Gable: **DUPLEX**

DS 90: Number of Visible Layers of Roofing: **THREE**

Disclosure: **Two layers of roofing is the maximum allowed in California.**

ROOF MATERIAL TYPE

91: Asphalt Shingle: **DUPLEX**

Average life expectancy of this roof material: 20 years

There is Approx. 30 years of visible wear

ASPHALT COMPOSITION SHINGLE COMMENTS

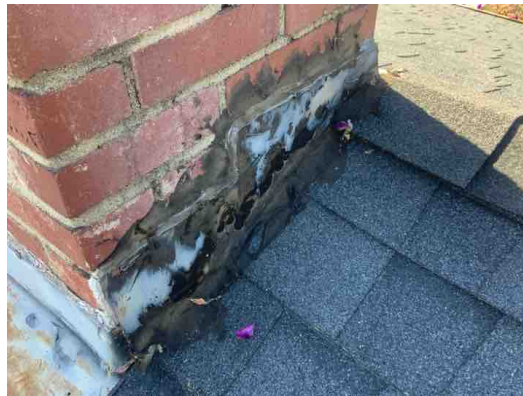
E&C 92: ROOF CONDITION: The Asphalt composition roofing on the DUPLEX is AT the end of its useful life.
Recommend contacting a licensed roofing contractor for an estimate for replacement.

Flashings

Roof flashings, transitions, and skylights are not water tested for leakage. This is a visual inspection of the roof and its components per CREIA standards. All roofs require continuous and ongoing maintenance. Recommend having the roof serviced regularly by a qualified professional. Contact a licensed roofing professional for recommendations.

ROOF FLASHING

E&C MR 93: ROOF FLASHING CONDITION: The flashing at the front house are needing maintenance, servicing and/or repair. Contact a qualified roofing professional to review all roof flashings and provide maintenance and/or repairs as needed.



E&C **MR** **94:** Deteriorated sealant, Exposed, Loose / Lifting nails at areas of the FRONT UNIT - FLAT ROOF PARAPET CAP FLASHINGS.



Gutters

RAIN GUTTER COMMENTS

MR **UPG** **95:** Recommend typical rain gutter maintenance: cleaning, sealing gutters and downspouts.

Attic

Areas of the attic framing, drywall, electrical, plumbing, etc., are not fully visible or accessible due to the attic insulation and the areas of the attic that are too small for safe access. Refer to the Termite Report for additional comments and recommendations.

ATTIC ACCESS LOCATION

96: ATTIC ACCESS LOCATION: Upstairs Bedroom Hallway- FRONT UNIT.



SU DS 97: Attic framing does not meet current standards and is sagging in some areas. However, appears to be in good condition. Upgrades recommended.

DS 98: Disclosure: No accessible attic or No attic access found or provided for the duplex.

TYPE OF INSULATION FOUND IN THE ATTIC

UPG 99: NO INSULATION INSTALLED IN THE ATTIC. Upgrades are recommended. Contact the appropriate professional to evaluate and make recommendations.

ATTIC COMMENTS

UPG 100: This building's attic appears to have an insufficient amount ventilation per the minimum California standards [V=1sf. for 150 sf. of attic]. Recommend additional review and ventilation upgrades by a licensed roofing contractor.

Note: The exact amount of attic ventilation provided was not calculated and the opinion based solely on a visual inspection of the amount of visible ventilation provided.

Plumbing

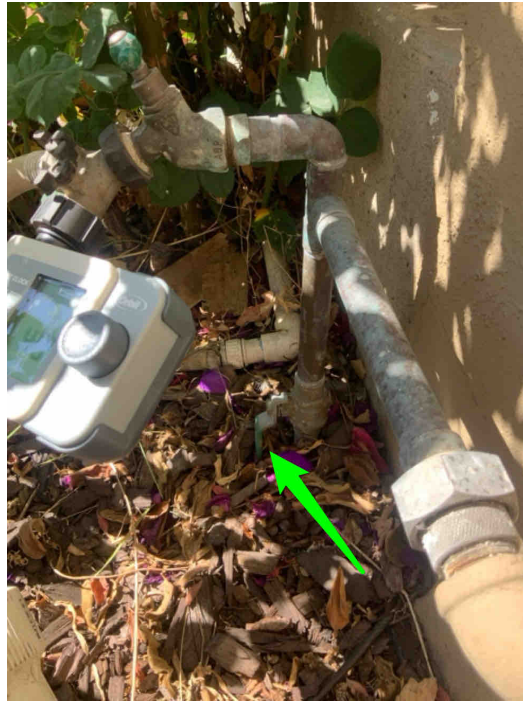
This inspection of the water supply system, waste system and its fixtures and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified plumbing professional. Be aware that additional defects may be discovered during a more specific or directed evaluation by a licensed plumbing contractor.

MAIN WATER SUPPLY

101: Main water supply shut-off location: ON THE FRONT OF THE FRONT HOUSE. *Main water shut-off valve not tested.*



Main water shut off valve



Main water shut off valve

102: WATER PRESSURE - Is Within Standards: At Approx. 70 +/- PSI . *Optimal water pressure is between 40 and 80 PSI.*



TYPE OF WATER PIPING

103: Type(s) of water supply piping that could be seen at the time of the inspection (other plumbing materials may be present but were not discovered at this time):

104: Copper

105: PEX Plastic

FI DS 106: Some Galvanized Water Supply Piping installed: AT THE DUPLEX
Be advised that the galvanized water supply piping like the piping installed in this building, has a average life expectancy of approximately 50 +/- years and can fail without warning. Discoloration or sediment in the water may be a sign of deterioration inside the galvanized water supply piping. Client is advised to seek additional opinions and recommendations from a licensed plumber as future repairs or replacement may be needed.

WATER SUPPLY PIPING

107: Disclosure: *Pipe conditions inside walls, under insulation in the attic, underground or under the slab, and all inaccessible areas which are not readily accessible and visible are not inspected. Connections and conditions cannot be judged. Water testing not performed.*

HOSE FAUCETS

108: Operated when tested.

UPG 109: Anti-siphon valves recommended on exterior hose faucets where not installed.



Example of an anti-siphon valve on a hose faucet

WATER SOFTENER/FILTER

MR DS 110: Water filter installed on the EAST SIDE - Exterior at the DUPLEX. *Water quality and filter not inspected or tested. Water filters require continuous and ongoing maintenance. Please read owner's manual for recommendations.*



MR DS 111: Water filter installed on Exterior on the BACK OF THE FRONT HOUSE. *Water quality and filter not inspected or tested. Water filters require continuous and ongoing maintenance. Please read owner's manual for recommendations.*



WASTE PIPING TYPE

112: Type(s) of waste water drain piping that could be seen at the time of the inspection (other piping materials may be present or used underground which are not visible at this time):

113: ABS and PVC

114: Cast Iron and Galvanized

Note: Be advised that the galvanized waste and sewer piping like the piping installed in this building, has an average life expectancy of approximately 50 +/- years and can fail without warning. If the piping is old, client may wish to contact to a licensed plumber for additional comments and recommendations.

