



Titus Inspections

Inspection Report

Meribeth Springob

Property Address:
1287 7th St
Hermosa Beach CA 90254



Titus Inspections

Dean Nielsen
711 Meyer Lane
Redondo Beach Ca 90278
310-427-5197



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General Info

Property Address 1287 7th St Hermosa Beach CA 90254	Date of Inspection 10/14/2025	Report ID 251014-01
Customer(s) Meribeth Springob	Time of Inspection 09:30 AM	Real Estate Agent Maribeth Springob

Inspection Details

Style of Home: Single Family	Home Faces: South	Age Of Home: Built in 1959, Over 50 Years
Square Footage: 1,275	Weather: Heavy Rain	Temperature: Below 60
Rain in last 3 days: Heavy rain at time of inspection	Client Is Present: Yes	Home Occupied: Yes
Inspection Type: For Home Owner		

Comment Key & Definitions

Comment Key or Definitions

The following are definitions of comment descriptions in this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

This home is older than 50 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider

hiring the appropriate expert for any repairs or further inspection.

Home has been remodeled and issues with home may not be visible or present at time of inspection. Systems like electrical and plumbing may be dated and have repairs or mixed materials. Some newly remodeled homes may have minor cracking on building materials that develop within the first 1-3 years. These are normal due to the expansion and contraction that occurs during the summer and winter months. Repairs or issues may have been covered up with building materials, and some issues may not be visible or are difficult to identify during the inspection due to new building materials. It is recommended that you monitor your home for possible issues that may arise during this time period.

This inspection was performed for the home owner selling this home and was inspected according to standards and practices. The comments made in this report were based on the condition of the home at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the home again. The proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. My inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

1. Exterior

The inspector shall inspect: The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

The inspector is not required to: Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.

Styles & Materials

Siding Style:

Cement Stucco

Siding Material:

Masonry

Exterior Entry Doors:

Wood

French doors

Insulated glass

Appurtenance:

Patio

Porch

Window Material:

Vinyl

Fence/Gate Material:

Wood

Retaining Wall:

Cinderblock

Walkways:

Concrete

Pavers

Driveway:

Cobblestone

		IN	NI	NP	RR
1.0	Wall Covering, Flashing and Trim				•
1.1	Eaves Soffits and Fascia	•			
1.2	All Exterior Doors	•			
1.3	Windows (a representative number)	•			
1.4	Exterior Closet	•			
1.5	Gates, Fences, Walls				•
1.6	Adjacent Walkways and Driveways	•			
1.7	Stairs, Steps, Stoops, Stairways and Ramps	•			
1.8	Railings, Guards and Handrails			•	
1.9	Porches, Patios, Decks, Balconies and Carports	•			
1.10	Vegetation, Surface Drainage, Retaining Walls, Grading of the property, where they may adversely affect the structure due to moisture intrusion	•			
		IN	NI	NP	RR

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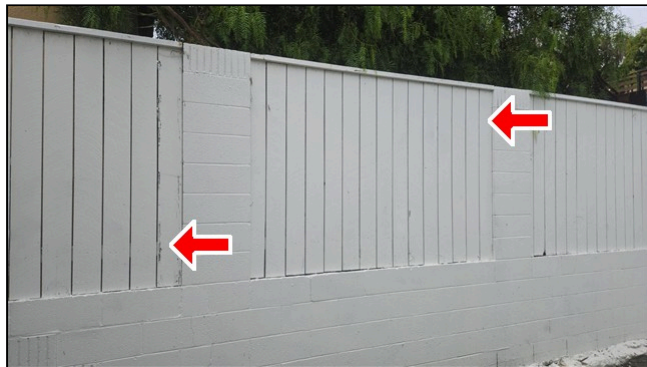
Comments:

1.0 Gaps and missing seals on wall penetrations throughout exterior siding. Recommend a qualified person properly seal exterior wall penetrations as needed.



1.0 Item 1 (Picture) Gaps, missing seal, exterior wall

1.5 Wood fencing has painted-over wood damage. Recommend a qualified person further inspect for repair or replacement recommendations.



1.5 Item 1 (Picture) Painted-over wood damage, fencing

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Roof

The inspector shall inspect from ground level or eaves: The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material.

Styles & Materials

Roof Covering type:	Viewed roof covering from:	Gutter/Downspout Material:
Asphalt Shingle Composition	Walked roof	No Gutters
Water Reclamation System:	Chimney (exterior):	Sky Light(s):
None	N/A	None
Roof Structure:	Roof-Type:	Method used to observe attic:
Not visible	Hip and Valley	No Attic Access
Attic info:		
No Attic		

		IN	NI	NP	RR
2.0	Roof Covering	•			
2.1	Gutters and Downspouts			•	
2.2	Flashing	•			
2.3	Vents, Skylights, Chimney, and other roof penetrations	•			
2.4	Roof Structure and Attic		•		
		IN	NI	NP	RR

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Comments:

2.0 Roof covering appears new and is in serviceable condition.



2.0 Item 1 (Picture) Roof covering



2.0 Item 2 (Picture) Roof covering



2.0 Item 3 (Picture) Roof covering



2.0 Item 4 (Picture) Roof covering

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Interior

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

The inspector shall: Open and close a representative number of doors and windows. Inspect the walls, ceilings, steps, stairways, and railings. Inspect garage doors and garage door openers by operating first by remote (if available) and then by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. And report as in need of repair any windows that are obviously fogged or display other evidence of broken seals.

The inspector is not required to: Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine any sauna, steam-jenny, kiln, toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small, ancillary devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.

Styles & Materials

Ceiling Materials: Drywall	Wall Material: Drywall	Shower Wall Material: Tile
Floor Covering(s): Hardwood (Original) Carpet Tile	Bath Tub Material: Steel	Interior Doors: Solid
Window Types: Thermal/Insulated Double Pane Casement Sliders	Window Manufacturer: UNKNOWN	Cabinetry: Wood
Countertop: Laminate Tile		

		IN	NI	NP	RR
3.0	Ceilings				•
3.1	Walls				•
3.2	Floors				•
3.3	Shower & Bath Floors/Walls				•
3.4	Stairs, Steps, Landings, Stairways and Ramps and Railings, Guards and Handrails				•
3.5	Counters, Cabinets and Drawers				•
3.6	Doors				•
3.7	Windows	•			
3.8	Closets	•			
		IN	NI	NP	RR

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Comments:

3.0 Basement ceiling has not been installed. Recommend a qualified person install drywall and prep and paint as needed.



3.0 Item 1 (Picture) Unfinished ceiling, basement

3.1 Unfinished walls inside lower level basement. Recommend a qualified person further inspect and patch, prep, and paint unfinished walls as needed.



