



Del Fine Home Inspections

Inspector: **Vince Del Fine**

Inspector's email: delfinehomeinspections@gmail.com

Website: www.delfinehomeinspections.com

Phone: (424) 264-4719

Certified Master Inspector

Certified with Internachi



Property Inspection Report

Client(s): **Fernando & Sharon Villa**

Property address: **1936 Homeworth Dr
Rancho Palos Verdes, CA 90275**

Inspection date: **Wednesday, November 19, 2025**

This report published on Wednesday, November 19, 2025 10:33:13 PM PST

This report is the exclusive property of this inspection company and the client(s) listed in the report title. Use of this report by any unauthorized persons is prohibited.

Dear Customer:

Thank you for choosing Del Fine Home Inspections to perform the following inspection on the property you wish to purchase. This report is the exclusive property of Del Fine Home Inspections and the individual/s paying for the inspection fee and report. Use of this report by any unauthorized persons is prohibited.

All findings should be made to Del Fine Home Inspections.

This report represents our professional opinion of the condition of the inspected elements of the subject property, determine during a limited time inspection. This inspection was performed, where applicable, in a manner consistent with the standards of the home inspection industry, terms and conditions of the inspection agreement and limitations noted in the inspection agreement. Information contained herein was prepared exclusively for the named client and their authorized representatives.

We have inspected the subject property and must report to you exactly what we found. Because of the age, design and location of the home, we might find some hairline cracks on driveways or walls, see paint peeling off walls, cracks on tiles, chipped bathtubs or some cracks over windows and doors. These are normal and cosmetic conditions.










While due care was exercised in the performance of this inspection, the company makes no representations or guarantees with respect to latent deficiencies or future conditions as part of the inspection or this report. This report is valid only for a period of thirty (30) days from the date of the inspection. This report, including any attachments, should be reviewed in its entirety. Any questions about the inspection or report should be resolved prior to title transfer.

This inspection report was prepared in a format specifically for the individual/s paying for the inspections fee and report and such transfer does not cover all potential areas of concern a third party may have. This report is transferable only with the consent of the individual/s paying for inspections fee and report and such transfer does not imply any warranty or guarantee regarding the report by inspection firm.

If you have any questions regarding this report, please feel free to call us.

How to Read this Report

This report is organized by the property's functional areas. Within each functional area, descriptive information is listed first and is shown in bold type. Items of concern follow descriptive information. Concerns are shown and sorted according to these types:

	Safety	Poses a safety hazard
	Major Defect	Correction likely involves a significant expense
	Repair/Replace	Recommend repairing or replacing
	Repair/Maintain	Recommend repair and/or maintenance
	Minor Defect	Correction likely involves only a minor expense
	Maintain	Recommend ongoing maintenance
	Evaluate	Recommend evaluation by a specialist
	Monitor	Recommend monitoring in the future
	Comment	For your information

Contact your inspector If there are terms that you do not understand, or visit the glossary of construction terms at <https://www.reporhost.com/glossary.asp>

General Information

Time started: 1:00 pm

Time finished: 3:30 pm

Present during inspection: Property owner, Realtor

Client present for discussion at end of inspection: No

Weather conditions during inspection: Sunny

Temperature during inspection: Cool

Inspection fee: \$700

Payment method: Invoiced

Type of building: Single family

Occupied: Yes, Furniture or stored items were present

1) **+** Structures built prior to the mid 1980s may contain lead and/or asbestos. Lead is commonly found in paint and in some plumbing components. The EPA does not recognize newer coats of paint as encapsulating older coats of lead-based paint. Asbestos is commonly found in various building materials such as insulation, siding, and/or floor and ceiling tiles. Laws were passed in 1978 to prohibit usage of lead and asbestos, but stocks of materials containing these substances remained in use for a number of years thereafter. Both lead and asbestos are known health hazards. Evaluating for the presence of lead and/or asbestos is beyond the scope of this inspection. Any mention of these materials in this report is made as a courtesy only, and meant to refer the client to a specialist. Consult with specialists as necessary, such as industrial hygienists, professional labs and/or abatement specialists for this type of evaluation. For information on lead, asbestos and other hazardous materials in homes, visit:

<https://www.reporthost.com/?EPA>

<https://www.reporthost.com/?CPSC>

<https://www.reporthost.com/?CDC>

2) **🔍** Microbial growths were found at one or more locations in the attic. It is beyond the scope of this inspection to identify what substance or organism this staining is. However such staining is normally caused by excessively moist conditions, which in turn can be caused by plumbing or building envelope leaks and/or substandard ventilation. These conducive conditions should be corrected before making any attempts to remove or correct the staining. Normally affected materials such as drywall are removed, enclosed affected spaces are allowed to dry thoroughly, a mildewcide may be applied, and only then is drywall reinstalled. For evaluation and possible mitigation, consult with a qualified industrial hygienist or mold/moisture mitigation specialist. For more information, visit:

<https://www.reporthost.com/?MOLDCDC>

<https://www.reporthost.com/?MOLDEPA>



Photo 2-1



Photo 2-2

3) **🔍** Based on substandard and/or non-standard modifications observed, modifications to this property may have been made without the owner having attained permits or inspections from the municipality. Work may have been performed by someone other than a qualified contractor or person. Consult with the property owner about this, and if necessary research permits. At worst case, if substantial work was performed without permits, this knowledge must be disclosed when the building is sold in the future.

4) **🔍** Many areas and items at this property were obscured by furniture and/or stored items. This often includes but is not limited to walls, floors, windows, inside and under cabinets, under sinks, on counter tops, in closets, behind window coverings, under rugs or carpets, and under or behind furniture. Areas around the exterior, under the structure, in the garage and in the attic may also be obscured by stored items. The inspector in general does not move personal belongings, furnishings, carpets or appliances. When furnishings, stored items or debris are present, all areas or items that are obscured, concealed or not readily accessible are excluded from the inspection. The client should be aware that when furnishings, stored items or debris are eventually moved, damage or problems that were not noted during the inspection may be found.

5) **🔍** This inspection is not a mold or fungus inspection. Should client have any concerns at all about mold or the future discovery of mold, it is recommended that client have the property inspected for mold during the contingency period and prior to the close of escrow.

6) **🔍** This inspection is not a structural pest control inspection, otherwise known as a termite inspection. The "termite" inspection also covers such things as dryrot and wood damage and deterioration as well as wood destroying organisms. Any and all of these items need to be examined and any repairs completed before the close of escrow by the "termite" company and they usually have a guarantee on their work.

Please refer to their structural pest control report for any information concerning them.

Grounds

Limitations: Unless specifically included in the inspection, the following items and any related equipment, controls, electric systems and/or plumbing systems are excluded from this inspection: detached buildings or structures; easements; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings. Any comments made regarding these items are as a courtesy only.

Condition of fences and gates: Required repairs, replacement and/or evaluation (see comments below)

Condition of walls: Required repair, replacement and/or evaluation (see comments below)

Site profile: Level

Condition of driveway: Required repair, replacement and/or evaluation (see comments below)

Condition of sidewalks and/or patios: Required repairs, replacement and/or evaluation (see comments below)

Condition of deck, patio and/or porch covers: Required repairs, replacement and/or evaluation (see comments below)

Condition of decks, porches and/or balconies: Required repairs, replacement and/or evaluation (see comments below)

Condition of stairs, handrails and guardrails: Required repairs, replacement and/or evaluation (see comments below)



7)   Guardrails at one or more locations with drop-offs higher than 30 inches had gaps that were too large. This poses a safety hazard for children (e.g. falling, getting stuck in railing). Guardrails should not have gaps or voids that allow passage of a sphere equal to or greater than 4 inches in diameter, or 6 inches in diameter at triangular spaces between stair edges and guardrails. At a minimum, the client should be aware of this hazard. Recommend that a qualified contractor repair or replace guardrails per standard building practices.



