



# Inspection Report

**Carol Manligas-Kishler  
Kevin Kishler**

**Property Address:**  
6402 Seabryn  
Rancho Palos Verdes CA 90275



**Home Inspection Detection Services**

**Omar Falah**  
**27943 Seco Canyon Rd. # 108**  
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<b>Date:</b> 3/26/2025	<b>Time:</b> 11:00 AM	<b>Report ID:</b> KI032625-116-116
<b>Property:</b> 6402 Seabryn Rancho Palos Verdes CA 90275	<b>Customer:</b> Carol Manligas-Kishler Kevin Kishler	<b>Real Estate Professional:</b> Steve Gutierrez-Kovner John Hart Real Estate

### Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Attention, Repair or Monitoring Needed (ARM)** = The item, component or system inspected needs further attention, repair and or monitoring.

**Licensed Professional Needed (LPN)** = Recommend further review and repairs as needed by a qualified licensed contractor or specialty tradesman dealing with that item, system or component.

**Safety Hazard (SH)** = Item noted is a safety hazard. Further evaluation, consultation and or correction is needed by a qualified licensed contractor or specialty tradesman dealing with that item, system or component.

**PLEASE NOTE THAT ALL COMMENTS MADE IN THIS INSPECTION REPORT RELATED TO LOCATION (LEFT,RIGHT,FRONT, REAR) WAS BY STANDING IN THE STREET AND FACING THE PROPERTY.**

**PLEASE NOTE THAT DUE TO THE AMOUNT OF ISSUES NOTED THROUGHOUT THE PROPERTY TO ALL MAJOR CONSTRUCTION SYSTEMS,, THE HOME IS NOT CURRENTLY HABITABLE AND IMMEDIATE CONSULTATION IS HIGHLY RECOMMENDED BY ALL LICENSED CONTRACTOR IN THEIR SCOPE OF WORK**

<b>In Attendance:</b> Client (seller), Listing Agent	<b>Type of building:</b> Single Family (2 story)	<b>Square Footage of Home:</b> 2466
<b>Approximate age of building:</b> 1968 Built	<b>Number of Bedrooms:</b> 4	<b>Number of Bathrooms:</b> 3
<b>Temperature:</b> 62.0	<b>Weather:</b> Cloudy / Overcast	<b>Ground/Soil surface condition:</b> Dry
<b>Rain in last 3 days:</b> No	<b>Property Occupied:</b> Some Areas Fully Occupied and Some Vacant	<b>Water on to the Property:</b> Yes

**Electrical Power on to the Property:**

Yes

**Gas on to the Property:**

Yes

# General Summary



## Home Inspection Detection Services

**27943 Seco Canyon Rd. # 108  
Santa Clarita, CA 91350  
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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## 1. Grounds



### 1.0 Driveway



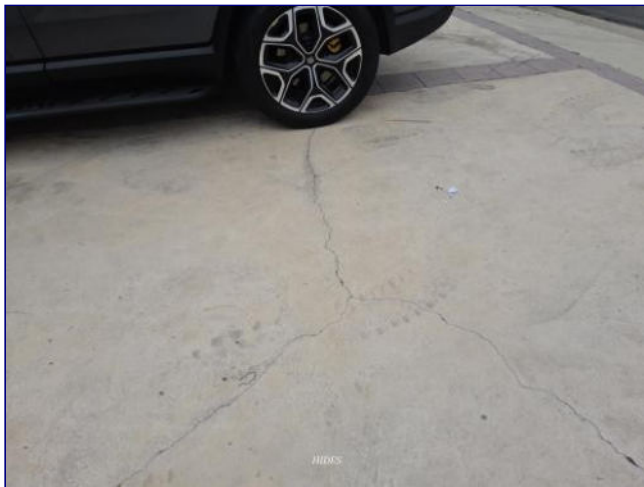
Moderate to large size cracks were noted to the driveway. Regular maintenance and or inspection is advised. Driveway show evidence of inadequate drainage and or ponding. Regular maintenance and or inspection is advised. Driveway appears to be sloped towards the home / garage. Further evaluation is recommended by a licensed general contractor.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)

**1.1 Sidewalks**

Common to moderate cracks as well as evidence of ponding and or inadequate drainage was noted to the sidewalks. Regular maintenance and or inspection is advised. Uneven areas were noted to the sidewalks. Regular maintenance and or inspection is advised. Trip hazards were noted to the sidewalks. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor.



1.1 Item 1(Picture)

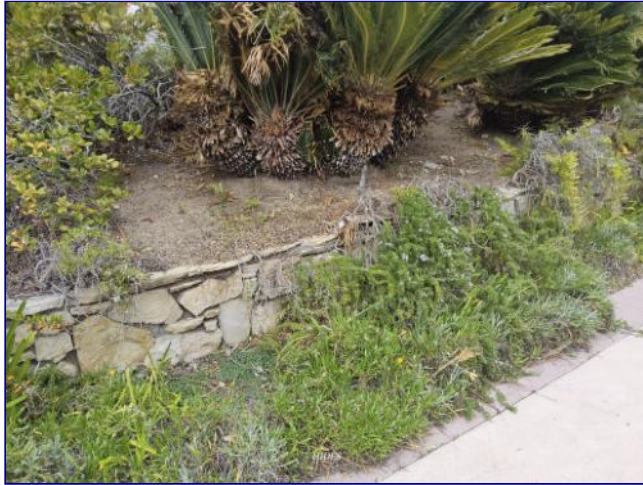


1.1 Item 2(Picture)



## 1.2 Retaining Walls

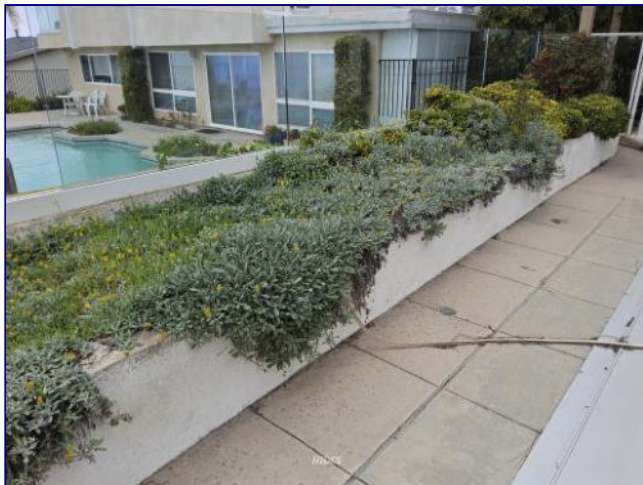
- 🔧 No evidence of drainage openings were noted to the retaining walls. Regular maintenance and or inspection is advised. Evidence of moisture penetration was noted to the retaining walls. Regular maintenance and or inspection is advised. Evidence of movement / displacement was noted to the retaining walls. Further evaluation is recommended by a licensed general contractor or landscaper.



1.2 Item 1(Picture)



1.2 Item 2(Picture)



1.2 Item 3(Picture)



1.2 Item 4(Picture)

## 1.3 Patio Area

- 🔧 Common to moderate cracks along with evidence of inadequate drainage and or ponding was noted to the patio areas. Regular maintenance and or inspection is advised by a licensed general contractor.

## 1.4 Patio Area Cover Type (open design or covered roof) (please see roof section if covered roof)

- 🔧 Substandard / non professional installation, support methods used along with heavy moisture stains were noted to the patio area structure. Further evaluation, consultation, and inspect, is recommended by a licensed general contractor. Extensive moisture damage and dry rot was noted to the open design patio covers. Further evaluation, consultation, and inspection, is highly recommended by a licensed pest control / termite company and or licensed general contractor.





1.4 Item 1(Picture)



1.4 Item 2(Picture)



1.4 Item 3(Picture)



1.4 Item 4(Picture)



1.4 Item 5(Picture)



1.4 Item 6(Picture)

**1.5 Porch Area**

Common cracks were noted to the patio and or porch area. Regular maintenance and or inspection is advised.





1.5 Item 1(Picture)

**1.7 Decks & Balcony (including stairs & railings)**

🔨 Deck has major moisture damage, major dry rot and or termite damage, is not structurally sound and has damaged glass railings. Considering the location of the deck, its damage, and the lack of structural integrity, this is an extreme safety hazard. Deck should not be walked on. Immediate attention is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, structural engineer, and possibly a geo-technical contractor.



1.7 Item 1(Picture)



1.7 Item 2(Picture)



1.7 Item 3(Picture)



1.8 Fences & Gates

🔧 Perimeter fencing and gates are worn, rusted, deteriorated. Also, gates leading to the pool area are in need of self closing device and or device is not functional. The self closing device issue is a safety hazard. Further evaluation, consultation, and inspection, is highly recommended by a licensed gate installation company / contractor.



1.8 Item 1(Picture)



1.8 Item 2(Picture)



1.8 Item 3(Picture)



1.8 Item 4(Picture)



1.8 Item 5(Picture)



## 2. Exterior

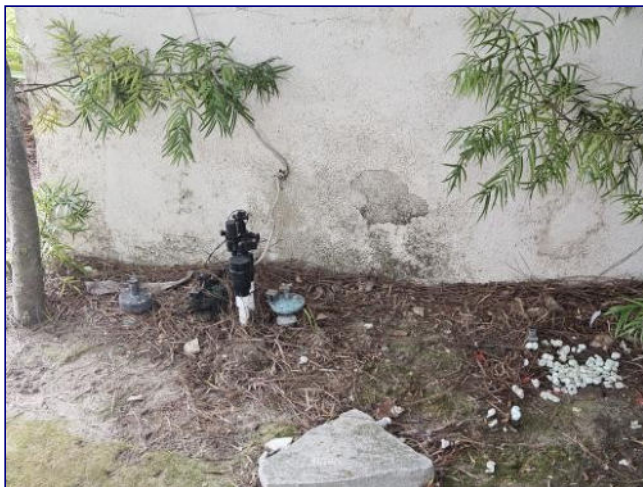


### 2.0 Exterior Stairs & Railings

- Missing railings were noted to exterior stairs. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor. Common to moderate cracks were noted to all perimeter exterior stairs. Regular maintenance and or inspection is advised.

### 2.1 Exterior Walls

- Moderate cracks were noted to the exterior walls. Regular maintenance and or inspection is advised. Large size cracks were noted to the exterior walls. Regular maintenance and or inspection is advised. Stucco to the exterior walls is worn / deteriorated. Regular maintenance and or inspection is advised. Moisture stains were noted to the exterior walls. Although stains are dry, regular maintenance and or inspection is advised. Holes, openings, and or exposed framing was noted to the exterior walls. These holes, openings, and or exposed framing areas must be sealed / patched to help eliminate any moisture intrusion and or penetration. Further evaluation is recommended by a licensed general contractor.



2.1 Item 1(Picture)



2.1 Item 2(Picture)



2.1 Item 3(Picture)



2.1 Item 4(Picture)

### 2.2 Eaves, Soffits and Fascias (exterior trim)

- Moisture stains were noted to the exterior trim at various locations. Regular maintenance and or inspection is advised. Wear / deterioration was noted to the exterior trim at various locations. Regular maintenance and or inspection is advised. Extensive dry rot, moisture damage and or possible termite damage was noted to the exterior trim at various locations. Further evaluation is highly recommended by a pest control / termite company and or a licensed general contractor.



2.2 Item 1(Picture)



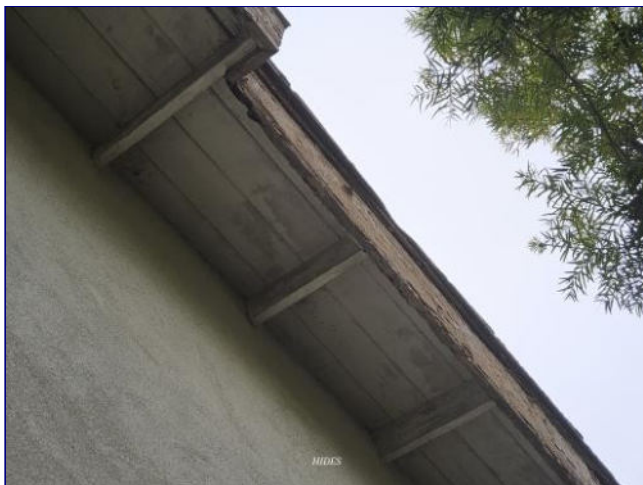
2.2 Item 2(Picture)



2.2 Item 3(Picture)



2.2 Item 4(Picture)



2.2 Item 5(Picture)

### 2.3 Chimney



Spark screen was missing to the chimney. Correction is needed. Further evaluation is recommended by a licensed fireplace / chimney contractor. Raincap was missing to the chimney. Correction is recommended by a licensed fireplace / chimney contractor. Separation of flashing was noted at chimney to roof unions. Correction is recommended by a licensed fireplace / chimney contractor and or licensed roofer. Moderate cracks were noted to the chimney brick and or mortar. Correction is recommended by a licensed fireplace / chimney contractor and or licensed roofer.





2.3 Item 1(Picture)

### 2.5 Gutters & Downspouts (roof drainage system)



Downspout and or gutter was damaged. Correction is recommended by a licensed gutter / downspout contractor.



2.5 Item 1(Picture)

## 3. Foundation & Attic



### 3.0 Vegetation, Grading, Drainage (with respect to their effect on the condition of the property)



Large size trees and or tree trunks were planted on the property. Regular maintenance and or inspection is advised as large size trees can pose issues with various aspects of construction. The tree limbs that are in contact with the roof or hanging near roof should be trimmed. Overgrown vegetation was noted. Removal of overgrown vegetation is recommended as this can pose issues with various aspects of construction. Evidence of inadequate drainage / ponding was noted around the perimeter of the home near foundation. Regular maintenance and or inspection is advised. Due to the overgrown vegetation, many perimeter block walls were not visible for inspection. Use caution High soil level was noted at exterior walls at various perimeter locations. Regular maintenance and or inspection is advised.





3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)



3.0 Item 4(Picture)



3.0 Item 5(Picture)



3.0 Item 6(Picture)





3.0 Item 7(Picture)

### 3.1 Foundations, Basement (if applicable) and Crawlspace (if applicable)



A portion of the raised foundation was not accessible due to the installation of indoor spa at the left side of the home. Raised foundation portion inspection is limited. The other access point inside the home (downstairs office area) to the raised foundation shows evidence of possible moisture intrusion and or penetration along with inadequate ventilation. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



3.1 Item 1(Picture)

### 3.2 Ventilation of Foundation Areas



A portion of the raised foundation was not accessible due to the installation of indoor spa at the left side of the home. Raised foundation portion inspection is limited. The other access point inside the home (downstairs office area) to the raised foundation shows evidence of possible moisture intrusion and or penetration along with inadequate ventilation. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor.



3.2 Item 1(Picture)

### 3.3 Walls (Structural)



Due to the many areas of moisture stains, moisture damage, mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.

### 3.4 Floors (Structural)



Due to the many areas of moisture stains, moisture damage, mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.

### 3.5 Ceilings (Structural)



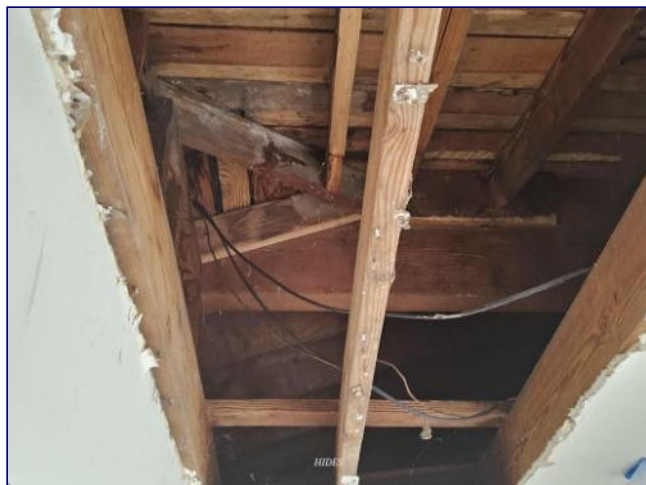
Due to the many areas of moisture stains, moisture damage, mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.

### 3.6 Attic Area



Moisture stains were noted in the attic area at various locations. Although stains are dry, regular maintenance and or inspection is advised. Evidence of possible rodent droppings were noted all throughout the attic area. Further evaluation is recommended by a licensed pest control company. Attic access hatch remains partially open is damaged / defective. Correction is needed. Further evaluation is recommended by a licensed drywall contractor. Asbestos type materials was installed in the attic. Further evaluation is recommended by a licensed general contractor. Poor insulation coverage was noted in the attic. Further evaluation is recommended by a licensed general contractor.





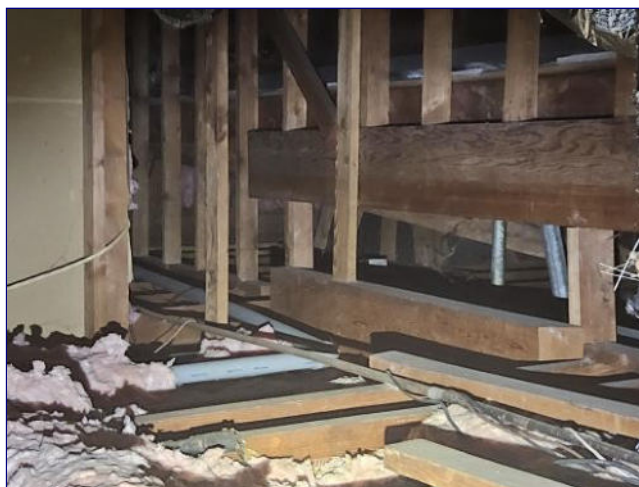
3.6 Item 1(Picture)



3.6 Item 2(Picture)



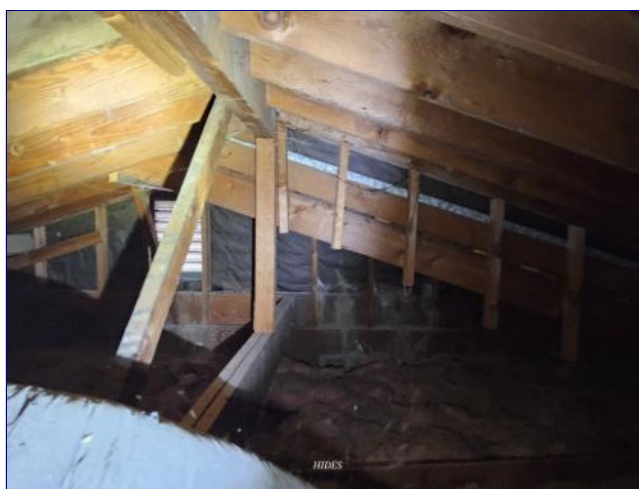
3.6 Item 3(Picture)



3.6 Item 4(Picture)



3.6 Item 5(Picture)



3.6 Item 6(Picture)

## 4. Main Roof



### 4.0 Roof Coverings

- The roofing system is in a heavily worn / deteriorated condition, and quite simply is approaching the end of its lifespan with improper installation of flashing, rusted flashing, cracked tiles, loose tiles,



dislodged tiles, and no roof underlayment noted. Further evaluation, consultation, and inspection, is highly recommended by a licensed roofer.



