

**GENERAL NOTES**

- FOR THE CONSTRUCTION OF THIS PROJECT DESCRIBED HERE AND IN THE FOLLOWING SHEETS, THE CONTRACTOR SHALL PROVIDE ALL MATERIAL, LABOR AND SUPERVISION TO SECURE UNIFORM QUALITY IN WORKMANSHIP THROUGHOUT.
- CONTRACTOR IS ENCOURAGED TO PROPOSE AMENDMENTS IF IT WILL RESULT IN LOWER COSTS, IMPROVEMENTS, OR SHORTEN COMPLETION DATE. APPROVAL SHALL BE OBTAINED FROM OWNER PRIOR TO EXECUTING ANY MODIFICATION OR GENERAL DEVIATION FROM DRAWINGS.
- ALL WORK SHALL CONFORM TO THE 2013 CALIFORNIA BUILDING CODE, 2013 CALIFORNIA PLUMBING CODE, 2013 CALIFORNIA MECHANICAL CODE, 2013 CALIFORNIA ELECTRICAL CODE AND CITY OF MANHATTAN BEACH MUNICIPAL CODE.
- ALL MATERIALS USED BY AND WORKMANSHIP PERFORMED BY GENERAL AND SUBCONTRACTORS SHALL CONFORM TO PRESENT LAWS, REGULATIONS, ORDINANCES, AND ADOPTED CODES OF THE 2013 CALIFORNIA BUILDING CODE, 2013 UNIFORM BUILDING CODE, 2013 UNIFORM PLUMBING CODE, THE 2013 UNIFORM MECHANICAL CODE AND THE 2013 NATIONAL ELECTRICAL CODE.
- ALL WORK SHALL BE PROPERLY INSTALLED, LEVELED, PLUMB AND TRUE BY SKILLED MECHANICS.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE WORK OF HIS SUBCONTRACTORS AND SHALL COORDINATE ALL ACTIVITIES OF ALL TRADES ENGAGED IN THE CONSTRUCTION.
- DETAILS NOT EXPLICITLY SHOWN ON THE DRAWINGS SHALL BE EXECUTED ACCORDANCE WITH STANDARD CONSTRUCTION PRACTICES AND WORKMANSHIP.
- CONTRACTOR SHALL PROVIDE TEMPORARY FIRE PROTECTION AS PER CITY OF MANHATTAN BEACH FIRE DEPARTMENT RULES AND REGULATIONS THROUGHOUT THE PERIOD OF WORK.
- ALL CONTRACTORS SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS BEFORE COMMENCING WITH BIDS AND SUBSEQUENT WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL METHODS, PROCEDURES, EXISTING CONDITIONS WHICH NECESSITATE ANY CHANGES OR MODIFICATIONS, THEN WRITTEN APPROVAL MUST BE OBTAINED FROM THE OWNER PRIOR TO THE START OF SAID CHANGES.
- CONTRACTOR SHALL CARRY LIABILITY INSURANCE AND AGREE TO HOLD ET HARMLESS OF ALL LAWSUITS ARISING FROM HIS ACTIVITIES DURING THE PERIOD OF CONSTRUCTION. CONTRACTOR ALSO AGREES TO HOLD THE OWNER AND ET HARMLESS OF ALL LAWSUITS AFTER CONSTRUCTION HAS BEEN COMPLETED DUE TO ANY DEFECTS THAT MAY EXIST IN THE TECHNICAL WORKMANSHIP.
- THE CONTRACTOR AND/OR SUBCONTRACTORS AWARDED THE CONSTRUCTION OF THIS PROJECT OR PHASES OF THIS PROJECT SHALL SUBMIT FOR APPROVAL ALL REQUESTED SAMPLES, REPORTS, LITERATURE, MATERIAL LISTS, SHOP DRAWINGS, ETC., AS SPECIFIED IN THE DRAWINGS, TO THE OWNER BEFORE FABRICATION, INSTALLATION AND/OR CONSTRUCTION OF ANY WORK.