3.1 Item 1 (Picture) Basement walls, unfinished



3.1 Item 2 (Picture) Basement walls, unfinished



3.1 Item 3 (Picture) Basement walls, unfinished



3.1 Item 4 (Picture) Basement walls, unfinished

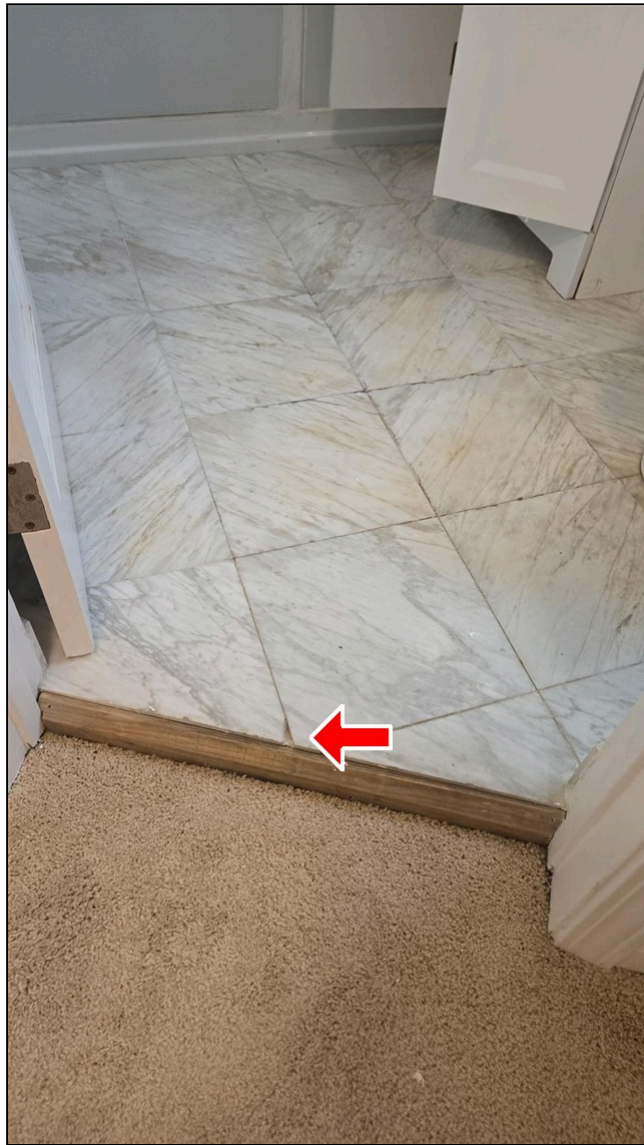
3.2 (1) Hairline cracks found on floor tile inside the kitchen. Recommend a qualified person further inspect for repair or replacement recommendations.



3.2 Item 1 (Picture) Kitchen floor tile, hairline cracks

3.2 (2) Hall bathroom floor tile has been placed on a raised surface. Multiple tiles are cracked, and grout between tile is cracked and deteriorated. Recommend a qualified floor specialist further inspect floor tile for repair or replacement recommendations.

Raised floor surface indicates possible flooring below tile. Inspector does not test, confirm, or remove tile to inspect floor below. This is for your information.



3.2 Item 2 (Picture) Hall bathroom floor tile

3.2 (3) Unfinished floor tile found on lower level surface. Missing grout between replaced tile leading to basement. Recommend a qualified floor specialist further inspect lower level floor tile for repair recommendations.



3.2 Item 3 (Picture) Lower level floor tile

3.2 (4) Unfinished concrete flooring found inside basement. Recommend a qualified floor specialist further inspect for installation recommendations.



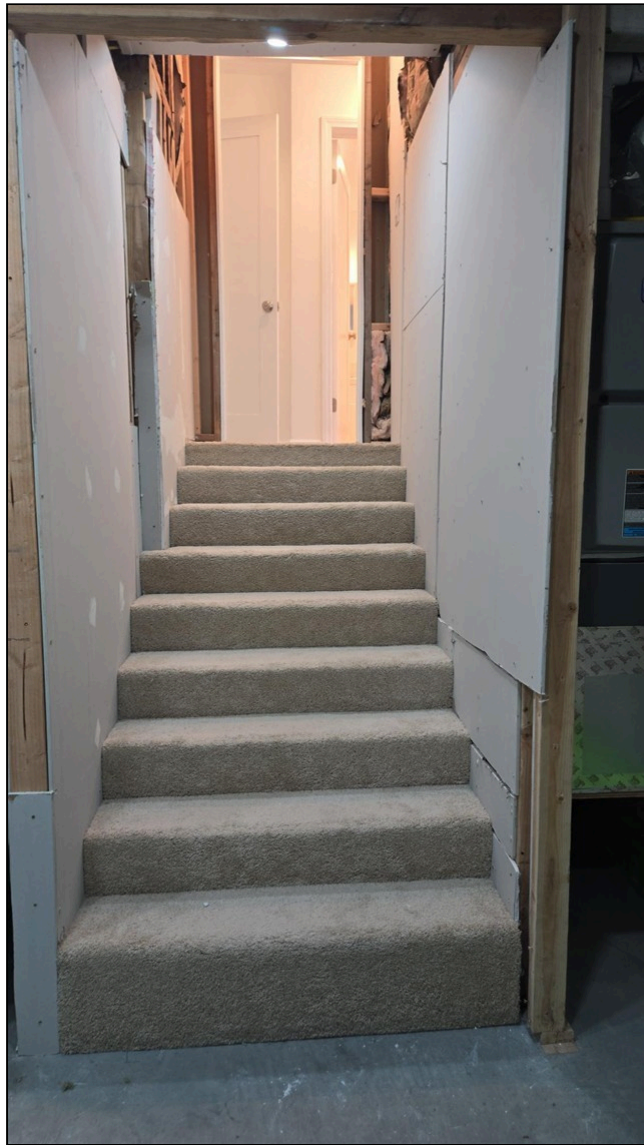
3.2 Item 4 (Picture) Basement, unfinished flooring

3.3 Lower level hall bathroom shower walls have multiple repairs and minor cracking on tile. Heavy seals are present. Recommend a qualified person further inspect lower level bathroom shower walls for repair or replacement recommendations.



3.3 Item 1 (Picture) Lower level hall bath shower walls

3.4 Stairwell leading to basement is missing a graspable handrail on either side of stairwell. Recommend a qualified person further inspect and install proper handrail as needed.



3.4 Item 1 (Picture) Missing handrail, basement stairwell

3.5 Kitchen and bathroom cabinets and counter tops are dated and have normal wear and tear. Recommend a qualified person further inspect for repair recommendations.