WASTE/SEWER PIPE CONDITION

FI 115: **Note:** Due to the age of the building and type of waste and sewer piping originally installed, some deterioration or other defects may be present which can cause some negative impact on the flow of waste water through the piping. *Recommend additional review and video scoping of the waste and sewer piping to verify conditions.*

Disclosure: Waste and sewer pipes are not fully visible. Pipes inside walls, inaccessible areas, under the ground or slab cannot be judged or determined.

FI 116: Corrosion with evidence of past leaking noted on areas of the waste piping and fittings in areas of the crawlspace at both the front house and crawlspace. Recommend further review of the waste piping throughout the crawlspace with cleanup and correction by qualified plumbing professional to help prevent additional future leakage and repair if needed.

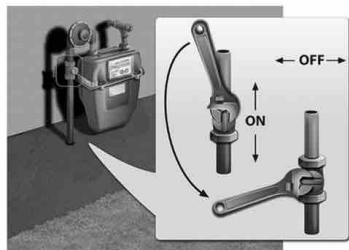
Fuels

FUEL TYPE

117: Gas shut-off appears serviceable.

Disclosure: Gas piping and valves not tested during this inspection (visual inspection only).

118: Natural Gas. Location of main shut-off: **ALL THREE METERS ARE AT UNIT 1227**



CAUTION: If you turn off your natural gas at the meter, leave it off. Do not turn it back on yourself.



FUEL SYSTEM

E&C MR 119: An improper installation of unprotected / unwrapped metal Gas pipe in contact or close to the dirt at the exterior at UNIT 1227.

All gas piping which runs under ground or **within 6 inches off the ground** must be protected from physical contact with the soil to prevent rust and corrosion. Contact a qualified plumber to evaluate the current condition and replace the unprotected gas piping if/as needed.



Example. UNIT 1227



Example FRONT HOUSE

Water Heater

The average life of a tank type water heater is 6-10 years. Water heaters may begin to leak or quit working without warning. Client should visually inspect the water heater regularly to help ensure good condition and that the water heater is free from leakage or corrosion.

Determining size and gpm/ adequate hot water volume is beyond the scope of a home inspection.

FRONT HOUSE

WATER HEATER INFORMATION

120: Water Heater Location: EXTERIOR - FRONT HOUSE

Date: 2013

Size: Tankless

Fuel Type: Natural Gas



WATER HEATER CONDITION

121: Water Heater Operated when tested.

COMBUSTION AIR

122: Proper amount of combustion air.

STRAPPING

123: The Tankless Water Heater is fastened satisfactory to prevent movement.

TPR PIPING

124: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. *TPR Valve not tested.*

VENT PIPING

125: Visible areas of the water heater vent flue pipe are serviceable.

GAS PIPING

126: The water heater gas piping appears serviceable and in good condition.

UPG 127: Recommend the installation of the missing sediment trap / drip leg at the gas TANKLESS WATER HEATER gas piping at flex connection by a certified or licensed plumbing professional familiar with minimum requirements.

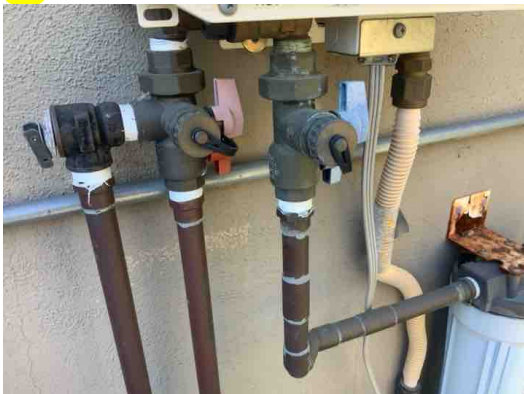


WATER HEATER GENERAL COMMENTS

MR 128: Recommend insulation on the HOT and COLD water supply pipes at the water heater per minimum codes and standards.

SHUTOFF

MR 129: The Tankless Water Heater shutoff and flush valves are installed. *Valve not tested.*



DUPLEX: Unit-1225 & Unit-1227

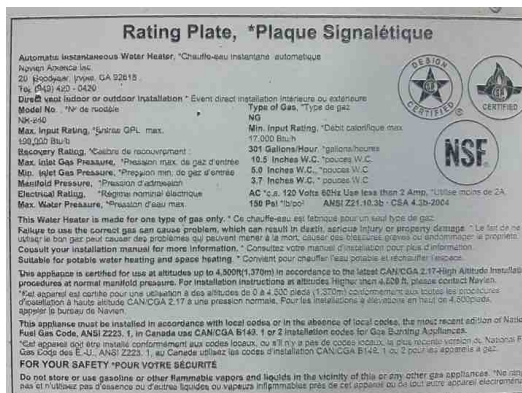
WATER HEATER INFORMATION

130: Water Heater Location: EXTERIOR ON THE BACK OF THE DUPLEX

Date: ANSI 2004

Size: Tankless

Fuel Type: Natural Gas



WATER HEATER CONDITION

MR 131: Water Heater Operated when tested.

COMBUSTION AIR

132: Proper amount of combustion air.

STRAPPING

133: The Tankless Water Heater is fastened satisfactory to prevent movement.

TPR PIPING

134: The visible areas of the Water Heater TPR (Temperature Pressure Relief) pipe and valve appear serviceable in good condition. *TPR Valve not tested.*

VENT PIPING

135: Visible areas of the water heater vent flue pipe are serviceable.

GAS PIPING

136: The water heater gas piping appears serviceable and in good condition.

UPG 137: Recommend the installation of the missing sediment trap / drip leg at the gas TANKLESS WATER HEATER gas piping at flex connection by a certified or licensed plumbing professional familiar with minimum requirements.



WATER HEATER GENERAL COMMENTS

MR 138: Recommend insulation on the HOT and COLD water supply pipes at the water heater per minimum codes and standards.

SHUTOFF

MR 139: The Tankless Water Heater shutoff and flush valves are installed. *Valve not tested.*



Kitchen

FRONT HOUSE

LOCATION



SINK

141: The kitchen sink appears serviceable with typical wear for its age.

142: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 143: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*

FI DS 144: Some dry moisture stains and damage in the cabinetry below the kitchen sink.