- THE GENERAL CONTRACTOR AWARDED THE CONSTRUCTION OF THIS PROJECT SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF ALL AND/OR PORTIONS OF ALL PERTINENT INFORMATION, CALCULATIONS, DRAWINGS AND SPECIFICATIONS REQUIRED FOR EACH SUBCONTRACTOR'S PHASE OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR COLLECTIONS, TRANSMITTING, AND SUBMITTING ANY REQUESTED ITEMS TO THE OWNER FOR APPROVAL PRIOR TO FABRICATION, INSTALLATION, AND/OR CONSTRUCTION, AS STATED IN THE SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL SUBMIT A DETAILED CONSTRUCTION SCHEDULE INDICATING THE OVERLAPPING PHASES OF CONSTRUCTION INCLUDING HIS AND ALL SUBCONTRACTED WORK AS WELL AS A SCHEDULE FOR ALL ITEMS REQUIRED AND PROVIDED BY THE OWNER.
- THE AWARDED GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF ALL LONG-LEAD ITEMS SUCH AS EQUIPMENT, MATERIALS AND SPECIFIED PRODUCTS, SO AS TO MEET HIS CONSTRUCTION SCHEDULE. THE GENERAL CONTRACTOR SHALL MAKE INITIAL INVESTIGATION INTO THE AVAILABILITY OF ALL ITEMS AT BID AWARD, AND REPRESENT THE FINDINGS IN HIS SUBMITTED CONSTRUCTION SCHEDULE.
- THE GENERAL CONTRACTOR SHALL INCUR THE COST DIFFERENTIAL FOR ANY SUBSTITUTION OF LONG-LEAD ITEMS SUCH AS EQUIPMENT, MATERIALS AND SPECIFIED PRODUCTS, OF EQUAL OR BETTER QUALITY, RESULTING FROM HIS FAILURE TO PROCURE THEM TO MEET HIS CONSTRUCTION SCHEDULE. THE GENERAL CONTRACTOR'S INITIAL INVESTIGATION IN PREPARING A CONSTRUCTION SCHEDULE SHALL IDENTIFY THESE ITEMS, AND NOTIFICATION SHALL BE MADE TO THE PROJECT MANAGER AT THAT TIME SO AS TO AVOID THIS SITUATION.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE CONTRACTOR SHALL HAVE THE FOLLOWING:
  - CERTIFICATE OF WORKER'S COMPENSATION INSURANCE MADE OUT TO THE CONTRACTOR'S STATE LICENSE BOARD.
  - COPY OF CITY OF MANHATTAN BEACH BUSINESS TAX REGISTRATION CERTIFICATE OR A NEWLY PAID RECEIPT FOR ONE.
  - NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS.
  - COPY OF CONTRACTORS STATE LICENSE OR POCKET I.D.
- PERMITS: EACH SUBCONTRACTOR WHOSE WORK IS NOT NORMALLY COVERED BY THE BUILDING PERMIT SUCH AS ELECTRICAL, MECHANICAL PLUMBING, AND ANY OFF-SITE WORK SHALL BE RESPONSIBLE TO OBTAIN AND PAY THE APPROPRIATE PERMIT FEES APPROPRIATE PERMIT.
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB SITE BY EACH SUBCONTRACTOR BEFORE THAT SUBCONTRACTOR BEGINS WORK. ANY ERRORS, OMISSIONS OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND GENERAL CONTRACTOR BEFORE CONSTRUCTION BEGINS.
- DETAILS ARE INTENDED TO SHOW METHOD AND MANNER OF DESIGN INTENT. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR SITE CONDITIONS AND SHALL BE INCLUDED AS PART OF THE WORK. WORK NOT EXPLICITLY IN THE DRAWINGS BUT CLEARLY IMPLIED AS NECESSARY TO COMPLETE THE DRAWING SHALL BE INTERPRETED AS FULLY DRAWN.
- GENERAL CONTRACTOR TO VERIFY SIZE AND LAYOUT OF ALL ORDERED ITEMS PRIOR TO ORDERING. NOTIFY ARCHITECT OF ANY DISCREPANCY FOR ARCHITECT'S DECISION.