Photo 7-1

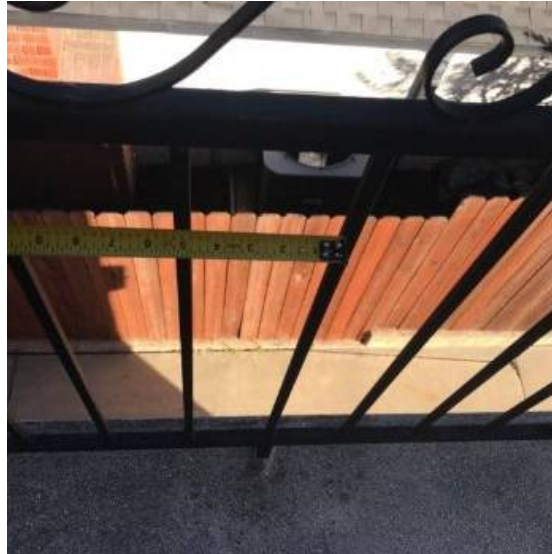


Photo 7-2



8)   Cracks, holes, settlement, heaving and/or deterioration resulting in trip hazards were found in the driveway. For safety reasons, recommend that a qualified contractor repair as necessary.



Photo 8-1

9) 🛠️🔍 Cracks, holes, settlement, heaving and/or deterioration resulting in trip hazards were found in the sidewalks or patios. For safety reasons, recommend that a qualified contractor repair as necessary to eliminate trip hazards.



Photo 9-1



Photo 9-2

10) 🛠️🔍 Deterioration, damage or fungal rot was found at sheathing below balcony deck. Recommend that a qualified contractor evaluate and repair as necessary.



Photo 10-1

Photo 10-2


11)  One or more covers were deteriorated, substandard and/or non-standard. Recommend that a qualified person repair or replace as necessary.



Photo 11-1


12)  Significant amounts of standing water or evidence of past accumulated water were found at one or more locations in the yard or landscaped areas, and no drain was visible. If evidence of past water was found (e.g. silt accumulation or staining), monitor these areas in the future during periods of heavy rain. If standing water exists, recommend that a qualified person repair as necessary. For example, installing one or more drains, or grading soil.



Photo 12-1

Photo 12-2

13) 🛠️ One or more fences and/or gates were damaged or deteriorated and need repair.



Photo 13-1

Photo 13-2



Photo 13-3

14) 🛠️ Cracks and/or deterioration were found in one or more walls. Recommend that a qualified person repair as necessary.



Photo 14-1



Photo 14-2



Photo 14-3


15)  The soil or grading sloped down towards building perimeters in one or more areas. This can result in water accumulating around building foundations or underneath buildings. It can be a conducive condition for wood-destroying organisms. Recommend grading soil so it slopes down and away from buildings with a slope of at least 1 inch per horizontal foot for at least 6 feet out from buildings.



Photo 15-1


16)  One or more planters were damaged or deteriorated. Recommend that a qualified person remove, repair or replace planters as necessary.



Photo 16-1



Photo 16-2



Photo 16-3



Photo 16-4



Photo 16-5

Photo 16-6


17)  Cracks, holes, settlement, heaving and/or deterioration were found in the driveway. Recommend that qualified contractor repair as necessary.



Photo 17-1

Photo 17-2



Photo 17-3

Photo 17-4

18) 🛠️ Cracks, holes, settlement, heaving and/or deterioration were found in sidewalks and/or patios. Recommend that qualified contractor repair as necessary.



Photo 18-1

Photo 18-2



Photo 18-3



Photo 18-4

19) 🛠️ Guardrails at one or more locations were deteriorated or paint was failing. Recommend that a qualified person repair guardrails as necessary.



Photo 19-1

20) 🛠️ The condition of the drain(s) is unknown. It's beyond the scope of a home inspection to determine if these drains flow adequately during prolonged periods of heavy rain. Recommend consulting with the property owners about this if possible, and monitoring drains in the future. If water is found to accumulate, then recommend that a qualified contractor evaluate and repair as necessary. For example, by cleaning, repairing or installing drains.

21) 🛠️ The soil or grading sloped down towards building perimeters in one or more areas. This can result in water accumulating around building foundations or underneath buildings. At a minimum, monitor these areas, and areas under the structure in the future for accumulated water. If water does accumulate, recommend grading soil so it slopes down and away from buildings with a slope of at least 1 inch per horizontal foot for at least 6 feet out from buildings.



Photo 21-1

22) **i** No outbuildings or detached structures were evaluated. They are excluded from this inspection. Comments in this report related to outbuildings or detached structures are made as a courtesy only.

23) General photo(s)



Photo 23-1



Photo 23-2



Photo 23-3



Photo 23-4



Photo 23-5



Photo 23-6

Exterior and Foundation

Limitations: The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

Condition of wall exterior covering: Required repairs, replacement and/or evaluation (see comments below)

Condition of foundation and footings: Required repairs, replacement and/or evaluation (see comments below)

Apparent foundation type: Crawl space

24) 🐛 Fungal rot and/or deterioration was found at one or more fascia and/or trim. Conducive conditions for rot should be corrected (e.g. wood-soil contact, reverse perimeter slope). Recommend that a qualified contractor repair as necessary. All rotten wood should be replaced.



Photo 24-1



Photo 24-2



Photo 24-3



Photo 24-4



Photo 24-5



Photo 24-6



Photo 24-7



Photo 24-8



Photo 24-9



Photo 24-10



Photo 24-11



Photo 24-12



Photo 24-13



Photo 24-14



Photo 24-15



Photo 24-16



Photo 24-17



Photo 24-18



Photo 24-19

25) 🔧🔍 One or more soffits, pop-outs or cantilevered sections of the exterior were not vented. This may result in moisture accumulation. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor evaluate and repair as necessary.



Photo 25-1



Photo 25-2

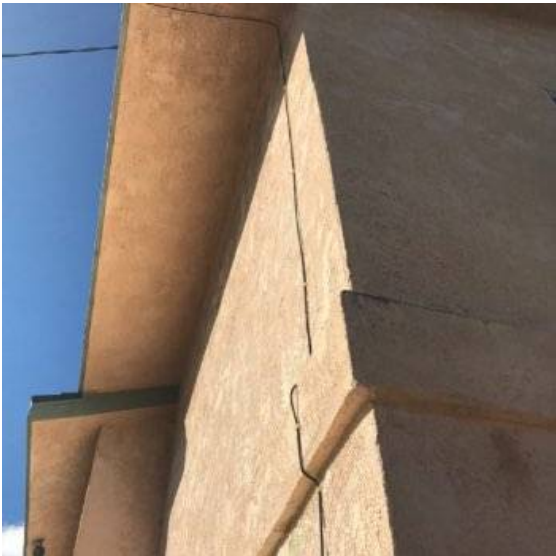


Photo 25-3



Photo 25-4


26)  Some modifications, deterioration and/or damage was found at foundation walls. Recommend that a qualified contractor evaluate and repair as necessary.



Photo 26-1

Photo 26-2


27)  One or more cracks (1/8 inch - 1/4 inch) were found in the foundation. Recommend a qualified contractor evaluate and repair as necessary.