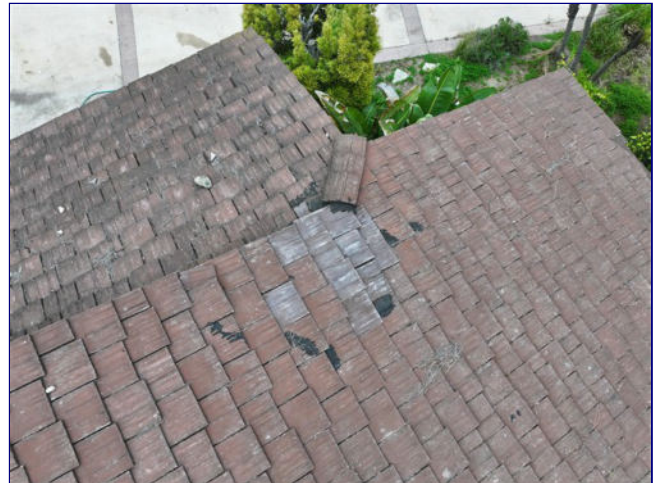
4.0 Item 1(Picture)



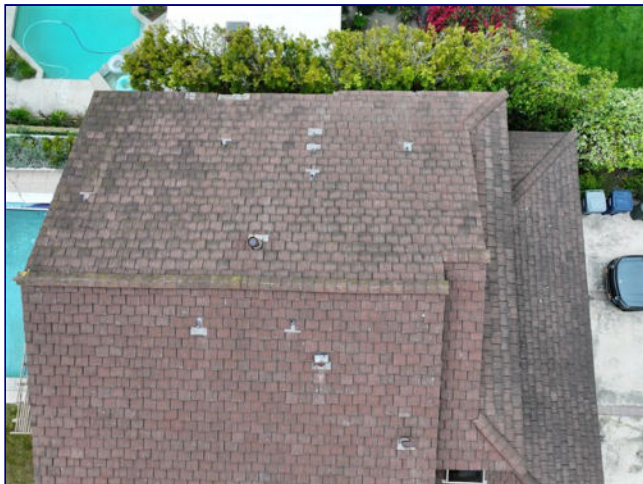
4.0 Item 2(Picture)



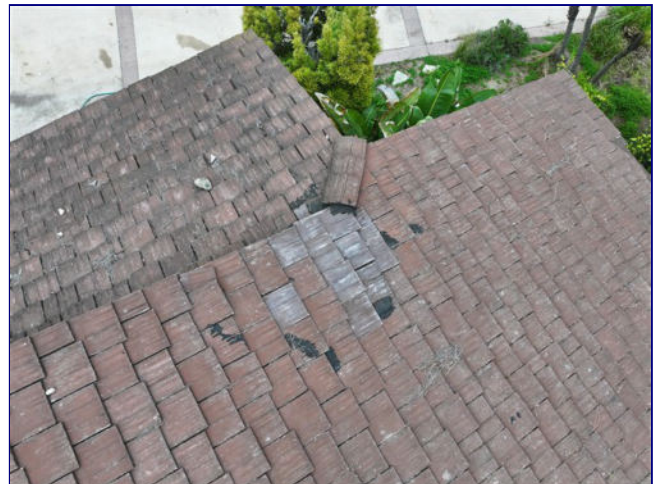
4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)



4.0 Item 6(Picture)





4.0 Item 7(Picture)



4.0 Item 8(Picture)



4.0 Item 9(Picture)

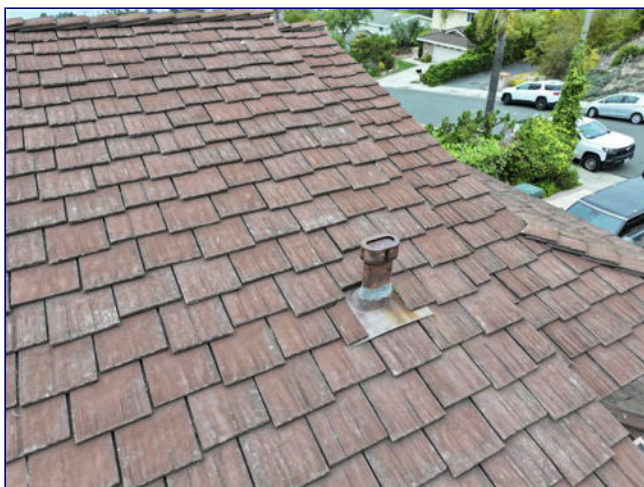


4.0 Item 10(Picture)

**4.1 Flashings, Roof Penetrations, Vent Pipes, Vents**



The roofing system is in a heavily worn / deteriorated condition, and quite simply is approaching the end of its lifespan with improper installation of flashing, rusted flashing, cracked tiles, loose tiles, dislodged tiles, and no roof underlayment noted. Further evaluation, consultation, and inspection, is highly recommended by a licensed roofer.



4.1 Item 1(Picture)



4.1 Item 2(Picture)

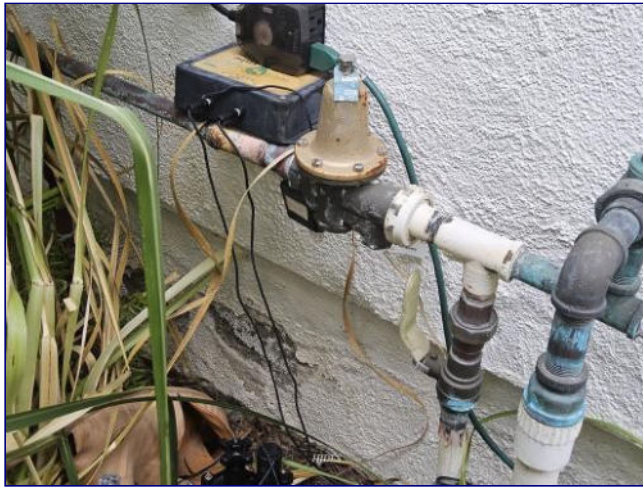


## 5. Plumbing Systems



### 5.0 Main Supply Line (into home)

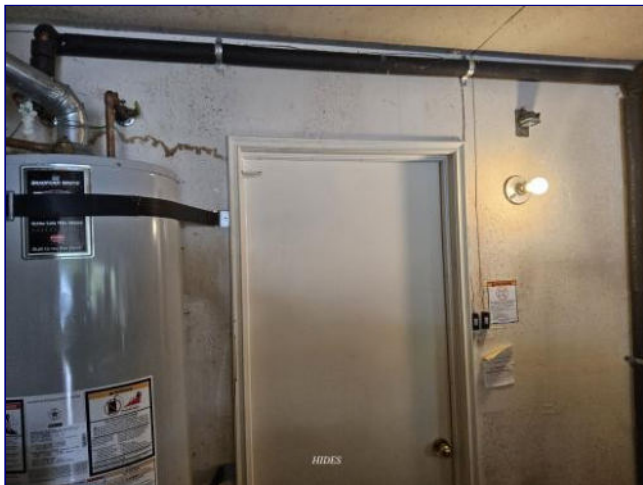
- Moderate corrosion was noted to the main water supply line and regulator. Further evaluation is recommended by a licensed plumber.



5.0 Item 1(Picture)

### 5.1 Plumbing Water Supply, Distribution System (inside the home)

- Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area and laundry room area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



5.1 Item 1(Picture)



5.1 Item 2(Picture)

### 5.2 Plumbing Drain, Waste and Vent Systems

- Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly

recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.

#### 5.4 Gas Lines / Piping



Gas line fireplace entry line is not sealed inside the firebox. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general or licensed fireplace / chimney contractor.



5.4 Item 1(Picture)

#### 5.5 Hot Water System(s)



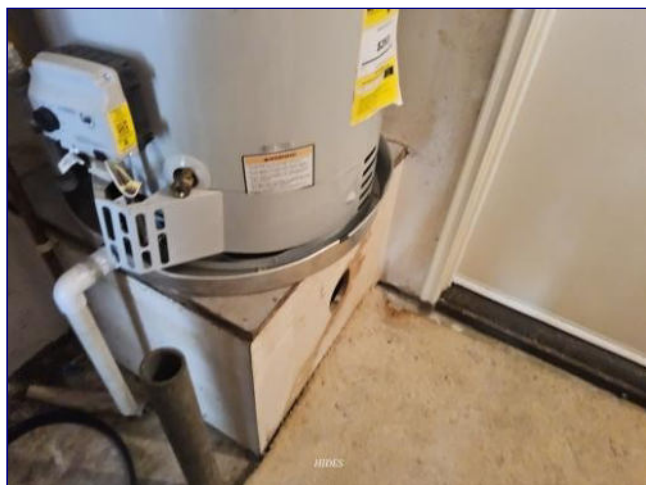
Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. Improper installation of seismic straps, improper termination of TPR overflow pipe, and major corrosion to the outlet line and or connector, were all deficiencies noted to the water heater. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Please note that the water heater platform has a hole / opening and has been compromised and as a result, adjacent garage firewall has been compromised. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor and or licensed drywall contractor.



5.5 Item 1(Picture)



5.5 Item 2(Picture)



5.5 Item 3(Picture)



5.5 Item 4(Picture)

## 6. Heating System(s)



### 6.0 Heating Equipment (location, heating type & fuel type)

- 🔧 Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.





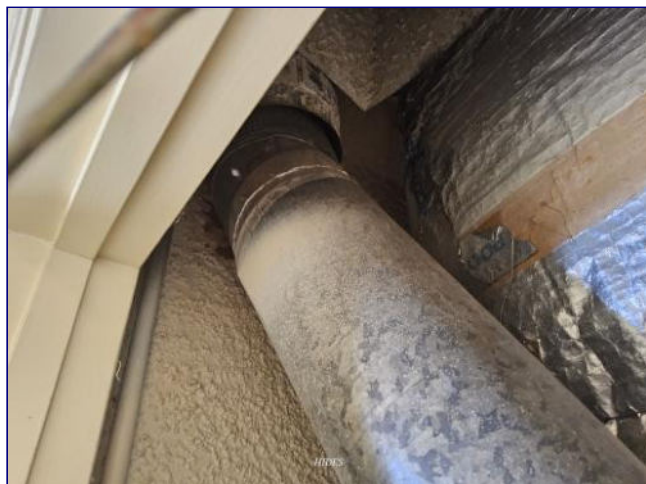
6.0 Item 1(Picture)

### 6.1 Condition of Heating System

- 🔧 Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the sttic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.

### 6.3 Heating System Venting

- 🔧 Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

### 6.4 Heating System Combustion Air Supply

- 🔧 Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor. Combustion air supply are missing their respective screens inside the heating system enclosure. Correction is needed. Further evaluation is recommended by a licensed HVAC contractor.



6.4 Item 1(Picture)

### 6.5 Heating System Burners

- 🔧 Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.

### 6.6 Heating System Distribution (ducting)

- 🔧 Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.



6.6 Item 1(Picture)



6.6 Item 2(Picture)

## 7. Electrical System



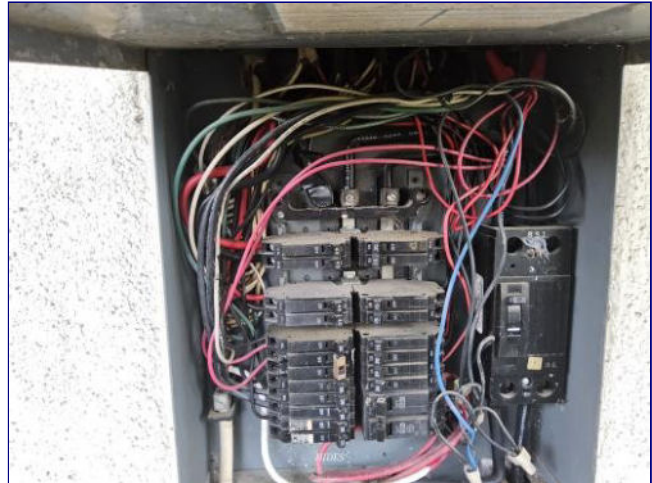
### 7.2 Branch Circuit Conductors, Overcurrent Devices and Compatibility of their Amperage and Voltage

- 🔧 Main electrical panel has unprotected openings. Further evaluation, consultation, and inspection, is recommended by a licensed electrician. Breakers are not fully labeled for circuit designation. This is a safety hazards and correction is needed. Further evaluation, consultation, and inspection, is recommended by a licensed electrician. Improper wiring / two wires connected to a breaker was noted

to the main electrical panel. This is a safety hazard and correction is needed by a licensed electrician. The 125 amp main electrical may be undersized by today's electrical standards due to the size of the home as well as the pool installation. Further consultation is recommended by a electrician.



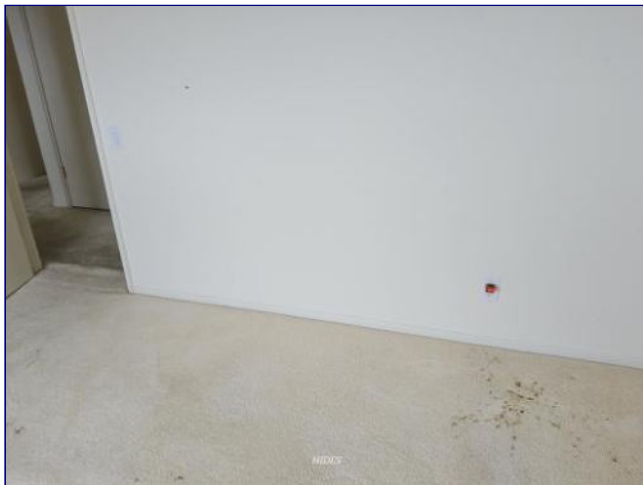
7.2 Item 1(Picture)



7.2 Item 2(Picture)

**7.3 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, and switches located inside the house, and on the dwelling's exterior walls)**

Wall switch powers / controls both the upper and lower receptacles at all bedrooms. Switch should on power / control lower receptacle. This is a wiring deficiency and correction is needed. Further evaluation is recommended by a licensed electrician. Improper wiring / splicing / extension cord use as permanent wiring, were all electrical deficiencies noted in the kitchen inside cabinetry. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician.



7.3 Item 1(Picture)



7.3 Item 2(Picture)





7.3 Item 3(Picture)

#### 7.4 Polarity and Grounding of Receptacles inside the home, garage, carport and exterior areas of inspected structure including GFCI

- Various exterior outlets were not grounded and GFCI not functional as well as missing exterior rated cover plates. These deficiencies are safety hazards and correction is needed. Further evaluation is recommended by a licensed electrician. Pool equipment GFCI is missing its exterior rated cover plates as well as various other outlets throughout the property. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician.



7.4 Item 1(Picture)

## 8. Interior

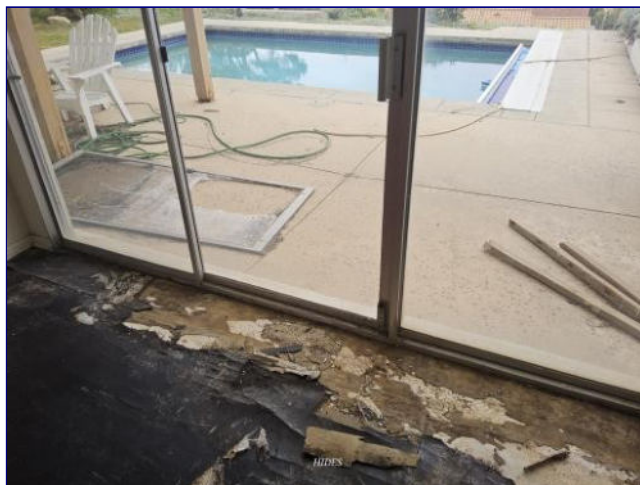


### 8.0 Main Entry, Exterior, & Interior Doors (representative number)

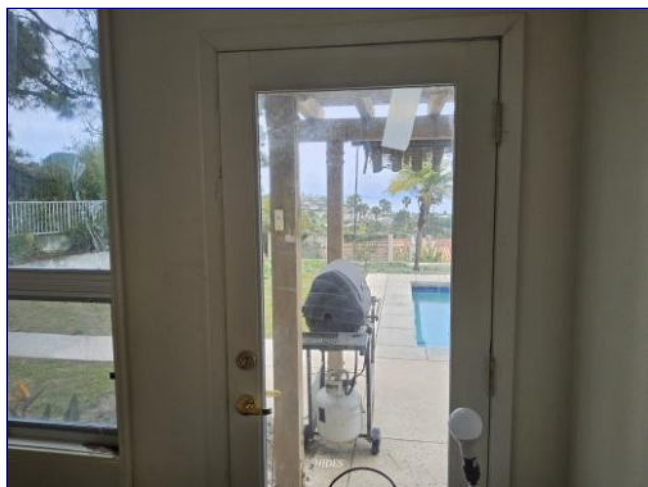
- Rear exterior sliding door does not have a landing. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed door contractor. All exterior sliding doors were difficult to operate, in need of adjustment / lubrication, have damaged or missing exterior sliding screen doors and do not appear to be tempered. Further evaluation, consultation, and inspection, is highly recommended by a licensed door contractor and or licensed general contractor. Please note that many interior doors had some sort of defect (missing hardware, non functional hardware, trim damage, door damage, doors not square to frame). Further evaluation, consultation, and inspection, is highly recommended by a licensed door contractor.