# POINSETTIA RESIDENCE

**407 N POINSETTIA AVE  
MANHATTAN BEACH, CA 90266**



NOTE: REFER TO THE FINAL DESIGN AND SPECIFICATIONS

**PROJECT INFORMATION**

OWNER: CALIFORNIA CUSTOM HOMES, INC.  
205 PIER AVENUE, SUITE 201  
HERMOSA BEACH, CALIFORNIA

ARCHITECT: ENVIROTECHNO ARCHITECTURE  
13101 WASHINGTON BOULEVARD - 404  
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PROJECT ADDRESS: 407 N POINSETTIA AVENUE  
MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION: PORTION OF LOT 1, BLOCK 7  
TRACT NO. 3393  
M.B. 40-28  
APN 4169-011-001

**PROJECT DATA**

CODE RESEARCH:

ZONING: RS, AREA DISTRICT I

SETBACKS: 20.0' MINIMUM  
FRONT: 4.0' MINIMUM  
SIDES: 142.46' X .3 - 20 = 22.74' MINIMUM  
REAR:

HEIGHT CALCULATION: (103.14 + 107.33 + 99.87 + 96.86) ÷ 4 = 101.80  
HEIGHT LIMIT: 26'-0" MAX. ELEVATION = (101.80 + 26) = 127.8'  
PARKING: 3 ENCLOSED AT GARAGE  
TYPE OF CONSTRUCTION: V-B  
OCCUPANCIES: R3 AT LIVING; U AT GARAGE  
NUMBER OF STORIES: 2 + BASEMENT  
SPRINKLER SYSTEM: REQUIRED THROUGHOUT RESIDENCE AND GARAGE; LICENSED INSTALLER SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION

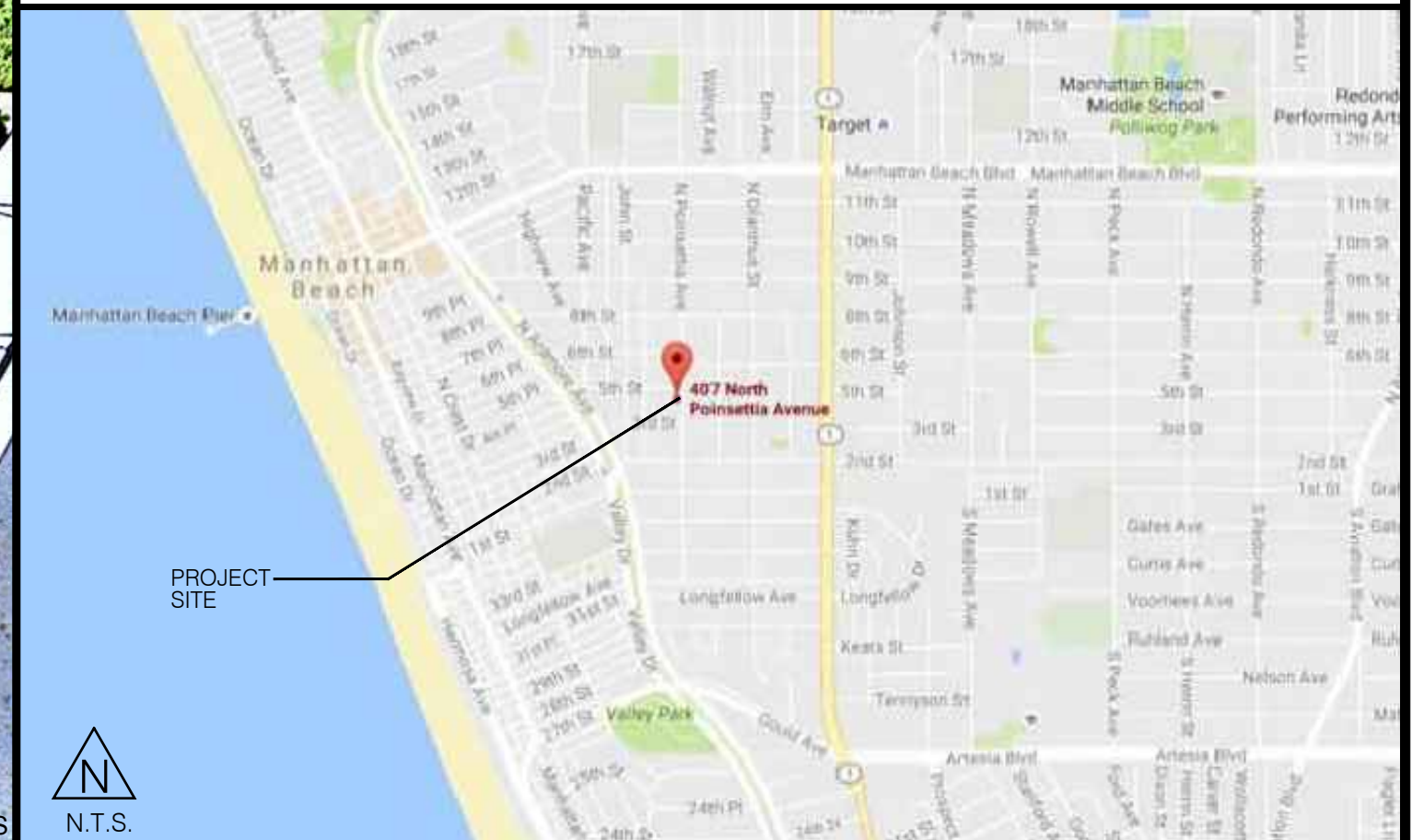
BUILDING AREAS:

BASEMENT LEVEL LIVING AREA: 1,204 SQ. FT.  
ENTRY LEVEL LIVING AREA: 2,420 SQ. FT.  
UPPER LEVEL AREA: 1,177 SQ. FT.  
POOL BATH: 60 SQ. FT.  
TOTAL LIVING AREA: 4,861 SQ. FT.  
GARAGE AREA: 601 SQ. FT.  
DECK AREA: 704 SQ. FT.

LOT AREA: 5,744 SQ. FT.  
MAX. ALLOWABLE BLD. AREA ((LOT AREA x .65)+240) (5,744x .65)+240: 3,973.60 SQ. FT.

PROPOSED B.F.A.: 2,420 SQ. FT. ( ENTRY LEVEL ) + 1,177 SQ. FT. (UPPER FLOOR) + 60 SQ. FT. (POOL BATH) + 0.3 (1 x 0.30) SQ. FT. (OVERAGE GARAGE) + 88 SQ. FT. (BASEMENT STAIRS 100%) + 196.5 SQ. FT. (655 x 0.30 AT BASEMENT) = 3,941.8 SQ. FT. < 3,973 SQ. FT. = OK

**VICINITY MAP**



**CONSULTANTS**

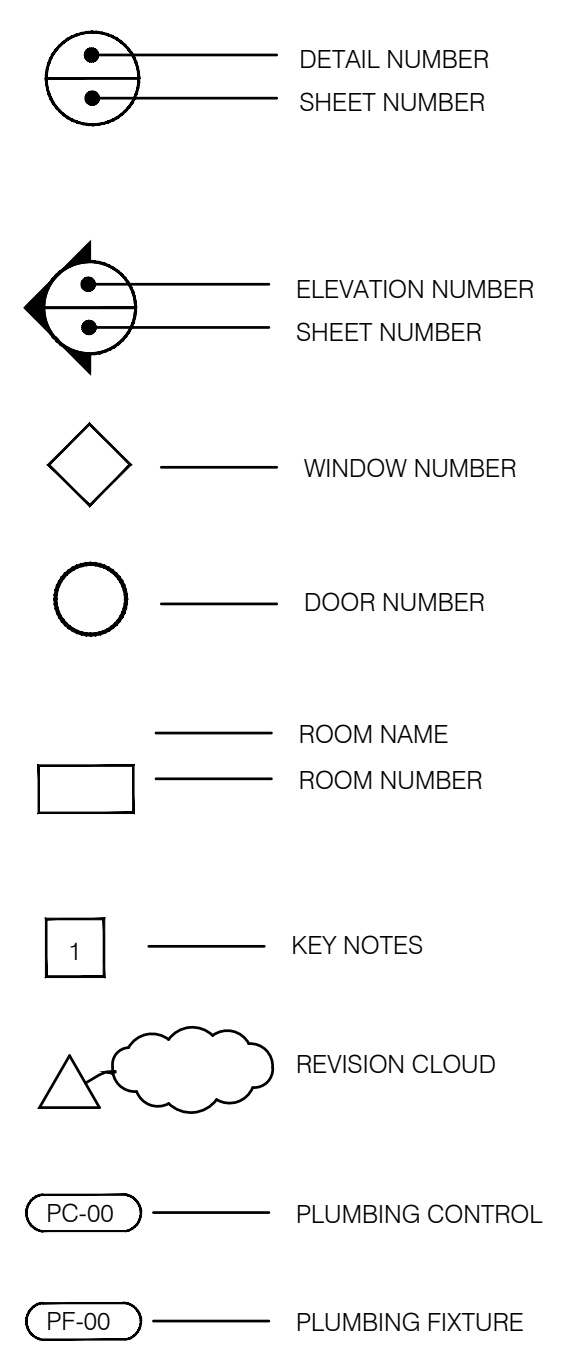
STRUCTURAL ENGINEER: MOHAMMAD NAMVAR  
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EMAIL: kdtucker2@verizon.net