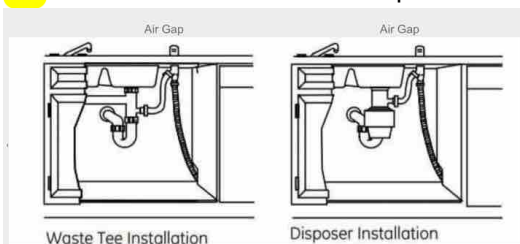
DISHWASHER

145: Dishwasher operated when tested.

Disclosure: *Unable to determine if dishwasher is leaking in areas not visible.*

146: Doors, seals and racks appears serviceable.

SU 147: Recommend an Air Gap Device at the dishwasher drain.



CABINETS & COUNTERS

148: Appear serviceable.

DS 149: Disclosure: The areas behind the kitchen cabinetry, refrigerator, dishwasher and range or ovens are not accessible, not visible and not inspected.

DS 150: Kitchen counters & cabinets have typical wear.

DS 151: Disclosure: Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.

DISPOSAL

152: Operated when tested.

COOKTOP HOOD

153: Disclosure: No hood required or installed above the kitchen cook top because there is No flammable cabinetry installed within 30 inches above the cook top surface.

COOKTOP

154: The cooktop is Natural Gas and operated when tested



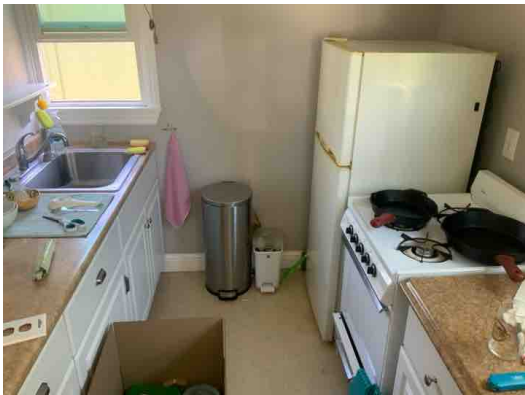
OVEN

155: The GAS OVEN operated when tested

Disclosure: The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.

UNIT-1225

LOCATION



SINK

157: The kitchen sink appears serviceable with typical wear for its age.

158: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 159: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*

FI 160: Some corrosion found at waste pipe connections under the kitchen sink / evidence of past leaking.



UNIT 1225

FI 161: Some dry moisture stains and damage in the cabinetry below the UNIT-1225 kitchen sink.



UNIT 1225



UNIT 1225



UNIT 1225

CABINETS & COUNTERS

162: Appear serviceable.

DS 163: Disclosure: The area behind the refrigerator and other kitchen appliances is not accessible, not visible and not inspected.

DS 164: Kitchen counters & cabinets have typical wear.

DS 165: Disclosure: Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.

COOKTOP HOOD

166: Disclosure: No hood required or installed above the kitchen cook top because there is No flammable cabinetry installed within 30 inches above the cook top surface.

167: Kitchen cooktop hood and exhaust fan operated when tested.



Fan cover found loose ceiling. Maintenance or upgrade recommended

COOKTOP

168: The cooktop is Natural Gas and operated when tested



OVEN

169: The GAS OVEN operated when tested

Disclosure: The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.

E&C 170: The broiler door does not properly open or close at UNIT-1225 kitchen range.



UNIT-1227

LOCATION



SINK

172: The kitchen sink appears serviceable with typical wear for its age.

173: Plumbing under the kitchen sink appears to be installed correctly and is functioning.

DS 174: Disclosure: *Restricted view below kitchen sink (areas not fully visible). Do a secondary check carefully once kitchen cabinets are empty.*

CABINETS & COUNTERS

175: Appear serviceable.

DS 176: Disclosure: The area behind the refrigerator and other kitchen appliances is not accessible, not visible and not inspected.

DS 177: Kitchen counters & cabinets have typical wear.

DS 178: Disclosure: *Kitchen counters and cabinets are not fully visible due to occupant's belongings. Do a careful check during final walkthrough and areas are evacuated and cleaned. If defects are discovered contact our office to evaluate and document condition.*

COOKTOP HOOD

179: Disclosure: No hood required or installed above the kitchen cook top because there is No flammable cabinetry installed within 30 inches above the cook top surface.

180: Kitchen cooktop hood and exhaust fan operated when tested.



COOKTOP

181: The cooktop is Natural Gas and operated when tested

OVEN

182: The GAS OVEN operated when tested

Disclosure: The testing of the oven thermostat for temperature accuracy is outside the scope of this inspection.

Laundry

LAUNDRY LOCATION:

183: FRONT UNIT - GARAGE



LAUNDRY TYPE

184: Gas available for laundry dryer

185: Laundry dryer vent provided.

However, vent system is not fully visible or tested. It is recommended that the laundry dryer vent system, vent pipe and cap be cleaned regularly to avoid excessive lint buildup, which is a potential fire hazard.

DS 186: Disclosure: The drain pipe and hot and cold water supply shut offs installed for the laundry are visually inspected but are not tested.

LAUNDRY COMMENTS

187: Disclosure: *The laundry washers and/or dryers are not tested or inspected as they are considered personal property and are not a permanently installed appliance. If the laundry machines are being transferred with the sale of the property, client should perform due diligence to ensure the proper and safe operation of the washer and dryer within the clients inspection period.*

DS 188: Area behind laundry machines is not fully visible and not inspected at this time due to laundry machines themselves. Conditions are not fully known. Client should inspect area and satisfy themselves as to the overall condition prior to the close of escrow once the laundry machines have been moved out.

189: Disclosure: **No visible 240-volt outlet found or provided for laundry .**

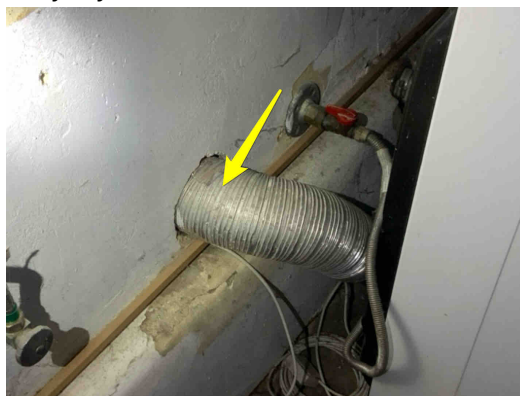
DRYER VENTING

MR 190: Recommend cleaning and servicing the laundry dryer vent system, pipe and cap, for safety as part of typical ongoing maintenance.

SC 191: An improper use of a non-fire rated / flexible laundry dryer vent pipe through the FRONT UNIT GARAGE FIRE WALL and CRAWLSPACE. Replacement recommended for fire safety. Contact a qualified, HVAC contractor. The maximum length of a flexible laundry dryer flex connector is 6 feet.