8.0 Item 1(Picture)



8.0 Item 2(Picture)



8.0 Item 3(Picture)

### 8.1 Windows Exterior & Interior (representative number)

- 🔧 Window has cracked glass at various locations. This is a safety hazard and correction is needed. Further evaluation is highly recommended by a licensed window contractor. Please note that there is evidence of moisture intrusion to various windows throughout the home resulting in moisture damage to window sills, interior walls, etc.. There is also evidence of moisture intrusion to rear facing windows. All of the rear facing windows are not sealed to exterior wall unions and interior wall unions. Also, many windows screens were damaged or missing. Wood casement windows were moisture damaged, difficult to operate and or painted shut with defective hardware. Further evaluation, consultation, and inspection, is highly recommended by a licensed window contractor.





8.1 Item 1(Picture)



8.1 Item 2(Picture)



8.1 Item 3(Picture)



8.1 Item 4(Picture)



8.1 Item 5(Picture)

**8.2 Walls (visible portions)**

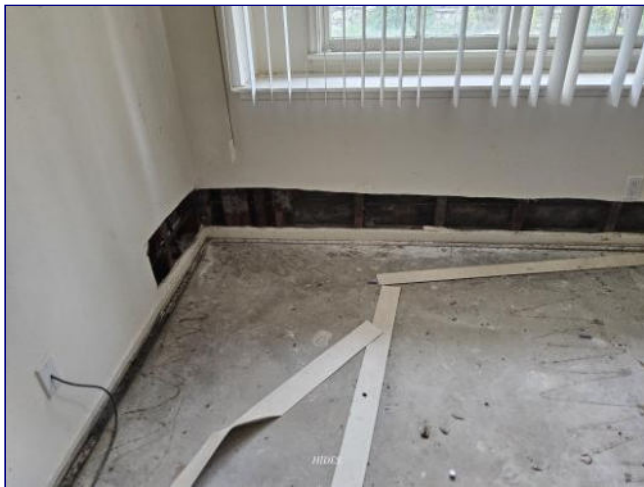
Due to the many areas of excessive moisture stains, excessive moisture damage, excessive mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.



8.2 Item 1(Picture)



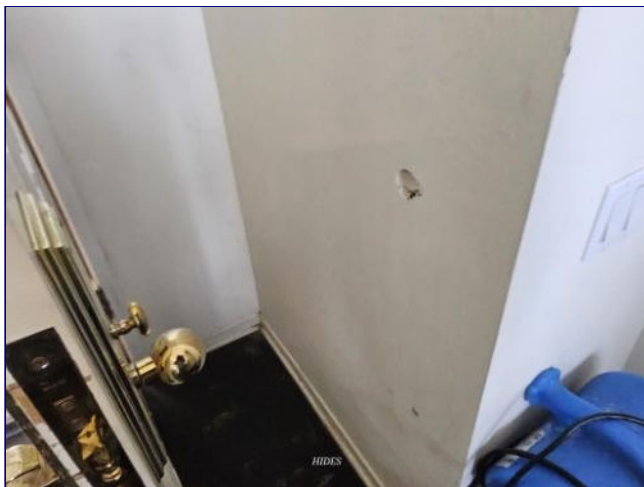
8.2 Item 2(Picture)



8.2 Item 3(Picture)



8.2 Item 4(Picture)



8.2 Item 5(Picture)



8.2 Item 6(Picture)





8.2 Item 7(Picture)



8.2 Item 8(Picture)



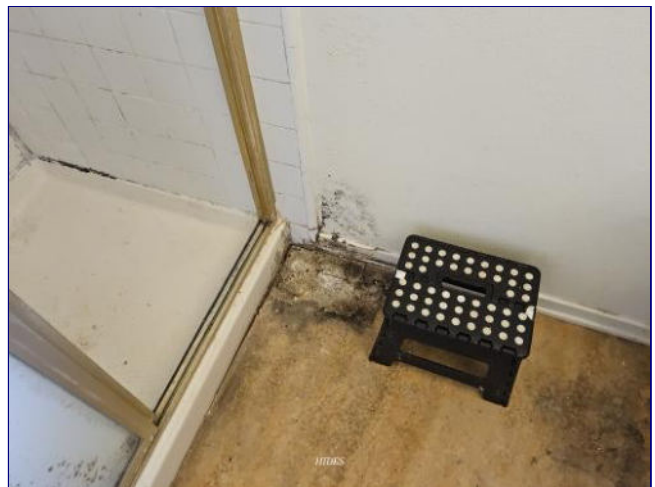
8.2 Item 9(Picture)



8.2 Item 10(Picture)



8.2 Item 11(Picture)



8.2 Item 12(Picture)



8.2 Item 13(Picture)

**8.3 Ceilings (visible portions)**

Due to the many areas of excessive moisture stains, excessive moisture damage, excessive mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



8.3 Item 1(Picture)

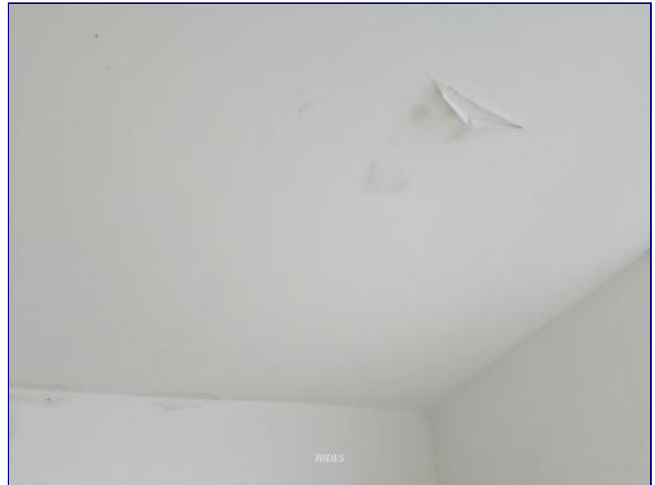


8.3 Item 2(Picture)





8.3 Item 3(Picture)



8.3 Item 4(Picture)



8.3 Item 5(Picture)



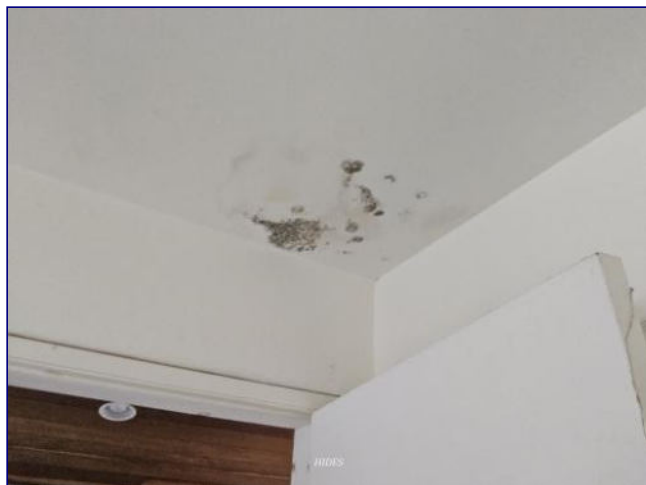
8.3 Item 6(Picture)



8.3 Item 7(Picture)



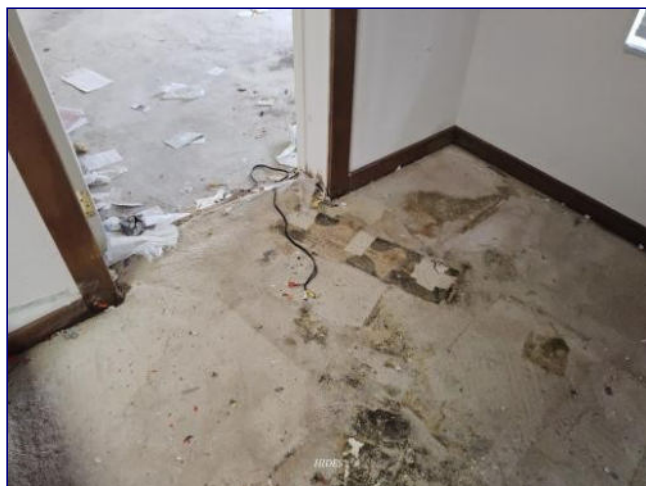
8.3 Item 8(Picture)



8.3 Item 9(Picture)

**8.4 Floors (visible portions)**

Due to the many areas of excessive moisture stains, excessive moisture damage, excessive mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer. Missing floor coverings were noted at many locations with heavy stains and damage to floor coverings. Further evaluation is highly recommended by a licensed flooring contractor.



8.4 Item 1(Picture)



8.4 Item 2(Picture)





8.4 Item 3(Picture)



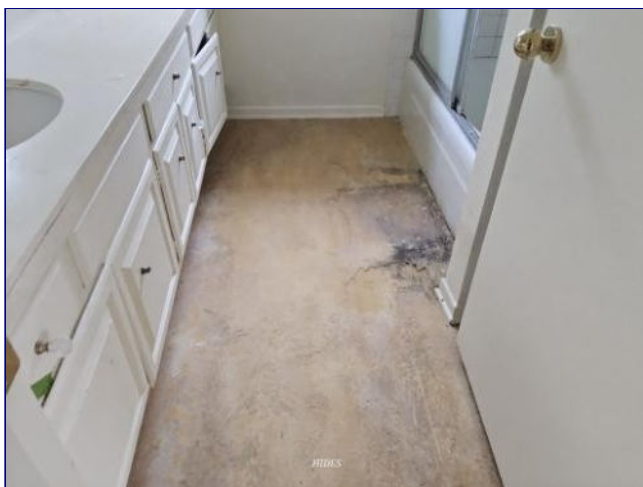
8.4 Item 4(Picture)



8.4 Item 5(Picture)



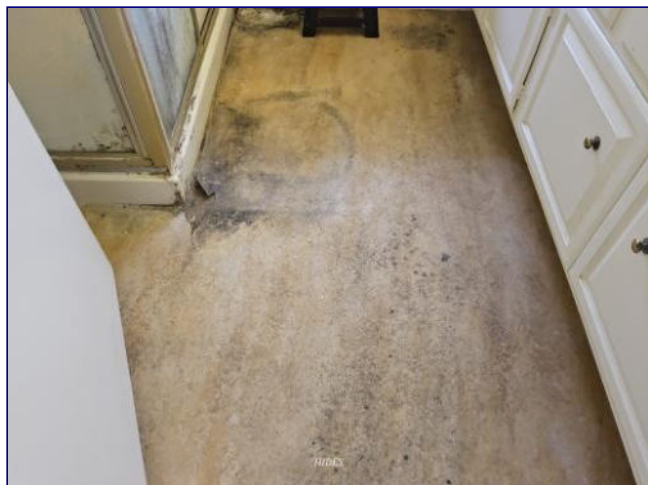
8.4 Item 6(Picture)



8.4 Item 7(Picture)



8.4 Item 8(Picture)



8.4 Item 9(Picture)

## 8.5 Fireplace



Gas entry line inside the fireplace is not sealed and line has excessive rust / corrosion. The rust / corrosion to the gas line inside the firebox is a direct result of moisture intrusion and or penetration of the chimney / fireplace. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general or licensed fireplace / chimney contractor. Fireplace appears to have not been serviced or swept for some time. Further evaluation, consultation, and inspection, is highly recommended by a licensed fireplace / chimney contractor.



8.5 Item 1(Picture)



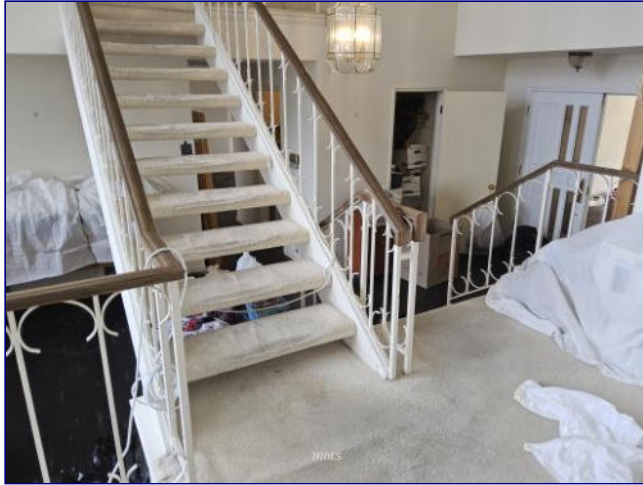
8.5 Item 2(Picture)

## 8.6 Steps, Stairways, Balconies and Railings



A staircase railings and balusters are too wide by today's construction / safety standards. This is a safety hazard and correction is recommended by a licensed general contractor.





8.6 Item 1(Picture)

**8.7 Counters and Cabinets & Wet Bar (if applicable) (representative number)**

Wet but faucet leaks. Correction is needed. Further evaluation is recommended by a licensed plumber.

**8.8 Smoke Detectors**

Required smoke and carbon monoxide detectors have yet to be installed. This is a safety hazard and correction is needed.

**8.9 Carbon Monoxide Detectors**

Required smoke and carbon monoxid3 detectors have yet to be installed. This is a safety hazard and correction is needed.

**9. Laundry Area****9.0 Laundry Area Piping (supply, drain, vent & gas lines)**

Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area and laundry room area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.

**10. Garage****10.0 Garage Floor**

Moderate cracks were noted to the garage floor / slab. Regular maintenance and or inspection is advised. Evidence of moisture intrusion and or penetration was noted to the garage floor, resulting in efflorescence, was noted. Further evaluation is recommended by a licensed general contractor.



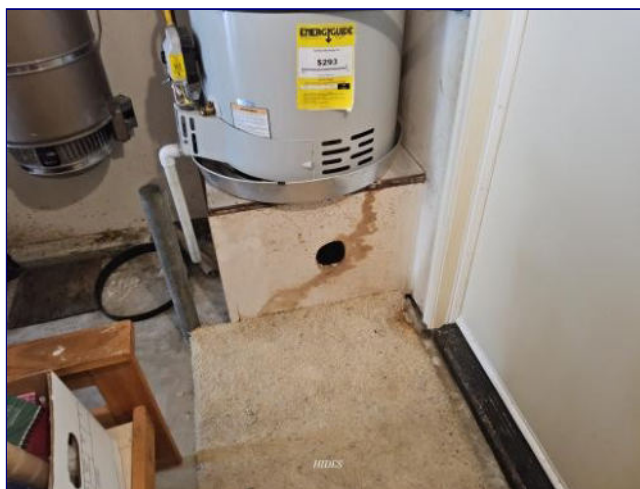
10.0 Item 1(Picture)

### 10.1 Garage Walls (including Firewall)

- 🔧 Moisture stains were noted to the garage wall(s). Although stains are dry, regular maintenance and or inspection is advised. Holes, openings were noted to to the garage firewall / firewall ceiling. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed drywall contractor. Please note that the water heater platform has a hole / opening and has been compromised and as a result, adjacent garage firewall has been compromised. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor and or licensed drywall contractor.



10.1 Item 1(Picture)

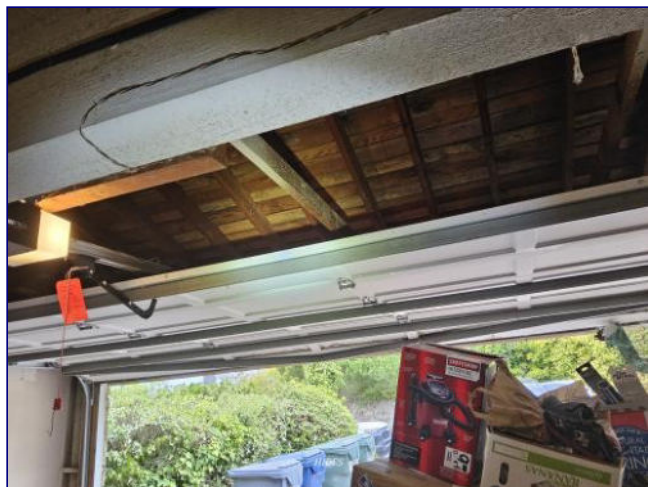


10.1 Item 2(Picture)

### 10.2 Garage Ceilings

- 🔧 Moisture stains were noted to the garage ceiling(s). Although stains are dry, regular maintenance and or inspection is advised.

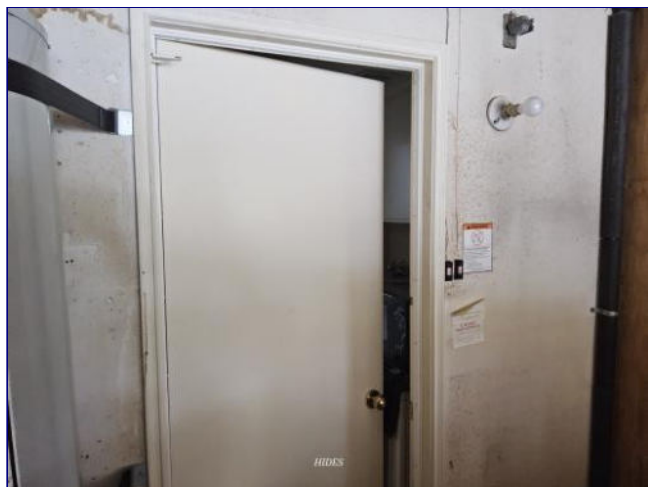




10.2 Item 1(Picture)

**10.4 Garage Door To Living Space**

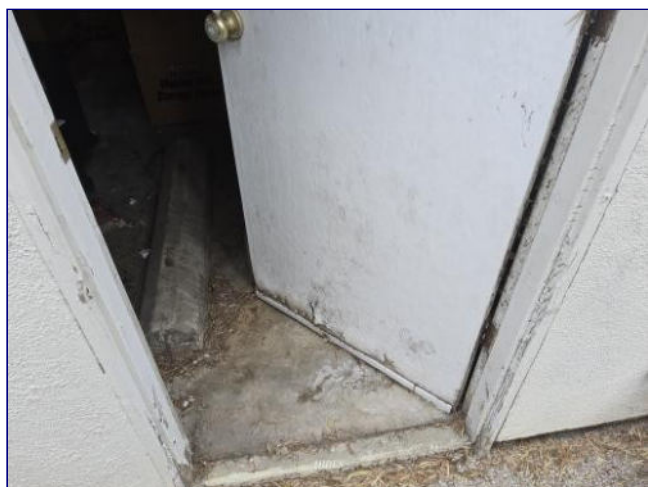
🔧 The garage door to living space is missing its self closing device. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed door contractor.