GEOTECHNICAL ENGINEER: NORCAL ENGINEERING  
10641 HUMOLT STREET  
LOS ALAMITOS, CA 90720  
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**SYMBOLS**

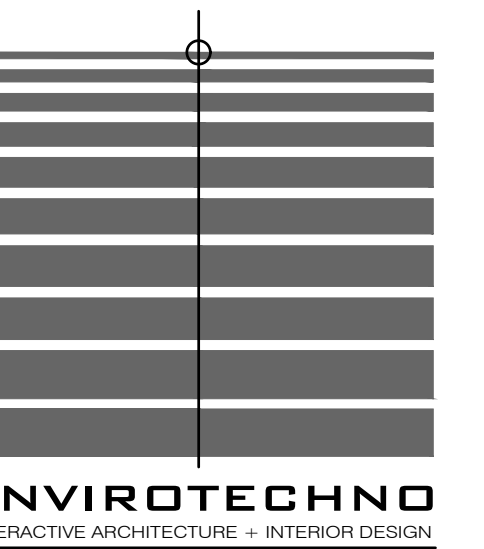


**SHEET INDEX**

GENERAL SHEETS		ARCHITECTURAL (CONTINUED)	
CS-1	COVER SHEET	A-5.0	BASEMENT LEVEL CEILING PLAN
CS-2	PROJECT & PLANNING GENERAL NOTES	A-5.1	ENTRY LEVEL CEILING PLAN
CS-3	CAL-GREEN RESIDENTIAL MANDATORY MEASURES	A-5.2	UPPER LEVEL CEILING PLAN
CS-4	RESIDENTIAL MANDATORY MEASURES CHECKLIST	A-7.0	ELEVATIONS
	LOW-RISE RESIDENTIAL MANDATORY MEASURES SUMMARY	A-7.1	ELEVATIONS
CS-5	WORKSHEETS, VOC, TABLES AND FORMS	A-8.0	SECTIONS
		A-8.1	SECTIONS
		A-8.2	DOOR SCHEDULE & DETAILS
		A-9.1	WINDOW SCHEDULE & DETAILS
CIVIL		STRUCTURAL	
1	SURVEY/PARCEL MAP	S-1	FOUNDATION PLAN / BASEMENT LEVEL FLOOR FRAMING PLAN
C-1	SITE PLAN	S-2	STREET LEVEL FLOOR FRAMING PLAN/ MID LEVEL FLOOR FRAMING PLAN/ ROOF FRAMING PLAN
C-2	GRADING PLAN	S-3	DETAILS
C-3	SECTIONS	S-4	DETAILS
		S-5	GENERAL NOTES
LANDSCAPE		HF1	HARDY FRAMES - TYP. FOUNDATION DETAILS
L-1	PLANTING PLAN	HF2	HARDY FRAMES - TYP. FRAMING DETAILS
L-2	IRRIGATION PLAN	HF3	HARDY FRAMES - TYP. FLOOR SYSTEM DETAILS
L-3	LIGHTING PLAN		
L-4	PLANTING AND IRRIGATION DETAILS		
L-5	SPECIFICATIONS		
T-24 CALCULATIONS			
T-24A	T-24 CALCULATIONS		
T-24B	T-24 CALCULATIONS		
ARCHITECTURAL			
A-1.0	SITE PLAN		
A-1.1	AREA DIAGRAMS		
A-3.0	BASEMENT LEVEL FLOOR PLAN		
A-3.1	ENTRY LEVEL FLOOR PLAN		
A-3.2	UPPER LEVEL FLOOR PLAN		
A-3.3	POOL BATH PLANS		
A-4.0	BASEMENT LEVEL ELECTRICAL PLAN		
A-4.1	ENTRY LEVEL ELECTRICAL PLAN		
A-4.2	UPPER LEVEL ELECTRICAL PLAN		