504.4 Clothes Dryers

A clothes dryer exhaust duct shall not be connected to a vent connector, gas vent, chimney, and shall not terminate into a crawl space, attic, or other concealed space. Exhaust ducts shall not be assembled with screws or other fastening means that extend into the duct and that are capable of catching lint, and that reduce the efficiency of the exhaust system. Exhaust ducts shall be constructed of rigid metallic material. Transition ducts used to connect the dryer to the exhaust duct shall be listed for that application or installed in accordance with the clothes dryer manufacturer's installation instructions. Clothes dryer exhaust ducts shall terminate to the outside of the building in accordance with Section 502.2.1 and shall be equipped with a backdraft damper. Screens shall not be installed at the duct termination. Devices, such as fire or smoke dampers, that will obstruct the flow of the exhaust shall not be used. Where joining of ducts, the male end shall be inserted in the direction of airflow.



Bathrooms

BATHROOM LOCATIONS

192: FRONT UNIT HALL BATHROOM



193: FRONT UNIT GARAGE BATHROOM - toilet only



194: UNIT 1225 BATHROOM



TOILETS

195: Operated when tested.

SINKS

196: Bathroom sink faucet and drain operated when tested.

Disclosure: The operation and condition of the sink drain stoppers are outside the scope of this inspection and are not tested. Any and all comments made regarding sink drain stoppers are informational only and may only be specific to a single sink.

DS 197: **Disclosure:** Restricted view in the bathroom cabinets and countertop due to occupant's belongings. Check areas carefully once areas are evacuated and cleaned. If defects are found contact our office to evaluate and document condition.

MR 198: **Disclosure:** Drain stoppers do not operate, are missing or do not operate well at some bathroom sinks. General maintenance recommended.

E&C 199: Active leaking, dripping water into the cabinet below, from the sink faucet to sink connection in the UNIT 1225 BATHROOM



VENTILATION

200: Appears adequate.

SU 201: A bathroom exhaust fan is recommended for better ventilation in all bathrooms where not currently installed.

BATHTUBS

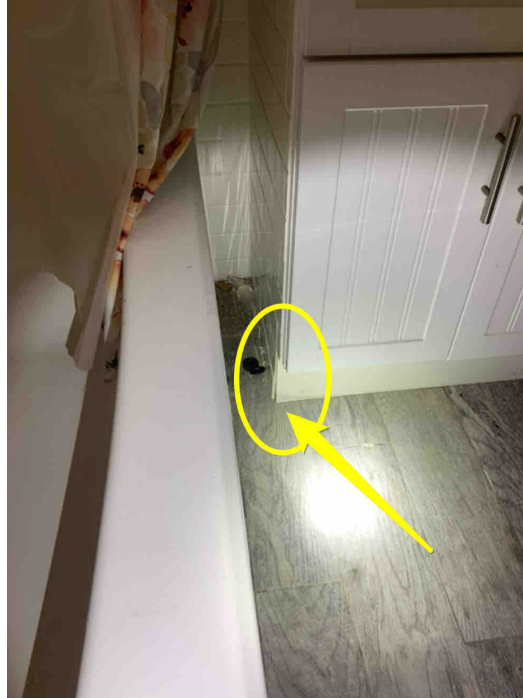
202: Operated when tested.

MR **203:** Drain stopper missing at tub drain: UNIT-1227 BATHROOM

E&C **204:** Moisture stains and damage to wood cabinet outside tub: UNIT 1225 BATHROOM



UNIT 1225 BATHROOM



UNIT 1225 BATHROOM

SHOWERS

205: Showers operated when tested.

Determining the water tightness and integrity of the shower pans and walls, determining conditions behind tile or enclosures at the tubs and showers is outside the scope of this inspection as areas not visible or readily accessible. Unable to verify or determining if the tile or enclosures were installed per manufacturer's installation instructions.

-

MR 206: OUTDOOR SHOWER operated properly when tested. (1.75 GPM shower head)



MR 207: Some deteriorated caulking in the UNIT 1225 BATHROOM shower area. Maintenance Recommended

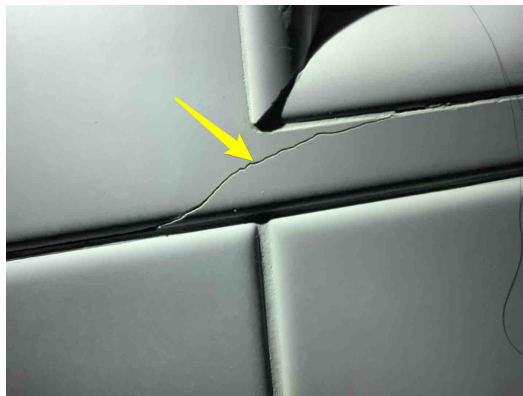


UNIT 1225 BATHROOM

FI 208: Some cracked tiles found in areas of UNIT 1225 BATHROOM shower enclosure.



UNIT 1225 BATHROOM

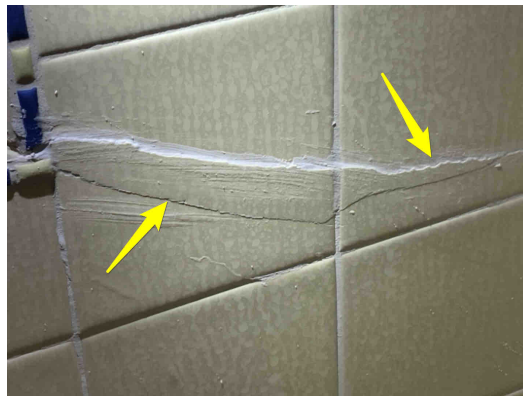


UNIT 1225 BATHROOM



UNIT 1225 BATHROOM

FI 209: Some cracked tiles found in areas of UNIT 1227 BATHROOM shower enclosure.



BATHROOM, KITCHEN WATER USE

210: Bathroom **MAIN HOUSE - DOWNSTAIRS HALLWAY BATHROOM**

Toilet gpm: 1.28

#of sinks: 1

Sink faucet gpm: 1.5 Does not meet the San Luis Obispo minimum requirement of 1.2 GPM

Shower head gpm: 1.75

Kitchen sink faucet gpm: 2.0

211: Bathroom **UNIT 1225**

Toilet gpm: 1.28

#of sinks: 1

Sink faucet gpm: 1.2

Shower Head gpm: 1.8

Kitchen sink faucet gpm: 3.75 - missing the aerator and screen. Does not meet SLO minimum requirements .