3.5 Item 1 (Picture) Kitchen cabinets/ countertops

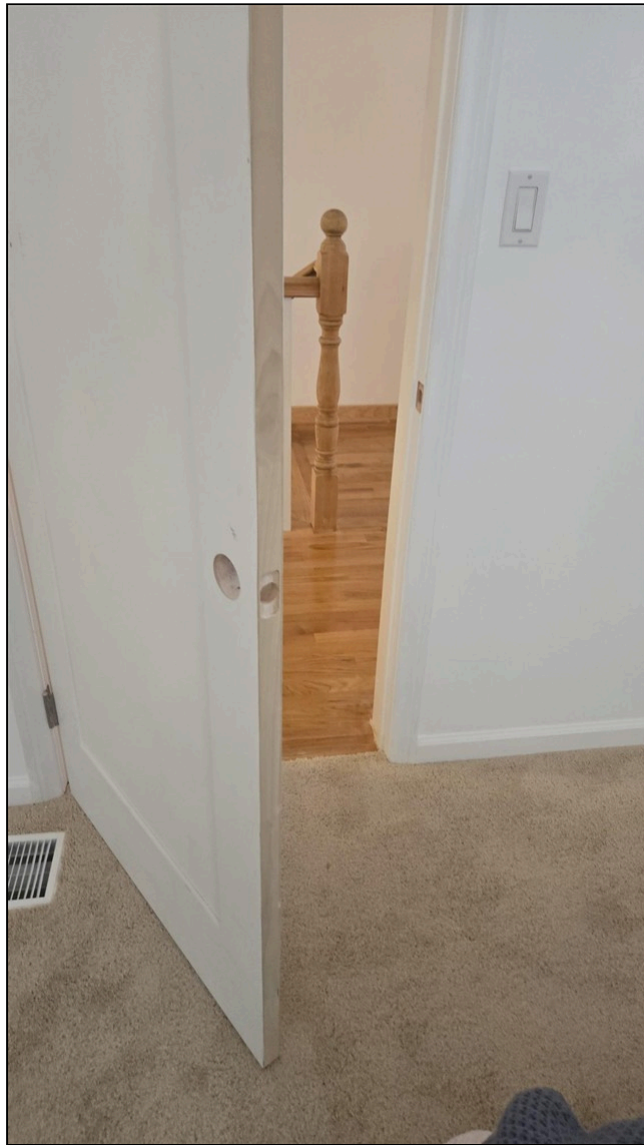


3.5 Item 2 (Picture) Kitchen cabinets



3.5 Item 3 (Picture) Hall bathroom cabinet

3.6 (1) Main level bedroom entry door is missing handle and latch plate. Recommend a qualified person further inspect for repair or installation recommendations.



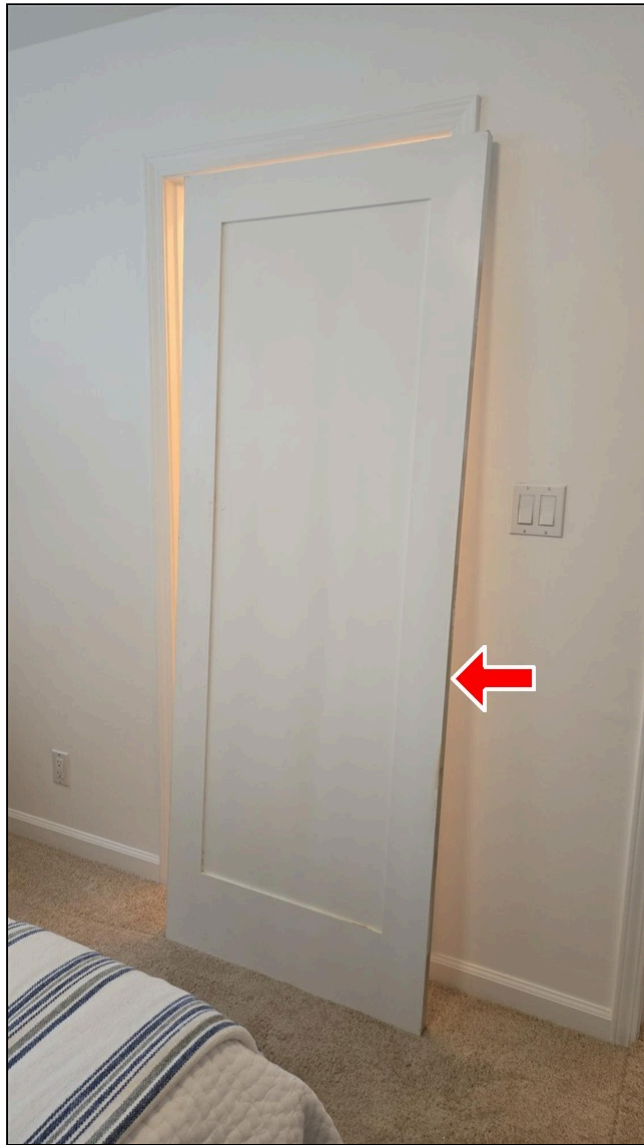
3.6 Item 1 (Picture) Main level bedroom entry door

3.6 (2) Interior doors throughout home do not have door stops installed. Doors open and make contact with walls. Recommend installing door stops to prevent contact with walls and damage to walls. Install as needed.



3.6 Item 2 (Picture) Missing door stop

3.6 (3) Closet door for lower level bedroom was not installed at time of inspection. Recommend a qualified person install door properly as needed.



3.6 Item 3 (Picture) Lower level bedroom closet door

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Electrical

The inspector shall inspect: The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances.

The inspector is not required to: Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting.

Styles & Materials

Electrical Service Conductors:

Overhead service
Copper
220 volts

Panel capacity:

100 AMP

Panel Type:

Circuit breakers
Main Breaker Panel

Electric Panel Manufacturer:

UNKNOWN

Branch wire 15 and 20 AMP:

Copper

Wiring Methods:

Romex
Conduit

Solar Panels:

No

		IN	NI	NP	RR
4.0	Service Entrance Conductors, Service Drop	•			
4.1	Location of Main and Distribution panels	•			
4.2	Electric Meter and Base, Main Disconnect, Main and Distribution Panels, Grounding				•
4.3	Circuit Breakers, Fuses and Compatibility of their Amperage and Voltage				•
4.4	Switches, Receptacles, Light Fixtures and Visible Wiring (observed from a representative number)				•
4.5	Polarity and Grounding of Receptacles within 6 feet of Interior Plumbing Fixtures and all Receptacles in Garage, Carport, Exterior Walls of Inspected Structure				•
4.6	All Ground Fault Circuit Interrupter Receptacles	•			
4.7	Smoke Detectors	•			
4.8	Carbon Monoxide Detector	•			
		IN	NI	NP	RR

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Comments:

4.1 Meter and main distribution panel are located on the west exterior wall.

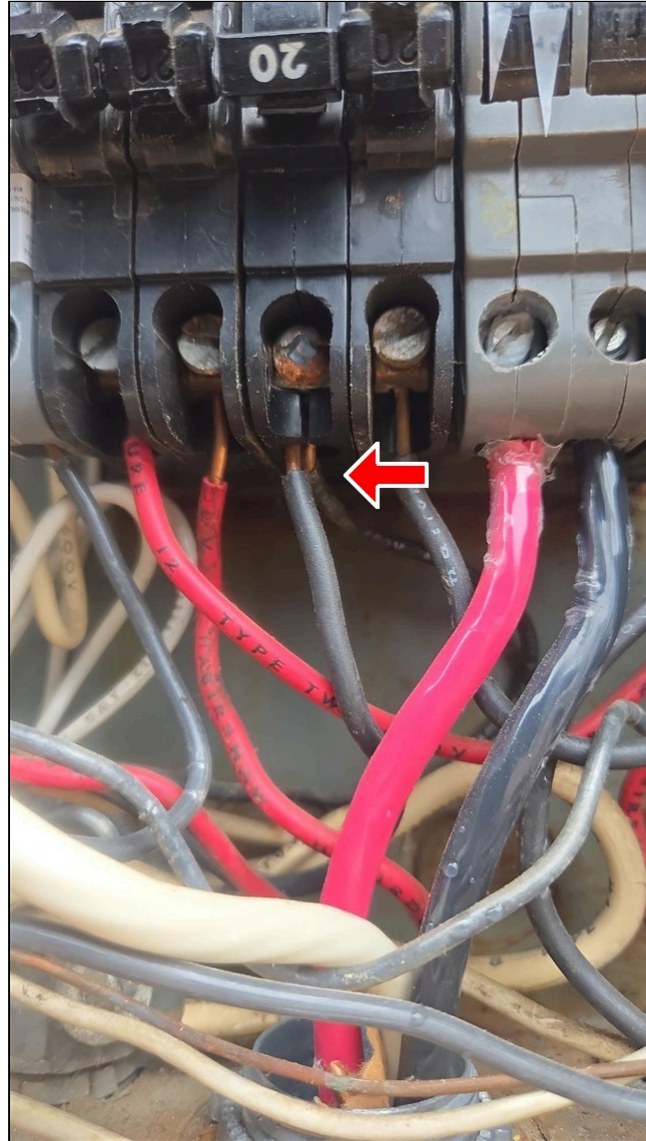


4.1 Item 1 (Picture) Electric meter and main distribution panel

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4.2 (2) Grounding for main distribution panel was not observed at time of inspection. It's possible that grounding rod may be within building materials, or not visible. Older homes may not meet current requirements for grounding, and although multiple outlets throughout home are grounded, it may be difficult to identify location for all grounded outlets when panel is not grounded to current standards. It is encouraged to have a licensed electrician further inspect main distribution panel grounding for upgrade recommendations.

4.3 (1) Double tapped breaker located inside distribution panel. This occurs when two wires are connected to one breaker. This may cause wires to over heat and expand, which could cause wires to become loose and possibly arc. Recommend a qualified electrician connect wires in a "pigtail" or add additional breaker. Repair as needed.



4.3 Item 1 (Picture) Double tapped breaker

4.3 (2) Many older panels may not be equipped with whole house surge protectors (breaker style). This home is currently not equipped with whole house surge protection. Contacting a qualified licensed electrician for further information on upgrade recommendations is encouraged. This is for your information.

California officially adopted the 2020 National Electrical Code (NEC) requirements, including those for surge protection devices (SPDs) in dwelling units, with an effective date of January 1, 2023.

Specifically, the 2022 California Electrical Code (California Code of Regulations Title 24, Part 3) is based on the 2020 edition of the NEC.

This means that as of January 1, 2023, new dwelling unit services and replacements of existing dwelling unit service equipment in California are required to be equipped with a Type 1 or Type 2 SPD, either as an integral part of the service equipment or immediately adjacent to it, according to the requirements of NEC Article 230.67.

4.3 (3) Multiple brands of circuit breakers are present in main distribution panel. Having multiple brands of circuit breakers that do not match the panel is common. It is generally not recommended, and can be unsafe to mix circuit breaker brands within the same electrical panel. While some breakers may physically fit into panels of different brands, they are not always designed or tested to work together, potentially leading to safety hazards, voided warranties, and failed inspections. As a home inspector, we encourage further inspection by a licensed electrician to further inspect for the potential cost to replace, or bring current panel up to current NEC requirements.

4.4 Missing cover plates on multiple light switches and outlets throughout basement. Recommend installing cover plates as needed.



4.4 Item 1 (Picture) Missing cover plates, basement



4.4 Item 2 (Picture) Missing cover plates, basement

4.5 (1) The kitchen outlets next to kitchen sink are non protected outlets. Receptacles within six feet of a water source are required to be GFCI protected. These outlets are outdated and considered a safety issue until corrected. Recommend a qualified electrician further inspect and repair or replace as needed.

NEC (National Electrical Code)

Section 210-8(a)(5) was modified in 1993 to apply to receptacles that serve "as opposed to being above" the kitchen countertop, and to add wet bar sinks. In the 1996 NEC, dwelling unit grade-level unfinished accessory buildings, and every kitchen counter-top receptacle (not just those within 6 feet of the sink), were added to the list of locations requiring GFCI protection. A 2005 revision removed the countertop criteria for wet bar, laundry, and utility sinks, thereby requiring GFCI protection for any receptacle within 6 feet of these dwelling unit sinks. Commercial and institutional were added as qualifiers for application of the GFCI requirements in other than dwelling unit kitchens. These kitchens were distinguished from others by adding what was to become the definition of a kitchen (an area with a sink and permanent facilities for food preparation and cooking). In keeping with tradition, new GFCI protection requirements were added during the 2014 revision cycle. GFCI protection is now required in laundry areas. This is not restricted to a laundry room since it is common to find the appliances in hall closets or master bedroom. A tub or shower stall is not always located in a bathroom so receptacles within 6 feet of any tub or shower stall are required to be



4.5 Item 1 (Picture) Left kitchen sink outlet

protected. Kitchen dishwasher branch circuits have been added whether they are hard wired or for cord-connected appliances.

4.5 (2) There was no outlet present in lower hall bathroom (washer and dryer outlet is present at laundry area). Recommend a proper GFCI outlet be installed by a qualified electrician.



4.5 Item 2 (Picture) Missing GFCI outlet, lower level hall bathroom

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing

The inspector shall: Verify the presence of and identify the location of the main water shutoff valve. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Flush toilets. Run water in sinks, tubs, and showers. Inspect the interior water supply including all fixtures and faucets. Inspect the drain, waste and vent systems, including all fixtures. Describe any visible fuel storage systems. Inspect the drainage sump pumps testing sumps with accessible floats. Inspect and describe the water supply, drain, waste and main fuel shut-off valves, as well as the location of the water main and main fuel shut-off valves. Inspect and determine if the water supply is public or private. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously. Inspect and report as in need of repair deficiencies in installation and identification of hot and cold faucets. Inspect and report as in need of repair mechanical drain-stops that are missing or do not operate if installed in sinks, lavatories and tubs. Inspect and report as in need of repair commodes that have cracks in the ceramic material, are improperly mounted on the floor, leak, or have tank components which do not operate.

The inspector is not required to: Light or ignite pilot flames. Determine the size, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or the reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines or their connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains. Evaluate gas, liquid propane or oil storage tanks. Inspect any private sewage waste disposal system or component of. Inspect water treatment systems or water filters. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves. Examine ancillary systems or components, such as, but not limited to, those relating to solar water heating, hot water circulation.