Photo 27-1

Photo 27-2



Photo 27-3



Photo 27-4



Photo 27-5



Photo 27-6



Photo 27-7



Photo 27-8



Photo 27-9



Photo 27-10



Photo 27-11

Photo 27-12

28) 🛠️ One or more planters were attached to the building exterior. This can result in high levels of moisture at the building exterior near planters. It is a conducive condition for wood-destroying organisms. Recommend removing planters, or repairing so there is a gap of at least 2 inches between planters and the building exterior for better airflow and to allow building exteriors to dry quickly.



Photo 28-1

Photo 28-2



Photo 28-3

Photo 28-4

29) 🛠️ Cracks, deterioration and/or damage were found in one or more areas of the exterior stucco finish. In damp climates, moisture may enter cracks or damaged areas and further deteriorate the stucco. Also the wall behind the stucco may become damaged from moisture. Note that areas behind the stucco are inaccessible and excluded from this inspection. Recommend that a qualified contractor repair or replace stucco as necessary.



Photo 29-1

Photo 29-2



Photo 29-3



Photo 29-4



Photo 29-5



Photo 29-6

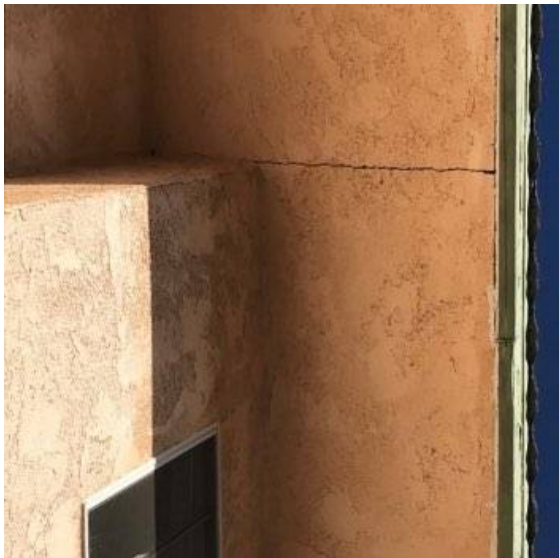


Photo 29-7



Photo 29-8



Photo 29-9



Photo 29-10



Photo 29-11



Photo 29-12



Photo 29-13



Photo 29-14

30) 🛠️ Stucco weep screed was missing at one or more locations. The screed serves as a vent so that the moisture that gets absorbed can escape the stucco wall below. Recommend having a qualified contractor repair as necessary.

31) 🛠️ Fence(s) or gate(s) were attached to or in contact with the building exterior. Such attachments can serve as a pathway for wood-destroying insects and can retain moisture against the exterior after it rains. This is a conducive condition for wood-destroying organisms. Recommend that a qualified person repair as necessary.



Photo 31-1

32) 🗑️ Vegetation such as trees, shrubs and/or vines was in contact with or close to the building exterior. Vegetation can serve as a pathway for wood-destroying insects and can retain moisture against the exterior after it rains. This is a conducive condition for wood-destroying organisms. Recommend pruning, moving or removing vegetation as necessary to maintain at least 6 inches of space between it and the building exterior. A 1-foot clearance is better.



Photo 32-1

33) 🗑️ Some areas of the exterior paint or stain finish were incomplete and/or substandard (e.g. primed only, too few coats). Recommend that a qualified contractor prep (e.g. clean, scrape, sand, prime, caulk) and repaint or restain the exterior where necessary and per standard building practices. Any repairs needed to the siding or trim should be made prior to this.



Photo 33-1



Photo 33-2



34)  Caulk was missing in some areas. For example, where sidewalk meets structure. Recommend that a qualified person renew or install caulk as necessary. Where gaps are wider than 1/4 inch, an appropriate material other than caulk should be used. For more information, visit: <https://www.reporhost.com/?CAULK>




Photo 34-1



Photo 34-2

35)  Some exterior wall sections were obscured by vegetation and/or stored items and couldn't be fully evaluated. They are excluded from this inspection.

36)  The client may wish to have a qualified contractor and/or engineer evaluate foundation further to determine if seismic reinforcement is needed. For example (House Bolting, Foundation Bolting and/or Cripple Wall Bracing). Construction techniques have improved since the home was built. Note that determining the number, spacing and/or adequacy of foundation anchors is beyond the scope of this inspection.

Crawl Space

Limitations: Structural components such as joists and beams, and other components such as piping, wiring and/or ducting that are obscured by under-floor insulation are excluded from this inspection. The inspector does not determine if support posts, columns, beams, joists, studs, trusses, etc. are of adequate size, spanning or spacing.

The inspector does not guarantee or warrant that water will not accumulate in the crawl spaces in the future. Complete access to all crawl space areas during all seasons and during prolonged periods of all types of weather conditions (e.g. heavy rain, melting snow) would be

needed to do so.

The inspector attempts to locate all crawl space access points and areas. Access points may be obscured or otherwise hidden by furnishings or stored items. In such cases, the client should ask the property owner where all access points are that are not described in this inspection, and have those areas inspected. Note that crawl space areas should be checked at least annually for water intrusion, plumbing leaks and pest activity.


Crawl space inspection method: Partially traversed

Location of crawl space access point #A: Closet

Crawl space access points that were opened and viewed, traversed or partially traversed: A

Condition of floor substructure above: Required repairs, replacement and/or evaluation (see comments below)

Condition of crawl space ventilation: Required repairs, replacement and/or evaluation (see comments below)

37)  Evidence of prior water intrusion or accumulation was found in one or more sections of the crawl space. For example, sediment stains on the vapor barrier or foundation, and/or efflorescence on the foundation. Accumulated water is a conducive condition for wood-destroying organisms and should not be present in the crawl space. Recommend that the client review any disclosure statements available and ask the property owner about past accumulation of water in the crawl space. The crawl space should be monitored in the future for accumulated water, especially after heavy and/or prolonged periods of rain. If water is found to accumulate, then recommend that a qualified contractor who specializes in drainage issues evaluate and repair as necessary. Typical repairs for preventing water from accumulating in crawl spaces include:

- Repairing, installing or improving rain run-off systems (gutters, downspouts and extensions or drain lines)
- Improving perimeter grading
- Repairing, installing or improving underground footing and/or curtain drains

Ideally, water should not enter crawl spaces, but if water must be controlled after it enters the crawl space, then typical repairs include installing trenches, gravity drains and/or sump pump(s) in the crawl space.



Photo 37-1



Photo 37-2



38)  Staining was found at one or more joists and/or sections of floor sheathing. Recommend that a qualified contractor evaluate and repair as necessary. Any rotten wood should be replaced.




Photo 38-1



Photo 38-2

39)  Some areas of the crawl space had less than 18 inches of vertical clearance. This limits access for periodic evaluation, and for repairs or modifications when needed. Recommend that a qualified contractor make modifications as necessary, such as excavating soil, so at least 18 inches of vertical clearance is maintained throughout the crawl space.

40)  One or more support posts were not positively secured to the beam above. While this is common in older homes, current standards require positive connections between support posts and beams above for earthquake reinforcement. Recommend that a qualified contractor repair per standard building practices. For example, by installing metal plates, plywood gussets or dimensional lumber connecting posts and beams.


41)  One or more crawl space vents were below grade, and either no wells were installed, or wells were substandard. Vent wells should be installed when vents are at or near grade to prevent debris from blocking vents and/or water from entering vents. This is a conducive condition for wood-destroying organisms. Recommend that a qualified person install, replace or repair vent wells per standard building practices.



Photo 41-1


42)  One or more crawl space vents were blocked by stored items. This restricts ventilation in the crawl space and can result in increased levels of moisture inside. This is a conducive condition for wood-destroying organisms. Materials or items blocking vents should be removed as necessary.