10.4 Item 1(Picture)

**10.5 Garage Exterior Door**

🔧 Garage exterior door is moisture damaged. Correction is needed. Further evaluation is recommended by a licensed door contractor and or licensed pest control / termite company.



10.5 Item 1(Picture)

### 10.6 Garage Vehicle Door(s)

- 🔧 Garage vehicle doors have moisture stains and some moisture damage at base of doors (moisture intrusion / penetration). Correction is needed. Further evaluation is recommended by a licensed garage vehicle door installation company / contractor.



10.6 Item 1(Picture)



10.6 Item 2(Picture)

### 10.8 Garage Electrical

- 🔧 Improper light fixture wiring noted in the garage. This is as a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician. Missing outlet and or switch covert plates were noted in the garage. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician. Unprotected / exposed wiring was noted in the garage. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician.



10.8 Item 1(Picture)

## 11. Kitchen



### 11.0 Kitchen Sink (faucet, fixtures, supply and drain lines)

- 🔧 Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area and laundry room area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations



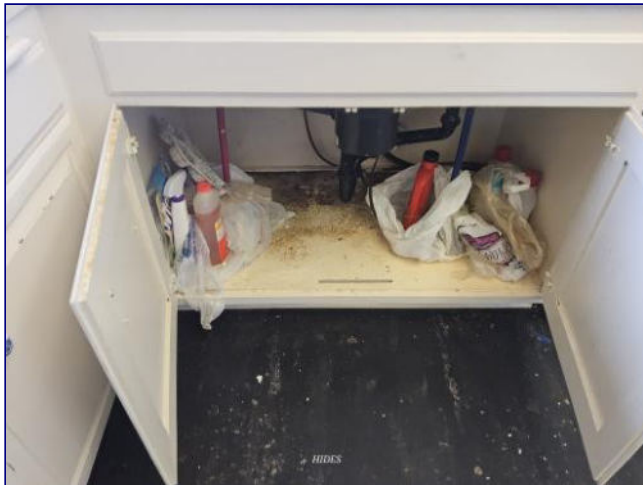
and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



11.0 Item 1(Picture)

### 11.1 Kitchen Cabinetry (drawers, cabinet doors, cabinetry, counter tops)

- Moisture damage was noted to cabinetry / platform underneath the kitchen sink. Further evaluation is recommended by a licensed cabinetry contractor and or licensed pest control / termite company.



11.1 Item 1(Picture)

### 11.2 Dishwasher

- The dishwasher and garbage were not inspected due to plumbing situation.

### 11.3 Ranges/Ovens/Cooktops

- Ovens were being used as storage. Inspector was unable to inspect and therefore verify functionality.



11.3 Item 1(Picture)

#### 11.4 Garbage Disposal

- 🔧 The dishwasher and garbage were not inspected due to plumbing situation.

### 12(A) . Master Bathroom



#### 12.0.A Toilet

- 🔧 Master bathroom toilet takes a long time to flush indicating possible stoppage issues. Further evaluation is recommended by a licensed plumber.



12.0.A Item 1(Picture)

#### 12.1.A Sink (cabinetry, fixtures, supply and drain lines)

- 🔧 Extremely low water pressure was observed to master bathroom sinks and shower. Correction is needed. Further evaluation is recommended by a licensed plumber.





12.1.A Item 1(Picture)

#### 12.4.A Shower (fixtures, supply and drain lines and shower enclosure (if applicable))

- Extremely low water pressure was observed to master bathroom sinks and shower. Correction is needed. Further evaluation is recommended by a licensed plumber.



12.4.A Item 1(Picture)



12.4.A Item 2(Picture)

### 12(B) . Upstairs Bathroom



#### 12.1.B Sink (cabinetry, fixtures, supply and drain lines)

- Right side upstairs hallway bathroom right side sink is not functional and left side sink drain line leaks as well as faucet. Correction is needed. Further evaluation is recommended by a licensed plumber.



12.1.B Item 1(Picture)

## 12(C) . Downstairs Bathroom



### 12.0.C Toilet

- Downstairs bathroom toilet does not flush / has defective / not functional flushing lever.

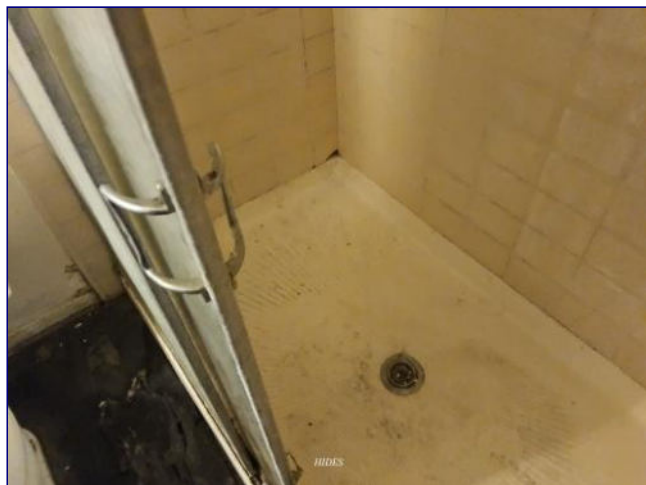


12.0.C Item 1(Picture)

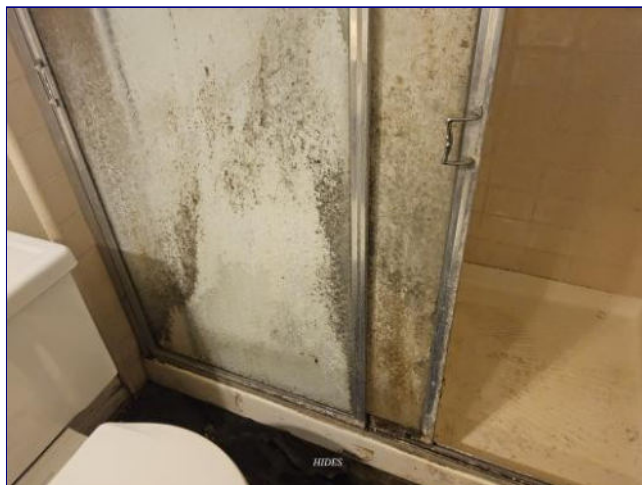
### 12.4.C Shower (fixtures,supply and drain lines and shower enclosure (if applicable))

- Heavy deterioration, mildew, and possible mold like substance was observed at downstairs bathroom, shower enclosure. Further evaluation is highly recommended by a licensed mold abatement company. Downstairs bathroom shower head leaks. Correction is recommended by a licensed plumber.

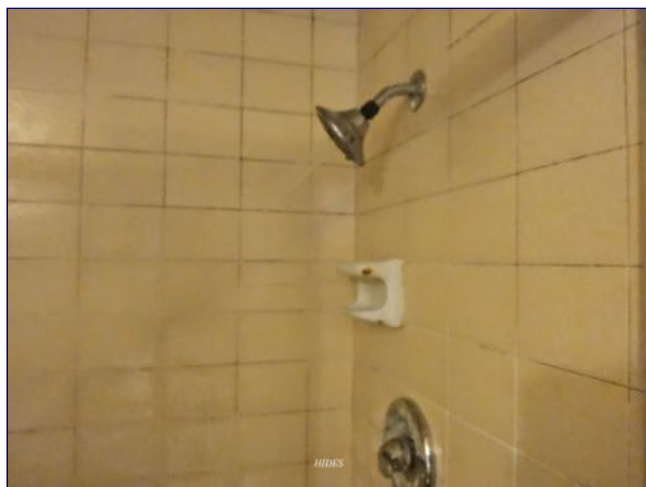




12.4.C Item 1(Picture)



12.4.C Item 2(Picture)



12.4.C Item 3(Picture)

## 13. Pool / SPA



### 13.0 Pool / Spa Type

- 🔧 Surface deterioration was noted to the pool. Regular maintenance and or inspection is advised. Please note that the edge of the pool towards the rear of the property is quite close to an embankment and may have inadequate support of adjacent soil and embankment. This may also and or is impacting the adjacent deck as well. Further evaluation, consultation, and inspection, is highly recommended by a licensed geo-technical contractor as to soil in this area.



13.0 Item 1(Picture)

**13.1 Pool / Spa Heater**

🔧 Pool heater was not responsive / currently functional. Further evaluation is recommended by a licensed pool contractor.



13.1 Item 1(Picture)

**13.2 Pool / Spa Filter System**

🔧 Diatomaceous pool filter pressure gage shows no reading when in operation. Correction is needed. Further evaluation is recommended by a licensed pool contractor.



13.2 Item 1(Picture)

**13.3 Pool / Spa Pumps**

- 🔧 Pool circulation pump leaking and has no body bond. Correction is needed. Further evaluation is recommended by a licensed pool contractor.



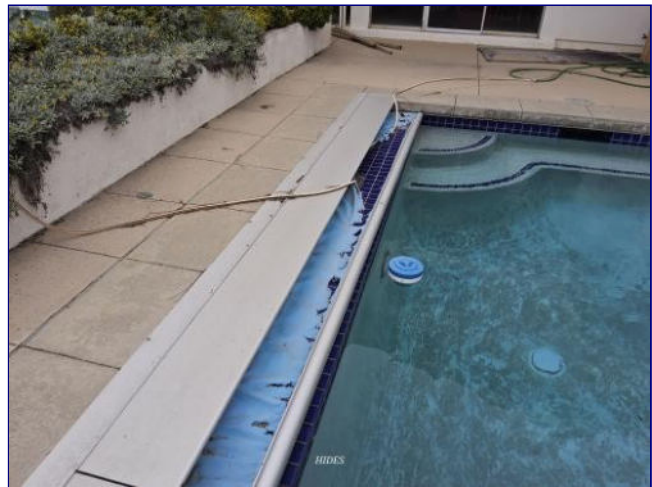
13.3 Item 1(Picture)

**13.5 Pool / Spa Electrical (pool / spa lights, wiring, GFCI, timers, remote switches)**

- 🔧 Pool equipment GFCI is missing its exterior rated cover plates as well as various other outlets throughout the property. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician. Pool time box is heavily corroded and replacement is needed. Further evaluation is recommended by a licensed pool contractor and or licensed electrician. Electronic pool cover is not functional, as mentioned to the inspector from client. Further evaluation is recommended by a licensed pool contractor as to its functionality and issues.



13.5 Item 1(Picture)



13.5 Item 2(Picture)

**13.6 Pool / Spa General (coping,fencing,surrounding deck / concrete)**

- 🔧 Perimeter gates are in need of self closing devices or devices are not functional due to pool / spa installation. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed gate installation company / contractor. Common to moderate cracks were noted to the pool surrounding deck areas. Further evaluation is recommended by a licensed pool contractor. Surface deterioration was noted to the pool. Regular maintenance and or inspection is advised. Please note that the edge of the pool towards the rear of the property is quite close to an embankment and may have inadequate support of adjacent soil and embankment. This may also and or is impacting the adjacent deck as well. Further evaluation, consultation, and inspection, is highly recommended by a licensed geo-technical contractor as to soil in this area.





13.6 Item 1(Picture)

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Omar Falah



# 1. Grounds

## Styles & Materials

**Driveway Type / Material:**

Concrete

**Sidewalks Type / Material:**

Concrete  
Pavers  
Masonry  
Pavers

**Retaining Wall Type / Material & Location:**

Block  
Block / Stucco  
Front  
Rear  
Right side

**Patio Area Type / Material & Location:**

Concrete  
Brick  
Rear  
Right Side

**Patio Cover/ Roof Type & Location:**

Open Design  
Rear  
Right Side

**Porch Area Type / Material & Location:**

Concrete  
Brick  
Front  
Paver / Masonry

**Porch Cover/ Roof Type & Location:**

Covered Roof (see roof section)  
Front

**Deck Type & Location:**

Deck  
Wood  
Rear

**Fences & Gates Type / Material:**

Block  
Wrought Iron  
Chain Link  
Wood

		IN	NP	ARM	LPN	SH
1.0	Driveway	•		•	•	
1.1	Sidewalks	•		•	•	
1.2	Retaining Walls	•		•	•	
1.3	Patio Area	•		•	•	
1.4	Patio Area Cover Type (open design or covered roof) (please see roof section if covered roof)	•		•	•	
1.5	Porch Area	•		•		
1.6	Porch Area Cover Type (open design or covered roof) (please see roof section if covered roof)	•				
1.7	Decks & Balcony (including stairs & railings)	•		•	•	•
1.8	Fences & Gates	•		•	•	•
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

Comments:

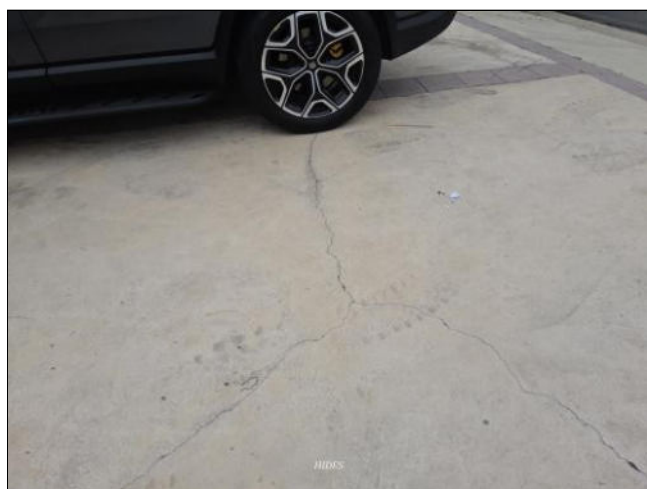
🔧 **1.0** Moderate to large size cracks were noted to the driveway. Regular maintenance and or inspection is advised. Driveway show evidence of inadequate drainage and or ponding. Regular maintenance and or inspection is advised. Driveway appears to be sloped towards the home / garage. Further evaluation is recommended by a licensed general contractor.



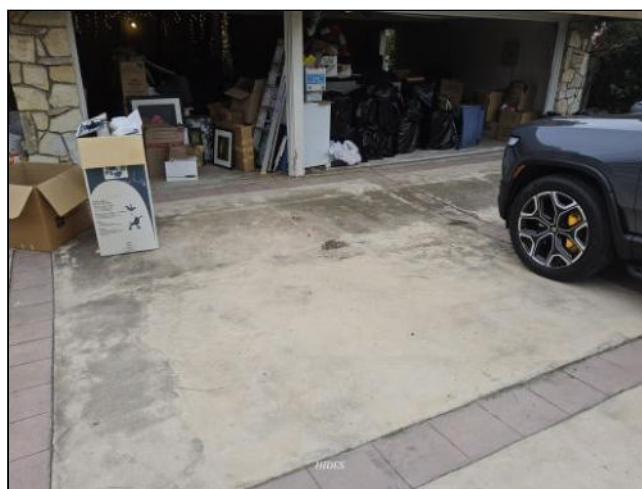
1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



**1.1** Common to moderate cracks as well as evidence of ponding and or inadequate drainage was noted to the sidewalks. Regular maintenance and or inspection is advised. Uneven areas were noted to the sidewalks. Regular maintenance and or inspection is advised. Trip hazards were noted to the sidewalks. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor.



1.1 Item 1(Picture)



1.1 Item 2(Picture)

**1.2** No evidence of drainage openings were noted to the retaining walls. Regular maintenance and or inspection is advised. Evidence of moisture penetration was noted to the retaining walls. Regular maintenance and or inspection is advised. Evidence of movement / displacement was noted to the retaining walls. Further evaluation is recommended by a licensed general contractor or landscaper.



1.2 Item 1(Picture)



1.2 Item 2(Picture)



1.2 Item 3(Picture)



1.2 Item 4(Picture)

**1.3** Common to moderate cracks along with evidence of inadequate drainage and or ponding was noted to the patio areas. Regular maintenance and or inspection is advised by a licensed general contractor.

**1.4** Substandard / non professional installation, support methods used along with heavy moisture stains were noted to the patio area structure. Further evaluation, consultation, and inspect, is recommended by a licensed general contractor. Extensive moisture damage and dry rot was noted to the open design patio covers. Further evaluation, consultation, and inspection, is highly recommended by a licensed pest control / termite company and or licensed general contractor.



1.4 Item 1(Picture)



1.4 Item 2(Picture)





1.4 Item 3(Picture)



1.4 Item 4(Picture)



1.4 Item 5(Picture)



1.4 Item 6(Picture)

**1.5** Common cracks were noted to the patio and or porch area. Regular maintenance and or inspection is advised.



1.5 Item 1(Picture)

**1.7** Deck has major moisture damage, major dry rot and or termite damage, is not structurally



sound and has damaged glass railings. Considering the location of the deck, its damage, and the lack of structural integrity, this is an extreme safety hazard. Deck should not be walked on. Immediate attention is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, structural engineer, and possibly a geo-technical contractor.



1.7 Item 1(Picture)



1.7 Item 2(Picture)



1.7 Item 3(Picture)



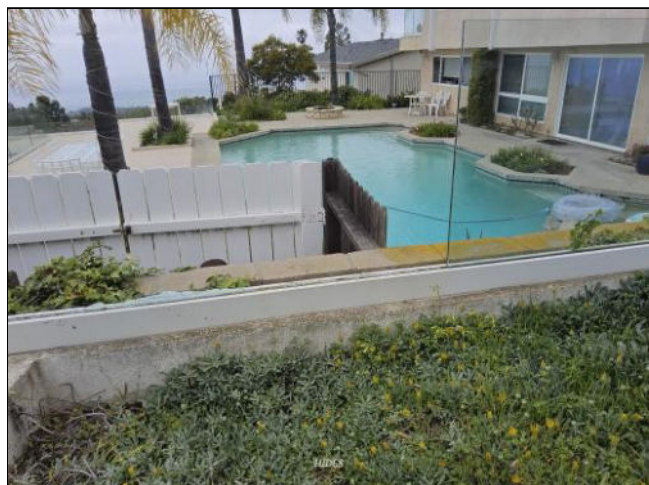
**1.8** Perimeter fencing and gates are worn, rusted, deteriorated. Also, gates leading to the pool area are in need of self closing device and or device is not functional. The self closing device issue is a safety hazard. Further evaluation, consultation, and inspection, is highly recommended by a licensed gate installation company / contractor.