Styles & Materials

Water Source: Public	Water Filters: None	Plumbing Water Supply (into home): Copper
Plumbing Water Distribution (inside home): Copper	Plumbing Waste: ABS Cast iron	Washer Drain Size: 2" Diameter
Water Heater Power Source: Gas (quick recovery)	Water Heater Manufacture: Takagi	Water Heater Capacity: Tankless
Water Heater Location: Basement	Water Heater Seismic Straps: Not needed (Tankless)	Earthquake Seismic Valve Present: No
Pressure Relief Valve Present (home): No		

		IN	NI	NP	RR
5.0	Main Water supply shut-off valve (Describe location)	•			
5.1	Main Fuel Supply shut-off valve (Describe Location)	•			
5.2	Water Heating Equipment, Controls, Chimneys, Flues and Vents				•
5.3	Exterior Water Supply				•
5.4	Interior Water Supply, Fixtures, Faucets and Systems				•
5.5	Sinks, Toilets and Bath Tubs				•
5.6	Drainage, Waste and Vent System				•
5.7	Interior Fuel Storage, Piping, Venting, Supports, Leaks				•
5.8	Sump Pumps with accessible float				•
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

5.0 Water meter is located in the ground at the front of the property.

The main water shut off is located on the west side of home.

Water pressure at time of inspection was 70 PSI.



5.0 Item 1 (Picture) Main water shut off



5.0 Item 2 (Picture) Water pressure

5.1 The gas meter and main shutoff is located on the east side of home.



5.1 Item 1 (Picture) Gas meter and main shut off

5.2 (1) Tankless water heater is located inside the basement on the east wall.

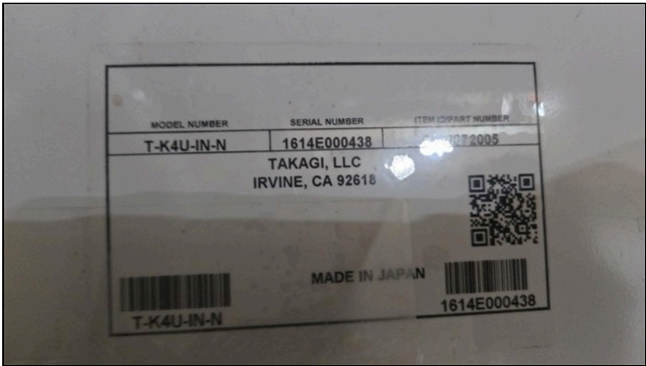
Manufacturer: TAKAGI

Manufacture date: 2015

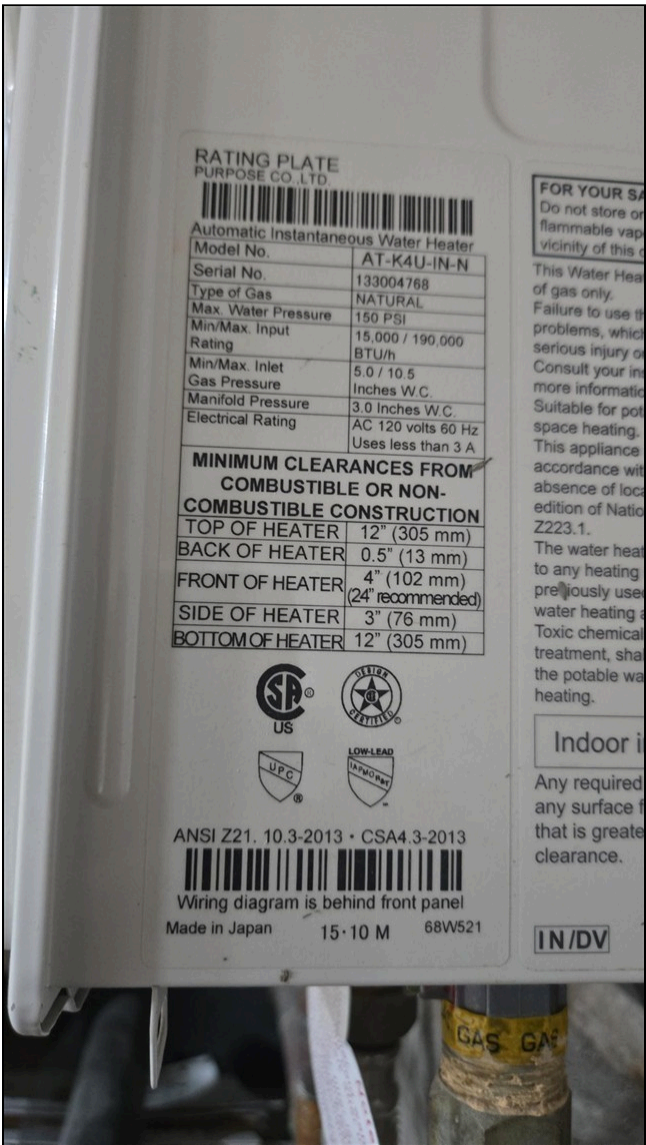
Hot water temperature was 114 degrees at kitchen sink at time of inspection.