212: Bathroom **UNIT 1227**

Toilet gpm: 1.28

#of sinks: 1

Sink faucet gpm: 5.0 - Does not meet the San Luis Obispo minimum requirement of 1.2 GPM

Shower Head gpm: 1.8

Kitchen sink faucet gpm: 1.2

213: Bathroom **FRONT UNIT GARAGE BATHROOM - toilet only**

Toilet gpm: 1.28

214: **Front house outdoor shower** (shower only)

Shower Head gpm: 1.75

Interior

Any comments as to water intrusion is not intended to be technically exhaustive per CREIA standards, meaning that if some water intrusion is evident it is recommended to have all areas of potential water intrusion evaluated by a qualified water intrusion specialist, as this is a visual, non-destructive inspection to point out potential issues as they are apparent and visible at this time. Be aware that additional defects may be discovered during a more comprehensive evaluation.

Note: Windows or doors blocked by occupant's belongings, blinds, and/ or window-door coverings are not able to be fully inspected.

FRONT HOUSE

FRONT ENTRY DOOR

215: Operated when tested.

216: Weather stripping appears serviceable.

217: Door hardware operated when tested.

EXTERIOR DOORS

218: Operated when tested

219: Latching hardware operated and appears serviceable.

E&C 220: Moisture deterioration / damage at the UPSTAIRS WOOD EXTERIOR DOOR



Example

MR 221: Some loose weather stripping at the bottom of the MAIN HOUSE BEDROOM-1 EXTERIOR DOOR.



SC 222: It is considered unsafe to use of a double-keyed deadbolt at exterior doors which may be used as and exit in an emergency: FRONT HOUSE UPSTAIRS ROOF ACCESS DOOR

First, let's define a double-keyed deadbolt. It's a deadbolt that locks from the inside *and* the outside with a key. This means if the door is locked, there's no getting in or out without a key.



Example. UPSTAIRS WOOD EXTERIOR DOOR

E&C **223:** Missing a straight plate for the deadbolt on the door frame at the UPSTAIRS WOOD EXTERIOR DOOR



INTERIOR DOORS

224: Operated when tested.

MR **UPG** **225:** Interior door rubs & sticks AND is missing the door knob strike plate. Adjustment or repair recommended: FRONT HOUSE - MID-LEVEL BEDROOM



DS **226:** Some interior bedroom closet doors are missing or not installed: FRONT HOUSE - DOWNSTAIRS BEDROOM-1 CLOSET

WINDOWS

227: Vinyl / Double-Pane Glass Retrofit Windows

Note: Due to the many different types and brands of vinyl retrofit windows, we are unable to verify if this particular retrofit window was installed per manufacturer's installation requirements as the installation manual was not provided at the time of the inspection.

228: Single Hung

FLOORING

229: TYPE: **Wood**

230: TYPE: **Carpet**

231: TYPE: **Vinyl tiles**

CEILING TYPE

232: Drywall

233: Plaster

WALL TYPE

234: Drywall

235: Plaster

WALLS AND CEILINGS

236: The general overall physical condition of the interior walls and ceilings appear to be good with some typical and common cracks.

Note: Determining the indoor air quality is outside the scope of this inspection. All parties should perform their own due diligence until satisfied as to the air quality inside the living spaces to determine if it is within your own personal acceptable levels.

DS 237: Disclosure: Some typical and common cracks noted at the walls and ceilings throughout the interior. Client should monitor cracks as future additional movement may occur. Contact a qualified drywall professional for additional information with recommendations to upgrade or repair.

238: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

239: Disclosure: *Furnishings and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

INTERIOR STAIRS

240: Interior Stairway is serviceable and in good condition.

SC 241: Missing the GRASPABLE handrail at the FRONT HOUSE - UPPER SECTION of the interior stairway. Repairs warranted.



SC 242: FRONT HOUSE Interior stairway handrail does not fully extend to the end bottom tread of the interior stairway per standards for safety. Proper upgrades are recommended.



Example

DUPLEX: Unit-1225 & Unit-1227

FRONT ENTRY DOOR

243: Operated when tested.

244: Weather stripping appears serviceable.

245: Door hardware operated when tested.

INTERIOR DOORS

MR 246: Some interior doors rub and stick on the flooring. Corrections recommended.

MR 247: Interior door does not latch. Recommend adjustment of the strike plate:

1. UNIT 1225 BEDROOM-1
2. UNIT 1225 BEDROOM-1 CLOSET

WINDOWS

248: Vinyl / Double-Pane Glass Retrofit Windows

Note: Due to the many different types and brands of vinyl retrofit windows, we are unable to verify if this particular retrofit window was installed per manufacturer's installation requirements as the installation manual was not provided at the time of the inspection.

249: Some windows are SLIDING and some windows are SINGLE-HUNG

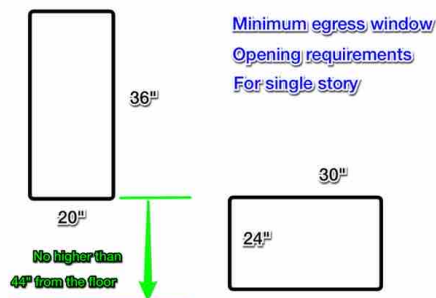
MR 250: WINDOWS: A sampling of the accessible windows operated when tested.

Note: Windows with blinds or shades or other coverings are not tested. All windows should be serviced by a qualified window specialist to ensure windows operate smoothly and properly and to ensure water tightness. Have all deteriorated weatherstripping replaced. Window blinds, shades, drapes or other window coverings are not inspected and are outside the scope of this inspection. Client should provide their own due diligence and evaluate all window coverings.

MR 251: Some windows found a little difficult to operate. Maintenance or upgrades are recommended.

DS 252: Some of the dual-pane window seals have failed and are visibly fogged or have a defective UV film. If concerned have all windows tested by a licensed or certified window company professional to determine exact locations and quantity of defective windows.

SC 253: Windows in the **UNIT-1225 bedroom** are too small and too high off the floor and do not meet the current minimum fire egress standards. Upgrades recommended for safety.



FLOORING

254: TYPE: Tile

255: TYPE: Vinyl / Linoleum

256: TYPE: Carpet

257: CONDITION: Flooring appears to be in good condition with typical wear for its age.

258: *Disclosure: Furnishings and occupants' belongings prevent full inspection. Do a careful check prior to closing.*

FI 259: Some unusual sloping noted at areas of the interior concrete floor: UNIT 1225. This may be indicative of some unusual settling of the soil or foundation or part of the past garage conversion. Client should have a qualified engineer to evaluate the entire foundation system until satisfied as to the cause, the current condition, potential future issues and determine if repairs or upgrades are needed.