Photo 42-1



Photo 42-2



Photo 42-3





-
- 43)  Soil was wet and/or damp at one or more sections of crawlspace. Recommend having a qualified contractor evaluate and repair as necessary.
-
- 44)  Soil was wet and/or damp at one or more locations. Recommend having a qualified contractor fully evaluate to determine source of water intrusion. Repairs should be made by a qualified contractor.
-
- 45)  One or more support posts appear to have been added since the original construction based on the inspector's observations. Such posts may have been added to reduce bounce or sag in floors above. Consult with the property owner about this, or have a qualified contractor evaluate and make repairs if necessary.
-
- 46)  One or more beams, joist, post and/or pier were damaged, non-standard or substandard. Floors and/or the structure can deflect, resulting in non-level floors or damage to the structure. Recommend that a qualified contractor evaluate and repair per standard building practices.



Photo 46-1



Photo 46-2



Photo 46-3 One or more joists were notched or had holes cut in them in such a way as to significantly weaken the joist(s)

47) 🛠️ The crawl space vent covers were loose at one or more locations. Recommend that a qualified person repair as necessary.



Photo 47-1

48) 🗑️ Cellulose material such as scrap wood, form wood, cardboard forms and/or cardboard or paper was found in the crawlspace. This is a conducive condition for wood-destroying organisms. Recommend removing all cellulose-based debris or stored items.

49) 🔍📍 Some sections of the crawlspace at location A were not evaluated due to lack of access because the crawlspace vertical height was under 18 inches and/or ducts or pipes were blocking. The condition of these areas is unknown and they are excluded from this inspection. Recommend that conditions be corrected to allow a full evaluation of all crawlspace areas.

50) General photo(s)



Photo 50-1



Photo 50-2



Photo 50-3



Photo 50-4



Photo 50-5



Photo 50-6



Photo 50-7



Photo 50-8



Photo 50-9



Photo 50-10



Photo 50-11



Photo 50-12



Photo 50-13

Roof

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; solar roofing components. Any comments made regarding these items are made as a courtesy only. Note that the inspector does not provide an estimate of remaining life on the roof surface material, nor guarantee that leaks have not occurred in the roof surface, skylights or roof penetrations in the past. Regarding roof leaks, only active leaks, visible evidence of possible sources of leaks, and evidence of past leaks observed during the inspection are reported on as part of this inspection. The inspector does not guarantee or warrant that leaks will not occur in the future. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high wind and rain, melting snow) would be needed to do so. Occupants should monitor the condition of roofing materials in the future. For older roofs, recommend that a professional inspect the roof surface, flashings, appurtenances, etc. annually and maintain/repair as might be required. If needed, the roofer should enter attic space(s). Regarding the roof drainage system, unless the inspection was conducted during and after prolonged periods of heavy rain, the inspector was unable to determine if gutters, downspouts and extensions perform adequately or are leak-free.

Roof inspection method: Telescopic camera, Viewed from ladder

Condition of roof surface material: Required repair, replacement and/or evaluation (see comments below)

Roof surface material: Asphalt or fiberglass composition shingles, Metal shingle

Apparent number of layers of roof surface material: One

Condition of exposed flashings: Required repair, replacement and/or evaluation (see comments below)

Condition of gutters, downspouts and extensions: Required repair, replacement and/or evaluation (see comments below)




51)    (Garage) The roof surface was significantly deteriorated and appeared to be at or beyond its service life. It needs replacing now. This is a conducive condition for wood-destroying organisms. Consult with a qualified contractor to determine replacement options. Note that some structural repairs are often needed after old roof surfaces are removed and the structure becomes fully visible. Related roofing components such as flashings and vents should be replaced or installed as needed and per standard building practices. No prediction of future performance or warranties can be offered.



Photo 51-1



Photo 51-2



Photo 51-3



Photo 51-4



Photo 51-5



Photo 51-6



Photo 51-7



Photo 51-8



Photo 51-9



Photo 51-10



Photo 51-11



Photo 51-12


52)  The roof surface appeared to be near the end of its service life and will likely need replacing in the near future. Recommend discussing replacement options with a qualified contractor, and budgeting for a replacement roof surface in the near future. The client may also wish to consider having a qualified contractor attempt to issue a "roof certificate." No prediction of future performance or warranties can be offered.



Photo 52-1



Photo 52-2



Photo 52-3



Photo 52-4



Photo 52-5



Photo 52-6



Photo 52-7



Photo 52-8



Photo 52-9


53)  Many metal roof tiles were dented and/or damaged. Leaks may occur as a result. Recommend that a qualified contractor repair as necessary.



Photo 53-1



Photo 53-2



Photo 53-3



Photo 53-4



Photo 53-5




Photo 53-6



Photo 53-7



Photo 53-8

54)  No roof drainage system was installed. Rainwater may come in contact with the building exterior or accumulate around the building foundation as a result. This can be a conducive condition for wood-destroying organisms. Recommend that a qualified contractor install roof drainage components where missing per standard building practices.



55)  One or more roof flashings were missing, lifting or corroded. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified person repair as necessary.



Photo 55-1



Photo 55-2

56)  Normally the inspector attempts to traverse roof surfaces during the inspection. However, due to type of roof covering (slippery or fragile), the inspector was unable to traverse the roof and wasn't able to fully evaluate the entire roof surface.

Attic and Roof Structure

Limitations: The following items or areas are not included in this inspection: areas that could not be traversed or viewed clearly due to lack of access; areas and components obscured by insulation. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. Complete access to all roof and attic spaces during all seasons and during prolonged periods of all types of weather conditions (e.g. high/low temperatures, high/low humidity, high wind and rain, melting snow) would be needed to do so. The inspector is not a licensed engineer and does not determine the adequacy of roof structure components such as trusses, rafters or ceiling beams, or their spacing or sizing.

Attic inspection method: Traversed


Location of attic access point #A: Bedroom closet

Attic access points that were opened and viewed, traversed or partially traversed: A

Condition of roof structure: Appeared serviceable

Condition of insulation in attic (ceiling, skylight chase, etc.): Appeared serviceable

Condition of roof ventilation: Appeared serviceable

57)  One or more attic access hatches or doors were not insulated, or had substandard insulation. Weatherstripping was also missing or

substandard. Recommend installing weatherstripping and insulation per current standards at hatches or doors for better energy efficiency. For more information, visit:

<https://www.reporhost.com/?ATTACC>



58)   What appeared to be past water stains were visible on the roof structure at one or more locations. The stains may have been caused by a past leak. Recommend asking the property owner about past leaks. Monitor these areas in the future, especially after heavy rains to determine if active leaks exist. If leaks are found, recommend that a qualified contractor evaluate and repair as necessary.



Photo 58-1




Photo 58-2



Photo 58-3



Photo 58-4

59)  All attic areas and roof structures more than 8, 10 and/or 12 feet from attic access point(s) #A were inaccessible due to ducts or pipes blocking and/or possible damage if traversed. These areas were not evaluated and are excluded from the inspection.

60) General photo(s)



Photo 60-1



Photo 60-2



Photo 60-3



Photo 60-4



Photo 60-5



Photo 60-6



Photo 60-7



Photo 60-8

Garage or Carport

Limitations: The inspector does not determine the adequacy of firewall ratings. Requirements for ventilation in garages vary between municipalities.

Type: Detached, Garage

Condition of exterior entry doors: Appeared serviceable

Condition of garage vehicle door(s): Appeared serviceable

Condition of garage floor: Required repair, replacement and/or evaluation (see comments below)

Condition of garage interior: Required repair or evaluation (see comments below)


61)  Water resistant membrane was damaged at one or more locations. This may result in water intrusion. Recommend that a qualified contractor evaluate and repair as necessary.