5.2 Item 1 (Picture) Tankless water heater



5.2 Item 2 (Picture) Water heater information

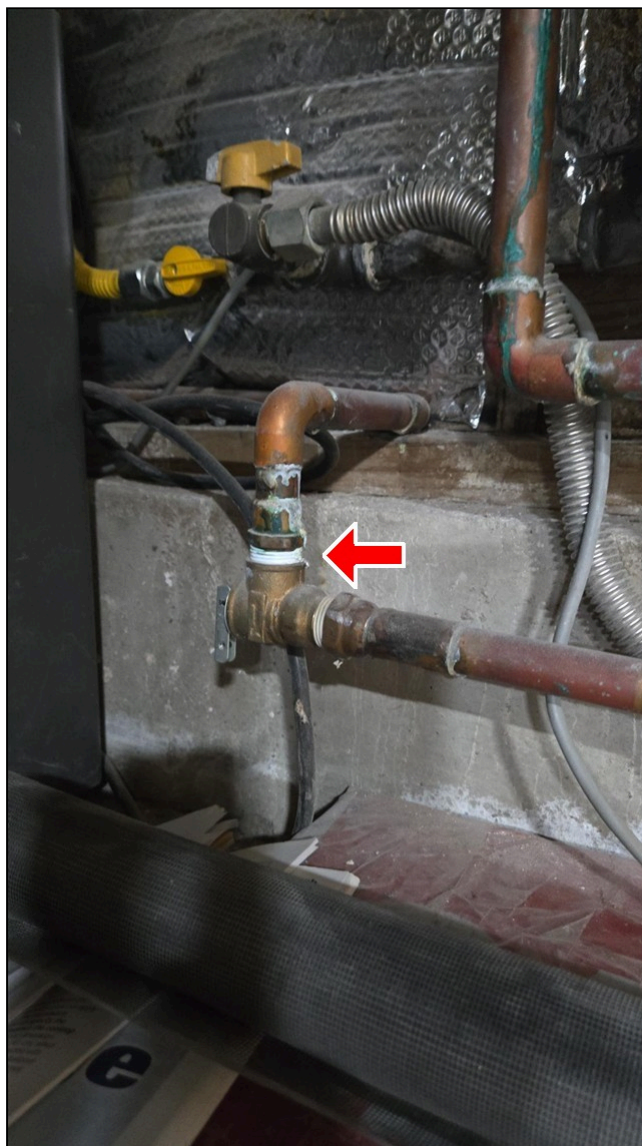


5.2 Item 3 (Picture) Water heater information



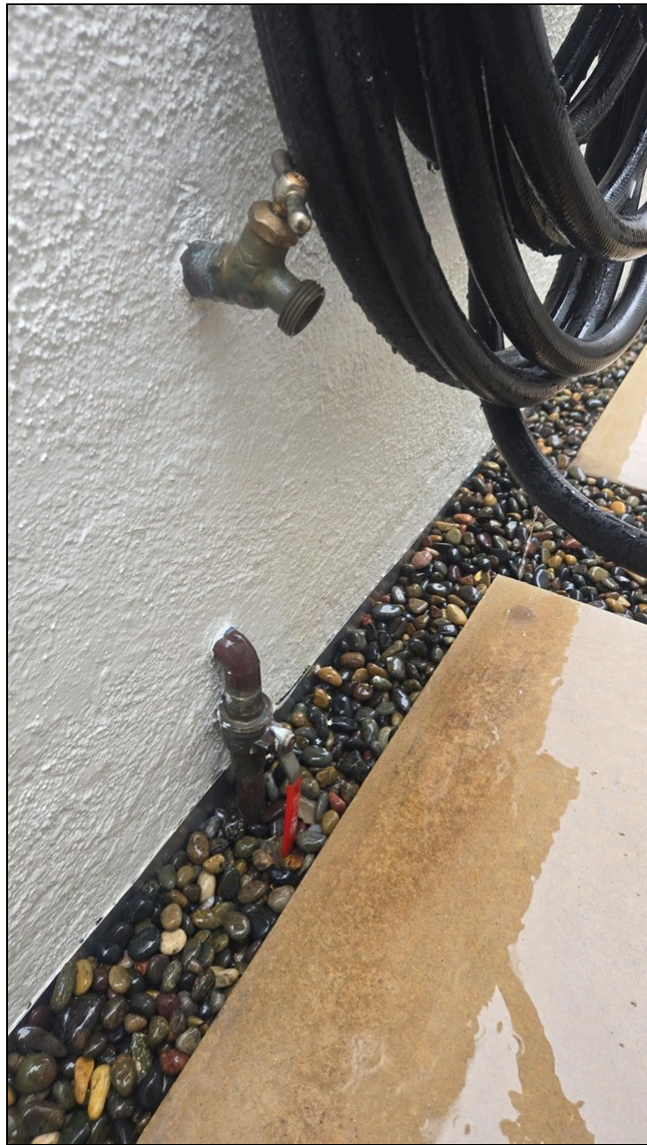
5.2 Item 4 (Picture) Hot water temperature

5.2 (2) Temperature pressure relief (TPR) valve for tankless water heater is in an improper direction. If valve was to leak, water would fill valve and corrode. Recommend a qualified person further inspect for repair recommendations.



5.2 Item 5 (Picture) TPR valve, water heater

5.3 Anti-siphon valves are missing on water supply hose bibs on the exterior water supply lines. Anti-siphon valves are needed to prevent contamination of your main water supply by blocking potentially dirty water from flowing back into it, a process called backflow or back-siphoning. They act as a safety device on things like garden hose spigots and irrigation systems, which can become filled with pollutants from a hose submerged in puddles or when fertilizers are on the lawn. By creating an air break or a one-way seal, they stop contaminants from being sucked into your potable water during a sudden drop in water pressure. Recommend a qualified person further inspect and install as needed.



5.3 Item 1 (Picture) Missing anti-siphon valve

5.4 (1) Water supply fixtures and angle valves on water supplies to sinks are dated and have scale and corrosion. Recommend a qualified plumber further inspect for repair recommendations.



5.4 Item 1 (Picture) Dated angle valves, lower level hall bathroom

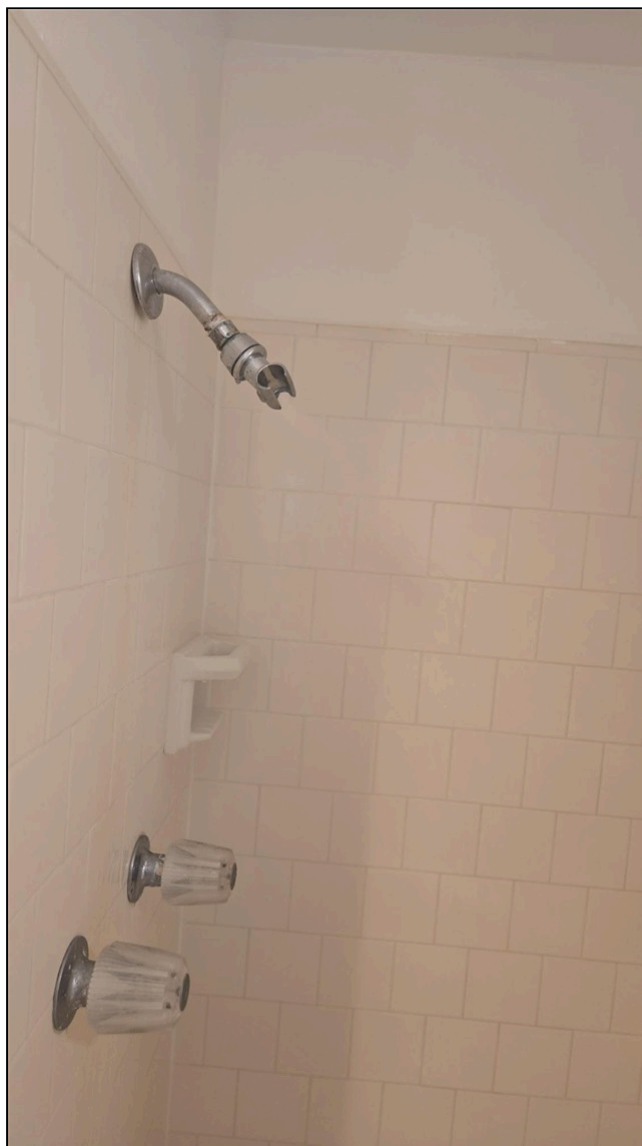


5.4 Item 2 (Picture) Dated water supply, lower level hall bathroom



5.4 Item 3 (Picture) Dated water supply, lower level hall bathroom

5.4 (2) Lower level hall bathroom shower is missing shower head fixture. Recommend a qualified person further inspect for repair recommendations.