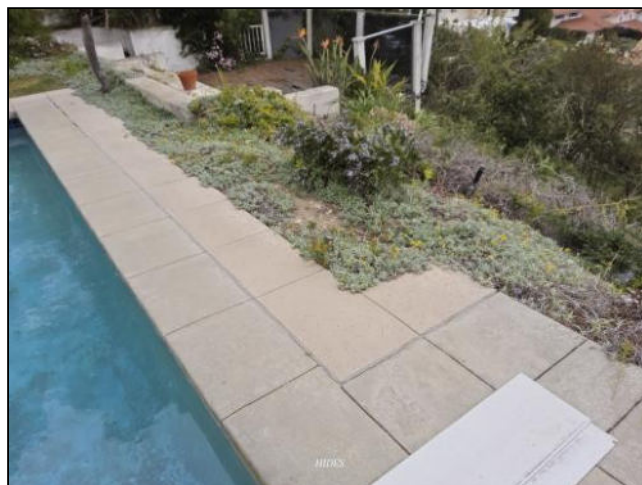
1.8 Item 1(Picture)



1.8 Item 2(Picture)



1.8 Item 3(Picture)



1.8 Item 4(Picture)



1.8 Item 5(Picture)



## 2. Exterior



General View of the Front Exterior of the Home



General View of the Front Exterior of the Home



General View of the Left Side Exterior of the Home



General View of the Left Side Exterior of the Home





General View of the Right Side Exterior of the Home



General View of the Right Side Exterior of the Home



General View of the Rear Exterior of Home



General View of the Rear Exterior of Home

**Styles & Materials**

**Exterior Stairs Type / Material & Location:**

Concrete  
Rear

**Chimney Type & Location:**

Left Side  
Brick  
Masonry

**Chimney Raincap Installed:**

No

**Exterior Walls Type / Material:**

Stucco  
Fibrous Siding  
Wood Siding

**Amount Of Chimney's:**

1

**Gutters & Downspouts Type / Material / Full or Partial:**

Vinyl  
Partial Gutters & Downspouts

**Exterior Trim Type / Material:**

Wood

**Chimney Spark Screen Installed:**

No

		IN	NP	ARM	LPN	SH
2.0	Exterior Stairs & Railings	•		•	•	•
2.1	Exterior Walls	•		•	•	•
2.2	Eaves, Soffits and Fascias (exterior trim)	•		•	•	
2.3	Chimney	•		•	•	•
2.4	Hose Bibs / Faucets	•				
2.5	Gutters & Downspouts (roof drainage system)	•		•	•	
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

**Comments:**

**2.0** Missing railings were noted to exterior stairs. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor. Common to moderate cracks were noted to all perimeter exterior stairs. Regular maintenance and or inspection is advised.

**2.1** Moderate cracks were noted to the exterior walls. Regular maintenance and or inspection is advised. Large size cracks were noted to the exterior walls. Regular maintenance and or inspection is advised. Stucco to the exterior walls is worn / deteriorated. Regular maintenance and or inspection is advised. Moisture stains were noted to the exterior walls. Although stains are dry, regular maintenance and or inspection is advised. Holes, openings, and or exposed framing was noted to the exterior walls. These holes, openings, and or exposed framing areas must be sealed / patched to help eliminate any moisture intrusion and or penetration. Further evaluation is recommended by a licensed general contractor.



2.1 Item 1(Picture)



2.1 Item 2(Picture)





2.1 Item 3(Picture)



2.1 Item 4(Picture)

**2.2** Moisture stains were noted to the exterior trim at various locations. Regular maintenance and or inspection is advised. Ware / deterioration was noted to the exterior trim at various locations. Regular maintenance and or inspection is advised. Extensive dry rot, moisture damage and or possible termite damage was noted to the exterior trim at various locations. Further evaluation is highly recommended by a pest control / termite company and or a licensed general contractor.



2.2 Item 1(Picture)



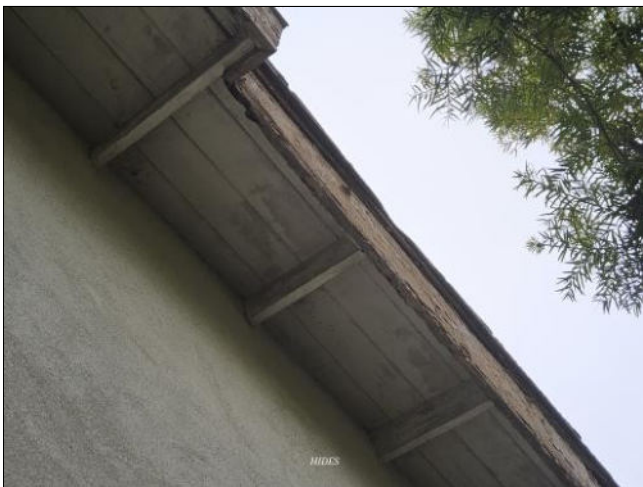
2.2 Item 2(Picture)



2.2 Item 3(Picture)



2.2 Item 4(Picture)



2.2 Item 5(Picture)

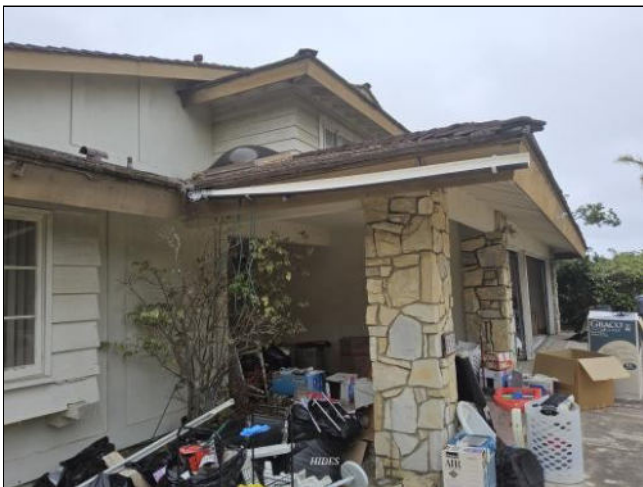


**2.3** Spark screen was missing to the chimney. Correction is needed. Further evaluation is recommended by a licensed fireplace / chimney contractor. Raincap was missing to the chimney. Correction is recommended by a licensed fireplace / chimney contractor. Separation of flashing was noted at chimney to roof unions. Correction is recommended by a licensed fireplace / chimney contractor and or licensed roofer. Moderate cracks were noted to the chimney brick and or mortar. Correction is recommended by a licensed fireplace / chimney contractor and or licensed roofer.



2.3 Item 1(Picture)

**2.5** Downspout and or gutter was damaged. Correction is recommended by a licensed gutter / downspout contractor.



2.5 Item 1(Picture)

### 3. Foundation & Attic



General View of the Foundation



General View of the Foundation

#### Styles & Materials

**Property Site:**

Slope Moderate

**Anchor Bolts Installed:**

Yes  
Anchor bolt installation not visible / unable to verify

**Wall Structure:**

2 X 4 Wood  
2 X 6 Wood

**Method Used To Observe Attic & Attic Location:**

From entry

**Foundation Type:**

Raised Foundation (Crawlspace)  
Slab-on-Grade

**Columns / Piers / Posts:**

Concrete piers  
Wood Posts

**Ceiling Structure:**

2X4  
2X6

**Attic Insulation Type / Material & Adequate Coverage:**

Fiberglass

**Method Used to Observe Crawlspace:**

From Entry

**Floor Structure:**

2 X 8  
2 X 10  
Wood joists  
Slab

**Attic Structure Type:**

2 X 4 Rafters  
2 X 6 Rafters  
2 X 8 Rafters  
Plywood

**Attic Ventilation Provided / Adequate:**

Adequate Ventilation Provided



Coverage insufficient

		IN	NP	ARM	LPN	SH
3.0	Vegetation, Grading, Drainage (with respect to their effect on the condition of the property)	•		•	•	
3.1	Foundations, Basement (if applicable) and Crawlspace (if applicable)	•		•	•	
3.2	Ventilation of Foundation Areas	•		•	•	
3.3	Walls (Structural)	•		•	•	
3.4	Floors (Structural)	•		•	•	
3.5	Ceilings (Structural)	•		•	•	
3.6	Attic Area	•		•	•	
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

**Comments:**

**3.0** Large size trees and or tree trunks were planted on the property. Regular maintenance and or inspection is advised as large size trees can pose issues with various aspects of construction. The tree limbs that are in contact with the roof or hanging near roof should be trimmed. Overgrown vegetation was noted. Removal of overgrown vegetation is recommended as this can pose issues with various aspects of construction. Evidence of inadequate drainage / ponding was noted around the perimeter of the home near foundation. Regular maintenance and or inspection is advised. Due to the overgrown vegetation, many perimeter block walls were not visible for inspection. Use caution High soil level was noted at exterior walls at various perimeter locations. Regular maintenance and or inspection is advised.



3.0 Item 1(Picture)



3.0 Item 2(Picture)



3.0 Item 3(Picture)



3.0 Item 4(Picture)



3.0 Item 5(Picture)



3.0 Item 6(Picture)



3.0 Item 7(Picture)

**3.1** A portion of the raised foundation was not accessible due to the installation of indoor spa at the left side of the home. Raised foundation portion inspection is limited. The other access point inside the home (downstairs office area) to the raised foundation shows evidence of possible moisture intrusion and or penetration along with inadequate ventilation. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor. There is an active leak to the supply lines and



or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



3.1 Item 1(Picture)

**3.2** A portion of the raised foundation was not accessible due to the installation of indoor spa at the left side of the home. Raised foundation portion inspection is limited. The other access point inside the home (downstairs office area) to the raised foundation shows evidence of possible moisture intrusion and or penetration along with inadequate ventilation. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor.



3.2 Item 1(Picture)

**3.3** Due to the many areas of moisture stains, moisture damage, mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.

**3.4** Due to the many areas of moisture stains, moisture damage, mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and

ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.

**3.5** Due to the many areas of moisture stains, moisture damage, mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.

**3.6** Moisture stains were noted in the attic area at various locations. Although stains are dry, regular maintenance and or inspection is advised. Evidence of possible rodent droppings were noted all throughout the attic area. Further evaluation is recommended by a licensed pest control company. Attic access hatch remains partially open is damaged / defective. Correction is needed. Further evaluation is recommended by a licensed drywall contractor. Asbestos type materials was installed in the attic. Further evaluation is recommended by a licensed general contractor. Poor insulation coverage was noted in the attic. Further evaluation is recommended by a licensed general contractor.



3.6 Item 1(Picture)



3.6 Item 2(Picture)



3.6 Item 3(Picture)



3.6 Item 4(Picture)





3.6 Item 5(Picture)



3.6 Item 6(Picture)

# 4. Main Roof



## Styles & Materials

**Roof Covering Type / Material:**

Concrete tile

**Roof Design Type:**

Gable  
Hip

**Viewed roof covering from:**

Drone

**Amount of roofing layers:**

1

**Sky Light(s):**

One (attention needed)  
Two  
Fixed

		IN	NP	ARM	LPN	SH
4.0	Roof Coverings	•		•	•	
4.1	Flashings, Roof Penetrations, Vent Pipes, Vents	•		•	•	
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

## Comments:

**4.0** The roofing system is in a heavily worn / deteriorated condition, and quite simply is approaching the end of its lifespan with improper installation of flashing, rusted flashing, cracked tiles, loose tiles, dislodged tiles, and no roof underlayment noted. Further evaluation, consultation, and inspection, is highly recommended by a licensed roofer.



4.0 Item 1(Picture)



4.0 Item 2(Picture)





4.0 Item 3(Picture)



4.0 Item 4(Picture)



4.0 Item 5(Picture)



4.0 Item 6(Picture)



4.0 Item 7(Picture)

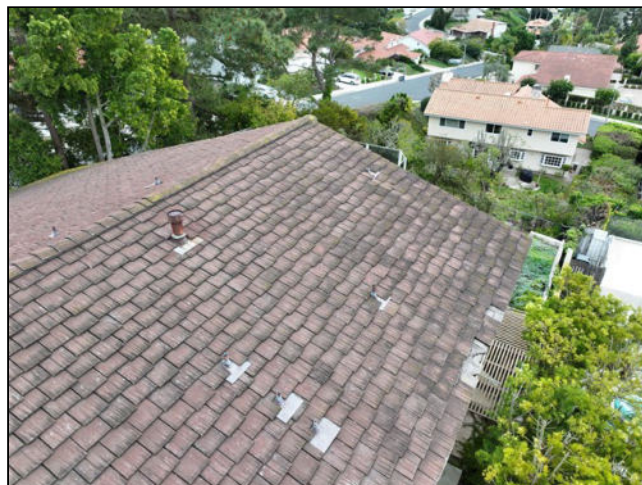


4.0 Item 8(Picture)



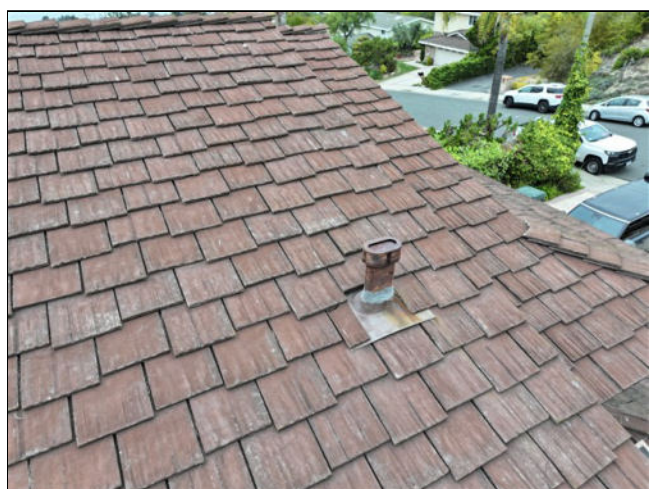


4.0 Item 9(Picture)



4.0 Item 10(Picture)

**4.1** The roofing system is in a heavily worn / deteriorated condition, and quite simply is approaching the end of its lifespan with improper installation of flashing, rusted flashing, cracked tiles, loose tiles, dislodged tiles, and no roof underlayment noted. Further evaluation, consultation, and inspection, is highly recommended by a licensed roofer.



4.1 Item 1(Picture)



4.1 Item 2(Picture)





# 5. Plumbing Systems



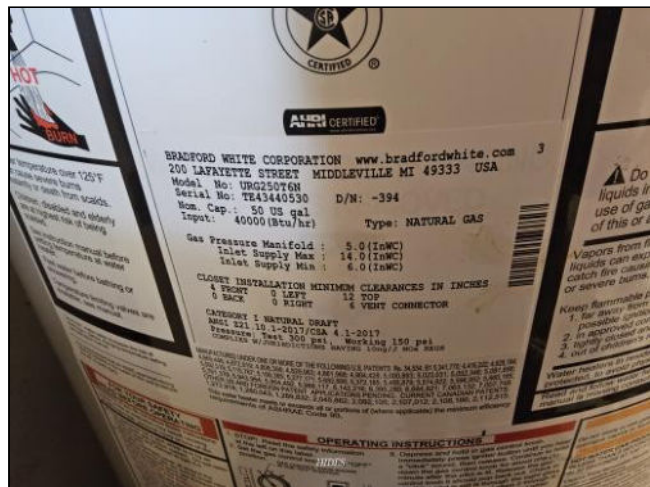
General View of the Main Water Supply Line



General View of The Gas Meter with Installed Seismic Gas Shutoff Valve



General View of the 50 Gallon Water Heater



General View of the 50 Gallon Water Heater Product Label Information

## Styles & Materials

Main Water Supply Line Location: Main Water Supply Line Type /

Plumbing WaterSupply Line Type /

Left Side of Home

**Material (into home):**

Copper

**Material (inside home):**

Copper

**Plumbing Waste / Drain Lines**

**Type / Material:**

ABS  
Galvanized  
Cast iron

**Gas Meter Location:**

Right Side of Home

**Gas Lines & Piping:**

Functional  
Deficiencies noted

**Gas Meter Seismic Gas Shutoff**

**Valve Installed:**

Yes

**Water Heater Power Source:**

Gas

**Water Heater Location(s):**

Garage

**Amount of Water Heaters:**

1

**Water Heater Capacity:**

50 Gallon

**Water Heater Seismic Straps**

**Installed:**

Yes

**Water Heater TPR Valve Installed: Water Heater TPR Overflow Pipe**

Yes

**Installed:**

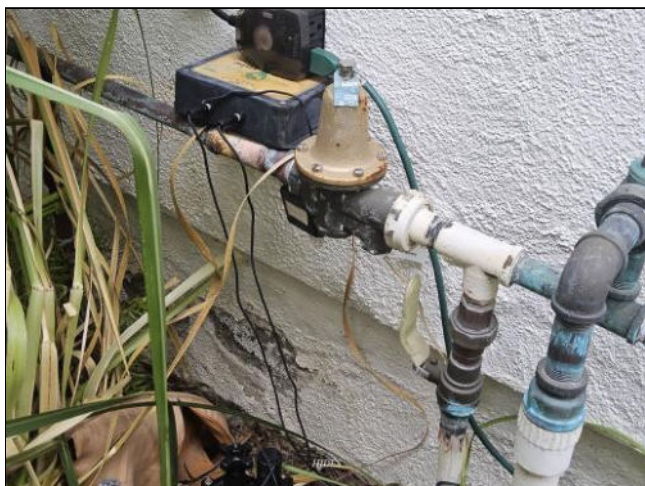
Yes-improperly terminated

		IN	NP	ARM	LPN	SH
5.0	Main Supply Line (into home)	•		•	•	
5.1	Plumbing Water Supply, Distribution System (inside the home)	•		•	•	
5.2	Plumbing Drain, Waste and Vent Systems	•		•	•	
5.3	Gas Meter	•				
5.4	Gas Lines / Piping	•		•	•	•
5.5	Hot Water System(s)	•		•	•	•
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

**Comments:**

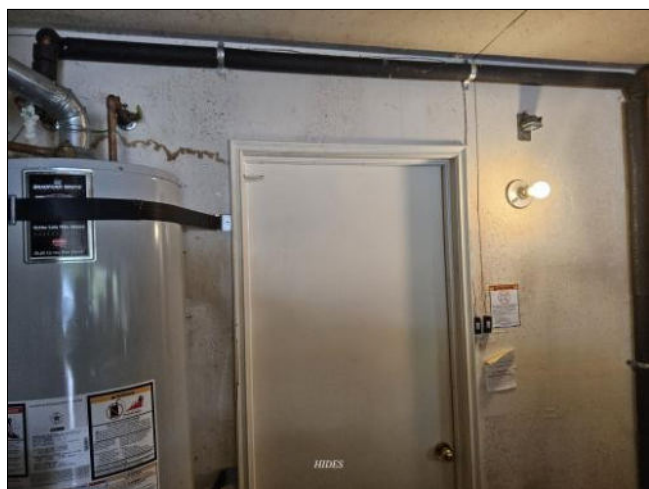
**5.0** Moderate corrosion was noted to the main water supply line and regulator. Further evaluation is recommended by a licensed plumber.