Some unusual sloping noted at areas of the interior raised wood floor: UNIT 1227. This may be indicative of some unusual settling of the soil or foundation or part of the past garage conversion. Client should have a qualified engineer to evaluate the entire foundation system until satisfied as to the cause, the current condition, potential future issues and determine if repairs or upgrades are needed.

CEILING TYPE

260: Drywall

WALL TYPE

261: Drywall

WALLS AND CEILINGS

262: *The conditions inside walls, behind occupants' belongings, behind wallpaper or paneling, under flooring and areas not visible cannot be determined and are not inspected. Do a careful check during final walkthrough. Identification, investigation or recommendations regarding MOLD and/or the presence of MOLD are outside the scope of this inspection.*

263: Disclosure: *Furnishings and/or occupant's belongings prevent full inspection of the interior, closets and cabinetry. Client is advised to do a careful visual inspection prior to closing and contact our office for an additional inspection if suspicious conditions exist.*

FI 264: Some unusual cracks and/or tearing of the drywall at areas of the interior UNIT 1225 BEDROOM-1 CLOSET and BATHROOM. Some cracks are larger than normal. This appears to be from some type of movement or settlement of the framing and/or foundation system. It is advised to have a licensed engineer evaluate the cause, current condition and potential future issues.



FI 265: Evidence of some unusual cracks and/or tearing of the drywall. The visible movement appears more than normal: UNIT 1227. This appears to be from some type of movement or settlement of the framing and/or foundation system. It is advised to have a licensed engineer evaluate the cause, current condition and potential future issues.



Heating

This inspection of the heating system and components is not intended to be technically exhaustive per CREIA standards, meaning that if a specific system or component is found to have a single defect it is recommended to have the entire system and its components evaluated by a qualified HVAC professional. Be aware that additional defects may be discovered during a more comprehensive evaluation by an appropriate professional.

FRONT HOUSE

GENERAL INFO

266: LOCATION: ATTIC

FURNACE TYPE: Gas Forced Air

FUEL TYPE: Natural Gas

Approx. BTU RATING: 80,000

DATE: 2005

Disclosure: Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.



CONDITION

267: **HEATING SYSTEM CONDITION:** The heating system operated when tested.

FURNACE FLAME

DS 268: Unable to inspect the furnace flame or burner chamber. Unit has a inclosed burner system.

VENTING

FI **MR** 269: Some minor moisture stains inside at furnace enclosure. Suspected condensation leak from the vent pipe.



DUCTING/DISTRIBUTION

MR 270: Recommend cleaning and sealing inside the floor registers as part of typical ongoing maintenance.

SC 271: Improper and unsafe use of a wall or ceiling heating register grill(s) on some of the floor register boxes. Recommend replacement with appropriate floor rated registers to help prevent an accidental falling through the inadequate type of grill.



AIR FILTERS

MR 272: Dirty Heating air filter found in the return air grill(s). Recommend cleaning or changing the furnace air filters as part of ongoing maintenance.



UNIT-1227

GENERAL INFO

273: LOCATION: **UNIT 1227**

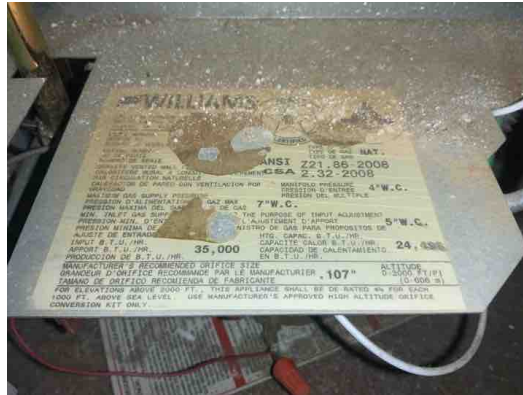
FURNACE TYPE: **Gas Wall Heater**

FUEL TYPE: **Natural Gas**

Approx. BTU RATING: **35,000**

DATE: **ANSI 2008**

Disclosure: Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.



CONDITION

274: **HEATING SYSTEM CONDITION:** The heating system operated when tested.

MR SU 275: Recommend cleaning the controller compartment under the gas wall furnace. Maintenance needed / recommended.

FURNACE FLAME

276: The Furnace flame appears serviceable.

Disclosure: The heater was not dismantled or tested for a crack in the heat exchanger. This is beyond the scope of a home inspection. If furnace is older you should have the heat exchanger checked by a licensed HVAC professional.

Notice: Safety switches such as thermocouples are not tested. Carbon Monoxide testing is beyond the scope of the inspection and is not performed.

VENTING

277: The visible areas of the furnace vent piping appears serviceable. *However, the furnace vent pipe is not fully visible.*

COMBUSTION AIR

278: Appears to be the appropriate amount and in the appropriate locations.

THERMOSTAT/CONTROLS

279: Operated when tested.

UNIT-1225

GENERAL INFO

280: LOCATION: **UNIT 1227 LIVING ROOM**

FURNACE TYPE: **Gas Wall Heater / direct vent**

FUEL TYPE: **Natural Gas**

Approx. BTU RATING: **35,000**

Disclosure: *Calculating or determining the size, efficiency, or adequacy of the heating system for this structure is outside the scope of this inspection.*



CONDITION

FI 281: FURNACE CONDITION: **The Furnace in UNIT 1227 did not respond to normal controls and was not fully accessible due to the occupant's belongings.** *Recommend further review, cleaning, servicing and certification by a licensed HVAC contractor.*

Cooling

LOCATION

282: Location: FOUNT HOUSE

Size: 3 Tons

Minimum Current Ampacity: 20

Maximum Current Ampacity: 30

Currently at: 30 Amps (per the labeling in the main electrical panel)

Date: 2006

Refrigerant: R-22. The phasing out of R-22 began in 2010, when manufacturers were no longer able to produce new equipment designed with it. In 2020 and the ban expanded to only allow the use of recycled or previously stockpiled Freon to service existing air conditioning systems.



TYPE OF COOLING SYSTEM

283: Split System

284: Electrical Disconnect Provided at or near the Equipment per standards.

AIR CONDITIONING SYSTEM OPERATION

285: **AIR CONDITIONER CONDITION:** The air conditioner operated properly when tested.

The Air Temperature Differential is: 20°F.