Photo 61-1


62)  Evidence of prior water intrusion or accumulation was found in one or more sections of the garage/storage area. For example, sediment stains on the vapor barrier or foundation, and/or efflorescence on the foundation. Recommend that a qualified contractor evaluate and repair as necessary.



Photo 62-1


63)  Cracks, heaving and/or settlement were found in one or more sections of concrete slab floors. Recommend that a qualified contractor repair as necessary.



Photo 63-1



Photo 63-2



Photo 63-3

64) **i** Many floor areas were obscured by stored items and couldn't be fully evaluated.

65) **i** The garage perimeter, parking area(s) and/or roof structure were obscured by stored items. In general, the inspector does not move personal belongings or debris. All areas or items that are obscured, concealed or not readily accessible are excluded from this inspection. The client should be aware that when stored items, vehicle(s) and/or debris are eventually moved, damage or problems that were not noted during the inspection may be found.

66) General photo(s)



Photo 66-1



Photo 66-2



Photo 66-3



Photo 66-4

Electric

Limitations: The following items are not included in this inspection: generator systems, transfer switches, surge suppressors, inaccessible or concealed wiring; underground utilities and systems; low-voltage lighting or lighting on timers or sensors. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of grounding or bonding, if this system has an adequate capacity for the client's specific or anticipated needs, or if this system has any reserve capacity for additions or expansion. The inspector does not operate circuit breakers as part of the inspection, and does not install or change light bulbs. The inspector does not evaluate every wall switch or receptacle, but instead tests a representative number of them per various standards of practice. When furnishings, stored items or child-protective caps are present some receptacles are usually inaccessible and are not tested; these are excluded from this inspection. Receptacles that are not of standard 110 volt configuration, including 240-volt dryer receptacles, are not tested and are excluded. The functionality of, power source for and placement of smoke and carbon monoxide alarms is not determined as part of this inspection. Upon taking occupancy, proper operating and placement of smoke and carbon monoxide alarms should be verified and batteries should be changed. These devices have a limited lifespan and should be replaced every 10 years. The inspector attempts to locate and evaluate all main and sub-panels. However, panels are often concealed. If panels are found after the inspection, a qualified electrician should evaluate and repair if necessary. The inspector attempts to determine the overall electrical service size, but such estimates are not guaranteed because the overall capacity may be diminished by lesser-rated components in the system. Any repairs recommended should be made by a licensed electrician.

Electric service condition: Appeared serviceable

Primary service type: Overhead

Primary service overload protection type: Circuit breakers

Main disconnect rating (amps): 200

System ground: Required repair, replacement and/or evaluation (see comments below)

Condition of main service panel: Appeared serviceable

Condition of sub-panel(s): Required repair, replacement and/or evaluation (see comments below)




Location of main service panel #A: Building exterior

Location of main disconnect: At main disconnect panel outside

Condition of branch circuit wiring: Required repair, replacement and/or evaluation (see comments below)

Smoke alarms installed: Required repair, replacement and/or evaluation (see comments below)

Carbon monoxide alarms installed: Yes, but not tested

67)    Panel(s) #C were manufactured by the Federal Pacific Electric company and used "Stab-Lok" circuit breakers. There is significant evidence that both double and single pole versions of these circuit breakers fail by not tripping when they are supposed to. However, in 2011 the Consumer Products Safety Commission (CPSC) closed an investigation into this product because they did not have enough data to establish that the circuit breakers pose a serious risk of injury to consumers. Regardless, and due to other evidence of safety issues, recommend that a qualified electrician carefully evaluate all Federal Pacific panels and make repairs as necessary. Consider replacing Federal Pacific panels with modern panels that offer more flexibility for new, safer protective technologies like ground fault circuit interrupters (GFCIs) and arc fault circuit interrupters (AFCIs). For more information, visit:

<https://www.reporthost.com/?FP1>

<https://www.reporthost.com/?FP2>

<https://www.reporthost.com/?FP3>



Photo 67-1



Photo 67-2




68)    One or more ground fault circuit interrupter (GFCI) devices protecting receptacles at the building exterior or bathroom would not reset or trip when tested. This is a potential shock hazard. Recommend that a qualified electrician evaluate and repair as necessary.






Photo 68-1



Photo 68-2 Bathroom #B



Photo 68-3

69)    One or more electric receptacles at the laundry area and/or exterior had no visible ground fault circuit interrupter (GFCI) protection, or the inspector was unable to determine if GFCI protection was present. If not GFCI-protected, receptacles in wet areas pose a shock hazard. Recommend that a qualified electrician evaluate and install GFCI protection if necessary and per standard building practices. General guidelines for GFCI-protected receptacles include the following locations:

- Outdoors (since 1973)
- Bathrooms (since 1975)
- Garages (since 1978)
- Kitchens (since 1987)
- Crawl spaces and unfinished basements (since 1990)
- Wet bar sinks (since 1993)
- Laundry and utility sinks (since 2005)

For more information, visit:

<https://www.reporthost.com/?GFCI>



Photo 69-1



Photo 69-2



Photo 69-3



Photo 69-4



Photo 69-5






Photo 69-6



Photo 69-7



Photo 69-8

70)    One or more electric receptacles had no visible arc fault circuit interrupter (AFCI) protection, or the inspector was unable to determine if AFCI protection was present. This is a potential safety hazard. Recommend that a qualified electrician evaluate and install AFCI protection if necessary and per standard building practices. General guidelines for AFCI-protected receptacles include the following locations:

- Bedrooms (since 1999)
- Kitchens, laundry areas, family rooms, dining rooms, living rooms, parlors, libraries, dens and recreation rooms, sunrooms, closets and hallways (since 2014)

For more information, visit:

<https://www.reporthost.com/?AFCI>






71)   Panel(s) #B were located in a closet. This is not an approved location for electric panels. Recommend that a qualified electrician move the panel(s) or make repairs per standard building practices.



Photo 71-1

72)  The electric circuit one or more appliances did not appear to be a "dedicated" circuit, and serviced other receptacles or equipment (based on labeling in panel). Permanently installed appliances like furnaces, air conditions, dishwashers, garbage disposals and microwave ovens should each have a dedicated circuit to prevent overloading and to prevent circuit breakers from "nuisance tripping." This is a potential fire hazard. Recommend that a qualified electrician repair per standard building practices.

73)  Smoke alarms were missing from one or more bedrooms. Smoke alarms should be installed as necessary so a functioning alarm exists in each hallway leading to bedrooms, in each bedroom, on each level and in any attached garage. For more information, visit: <https://www.reporthost.com/?SMKALRM>

74)  Components for the grounding and/or bonding system were loose, not located, not found and/or substandard. This is a potential safety hazard due to the risk of shock. Recommend that a qualified electrician evaluate and repair as necessary.


75)  Substandard wiring was found at the building exterior, attic, crawl space and/or interior rooms. For example, exposed wiring, loose wiring, unterminated wires, exposed splices, missing or broken cover plates, loose boxes, missing conduit and/or loose receptacle. This is a safety hazard. Recommend that a qualified electrician evaluate and repair as necessary and per standard building practices.



Photo 75-1



Photo 75-2



Photo 75-3



Photo 75-4



Photo 75-5



Photo 75-6 Crawl space



Photo 75-7 Crawl space



Photo 75-8



Photo 75-9 Attic



Photo 75-10 Closet with crawl access



Photo 75-11

76) 🛠️ One or more slots where circuit breakers are normally installed were open in panel(s) #C. Energized equipment was exposed and is a shock hazard. Recommend that a qualified person install closure covers where missing.