5.0 Item 1(Picture)



**5.1** Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area and laundry room area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



5.1 Item 1(Picture)



5.1 Item 2(Picture)

**5.2** Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.

**5.4** Gas line fireplace entry line is not sealed inside the firebox. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general or licensed fireplace / chimney contractor.



5.4 Item 1(Picture)



5.5 Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. Improper installation of seismic straps, improper termination of TPR overflow pipe, and major corrosion to the outlet line and or connector, were all deficiencies noted to the water heater. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Please note that the water heater platform has a hole / opening and has been compromised and as a result, adjacent garage firewall has been compromised. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor and or licensed drywall contractor.



5.5 Item 1(Picture)



5.5 Item 2(Picture)



5.5 Item 3(Picture)



5.5 Item 4(Picture)

# 6. Heating System(s)



General View of the Heating System

### Styles & Materials

**Number of Heat Systems:**

One

**Heating System Location:**

Hallway Enclosure

**Heating System Type:**

Forced Air

**Condition of Heating System:**

Deteriorated

**Energy Source:**

Gas

**Condition of Ductwork:**

Poor  
Disconnected

**Filter Type:**

Disposable (needs replacement)

		IN	NP	ARM	LPN	SH
6.0	Heating Equipment (location, heating type & fuel type)	•		•	•	
6.1	Condition of Heating System	•		•	•	
6.2	Presence of Installed Heat Source in Each Room	•				
6.3	Heating System Venting	•		•	•	•
6.4	Heating System Combustion Air Supply	•		•	•	•
6.5	Heating System Burners	•		•	•	
6.6	Heating System Distribution (ducting)	•		•	•	
6.7	Heating System Thermostat Controls	•				
		<b>IN</b>	<b>NP</b>	<b>ARM</b>	<b>LPN</b>	<b>SH</b>

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard



**Comments:**

🔧 **6.0** Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.



6.0 Item 1(Picture)

🔧 **6.1** Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.

🔧 **6.3** Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

🔧 **6.4** Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor. Combustion air supply are missing their respective screens inside the heating system enclosure. Correction is needed. Further evaluation is recommended by a licensed HVAC contractor.



6.4 Item 1(Picture)

🔧 **6.5** Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.

🔧 **6.6** Heating system turns on and off sporadically, had detached vent at ceiling collar, vent is in contact with combustible material in the attic area, has low air volume to its distribution system (due to damaged and disconnected ducting in the attic). These deficiencies are safety hazards and correction is needed. Further evaluation, consultation, and inspection, is highly recommended by a licensed HVAC contractor.



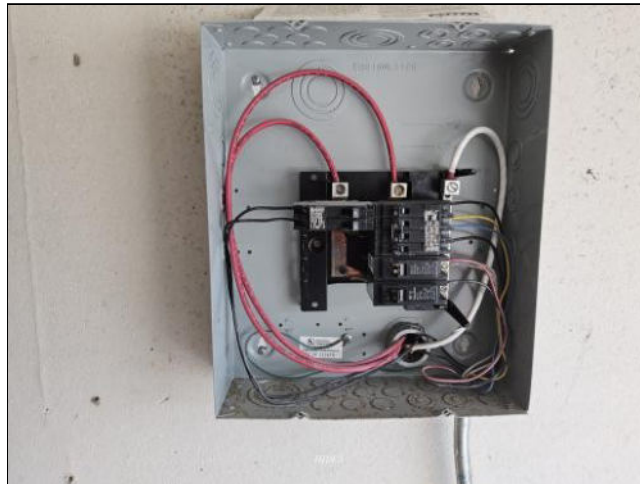
6.6 Item 1(Picture)



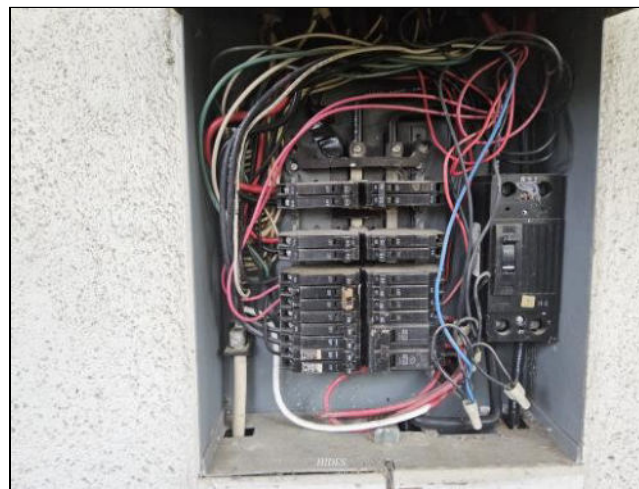
6.6 Item 2(Picture)



# 7. Electrical System



General View of the Sub Electrical Panel Located in the Garage



General View of the 125 Amp Main Electrical Panel

### Styles & Materials

**Type of Service Entrance to the Property:**

Below Ground Service

**Panel Type:**

Circuit breakers

**Branch wires:**

Copper

**Electrical Service Conductors:**

Copper

**Panel capacity:**

125 AMP

**Wiring Methods:**

- Romex
- Conduit
- Non-mettalic Cable

**Main Pane Location:**

Right Side of Home

**Sub Panel Location:**

Garage

		IN	NP	ARM	LPN	SH
7.0	Service Entrance Conductors (grounding, disconnect)	•				
7.1	Location of Main and Distribution / Sub Panels	•				
7.2	Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage	•		•	•	•
7.3	Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, and switches located inside the house, and on the dwelling's exterior walls)	•		•	•	•
7.4	Polarity and Grounding of Receptacles inside the home, garage, carport and exterior areas of inspected structure including GFCI	•		•	•	•
		IN	NP	ARM	LPN	SH

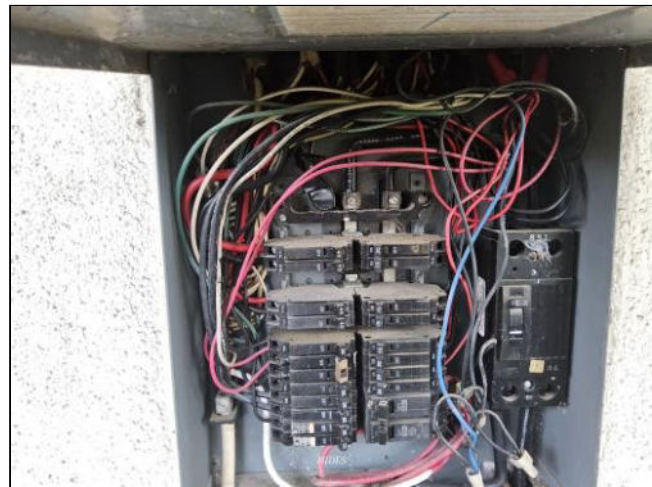
IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

**Comments:**

**7.2** Main electrical panel has unprotected openings. Further evaluation, consultation, and inspection, is recommended by a licensed electrician. Breakers are not fully labeled for circuit designation. This is a safety hazards and correction is needed. Further evaluation, consultation, and inspection, is recommended by a licensed electrician. Improper wiring / two wires connected to a breaker was noted to the main electrical panel. This is a safety hazard and correction is needed by a licensed electrician. The 125 amp main electrical may be undersized by today's electrical standards due to the size of the home as well as the pool installation. Further consultation is recommended by a electrician.



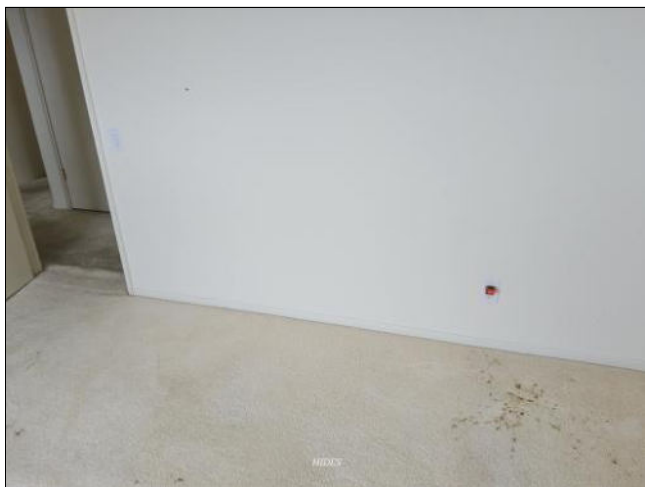
7.2 Item 1(Picture)



7.2 Item 2(Picture)



**7.3** Wall switch powers / controls both the upper and lower receptacles at all bedrooms. Switch should on power / control lower receptacle. This is a wiring deficiency and correction is needed. Further evaluation is recommended by a licensed electrician. Improper wiring / splicing / extension cord use as permanent wiring, were all electrical deficiencies noted in the kitchen inside cabinetry. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician.



7.3 Item 1(Picture)



7.3 Item 2(Picture)



7.3 Item 3(Picture)

**7.4** Various exterior outlets were not grounded and GFCI not functional as well as missing exterior rated cover plates. These deficiencies are safety hazards and correction is needed. Further evaluation is recommended by a licensed electrician. Pool equipment GFCI is missing its exterior rated cover plates as well as various other outlets throughout the property. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician.



7.4 Item 1(Picture)



# 8. Interior



## Styles & Materials

**Main Entry & Interior & Exterior**

**Door Type:**

- Hollow core
- Solid
- Raised panel
- Wood
- Exterior glass slider

**Window Types:**

- Single pane
- Casement
- Aluminum Sliding
- Dual pane
- Wood Casement
- Aluminum Casement

**Wall Materials:**

Drywall

**Ceiling Materials:**

- Acoustic Spray
- Drywall

**Floor Covering(s):**

- Carpet
- Linoleum
- Tile
- Vinyl

**Fireplace Type:**

Masonry / Brick

**Gas line installation:**

Yes

**Damper functional:**

No

**Number of Fireplace(s):**

1

		IN	NP	ARM	LPN	SH
8.0	Main Entry, Exterior, & Interior Doors (representative number)	•		•	•	•
8.1	Windows Exterior & Interior (representative number)	•		•	•	•
8.2	Walls (visible portions)	•		•	•	•
8.3	Ceilings (visible portions)	•		•	•	•
8.4	Floors (visible portions)	•		•	•	
8.5	Fireplace	•		•	•	•
8.6	Steps, Stairways, Balconies and Railings	•		•	•	•
8.7	Counters and Cabinets & Wet Bar (if applicable) (representative number)	•		•	•	
8.8	Smoke Detectors		•	•	•	•
8.9	Carbon Monoxide Detectors		•	•	•	•
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

Comments:

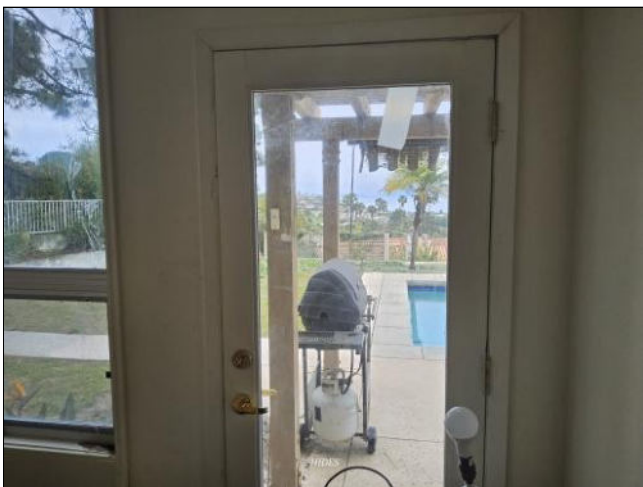
🔧 **8.0** Rear exterior sliding door does not have a landing. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed door contractor. All exterior sliding doors were difficult to operate, in need of adjustment / lubrication, have damaged or missing exterior sliding screen doors and do not appear to be tempered. Further evaluation, consultation, and inspection, is highly recommended by a licensed door contractor and or licensed general contractor. Please note that many interior doors had some sort of defect (missing hardware, non functional hardware, trim damage, door damage, doors not square to frame). Further evaluation, consultation, and inspection, is highly recommended by a licensed door contractor.



8.0 Item 1(Picture)



8.0 Item 2(Picture)



8.0 Item 3(Picture)

**8.1** Window has cracked glass at various locations. This is a safety hazard and correction is needed. Further evaluation is highly recommended by a licensed window contractor. Please note that there is evidence of moisture intrusion to various windows throughout the home resulting in moisture damage to window sills, interior walls, etc.. There is also evidence of moisture intrusion to rear facing windows. All of the rear facing windows are not sealed to exterior wall unions and interior wall unions. Also, many windows screens were damaged or missing. Wood casement windows were moisture damaged, difficult to operate and or painted shut with defective hardware. Further evaluation, consultation, and inspection, is highly recommended by a licensed window contractor.



8.1 Item 1(Picture)



8.1 Item 2(Picture)



8.1 Item 3(Picture)



8.1 Item 4(Picture)





8.1 Item 5(Picture)

**8.2** Due to the many areas of excessive moisture stains, excessive moisture damage, excessive mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer.



8.2 Item 1(Picture)



8.2 Item 2(Picture)



8.2 Item 3(Picture)



8.2 Item 4(Picture)



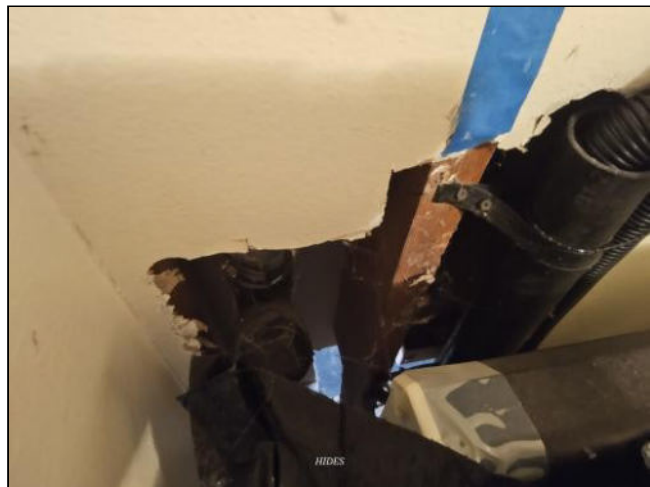
8.2 Item 5(Picture)



8.2 Item 6(Picture)



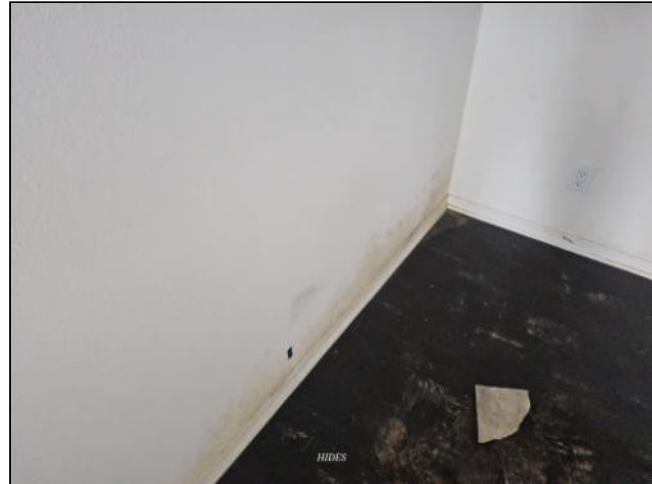
8.2 Item 7(Picture)



8.2 Item 8(Picture)



8.2 Item 9(Picture)



8.2 Item 10(Picture)



8.2 Item 11(Picture)



8.2 Item 12(Picture)



8.2 Item 13(Picture)

**8.3** Due to the many areas of excessive moisture stains, excessive moisture damage, excessive mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer. There is



an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



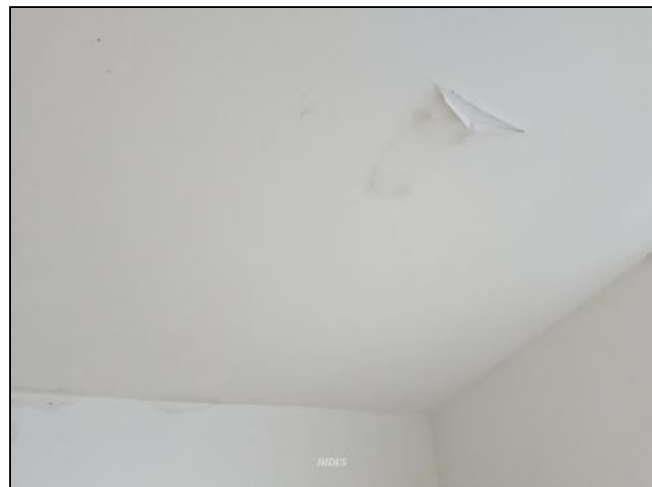
8.3 Item 1(Picture)



8.3 Item 2(Picture)



8.3 Item 3(Picture)



8.3 Item 4(Picture)



8.3 Item 5(Picture)



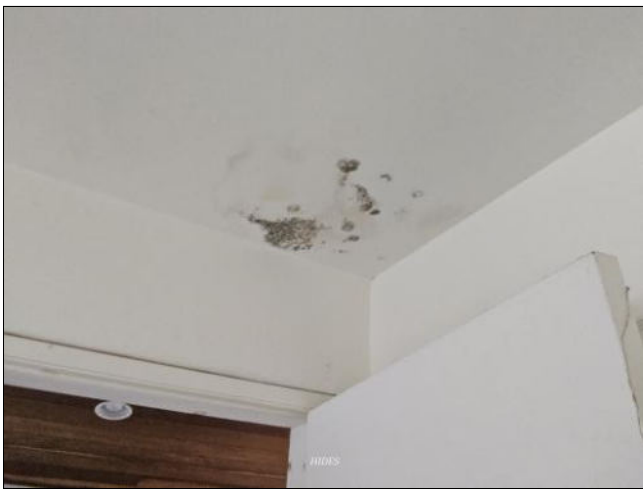
8.3 Item 6(Picture)



8.3 Item 7(Picture)



8.3 Item 8(Picture)



8.3 Item 9(Picture)

**8.4** Due to the many areas of excessive moisture stains, excessive moisture damage, excessive mold like substance, holes, openings / exposed framing noted all throughout the property, the structural integrity of the walls and ceilings and possible slab / floors may and or have been compromised. Further evaluation, consultation, and inspection, is highly recommended by a licensed general contractor, drywall contractor, mold abatement company, and a structural engineer. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer. Missing floor coverings were noted at many locations with heavy stains and damage to floor coverings. Further evaluation is highly recommended by a licensed flooring contractor.