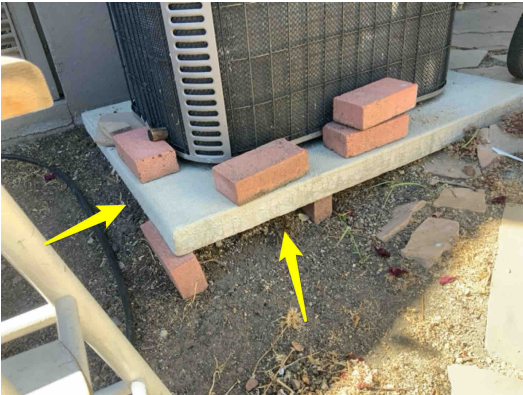
The air temperature differential for a properly functioning air conditioner should be between 15°F and 25°F.

COMMENTS

SU 286: Recommend sealing the hole or opening through the exterior wall where the Air Conditioner's refrigeration pipes enter the building. This will help prevent rodent, bug and /or water intrusion through this area as need per standards. Recommend filling the opening with rodent resistant expandable foam in a can, which can be purchased at most local hardware store stores.



E&C 287: Some unusual and/or excessive soil erosion found around the base of the air conditioner condenser concrete pad which can cause settlement and tilting of the unit. Correction Recommended.



Example



Electrical

We recommend that all electrical defects be reviewed and repaired completely by a licensed electrical contractor. Additional defects may be discovered during review or repairs as this inspection is a general overview of the entire electrical system and may not detail every electrical defect. GFCI and Arc Fault protected circuits are tested only at the test / reset button location and only if the circuit is not being used by occupant. No other part of the circuit was tested for GFCI or AFCI protection per standards.

Disclosure: *Wiring located inside the wall cavities, behind drywall, behind non-accessible covers and in areas not readily accessible or visible for any reason are not inspected and are outside the scope of this inspection as the hidden conditions are unknown.*

TYPE OF SERVICE AND MAIN ELECTRICAL PANEL

288: Electrical Service Type: **Overhead** (condition of service wires not fully visible and are unknown)

Main Electrical Panel Location: **ON THE BACK OF THE HOUSE**

Main Electrical Panel Ampacity: **125**

Panel Voltage: **240 volt**

Determining the capacity of the circuits in the electrical panel(s) is outside the scope of this inspection. This is only a visual inspection of the electrical panels per the CREIA standards. No load testing of the circuits was performed.

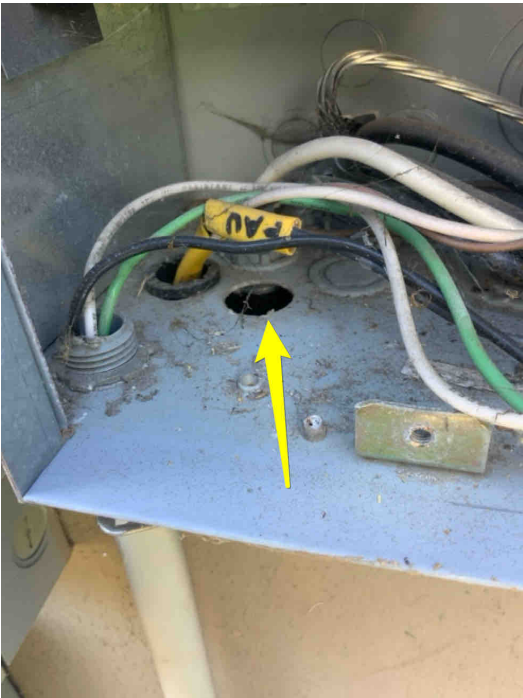


PANEL COMMENTS

SU 289: Breaker panel is not fully or properly labeled per standards: MAIN ELECTRICAL PANEL.



SU 290: Unprotected / unused opening(s) through the BOTTOM of the FRONT HOUSE MAIN ELECTRICAL PANEL needing to be sealed for safety per standards. This will help prevent critter intrusion into the electrical panel.



Example FRONT HOUSE

WIRING/CONDUIT

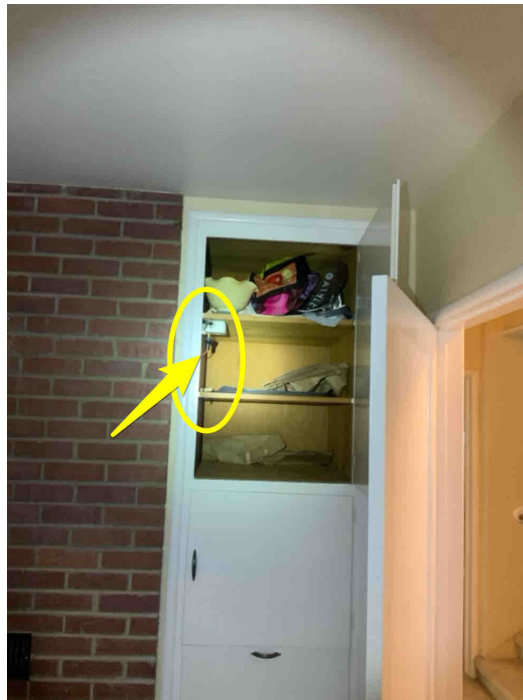
DS 291: Disclosure: Furnishings and occupants' belongings prevent testing of every outlet and switch. Have all outlets and switches tested once home is vacant.

SU 292: Recommend the installation of GFCI and AFCI outlet protection, Vacancy Sensors and Humidistat switches as required in all locations as a safety upgrade per California current standards.

a. Vacancy Sensor light switch: A Vacancy Sensors is a light switches that detect when a space such as a bathroom, garage, laundry room is unoccupied and will automatically turns OFF the lights after a certain amount of time, thereby saving energy.

b. Humidistat Fan Switch: A humidistat is a switch which controls a bathroom exhaust fan and turns the fan on automatically when there is a high level of moisture from the shower, reducing the overall humidity level in the bathroom.

293: Improper and unsafe electrical wiring. Exposed electrical wiring, "Romex" improperly installed subject to physical damage, not in a conduit or raceway per standards: FRONT HOUSE - DOWNSTAIRS BEDROOM-1 CABINTRY



OUTLETS/SWITCHES

SC 294: Miswired electrical outlet (Reverse polarity) found AT THE EXTERIOR OUTLET ON THE FRONT OF THE FRONT HOUSE GARAGE. Have electrician check all outlets and correct as needed.



SC 295: Some three-prong electrical outlets did not test properly grounded in the FRONT UNIT. Recommended further review of all outlets once furnishings have been removed and repair outlets as needed by a certified or licensed electrical professional.

Electrical Sub-Panel

UNIT-1225

SUBPANEL

296: Location: **UNIT 1225 KITCHEN**

Amps: **unknown**



297: PANEL CONDITION: No visible significant electrical defects noted in the ELECTRICAL SUB-PANEL.

UNIT-1227

SUBPANEL

298: Location: UNIT 1227

Amps: unknown



299: PANEL CONDITION: No visible significant electrical defects noted in the ELECTRICAL SUB-PANEL.