5.4 Item 4 (Picture) Lower level bathroom shower head missing

5.5 Lower level hall bathroom sink has rust development and significant wear and tear. Recommend a qualified person further inspect for repair or replacement recommendations.



5.5 Item 1 (Picture) Lower level hall bathroom sink

5.6 (1) The toilets are loose at floor in the upper and lower hall bathrooms. Repairs may involve re-setting the toilets on a new wax seal. Recommend a qualified licensed plumber repair or correct as needed.



5.6 Item 1 (Picture) Loose toilet, upper hall bathroom



5.6 Item 2 (Picture) Loose toilet, lower level hall bath

5.6 (2) Lower level hall bathroom sink is missing drain stop. Recommend installing drain stop to prevent foreign objects from entering into drain line and causing restriction.



5.6 Item 3 (Picture) Missing drain stop, lower level hall bathroom sink

5.7 Gas furnace and water heater do not have sediment traps installed. Sediment traps are intentionally installed to prevent sediments in gas from restricting the gas valve and burners of the appliance. Recommend a qualified person install sediment traps as needed.



5.7 Item 1 (Picture) Heat system/water heater gas line

5.8 Basement has an injection pump or sump pump location in surface. Injection pump or surface drainage pump is not installed. Recommend a qualified licensed plumber further inspect for repair or installation recommendations.



5.8 Item 1 (Picture) Injection/sump pump location, basement

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Built-In Kitchen Appliances

Styles & Materials

Dishwasher Brand: GENERAL ELECTRIC	Range/Oven: MAYTAG	Exhaust/Range hood: VENTED
Refrigerator: AGED FRIGIDAIRE	Built in Microwave: AGED Serial # : Goldstar	Disposer Brand: IN SINK ERATOR
Trash Compactors: NONE		

		IN	NI	NP	RR
6.0	Dishwasher	•			
6.1	Ranges/Ovens/Cooktops				•
6.2	Range hood	•			
6.3	Refrigerator	•			
6.4	Food Waste Disposer	•			
6.5	Microwave Cooking Equipment				•
6.6	Trash Compactor			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

6.1 Kitchen oven has deterioration on front door and on inside panels. Recommend a qualified person further inspect oven for repair or replacement recommendations.



6.1 Item 1 (Picture) Oven door, rust and deterioration



6.1 Item 2 (Picture) Oven panel, rust and deterioration

6.5 Built-in microwave is dated and has cracked door panel. Recommend a qualified person further inspect for repair or replacement recommendations.



6.5 Item 1 (Picture) Built in microwave

7. Heating and Cooling

The inspector shall inspect: The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls.

The inspector is not required to: Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage.

Styles & Materials

Heat Type: Forced Air Furnace	Energy Source: Gas	Number of Heat Systems (excluding wood): One
Heat System Brand: MrCool	Ductwork: Insulated Flex	Filter Type: Disposable
Filter Size: 16x25	Cooling Equipment Type: Not Present	Cooling Equipment Energy Source: Not Present
Central Air Manufacturer: NONE	Number of AC Only Units: None	

		IN	NI	NP	RR
7.0	Heating System	•			
7.1	Normal Operating Controls				•
7.2	Automatic Safety Controls		•		
7.3	Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)				•
7.4	Presence of installed heat source in each room	•			
7.5	Chimneys, Flues and vents (for gas water heaters or heat systems)	•			
7.6	Cooling System			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

7.0 Heating system is located inside the basement.

Manufacturer: Mr Cool

Manufacture date: 2021

Model: MGM95SE045B3XA-2

Serial: 1721D08563



7.0 Item 1 (Picture) Heat system

HEATING DATA		CHAUFFAGE	CLEARANCES / D'EGAGEMENTS	
EQUIPPED FOR USE WITH NATURAL GAS		EQUIPE POUR GAZ NATUREL	THIS FURNACE IS APPROVED FOR UPFLOW AND HORIZONTAL INSTALLATIONS. MIN. CLEARANCES TO COMBUSTIBLE CONSTRUCTION (IN.): SEE DIAGRAM AT RIGHT. CLEARANCE ARROWS DO NOT CHANGE WITH FURNACE ORIENTATION. VENT CLEARANCE TO COMBUSTIBLE CONSTRUCTION (IN.): 0 MIN. FRONT SERVICE CLEARANCE FOR ALCOVE, CLOSET, & ATTIC INSTALLATION.	
INPUT (BTUH)		PUISSANCE NOMINALE (BTUH)	CETTE FOURNAISE EST APPROVEE POUR L'INSTALLATION HORIZONTALE ET CIRCULAIRES. DEGAGEMENTS MINIMUM ENTRE L'APPAREIL ET DES CONSTRUCTIONS. LES FLECHERS DE DEGAGEMENT EN CHANGENT PAS AVEC L'ORIENTATION DE LA GENERATEUR. DEGAGEMENT MIN. DEVANT POUR FINS D'ENTRETIEN POUR LES INSTALLATIONS EN CLOSET.	
OUTPUT (BTUH)		RENDEMENT NOMINALE (BTUH)	C COMBUSTIBLE FLOORS N/C NON-COMBUSTIBLE FLOORS	
MANIFOLD PRESSURE (IN. W.C.)		PRESSION DU COLLECTEUR (PO. D'EAU)	HORIZONTAL POSITION: LINE CONTACT IS ONLY PERMISSIBLE BY LINES JOINED BY INTERSECTION AT TOP WITH BUILDING JOISTS, STUDS, OR FRAMING. POSITION HORIZONTALE: LE CONTACT LINEAIRE EST PERMIS DESSUS ET L'ARRIERE DE L'ENVELOIPE COLOMBAGES OU CHARPENTES D'APPUI.	
GAS SUPPLY LINE PRESS (MAX/MIN IN. W.C.) FOR PURPOSE OF INPUT ADJUSTMENT		PRESSION DANS LA CANALISATION DE GAZ (MAX/MIN PO. D'EAU) POUR BESOIN D'AJUSTEMENT	NOx EMISSION (ng/J) 40	
MAXIMUM OUTLET AIR TEMPERATURE (°F)		TEMP. MAXIMALE D'AIR DE SORTIE (°F)	ELECTRICAL RATING / CARACTERISTIQUE ELECTRIQUE	
TEMPERATURE RISE (°F)		L'ELEVATION DE TEMPERATURE (°F)	VOLTS	HERTZ
MFR. RECOMMENDED ORIFICE SIZE (IN.)		TAILLE D'ORIFICE RECOMMANDEE PAR FABRICANT (PO.)	PHASE	MAX AMPS / AMP MAX
MAX. STATIC PRESSURE (IN. W.C.)		PRESSION STATIQUE MAX. (PO. D'EAU)	120	60
FOR ALTITUDES TO (FEET)		POUR L'ALTITUDE JUSQU'A (PIEDS)	1	12.0
SEE INSTALLATION INSTRUCTIONS FOR INSTALLATIONS ABOVE (FEET)		VOIR LE MANUEL D'INSTALLATION POUR DES INSTALLATIONS A DES ALTITUDES EXCEDANT (PIEDS)	6.8	6.8
CONVERSION KIT AS SUPPLIED BY THE MANUFACTURER. MUST BE USED TO CONVERT THIS UNIT TO LP/PROPANE.		UNE TROUSSE DE CONVERSION FOURNIE PAR LE FABRICANT. DOIT ETRE UTILISEE POUR PASSER D'UN COMBUSTIBLE A L'AUTRE.	ANS Z21.47 CSA-2.3-2016 CENTRAL FURN. FORCED AIR FURNACE OR DIRECT VENT FORCED AIR FURNACE. SEE INSTALLATION INSTRUCTIONS FOR DETAILS. GENERATEUR D'AIR CHAUD CIRCULATION FORCEE CAT. IV TYPE FSP	
MFG'S RECOMMENDED ORIFICE SIZE (IN.)		TAILLE D'ORIFICE RECOMMANDEE PAR FABRICANT (PO.)	INDOOR BLOWER	
MANIFOLD PRESSURE (IN. W.C.)		PRESSION DU COLLECTEUR (PO. D'EAU)	FLA	HI
FOR INDOOR INSTALLATION IN A BUILDING CONSTRUCTED ON SITE IN HEATED OR UNHEATED SPACES. THIS FURNACE MUST BE INSTALLED SO THERE ARE PROVISIONS FOR VENTILATING AIR. SEE INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION. THICKNESS OF CONSTRUCTION THROUGH WHICH VENT/AIR INTAKE PIPES MAY BE INSTALLED. (MAX/MIN IN.)		POUR INSTALLATION DANS UN BATIMENT CONSTRUIT SUR LES LIEUX POUR INSTALLATION A L'INTERIEUR DANS DES PIECES CHAUFFEES OU NON. UTILISE COMME AEROTHERME. CET APPAREIL DOIT ETRE INSTALLE HORIZONTALEMENT ET LE COMPARTIMENT DU SOUFFLEUR D'AIR CIRCULANT DOIT SE TROUVER DE COTE DE L'APPAREIL OU DE DEVANT. (MAX/MIN PO.)	9-1671A57VC	
NOTE: SPECIFY MODEL NO. & SERIAL NO. WHEN ORDERING REPAIR PARTS.		NOTE: POUR COMMANDER DES PIECES DE RECHANGE, INDIQUEZ TOUJOURS LE NUMERO DU MODELE ET LE NUMERO DE SERIE.	AURI CERTIFIED	
HVAC Distributing LLC		ASSEMBLED IN MEXICO	M/N MGM95SE045B3XA-2	
Hickory, KY 42051			S/N 1721D08563	