8.4 Item 1(Picture)



8.4 Item 2(Picture)



8.4 Item 3(Picture)



8.4 Item 4(Picture)

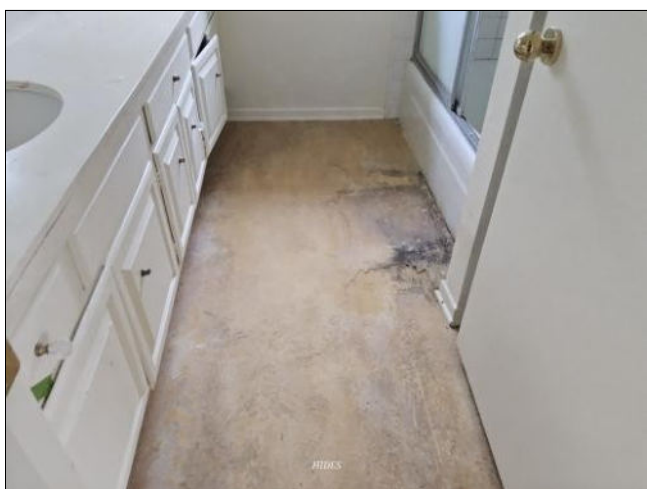




8.4 Item 5(Picture)



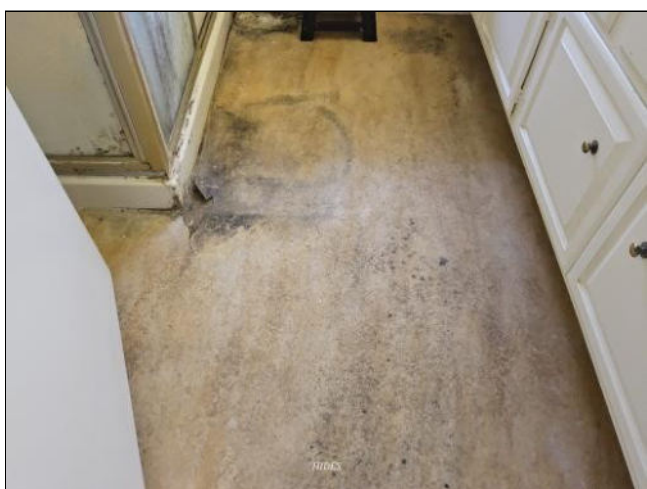
8.4 Item 6(Picture)



8.4 Item 7(Picture)



8.4 Item 8(Picture)



8.4 Item 9(Picture)

**8.5** Gas entry line inside the fireplace is not sealed and line has excessive rust / corrosion. The rust / corrosion to the gas line inside the firebox is a direct result of moisture intrusion and or penetration of the chimney / fireplace. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general or licensed fireplace / chimney contractor. Fireplace appears to have not been serviced or swept for some time. Further evaluation, consultation, and inspection, is

highly recommended by a licensed fireplace / chimney contractor.

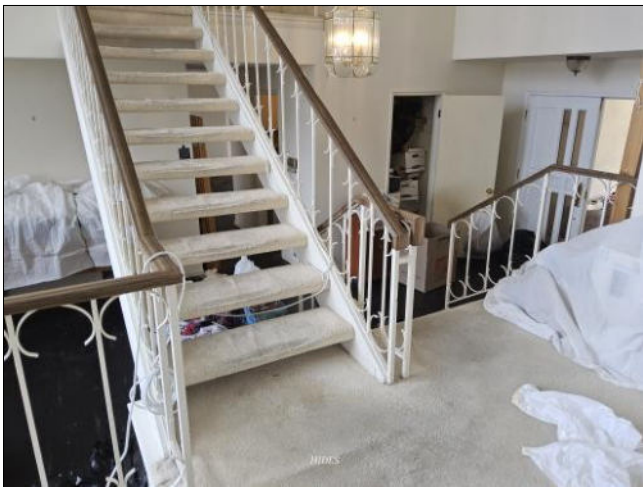


8.5 Item 1(Picture)



8.5 Item 2(Picture)

**8.6** A staircase railings and balusters are too wide by today's construction / safety standards. This is a safety hazard and correction is recommended by a licensed general contractor.



8.6 Item 1(Picture)

**8.7** Wet but faucet leaks. Correction is needed. Further evaluation is recommended by a licensed plumber.

**8.8** Required smoke and carbon monoxide detectors have yet to be installed. This is a safety hazard and correction is needed.

**8.9** Required smoke and carbon monoxide detectors have yet to be installed. This is a safety hazard and correction is needed.

# 9. Laundry Area



## Styles & Materials

**Exhaust Fans:**

None  
Not operational

**Dryer Power Source:**

Gas Connection

**Dryer Vent:**

Flexible Metal

**Laundry Area Location:**

Downstairs Laundry Room

		IN	NP	ARM	LPN	SH
9.0	Laundry Area Piping (supply, drain, vent & gas lines)	•		•	•	
9.1	Laundry Area Electrical	•				
9.2	Laundry Area Dryer Vent	•				
9.3	Laundry Area Dryer Source	•				
9.4	Laundry Area Sink & Fixtures (if applicable)		•			
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

## Comments:

**9.0** Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area and laundry room area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



# 10. Garage



General View of the 3 Car Attached Garage



General View of the 3 Car Attached Garage

### Styles & Materials


**Vehicle Garage Door Type:**  
Roll-Up X 2

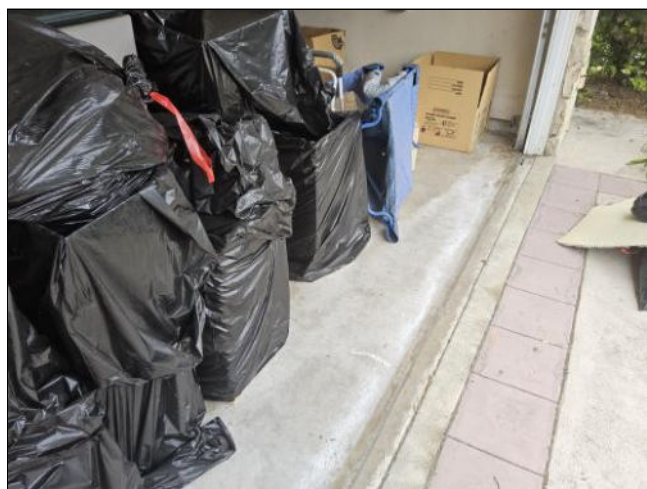
**Garage Auto Reverse Provided  
& Operation:**  
Yes- operational

		IN	NP	ARM	LPN	SH
10.0	Garage Floor	•		•		
10.1	Garage Walls (including Firewall)	•		•	•	•
10.2	Garage Ceilings	•		•		
10.3	Garage Ventilation	•				
10.4	Garage Door To Living Space	•		•	•	•
10.5	Garage Exterior Door	•		•	•	
10.6	Garage Vehicle Door(s)	•		•		
10.7	Garage Door Opener(s)	•				
10.8	Garage Electrical	•		•	•	•
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

**Comments:**

 **10.0** Moderate cracks were noted to the garage floor / slab. Regular maintenance and or inspection is advised. Evidence of moisture intrusion and or penetration was noted to the garage floor, resulting in efflorescence, was noted. Further evaluation is recommended by a licensed general contractor.



10.0 Item 1(Picture)

**10.1** Moisture stains were noted to the garage wall(s). Although stains are dry, regular maintenance and or inspection is advised. Holes, openings were noted to to the garage firewall / firewall ceiling. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed drywall contractor. Please note that the water heater platform has a hole / opening and has been compromised and as a result, adjacent garage firewall has been compromised. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed general contractor and or licensed drywall contractor.

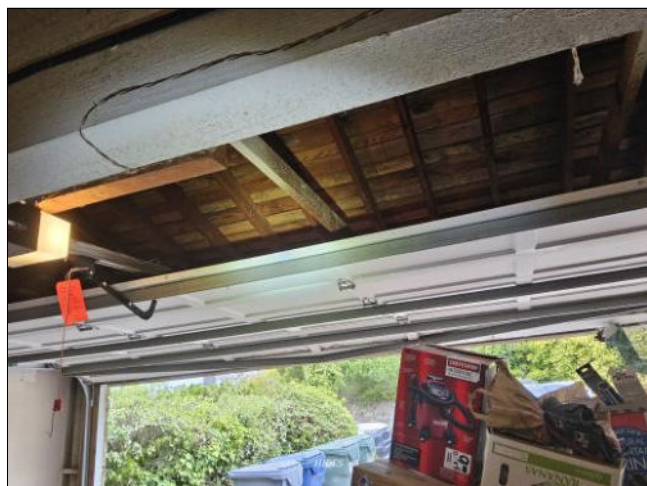


10.1 Item 1(Picture)



10.1 Item 2(Picture)

**10.2** Moisture stains were noted to the garage ceiling(s). Although stains are dry, regular maintenance and or inspection is advised.



10.2 Item 1(Picture)



**10.4** The garage door to living space is missing its self closing device. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed door contractor.



10.4 Item 1(Picture)

**10.5** Garage exterior door is moisture damaged. Correction is needed. Further evaluation is recommended by a licensed door contractor and or licensed pest control / termite company.



10.5 Item 1(Picture)

**10.6** Garage vehicle doors have moisture stains and some moisture damage at base of doors (moisture intrusion / penetration). Correction is needed. Further evaluation is recommended by a licensed garage vehicle door installation company / contractor.



10.6 Item 1(Picture)



10.6 Item 2(Picture)

**10.8** Improper light fixture wiring noted in the garage. This is as a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician. Missing outlet and or switch covert plates were noted in the garage. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician. Unprotected / exposed wiring was noted in the garage. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician.



10.8 Item 1(Picture)

# 11. Kitchen



## Styles & Materials

**Kitchen Counter Type:**

Tile

**Dishwasher Air Gap Device Installed:**

No

**Gas Shutoff Valve installed to Kitchen Cooktop / Oven:**

Unable to verify / not visible

**Type of Oven / Cooktop:**

Electric Oven

Electric cooktop

**Number of Ovens:**

2

		IN	NP	ARM	LPN	SH
11.0	Kitchen Sink (faucet, fixtures, supply and drain lines)	•		•	•	
11.1	Kitchen Cabinetry (drawers, cabinet doors, cabinetry, counter tops)	•		•	•	
11.2	Dishwasher	•		•	•	
11.3	Ranges/Ovens/Cooktops	•		•	•	
11.4	Garbage Disposal	•		•	•	
11.5	Trash Compactor		•			
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard



**Comments:**

🔧 **11.0** Please note that the supply lines have moderate major restriction of water pressure and or volume primarily when using multiple fixtures. Further evaluation, consultation, and inspection is highly recommended by a licensed plumber. Please note that the downstairs supply lines leading to the kitchen area and laundry room area have been capped / no water provided in this area, as told to the inspector by the client. As a result, supply lines and drain lines as well as components and systems related to the supply lines were unable to be inspected. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber. Substandard, non-professional installations and routing methods used was noted to the supply lines. Further evaluation is recommended by a licensed plumber. There is an active leak to the supply lines and or waste / drain lines st upstairs hallway bathroom resulting in the extensive moisture damage, mold like substance to the ceiling below at family room. Further evaluation, consultation, and inspection, is highly recommended by a licensed plumber for the leak issues and subsequent general contractor, drywall contractor, mold abatement company, and possibly a structural engineer.



11.0 Item 1(Picture)

🔧 **11.1** Moisture damage was noted to cabinetry / platform underneath the kitchen sink. Further evaluation is recommended by a licensed cabinetry contractor and or licensed pest control / termite company.



11.1 Item 1(Picture)

**11.2** The dishwasher and garbage were not inspected due to plumbing situation.

**11.3** Ovens were being used as storage. Inspector was unable to inspect and therefore verify functionality.



11.3 Item 1(Picture)

**11.4** The dishwasher and garbage were not inspected due to plumbing situation.

# 12(A) . Master Bathroom



		IN	NP	ARM	LPN	SH
12.0.A	Toilet	•		•	•	
12.1.A	Sink (cabinetry, fixtures, supply and drain lines)	•		•	•	
12.2.A	Ventilation	•				
12.3.A	Bathtub (fixtures, supply and drain lines)		•			
12.4.A	Shower (fixtures, supply and drain lines and shower enclosure (if applicable))	•		•	•	
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

## Comments:

**12.0.A** Master bathroom toilet takes a long time to flush indicating possible stoppage issues. Further evaluation is recommended by a licensed plumber.



12.0.A Item 1(Picture)



**12.1.A** Extremely low water pressure was observed to master bathroom sinks and shower. Correction is needed. Further evaluation is recommended by a licensed plumber.



12.1.A Item 1(Picture)

**12.4.A** Extremely low water pressure was observed to master bathroom sinks and shower. Correction is needed. Further evaluation is recommended by a licensed plumber.



12.4.A Item 1(Picture)



12.4.A Item 2(Picture)

# 12(B) . Upstairs Bathroom



		IN	NP	ARM	LPN	SH
12.0.B	Toilet	•				
12.1.B	Sink (cabinetry,fixtures,supply and drain lines)	•		•	•	
12.2.B	Ventilation	•				
12.3.B	Bathtub (fixtures,supply and drain lines)	•				
12.4.B	Shower (fixtures,supply and drain lines and shower enclosure (if applicable)	•				
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

## Comments:

**12.1.B** Right side upstairs hallway bathroom right side sink is not functional and left side sink drain line leaks as well as faucet. Correction is needed. Further evaluation is recommended by a licensed plumber.



12.1.B Item 1(Picture)

# 12(C) . Downstairs Bathroom



		IN	NP	ARM	LPN	SH
12.0.C	Toilet	•		•	•	
12.1.C	Sink (cabinetry, fixtures, supply and drain lines)	•				
12.2.C	Ventilation	•				
12.3.C	Bathtub (fixtures, supply and drain lines)		•			
12.4.C	Shower (fixtures, supply and drain lines and shower enclosure (if applicable))	•		•	•	
		IN	NP	ARM	LPN	SH

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

## Comments:

**12.0.C** Downstairs bathroom toilet does not flush / has defective / not functional flushing lever.



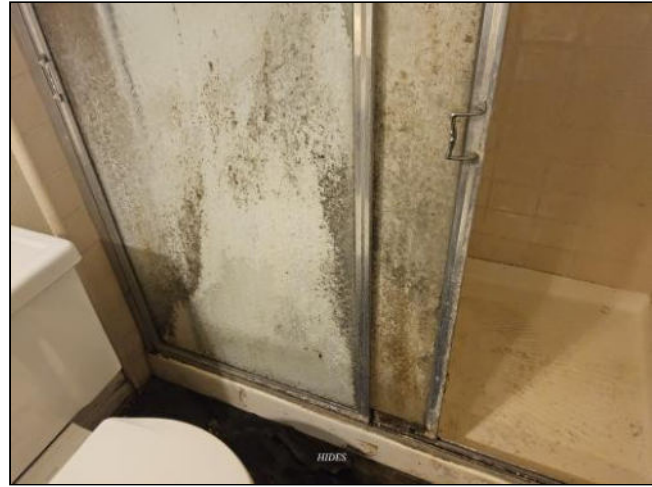
12.0.C Item 1(Picture)



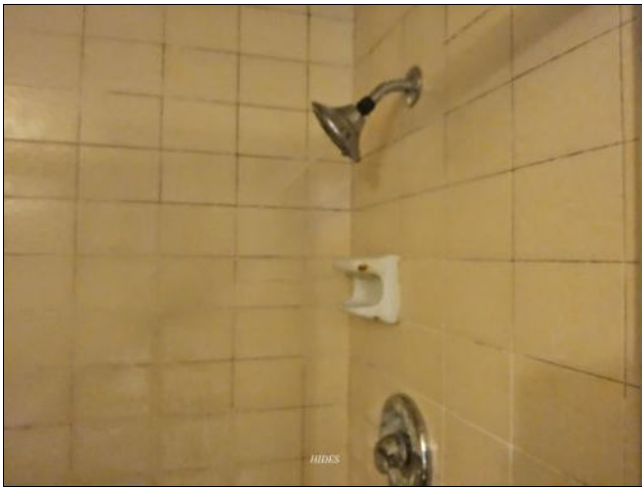
**12.4.C** Heavy deterioration, mildew, and possible mold like substance was observed at downstairs bathroom, shower enclosure. Further evaluation is highly recommended by a licensed mold abatement company. Downstairs bathroom shower head leaks. Correction is recommended by a licensed plumber.



12.4.C Item 1(Picture)



12.4.C Item 2(Picture)



12.4.C Item 3(Picture)

# 13. Pool / SPA



General View of the Pool and Surrounding Deck Area



General View of the Pool and Surrounding Deck Area



General View of the Pool Equipment Area

### Styles & Materials

Pool Type:

Pool / Spa Heater Type:

Pool / Spa Filtration System Type:

Below Ground Plaster / Gunite

Gas Heater

Diatomaceous Filter (D.E.)