PANEL COMMENTS

SU 300: Breakers in the ELECTRICAL SUB PANEL are not fully or properly labeled per standards.

Detectors

SC 301: **Smoke detector missing at required location:**

1. UNIT 1227 INSIDE THE BEDROOM HALLWAY
2. FRONT HOUSE - DOWNSTAIRS BEDROOM-2

SC 302: **Carbon Monoxide detector missing at the required location:**

1. UNIT 1225 OUTSIDE THE BEDROOM
2. UNIT 1227 INSIDE THE BEDROOM HALLWAY
3. FRONT HOUSE - DOWNSTAIRS BEDROOM-1 due to the wood-burning fireplace inside the bedroom

Garage

The conditions inside walls, behind occupants' belongings, and areas not visible cannot be determined. Do a careful check during final walkthrough.

Determining the condition of the waterproofing on interior below grade walls is outside the scope of this inspection. Interior walls are visually inspected for stains and damage in accessible areas that are not blocked or covered by occupants' belongings.

FLOORS

DS 303: The FRONT UNIT garage floor and walls are not fully visible due to carpeting, occupants' belongings and/or cabinetry. Areas of the garage is not accessible, visible nor inspected. A re-inspection is recommended once full access is made available.



WALLS & CEILINGS

304: Visible areas of the garage walls and ceiling appear acceptable.

If the garage is occupied, areas of the floor, walls, ceilings and attic may not be visible during original inspection due to occupant's belongings or cabinetry. If the garage is occupied during this inspection, client should have garage reinspected once garage is vacant.

DS 305: The conditions inside walls, behind occupants' belongings, and areas not visible, cannot be determined. Do a careful check during final walkthrough.

DS 306: Walls not fully visible due to occupants' belongings and/or cabinetry.

FI 307: Moisture stains found on areas of the garage wall. Recommend further review to determine cause, current condition and if repairs are needed. Areas found dry today.



FIRE DOOR

SC 308: Door from FRONT UNIT garage into the house or living space is NOT a fire rated door per standards.

SC 309: Self-closer is missing at garage fire door to the living space.

SC 310: Missing weather stripping at garage fire door to the living space.

PEDESTRIAN DOOR

311: Operated when tested.

VEHICLE DOOR TYPE

312: Roll-up

VEHICLE DOOR

313: The garage vehicle door(s) operated when tested.

314: Proper safety springs installed on the garage vehicle door.

MR **315:** *Note: It is recommended to lubricate the hinges, rollers and auto opener annually as part of typical ongoing maintenance.*

VEHICLE DOOR OPENER

E&C **316:** The FRONT UNIT garage vehicle door auto opener did not operate properly when tested. Servicing or repair warranted.

Fireplace

FRONT HOUSE Fireplace # 1

FIREPLACE LOCATION

317: FRONT UNIT - LIVING ROOM



FIREPLACE TYPE

318: Fireplace Type: **Masonry**

319: Fuel Type: **Wood Burning**

320: Chimney Type: **Pumice Liner**

MASONRY FIREPLACE

E&C 321: Cracked and damaged bricks and/or mortar found at the back wall inside the FRONT UNIT - LIVING ROOM fireplace firebox. General maintenance and/or repairs are warranted as cracks and separations can allow superheated gases to escape through the back wall and collect in the confined spaces of the chimney. Contact a qualified chimney sweep/professional to grind out and re-mortar cracked and separated areas for safety.



322: The brick face and wood mantle at the Masonry fireplace appears serviceable and in good condition.

323: Damper operated when tested.

324: The log grate found to be in a good serviceable condition.

325: The fireplace hearth extension appears serviceable and in good condition at the FRONT UNIT - LIVING ROOM.

326: Fireplace screen appears adequate.

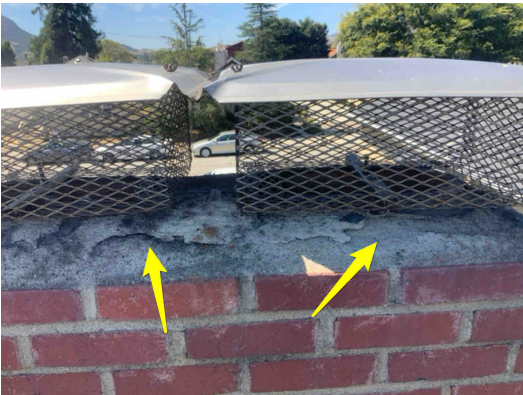
MASONRY CHIMNEY

327: Photo of the LIVING ROOM Masonry Chimney



MR 328: Visible cracks found in the mortar crown located at the top of the LIVING ROOM fireplace chimney. Maintenance / caulking or sealing is recommended to help prevent water intrusion into the confined spaces within the masonry chimney.

MR 329: Heavily deteriorated mortar crown located at the top of the LIVING ROOM and BEDROOM fireplace chimney. Maintenance / repairs recommended to help prevent water intrusion into the confined spaces within the masonry chimney.



330: The fireplace chimney cap and screen appears serviceable and in good condition.

SC FI 331: Some visible separations due to the improper / poor installation of the mortar joints between the fireplace chimney flue liners inside the LIVING ROOM and the BEDROOM masonry fireplace chimneys. This can allow super-heated gasses from a fire in the fireplace to exit the chimney flue and enter confined spaces within the structure. Recommend further review and repair of the fireplace & chimney by a qualified chimney sweep / contractor.

MR 332: Deteriorated sealant, cracks and separations noted at the LIVING ROOM and BEDROOM masonry chimney roof flashings. General maintenance such as caulking and resealing the fireplace roof flashings is needed. Contact a qualified roofer for maintenance recommendations.

FRONT HOUSE Fireplace # 2

FIREPLACE LOCATION

333: [FRONT HOUSE - DOWNSTAIRS BEDROOM-1](#)



FIREPLACE TYPE

334: Fireplace Type: **Masonry with a prefabricated metal firebox.**

335: Fuel Type: **Wood Burning**

FIREPLACE CONDITION

336: [FIREPLACE CONDITION](#): The visible areas of the FRONT HOUSE - DOWNSTAIRS BEDROOM-1 fireplace appears operational and in a serviceable condition.

MASONRY FIREPLACE

337: The brick face at the FRONT HOUSE - DOWNSTAIRS BEDROOM-1 Masonry fireplace appears serviceable and in good condition.

338: Damper operated when tested.

339: The log grate found to be in a good serviceable condition.

340: The fireplace hearth extension appears serviceable and in good condition at the FRONT HOUSE - DOWNSTAIRS BEDROOM-1.

341: Fireplace screen appears adequate.