77) 🔍 Branch circuit wiring installed in buildings built prior to the mid 1980s is typically rated for a maximum temperature of only 60 degrees Celsius. This includes non-metallic sheathed (Romex) wiring, and both BX and AC metal-clad flexible wiring. Knob and tube wiring, typically installed in homes built prior to 1950, may be rated for even lower maximum temperatures. Newer electric fixtures including lighting and fans typically require wiring rated for 90 degrees Celsius. Connecting newer fixtures to older, 60-degree-rated wiring is a potential fire hazard. Repairs for such conditions may involve replacing the last few feet of wiring to newer fixtures with new 90-degree-rated wire, and installing a junction box to join the old and new wiring.

It is beyond the scope of this inspection to determine if such incompatible components are installed, or to determine the extent to which they're installed. Based on the age of this building, the client should be aware of this safety hazard, both for existing fixtures and when planning to upgrade with newer fixtures. Consult with a qualified electrician for repairs as necessary.

78) 🔍 (Garage) One or more electric receptacles appeared to have no power. Recommend asking the property owner about this. Switches may need to be operated or GFCI/AFCI protection may need to be reset to make some receptacles energized. If necessary, recommend that a qualified electrician evaluate and repair.



Photo 78-1

79) 🔍 The legend for circuit breakers or fuses in panel(s) #C was missing, incomplete, illegible or confusing. This is a potential shock or fire

hazard in the event of an emergency when power needs to be turned off. Recommend correcting the legend so it's accurate, complete and legible. Evaluation by a qualified electrician may be necessary.


80)  The electric meter seal was missing. The utility company installs these seals to prevent tampering with the meter or tapping into the electric supply before the meter. Consult with the property owner about this and/or contacting the utility company to have the seal reinstalled.



Photo 80-1


81)  One or more screws that attach the cover or dead front to panel(s) #C were missing or not installed. Recommend installing screws where missing so the cover or dead front is secure. Only screws with blunt tips approved for this purpose should be installed, so wiring inside the panel is not damaged. Because energized wires may be located directly behind screw holes, the client should consider having a qualified electrician replace missing screws.



Photo 81-1


82)  One or more light fixtures were inoperable (didn't turn on when nearby switches were operated). Recommend further evaluation by replacing bulbs and/or consulting with the property owner. If replacing bulbs doesn't work and/or no other switch(es) can be found, then recommend that a qualified electrician evaluate and repair or replace light fixtures as necessary.



Photo 82-1

83) General photo(s)



Photo 83-1



Photo 83-2



Photo 83-3

Photo 83-4



Photo 83-5

Photo 83-6

Plumbing / Fuel Systems

Limitations: The following items are not included in this inspection: private/shared wells and related equipment; private sewage disposal systems; sewage ejector pumps; sump pumps; hot tubs or spas; main, side and lateral sewer lines; gray water systems; yard irrigation (sprinkler) system; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices. Any comments made regarding these items are as a courtesy only. Note that the inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated. The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks.

Condition of service and main line: Required repair, replacement and/or evaluation (see comments below)

Location of main water shut-off: Building exterior

Condition of supply lines: Required repair, replacement and/or evaluation (see comments below)

Condition of drain pipes: Required repair, replacement and/or evaluation (see comments below)

Condition of waste lines: Required repair, replacement and/or evaluation (see comments below)

Vent pipe condition: Appeared serviceable

Condition of fuel system: Appeared serviceable


84)  Stains were found in one or more sections of drain and/or waste lines, but no active leaks were found near the stains. This may indicate that past leaks have occurred. Consult with the property owner about this, and either monitor these areas in the future for leaks or have a qualified plumber evaluate and repair as necessary.



Photo 84-1



85)  Water supply lines had substandard repairs in one or more areas. Recommend that a qualified plumber evaluate and repair per standard building practices.




Photo 85-1 Crawl space

86)  No expansion tank was installed for the water supply system. Expansion tanks are recommended when a property is on a public water supply system and the property's water system is "closed" via a pressure reducing valve (PRV), check valve, or backflow preventer. No room for expansion of water exists in this type of system. Thermal expansion occurs when water is heated during non-use periods. In a closed system with no provision for expansion, its effects can include:

- Backflow into the water main
- Damage to water heater connections, gas water heater flue tubes and pumps serving washers and dishwashers
- Leaking faucets
- "Weeping" of water through the water heater temperature-pressure relief (TPR) valve
- Noisy water hammer in the pipes

Expansion tanks can eliminate these problems by giving water a place to go when thermal expansion occurs. When a water heating cycle ends, or when any fixture is opened within the system, the impact of thermal expansion is reduced, and water drains out of the expansion tank

back into the system. Recommend that a qualified plumber install an expansion tank per standard building practices.

87)  No sediment trap was installed in the gas supply line HVAC unit. Sediment traps prevent damage to gas-fired appliances by trapping oil, scale, water condensation and/or debris. Recommend that a qualified contractor install a sediment trap per standard building practices.




88)  One or more clamps were installed on copper water supply pipes and the clamps were made with a metal other than copper (e.g. steel, brass). Contact between such dissimilar metals causes corrosion and can damage the water supply pipes. Recommend that a qualified person repair as necessary.



Photo 88-1 Crawl space

89)  Based on the age of this structure, recommend that a qualified plumber inspect the waste lines using a video scope device to determine if they need repair or replacement. Property owners are usually responsible for repairs to the side sewer and publicly owned lateral lines. Such repairs can be expensive.

90)  No galvanized steel water supply was found during inspection. Note that it is beyond the scope of this inspection to determine what percentage of the piping is older, galvanized steel, as much of it is concealed in wall, floor and/or ceiling cavities.

91) General photo(s)



Photo 91-1



Photo 91-2



Photo 91-3

Water Heater

Limitations: Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Condition of water heater: Appeared serviceable

Type: Tank

Energy source: Natural gas

Capacity (in gallons): 50

Temperature-pressure relief valve installed: Yes

Location of water heater: Exterior closet

Hot water temperature tested: Yes

Condition of burners: Appeared serviceable

Condition of venting system: Required repair, replacement and/or evaluation (see comments below)

Condition of combustion air supply: Appeared serviceable




92)    Combustible materials was in contact with water heater flue pipe/venting. This is a fire hazard. Recommend having a qualified contractor evaluate and repair as necessary.



Photo 92-1

93) 🛠️ The water heater flue pipe did not terminate above the highest roof surface. This is a potential hazard. A qualified person should repair per standard building practices.



Photo 93-1

94) 🛠️ The water heater door was damaged. Recommend having a qualified contractor repair as necessary.



Photo 94-1

95) General photo(s)

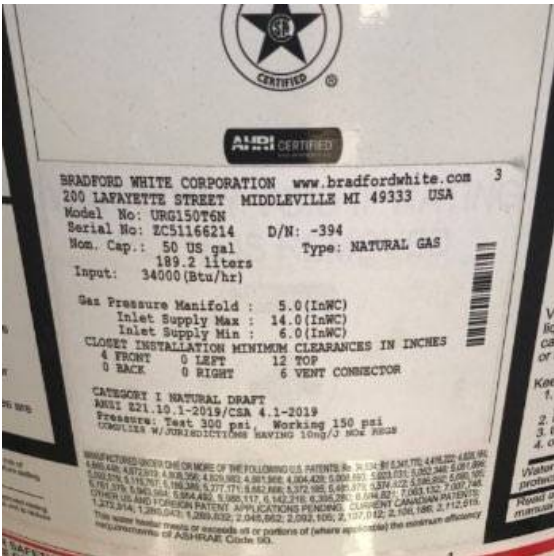


Photo 95-1 MFG 2023



Photo 95-2

Heating, Ventilation and Air Condition (HVAC)

Limitations: The following items are not included in this inspection: humidifiers, dehumidifiers, electronic air filters; solar, coal or wood-fired heat systems; thermostat or temperature control accuracy and timed functions; heating components concealed within the building structure or in inaccessible areas; underground utilities and systems; safety devices and controls (due to automatic operation). Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on heating or cooling system components, does not determine if heating or cooling systems are appropriately sized, does not test coolant pressure, or perform any evaluations that require a pilot light to be lit, a shut-off valve to be operated, a circuit breaker to be turned "on" or a serviceman's or oil emergency switch to be operated. It is beyond the scope of this inspection to determine if furnace heat exchangers are intact and free of leaks. Condensation pans and drain lines may clog or leak at any time and should be monitored while in operation in the future. Where buildings contain furnishings or stored items, the inspector may not be able to verify that a heat source is present in all "liveable" rooms (e.g. bedrooms, kitchens and living/dining rooms).