**Pump Types Installed:**

Circulation Pump

**Pool / Spa Electrical & Location:**

Main Panel  
At Pool Equipment

		IN	NP	ARM	LPN	SH
13.0	Pool / Spa Type	•		•	•	
13.1	Pool / Spa Heater	•		•	•	
13.2	Pool / Spa Filter System	•		•	•	
13.3	Pool / Spa Pumps	•		•	•	•
13.4	Pool / Spa Blower		•			
13.5	Pool / Spa Electrical (pool / spa lights, wiring, GFCI, timers, remote switches)	•		•	•	
13.6	Pool / Spa General (coping,fencing,surrounding deck / concrete)	•		•	•	•
		<b>IN</b>	<b>NP</b>	<b>ARM</b>	<b>LPN</b>	<b>SH</b>

IN= Inspected, NP= Not Present, ARM= Attention, Repair, Monitoring, LPN= Licensed Professional Needed, SH= Safety Hazard

**Comments:**

**13.0** Surface deterioration was noted to the pool. Regular maintenance and or inspection is advised. Please note that the edge of the pool towards the rear of the property is quite close to an embankment and may have inadequate support of adjacent soil and embankment. This may also and or is impacting the adjacent deck as well. Further evaluation, consultation, and inspection, is highly recommended by a licensed geo-technical contractor as to soil in this area.



13.0 Item 1(Picture)



**13.1** Pool heater was not responsive / currently functional. Further evaluation is recommended by a licensed pool contractor.



13.1 Item 1(Picture)

**13.2** Diatomaceous pool filter pressure gage shows no reading when in operation. Correction is needed. Further evaluation is recommended by a licensed pool contractor.



13.2 Item 1(Picture)

**13.3** Pool circulation pump leaking and has no body bond. Correction is needed. Further evaluation is recommended by a licensed pool contractor.



13.3 Item 1(Picture)

**13.5** Pool equipment GFCI is missing its exterior rated cover plates as well as various other outlets throughout the property. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed electrician. Pool time box is heavily corroded and replacement is needed. Further evaluation is recommended by a licensed pool contractor and or licensed electrician. Electronic pool cover is not functional, as mentioned to the inspector from client. Further evaluation is recommended by a licensed pool contractor as to its functionality and issues.



13.5 Item 1(Picture)



13.5 Item 2(Picture)

**13.6** Perimeter gates are in need of self closing devices or devices are not functional due to pool / spa installation. This is a safety hazard and correction is needed. Further evaluation is recommended by a licensed gate installation company / contractor. Common to moderate cracks were noted to the pool surrounding deck areas. Further evaluation is recommended by a licensed pool contractor. Surface deterioration was noted to the pool. Regular maintenance and or inspection is advised. Please note that the edge of the pool towards the rear of the property is quite close to an embankment and may have inadequate support of adjacent soil and embankment. This may also and or is impacting the adjacent deck as well. Further evaluation, consultation, and inspection, is highly recommended by a licensed geo-technical contractor as to soil in this area.



13.6 Item 1(Picture)





# INVOICE

**Home Inspection Detection Services**  
**27943 Seco Canyon Rd. # 108**  
**Santa Clarita, CA 91350**  
**661-297-9769 (Office)**  
**310-508-1232 (Cell)**  
**www.inspecturhome.net**  
**hides@att.net (e-mail)**  
**Inspected By: Omar Falah**

**Inspection Date: 3/26/2025**  
**Report ID: KI032625-116-116**

<b>Customer Info:</b>	<b>Inspection Property:</b>
Carol Manligas-Kishler Kevin Kishler  <b>Customer's Real Estate Professional:</b> Steve Gutierrez-Kovner John Hart Real Estate	6402 Seabryn Rancho Palos Verdes CA 90275

## Inspection Fee:

<b>Service</b>	<b>Price</b>	<b>Amount</b>	<b>Sub-Total</b>
Discount	-100.00	1	-100.00
Inspection Fee	600.00	1	600.00
			<b>Tax \$0.00</b>
			<b>Total Price \$500.00</b>

**Payment Method:**  
**Payment Status:**  
**Note:**

**HOME INSPECTION DETECTION SERVICES**

**27943 SECO CANYON ROAD # 108. SANTA CLARITA, CA 91350 (661) 297-9769  
FAX (661) 297-4031**

**STANDARD INSPECTION AGREEMENT**

THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT... PLEASE READ CAREFULLY.

Carol Manligas-Kishler  
6402 Seabryn  
Rancho Palos Verdes CA 90275

Report ID KI032625-116-116

I hereby request a limited visual inspection of the structure at the above address to be conducted by Home Inspection Detection Services for my sole use and benefit. I warrant that I will read the following agreement carefully. I understand that I am bound by all the terms of this contract. I further warrant that I will read the entire inspection report when I receive it and promptly call the inspector with any questions I may have. **INITIAL HERE**

**SCOPE OF THE INSPECTION:** The real estate inspection to be performed for Client is a non-invasive physical examination, performed for the fee set forth below, designed to identify material defects in the systems, structures, and components of the above-referenced primary building and its associated primary parking structure as they exist at the time of the inspection. A material defect is a condition that significantly affects the value, desirability, habitability or safety of the building. Style or aesthetics shall not be considered in determining whether a specific system, structure, or component is defective. The inspection shall be limited to those specific systems, structures, and components that are present and visually accessible. Components and systems shall be operated with normal user controls only and as conditions permit. The inspection will be performed in accordance with the Standards of Practice of the California Real Estate Inspection Association ("CREIA") in effect at the time of this inspection. A copy of the CREIA Standards is available upon request. This inspection is not intended to be technically exhaustive. Inspector shall prepare a written inspection report for the sole use and benefit of Client. The inspection report shall describe and identify the inspected systems, structures, and components of the building and shall identify material defects in those systems, structures, and components observed during the inspection. Client agrees to read the entire inspection report when it is received and shall promptly call the Inspector with any questions or concerns client may have regarding the real estate inspection or the inspection report.

**I have read and agree to the Scope of the Inspection :** **SIGN HERE**

**LIMITATIONS, EXCEPTIONS AND EXCLUSIONS:** Excluded from this real estate inspection is any system, structure, or component of the building which is inaccessible, concealed from view, or cannot be inspected due to circumstances beyond the control of Inspector, or which Client has agreed is not to be inspected. The following are excluded from the scope of this real estate inspection unless specifically agreed otherwise between Inspector and Client:

- Determining compliance with installation guidelines, manufacturers' specifications, building codes, ordinances, regulations, covenants, other restrictions, including local interpretations thereof.
- Obtaining or reviewing information from any third-parties including, but not limited to: government agencies (such as permits), component or system manufacturers (including product defects, recalls or similar notices), contractors, managers, sellers, occupants, neighbors, consultants, homeowner or similar associations, attorneys, agents or brokers.
- Geotechnical, engineering, structural, architectural, geological, hydrological, land surveying or soils-related examinations.
- Examination of conditions related to animals, rodents, insects, wood-destroying insects, organisms, mold, and mildew or the damage caused thereby.
- Certain factors relating to any systems, structures, or components of the building, including, but not limited to: adequacy, efficiency, durability or remaining useful life, costs to repair, replace or operate, fair market value, marketability, quality, or advisability of purchase.

- Environmental hazards or conditions, including, but not limited to, toxic, reactive, combustible, corrosive contaminants, wildfire, geologic or flood.
- Dismantling of any system, structure, or component, or perform any intrusive or destructive examination, test or analysis. Examining or evaluating fire-resistive qualities of any system, structure or component of the building.
- Systems, structures, or components of the building which are not permanently installed.
- Systems, structures, or components not specifically identified in the written inspection report.
- Common areas, or systems, structures, or components thereof, including, but not limited to, those of a common interest development as defined in California Civil Code section 1351, et seq.
- Examining or evaluating the acoustical or other nuisance characteristics of any system, structure, or component of a building, complex, adjoining properties, or neighborhood.
- Operating or evaluating low voltage electrical, antennas, security systems, cable or satellite television, telephone, remote controls, radio controls, timers, intercoms, computers, photo-electric, motion sensing, or other such similar non-primary electrical power devices, components, or systems.
- Examining or operating any sewage disposal system or component including, but not limited to: septic tanks and/or any underground system or portion thereof, or ejector pumps for rain or waste.

**I have read and agree to the Limitations, Exceptions & Exclusions: SIGN HERE**

Services for inspecting or evaluating the excluded items listed above may be available from Inspector for an additional fee or from specialists qualified to inspect or evaluate a particular category or item. Inspector is a home inspection generalist and is not acting as an expert in any craft or trade. The inspection report may contain recommendations for further evaluation by an individual other than Inspector herein who is qualified as an expert or specialist. If Inspector recommends consulting other specialized experts, Client agrees to do so at their own expense. It is Client's duty and obligation to exercise reasonable care to protect himself or herself regarding the condition of the subject property, including those facts which are known to or within the diligent attention and observation of Client. I hereby request a limited visual inspection of the structure at the above address to be conducted by Home Inspection Detection Services, (Inspector), for my sole use and benefit. I warrant that I will read the following agreement carefully. I understand that I am bound by all the terms of this contract. I further warrant that I will read the entire inspection report when I receive it and promptly call the inspector with any questions I may have. INITIAL HERE

**CONFIDENTIAL REPORT:** The inspection report to be prepared for Client is solely and exclusively for Client's own information and may not be relied upon by any other person. Client agrees to maintain the confidentiality of the inspection report and agrees not to disclose any part of it to any other person. Client may distribute copies of the inspection report to the seller and the real estate agents directly involved in this transaction, but Client and Inspector do not in any way intend to benefit said seller or the real estate agents directly or indirectly through this Agreement or the inspection report. **CLIENT AGREES TO INDEMNIFY, DEFEND AND HOLD INSPECTOR**

**HARMLESS FROM ANY THIRD PARTY CLAIMS ARISING OUT OF CLIENT'S UNAUTHORIZED DISTRIBUTION OF THE INSPECTION REPORT. SEVERABILITY:** Should any provision of this contract be held by a court of competent jurisdiction to be either invalid or unenforceable, the remaining provisions of this contract shall remain in full force and effect, unimpaired by the courts' holding.

**ARBITRATION:** Any dispute concerning the interpretation of this Agreement or arising from this inspection and report, except one for inspection fee payment, shall be resolved between the parties by BINDING ARBITRATION conducted in accordance with the rules of the American Arbitration Association except that the parties shall select an arbitrator who is familiar with the home inspection industry.

INITIAL HERE

The parties hereto shall be entitled to all discovery rights and legal motions as provided in the California Code of Civil Procedure. The arbitrator shall apply the substantive and procedural laws of the State of California to all issues submitted in the arbitration proceeding. The award of the arbitrator shall be final, and a judgment may be entered on it by any court having jurisdiction.

**GENERAL PROVISIONS:** This inspection contract, the real estate inspection, and the inspection report do not constitute a home



warranty, guarantee, or insurance policy of any kind whatsoever. The real estate inspection and inspection report are not a substitute disclosure for real estate transactions which may be required by law. No legal action or proceeding of any kind, including those sounding in tort or contract, can be commenced against Inspector/Inspection Company, or its officers, agents or employees more than **three (3) months** after the date of the subject inspection. Time is expressly of the essence herein. THIS TIME PERIOD IS SHORTER THAN OTHERWISE PROVIDED BY LAW. **INITIAL HERE**

In the event Client discovers a material defect or other deficiency that was not identified and reported by Inspector, Client shall so notify Inspector in writing and allow Inspector and/or Inspector's designated representative to re-inspect and document the condition(s) of the material defect or deficiency prior to making any repair, alteration or replacement to said material defect or deficiency. The written report to be prepared by Inspector shall be considered the final and exclusive findings of the Inspector regarding the inspection of the property. Client shall not rely on any oral statements made by the Inspector prior to issuance of the written report. This Agreement shall be binding upon and insure to the benefit of the parties hereto and their heirs, successors and assigns. This agreement constitutes the entire integrated agreement between the parties hereto pertaining to the subject matter hereof, and may be modified only by a written agreement signed by all of the parties hereto. No oral agreements, understandings, or representations shall change, modify, or amend any part of this agreement. Each party signing this Agreement warrants and represents that he/she has the full capacity and authority to execute this Agreement on behalf of the named party. If this Agreement is executed on behalf of Client by any third party, the person executing this Agreement expressly represents to Inspector that he/she has the full and complete authority to execute this Agreement on Client's behalf and to fully and completely bind Client to all of the terms, conditions, limitations, exceptions and exclusions of this Agreement.

**Client acknowledges that they have read and understood all the terms, conditions and limitations of this contract and voluntarily agrees to be bound.**

**SIGN HERE (client)** \_\_\_\_\_ **DATE: 3/26/2025**

SIGN HERE (inspector) \_\_\_\_\_ DATE: 3/26/2025



## Home Inspection Detection Services

Omar Falah

27943 Seco Canyon Rd. # 108  
Santa Clarita, CA 91350  
661-297-9769 (Office)  
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### INSPECTION LIMITATIONS SPECIFIC EXCLUSIONS AND LIMITATIONS:

#### OUR GOAL:

Our Goal is to enlighten you as to the condition of the property by identifying material defects that would significantly affect the property and therefore your decisions concerning it. We strive to add significantly to your knowledge of the building. Thus the goal is not to identify every defect concerning the property but focus upon the material defects and thereby put you in a much better position to make an informed decision.

#### GENERALIST VS. SPECIALIST:

A property inspector is a generalist and the inspection is conducted along generalist guidelines as listed above. The generalist job is to note material defects in the property he is inspecting. When he observes and finds one or more problems in a system of the property that affects its performance he may then refer the entire system over to a specialist in that field for a further detailed investigation. The specialist is expected to conduct a more detailed examination on that system from his specialist sphere of knowledge and training to determine all the problems with the system and the related costs of repairs. The specialist is inspecting from a depth of knowledge and experience that the generalist does not have.

#### REPRESENTATIVE SAMPLING:

The building has many identical components such as windows, electrical outlets, etc. We inspect a representative sampling of these only. We do not move any furniture or personal belongings. This means that some deficiencies which were there may go unnoted or there may be items which are impossible to anticipate. We suggest that you plan for unforeseen repairs. This is part of property ownership as all buildings will have some of these repairs as well as normally occurring maintenance.

#### USE OF THE REPORT:

The inspection report does not constitute a warranty, insurance policy or guarantee of any kind. It is confidential and is given solely for the use and benefit of the client and is not intended to be used for the benefit of or be relied upon by any other buyer or other third party.

**PRE-INSPECTION AGREEMENT:**

Terms and conditions crucial to interpretation of the report are contained in a separate pre-inspection agreement. Do not use this report without consulting the pre-inspection agreement as use of this report constitutes the acceptance of all the terms, conditions and limitations in that agreement.

**MOLD, MILDEW AND FUNGI:**

Mold, mildew and fungus are specifically excluded from the inspection and the report. The inspector is not qualified to note the presence or absence of mold. In some cases mold has been found to be a serious problem and should not be overlooked. Because we do not inspect for mold, should you have any concerns at all about mold or the future discovery of mold, we always recommend that a buyer has a property inspected for mold during the contingency period and prior to the close of escrow.

**WOOD DESTROYING ORGANISMS:**

Termites, dry-rot, wood rot and wood destroying organisms are covered by the structural pest control operator's report. These are not part of the inspection and the inspector will not be inspecting for them. The Business and Professions Code prohibits anyone but licensed structural pest control operators from commenting on this subject.

**BUILDING CODES:**

This is not a building code or code compliance inspection. That is a different type of inspection performed by the local municipality, usually during construction. It is advised to obtain all available documentation such as property permits and certificates of occupancy during the inspection contingency period.

**HAZARDOUS SUBSTANCES:**

Identifying hazardous substances is not part of this inspection. Items such as formaldehyde, lead based paint, asbestos, toxic or flammable chemicals and environmental hazards are not tested for and not within the scope of the inspection.

**INSPECTION LIMITATIONS:**

This is a limited time visual inspection. It excludes any items we cannot directly observe such as chimney interiors, furnace heat exchangers, underground piping, etc. These are specialty inspections and those inspections can be arranged using specialized equipment. Additionally we do not inspect to see if components are installed properly. We do not have the specialized training, instruction sheets or manuals to determine if they meet manufacturer or building code requirements for installation, which can be quite varied. This is part of the specialist's inspection and any questions concerning installation would best be answered by the specialist.

**DISCLOSURE**

- 1.** Any statements made in the body of this inspection report pertaining to front, rear, and right or left were referenced by standing in front of and facing the structure.
- 2.** We recommend obtaining equipment / appliance operating manuals and documentation for all warranted items of the home.
- 3.** We recommend inquiring about any and or all permits and inspection records with final signatures for any changes and or additions that may have been made to the structure / home and or any known conditions that may have been inadvertently left out of the disclosure statements.



- 4.** We recommend having the locks of all exterior doors re-keyed after taking possession of the home for security reasons.
- 5.** Photo's, when used, are simply a tool to convey our findings. They are not intended to enhance those findings or diminish any findings not photographed.
- 6.** The home has many identical components such as windows electrical outlets, etc. We inspect a representative sampling of these only. We also do not move any furniture or personal belongings. This means that some deficiencies which were there may go un-noted. We ask that you understand and accept this. As a result of these items and other items which are impossible to anticipate, we suggest that you plan for unseen repairs. All homes and or structures will have some of these as well as normally occurring maintenance.
- 7.** The report emphasis is on major systems and material defects within those. While some minor defects will be mentioned, it is not an all inclusive list of flaws of the home. It is limited in time and scope and the purpose is to put you in a better position to make the buying decision, not to provide a catalog of all the defects of the property.
- 8.** The report is a professional opinion. It is based on a visual inspection of the accessible features of the home. It is done per the standards of California Real Estate Inspection Association (CREIA). It is not a building code or code compliance inspection. Without dismantling or intrusive testing, there are limitations to such an inspection. Therefore, it should be understood that while we can reduce the risk of purchasing, we cannot entirely eliminate it, nor do we assume it.
- 9.** Please note that non-permitted areas are not included in the report and that further evaluation is highly recommended as to the integrity of said structure.
- 10.** As a safety recommendation, fireplace and chimney, when applicable and depending on the age of the home and area, should be fully inspected by a licensed contractor who specializes in this type of system.
- 11.** We do not warrant the condition or structural integrity of retaining walls and block walls. A structural engineer is recommended to determine the integrity of such a system.
- 12.** We do not check and or inspect for mold, lead based paint, asbestos, radon, or any other environmental based systems and or components. A laboratory test conducted to determine the functional performance of a component or system under conditions that simulate the real environment in which the component or system is expected to operate. An independent, certified testing service that does not do remediation will offer you an unbiased opinion of the problem and tell you what your next steps should be if in fact you decide to have environmental testing performed.