**ABBREVIATIONS**

AIR CONDITIONING	A/C	FLOOR	FLR.	PLASTIC LAMINATE	P.L.
ACOUSTICAL	ACOUS.	FLOURESCENT	FLOUR.	POLISHED	POL.
ABOVE FIN. FLOOR	A.F.F.	FACE OF STUD	F.O.S.	PAIR	PR.
ALUMINUM	ALUM.	FABRIC WALLCOVERING	F.W.C.	QUARRY TILE	Q.T.
AT	@	GAUGE	GA.	RADIUS	RAD.
BUILDING	BLDG.	GALVANIZED	GAL.	REFRIGERATOR/FREEZER	R/F
BRUSHED	BR.	GARBAGE DISPOSAL	GD.	REFERENCE	REF.
CEMENT	CEM.	GLASS	GL.	REQUIRED	REQ.
CEILING	CLG.	GRANITE TILE	G.T.	ROOM	RM.
CLEAR	CL.	GYPSUM BOARD	GYP. BD.	RESTROOM	R.R.
OPENING	OPNG.	HARDWOOD	HDWD.	SEPARATE CIRCUIT	S.C.
CONSTRUCTION NOTE	C.N.	HARDWARE	HDWR.	SECTION	SECT.
COLUMN	COL.	HOLLOW METAL	H.M.	SHEET	SHK.
CONCRETE	CONC.	HEIGHT	HGT.	SIMILAR	SIM.
CONTINUOUS	CONT.	HEATING, VENTILATING	H.V.A.C.	SPECIFICATIONS	SPECS.
CONTRACTOR	CONTR.	LAVATORY	LAV.	STOVE/RANGE	S/R
CERAMIC TILE	C.T.	MAXIMUM	MAX.	STAINLESS	S.
DETAIL	DET.	METAL	MTL.	STEEL	STL.
DRINKING FOUNTAIN	D.F.	MANUFACTURER	MFG.	STANDARD	STD.
DIAMETER	DIA.	MINIMUM	MIN.	SUSPENDED	SUSP.
DIMENSION	DIM.	MIRROR	MIR.	TRASH COMPACTOR	T.C.
DOOR	DR.	MARBLE TILE	M.T.	TO BE DETERMINED	TBD.
DISHWASHER	DW.	MULLION	MUL.	TELEPHONE	TELE.
DRAWING	DWG.	MICROWAVE	MW.	THICK	THK.
ELEVATION	ELEV.	NOT IN CONTRACT	N.I.C.	TYPICAL	TYP.
ELECTRICAL	ELEC.	NOT TO SCALE	N.T.S.	UNLESS NOTED OTHERWISE	U.N.O.
ELEVATOR	ELEVAT.	OVER ALL	O.A.	VERTICAL	VERT.
ENVIROTECHNO	ET.	ON CENTER	O.C.	VERIFY IN FIELD	V.I.F.
EXISTING	EXIST.	PARTITION	PART.	VOLTS	VOL.
FLOOR DRAIN	F.D.	PLASTIC LAMINATE	P.L.	VINYL COMPOSITION TILE	V.C.T.
FIRE EXTINGUISHER	F.E.	POLISHED	POL.	VINYL SHEET FLOORING	V.S.F.
FIRE HOSE CABINET	F.H.C.	PAIR	PR.	VINYL WALL COVERING	V.W.C.
FINISH FACE	F.F.	QUARRY TILE	Q.T.	WITH	W/
FINISH	FIN.			WALL COVERING	WC.



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PROJECT TITLE:  
**POINSETTIA RESIDENCE**  
407 N. POINSETTIA AVE.  
MANHATTAN BEACH, CA 90266

SHEET TITLE:  
**COVER SHEET - PROJECT DATA**

JOB NO: XXXX-XX  
DATE: 05-14-16  
SCALE:  
DRAWN BY: ENM  
CHECKED BY: Ldm  
SHEET NO:

**CS1.0**

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