Condition of heating/(cooling) system: Required repair, replacement and/or evaluation (see comments below)

Condition of filters: Required repair and/or evaluation (see comments below)

Condition of ducts and registers: Required repair, replacement and/or evaluation (see comments below)

Condition of controls: Not determined (system inoperable)



96)  One or more air supply registers were installed in a non-standard or substandard way. Recommend that a qualified person repair as necessary.





Photo 96-1



97)  Air filters for the heating and/or cooling system were missing at one or more locations where they should have been installed. Indoor air quality will be reduced as a result. Recommend installing good quality filters at intended locations (e.g. in or at the air handler, behind return air grills). Filters should be sized correctly to minimize air gaps. Many types of filters are available. Recommend installing pleated filters or better rather than the cheapest disposable kind. For more information, visit:

<https://www.reporhost.com/?FLTRTPS>



Photo 97-1

98)   The heating/cooling system was not fully evaluated because the did not respond to normal controls. Recommend that a full evaluation be made by a qualified person when conditions have been corrected so the system is operable. Note that the inspector does not operate shut-off valves, pilot lights or circuit breakers, or any controls other than normal controls (thermostat).

99)   The estimated useful life for most HVAC unit is 15-20 years. The inspector was unable to determine the age of the unit. Be aware that this furnace may be near, at, or beyond its useful life and may need replacing or significant repairs at any time. Recommend attempting to determine the unit age (ask property owner or service technician), and budgeting for a replacement if necessary.

Kitchen

Limitations: The following items are not included in this inspection: household appliances such as stoves, ovens, cook tops, ranges, warming ovens, griddles, broilers, dishwashers, trash compactors, refrigerators, freezers, ice makers, hot water dispensers and water filters; appliance timers, clocks, cook functions, self and/or continuous cleaning operations, thermostat or temperature control accuracy, and lights. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of the remaining life of appliances, and does not determine the adequacy of operation of appliances. The inspector does not note appliance manufacturers, models or serial numbers and does not determine if appliances are subject to recalls. Areas and components behind and obscured by appliances are inaccessible and excluded from this inspection.

Condition of counters: Appeared serviceable

Condition of cabinets: Appeared serviceable

Condition of sinks and related plumbing: Appeared serviceable

Condition of under-sink food disposal: Appeared serviceable

Condition of dishwasher: Appeared serviceable

Condition of range, cooktop or oven: Appeared serviceable

Type of ventilation: Wall or ceiling mounted fan

Condition of refrigerator: Appeared serviceable

Condition of microwave: Appeared serviceable


100)  The range was placed on supports. Consult with the property owner. If necessary, a qualified person should repair.



Photo 100-1

101) General photo(s)



Photo 101-1



Photo 101-2



Photo 101-3



Photo 101-4

Bathrooms, Laundry and Sinks

Limitations: The following items are not included in this inspection: overflow drains for tubs and sinks; heated towel racks, saunas, steam generators, clothes washers, clothes dryers. Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. The inspector does not operate water supply or shut-off valves for sinks, toilets, bidets, clothes washers, etc. due to the possibility of valves leaking or breaking when operated. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances.

Condition of counters: Required repair, replacement and/or evaluation (see comments below)

Condition of cabinets: Appeared serviceable

Condition of flooring: Required repairs, replacement and/or evaluation (see comments below)

Condition of sinks and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of toilets: Required repair, replacement and/or evaluation (see comments below)

Condition of bathtubs and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of shower(s) and related plumbing: Required repair, replacement and/or evaluation (see comments below)

Condition of ventilation systems: Required repair, replacement and/or evaluation (see comments below)

Gas supply for laundry equipment present: Not determined


102)  The hot and/or cold water supply flow for the sink at location(s) #A was low or inoperable. Recommend that a qualified plumber evaluate and repair as necessary.



Photo 102-1



Photo 102-2




103)  The toilet at location(s) #C was loose where it attached to the floor. Leaks can occur. Flooring, the sub-floor or areas below may get damaged. Sewer gases can enter living spaces. Recommend that a qualified contractor remove the toilet(s) for further evaluation and repair if necessary. A new wax ring should be installed and toilet(s) should be securely anchored to the floor to prevent movement and leaking.




Photo 103-1


104)  Flooring in the bathroom at location(s) #D was deteriorated. Water can damage the sub-floor as a result. Recommend that a qualified contractor repair flooring as necessary.

**Photo 104-1**

105)  One or more sink faucet handles at location(s) #A were loose. Recommend that a qualified person repair or replace as necessary.

**Photo 105-1**

106)  The laundry room didn't have an exhaust fan installed. Moisture can accumulate and result in mold, bacteria or fungal growth. Recommend that a qualified contractor install an exhaust fan per standard building practices.

107)  A clothes washer was installed over a finished space or in an area where leaking can cause damage, and no catch pan or drain was installed. Catch pans and drains prevent water damage to finished interior spaces below if or when the washing machine leaks, overflows or is drained. If concerned, consult with a qualified contractor about installing a catch pan. Note that installing a drain line for a catch pan routed to the outdoors may not be feasible. As an alternative, a water alarm can be installed in the catch pan. For more information visit:

<https://www.reporthost.com/?WTRALRM>


108)  One or more cabinets, drawers and/or cabinet doors at location(s) #A were damaged or deteriorated. Recommend that a qualified person repair or replace as necessary.



Photo 108-1


109)  Gaps, no caulk, or substandard caulking were found around the sink at location(s) #A. Water can penetrate these areas and cause damage. Recommend that a qualified person repair as necessary. For example, by installing or replacing caulk.



Photo 109-1

110)  Trim at location(s) #A and B was deteriorated or missing. Recommend that a qualified contractor repair as necessary.



Photo 110-1



Photo 110-2



Photo 110-3



Photo 110-4


111)  The sink drain stopper mechanism at location(s) #A and B was inoperable, loose and/or difficult to operate. Recommend that a qualified person repair or replace as necessary.



Photo 111-1



Photo 111-2


112)  Caulk around the base of the toilet at location(s) #C was missing, substandard and/or deteriorated. Modern standards require caulk to be installed around the entire toilet base where it meets the floor for sanitary reasons. Without it, soiled water can soak into flooring and sub-floor materials if the toilet overflows. Condensation from the toilet can also soak into the flooring. Recommend that a qualified person caulk around toilet bases per standard building practices.



Photo 112-1


113)  Tile and/or grout in the bathtub surround at location(s) #B and C was deteriorated (e.g. loose or cracked tiles, missing grout) or substandard. Water can damage the wall structure as a result. Recommend that a qualified contractor repair as necessary.



Photo 113-1



Photo 113-2

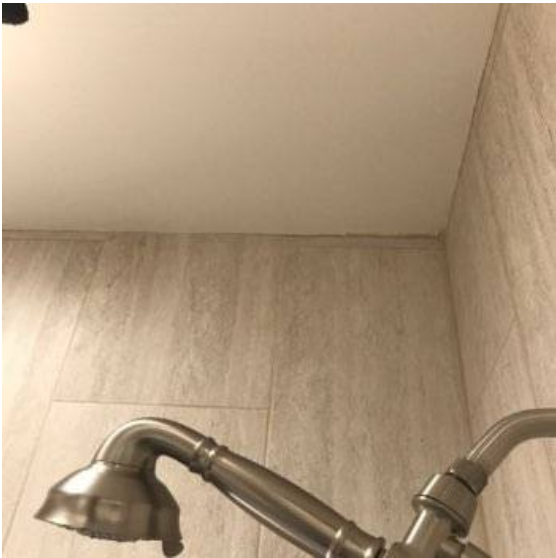


Photo 113-3


114)  The bathtub drain stopper mechanism at location(s) #B and C was inoperable, loose and/or difficult to operate. Recommend that a qualified person repair or replace as necessary.



Photo 114-1

Photo 114-2

115) 🛠️ The shower arm at location(s) #C was loose. Recommend that a qualified person repair as necessary.



Photo 115-1

116) 🛠️ The shower trim or plumbing at location(s) #A was loose. Recommend that a qualified person repair as necessary.



Photo 116-1

117) **i** No access or only limited access was available to the back of the clothes washer and dryer, and to utility hook-ups located behind the appliances. The inspector normally attempts to determine the presence of a gas vs. electric power supply, the configuration of the stand pipe, whether the dryer exhaust duct is serviceable, etc. Because of the lack of access, the inspector was unable to fully evaluate and/or describe the hook-ups and appliances.

118) **i** The bathtub(s) at location(s) #A were obscured by stored items and couldn't be fully evaluated.

119) General photo(s)



Photo 119-1



Photo 119-2



Photo 119-3



Photo 119-4



Photo 119-5



Photo 119-6



Photo 119-7



Photo 119-8



Photo 119-9



Photo 119-10



Photo 119-11



Photo 119-12

Interior, Doors and Windows

Limitations: The following items are not included in this inspection: security, intercom and sound systems; communications wiring; central vacuum systems; elevators and stair lifts; cosmetic deficiencies such as nail-pops, scuff marks, dents, dings, blemishes or issues due to normal wear and tear in wall, floor and ceiling surfaces and coverings, or in equipment; deficiencies relating to interior decorating; low voltage and gas lighting systems. Any comments made regarding these items are as a courtesy only. Note that the inspector does not evaluate any areas or items which require moving stored items, furnishings, debris, equipment, floor coverings, insulation or similar materials. The inspector does not test for asbestos, lead, radon, mold, hazardous waste, urea formaldehyde urethane, or any other toxic substance. Some items such as window, drawer, cabinet door or closet door operability are tested on a sampled basis. The client should be aware that paint may obscure wall and ceiling defects, floor coverings may obscure floor defects, and furnishings may obscure wall, floor and floor covering defects. If furnishings were present during the inspection, recommend a full evaluation of walls, floors and ceilings that were previously obscured when possible. Determining the cause and/or source of odors is not within the scope of this inspection.

Condition of exterior entry doors: Required repair, replacement and/or evaluation (see comments below)

Condition of interior doors: Required repair, replacement and/or evaluation (see comments below)

Condition of windows and skylights: Required repair, replacement and/or evaluation (see comments below)

Condition of walls and ceilings: Required repairs, replacement and/or evaluation (see comments below)

Condition of flooring: Required repairs, replacement and/or evaluation (see comments below)

Condition of stairs, handrails and guardrails: Required repairs, replacement and/or evaluation (see comments below)

120) + 🛠️ Guardrails at one or more locations with drop-offs higher than 30 inches had gaps that were too large. This poses a safety hazard for children (e.g. falling, getting stuck in railing). Guardrails should not have gaps or voids that allow passage of a sphere equal to or greater than 4 inches in diameter, or 6 inches in diameter at triangular spaces between stair edges and guardrails. At a minimum, the client should be aware of this hazard. Recommend that a qualified contractor repair or replace guardrails per standard building practices.



Photo 120-1



121)   Guardrails at one or more locations with drop-offs higher than 30 inches were too low. This poses a fall hazard. Guardrails should be at least 36 inches in height. Recommend that a qualified contractor replace or repair guardrails per standard building practices.



Photo 121-1



122)   Guardrails at one or more locations with drop-offs higher than 30 inches were loose and/or wobbly, and pose a fall hazard. Recommend that a qualified person repair guardrails as necessary.



Photo 122-1



123)   Floors in one or more areas were not level. Recommend that a qualified contractor evaluate and repair as necessary.



Photo 123-1



Photo 123-2



Photo 123-3



Photo 123-4



Photo 123-5



Photo 123-6



Photo 123-7



Photo 123-8



Photo 123-9



Photo 123-10



Photo 123-11



Photo 123-12



Photo 123-13

124) 🛠️ One or more ceilings were cracked. Recommend that a qualified person repair as necessary.



Photo 124-1


125)  Some exterior door hardware, including locksets were loose. Recommend that a qualified person repair or replace as necessary.



Photo 125-1


126)  The lock mechanisms on one or more sliding glass doors were difficult to operate. Recommend that a qualified person repair as necessary.



Photo 126-1

127) 🛠️ One or more screen doors were deteriorated. Recommend that a qualified person repair as necessary.



Photo 127-1

128) 🛠️ One or more interior doors wouldn't latch or were difficult to latch. Recommend that a qualified person repair as necessary. For example, by adjusting latch plates or locksets.



Photo 128-1

Photo 128-2


129)  One or more "pocket" doors were stuck or difficult to operate or did not fully open. Recommend that a qualified person repair as necessary.



Photo 129-1


130)  Lock mechanisms on one or more windows were difficult to operate. This can pose a security risk. Recommend that a qualified person repair as necessary.



Photo 130-1

131) 🛠️ Flooring in one or more areas was worn, deteriorated or damaged. Recommend that a qualified contractor repair as necessary.




Photo 131-1

132) ⓘ One or more exterior doors had minor damage and/or deterioration. Although serviceable, the client may wish to repair or replace such doors for appearances' sake.



Photo 132-1

133)  One or more windows used single-pane glass. Single-pane windows are prone to sweating and are one of the largest sources of heat loss in winter and heat gain in the summer due to their low insulating ability and high air leakage rates. Consider replacing single-pane windows with multi-pane windows.

134) General photo(s)



Photo 134-1



Photo 134-2



Photo 134-3



Photo 134-4



Photo 134-5



Photo 134-6



Photo 134-7



Photo 134-8



Photo 134-9



Photo 134-10



Photo 134-11



Photo 134-12



Photo 134-13



Photo 134-14

1.1. A Home Inspection is a non-invasive, visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

I. A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection, and not the prediction of future conditions.

II. A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

III. A home inspection can include a survey and/or analysis of energy flows and usage in a residential property if the client requests it.

1.2. A Material Defect is a condition of a residential real property, or any portion of it, that would have a significant, adverse impact on the value of the real property, or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

1.3. An Inspection Report shall describe and identify, in written format, the inspected systems, structures, and components of the dwelling, and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations

for correction, monitoring or further evaluation by professionals, but this is not required.

A complete copy of the STANDARDS OF PRACTICE we adhere to can be found at the following link: <http://www.nachi.org/sop.htm>