7.0 Item 2 (Picture) Heat system information

7.1 Heat system did not operate properly at time of inspection using thermostat. Recommend a qualified HVAC technician further inspect for repair recommendations.

7.3 Ducting inside basement is not properly installed or connected in multiple areas. Recommend a qualified person further inspect ducting for repair recommendations.



7.3 Item 1 (Picture) Detached ducting, basement

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation: Fiberglass	Ventilation: Passive	Exhaust Fans: Fan with light
Dryer Power Source: Gas Connection	Dryer Vent: None	Floor System Insulation: Fiberglass

		IN	NI	NP	RR
8.0	Insulation in Attic		•		
8.1	Insulation Under Floor System	•			
8.2	Vapor Retarders (on ground in crawlspace or basement)	•			
8.3	Ventilation of Attic and Foundation Areas	•			
8.4	Venting systems (Kitchens, Baths and Laundry)	•			
8.5	Ventilation Fans and Thermostatic Controls (in Attic)			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Basement, Foundation, Crawlspace and Structure

The inspector shall inspect: The basement. The foundation. The crawlspace. The visible structural components. Any present conditions or clear indications of active water penetration observed by the inspector. And report any general indications of foundation movement that are observed by the inspector, such as but not limited to sheetrock cracks, brick cracks, out-of-square door frames or floor slopes.

The inspector is not required to: Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector, Move stored items or debris, Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.

Styles & Materials

Foundation: Concrete Slab Poured Concrete Walls	Method used to observe Crawlspace: Walked	Floor Structure: 2 X 8
Wall Structure: 2 X 4 Wood 2 X 6 Wood	Columns or Piers: Supporting walls	Ceiling Structure: 2X6

		IN	NI	NP	RR
9.0	Foundation, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)				•
9.1	Walls (Structural)	•			
9.2	Columns or Piers	•			
9.3	Floors (Structural)	•			
9.4	Ceilings (structural)	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

9.0 Plastic or vapor barrier has been installed on foundation wall inside basement on south and west wall. Unable to visually inspect foundation walls at time of inspection. Recommend a qualified person further inspect as needed.



9.0 Item 1 (Picture) Foundation wall, south



9.0 Item 2 (Picture) Foundation wall, west

.....
The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Summary



Titus
Inspections

Titus Inspections

711 Meyer Lane

**Redondo Beach Ca 90278
310-427-5197**

Customer
Meribeth Springob

Address
1287 7th St
Hermosa Beach CA 90254

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling;** or **warrants further investigation by a specialist,** or **requires subsequent observation.** This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Exterior

1.0 Wall Covering, Flashing and Trim

Repair or Replace

Gaps and missing seals on wall penetrations throughout exterior siding. Recommend a qualified person properly seal exterior wall penetrations as needed.

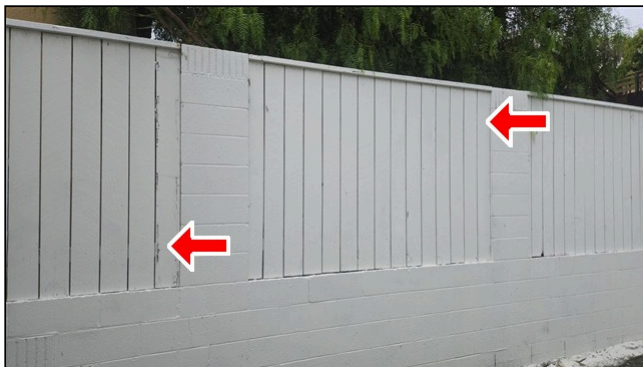


1.0 Item 1 (Picture) Gaps, missing seal, exterior wall

1.5 Gates, Fences, Walls

Repair or Replace

Wood fencing has painted-over wood damage. Recommend a qualified person further inspect for repair or replacement recommendations.



1.5 Item 1 (Picture) Painted-over wood damage, fencing

3. Interior

3.0 Ceilings

Repair or Replace

Basement ceiling has not been installed. Recommend a qualified person install drywall and prep and paint as needed.



3.0 Item 1 (Picture) Unfinished ceiling, basement

3.1 Walls

Repair or Replace

Unfinished walls inside lower level basement. Recommend a qualified person further inspect and patch, prep, and paint unfinished walls as needed.



3.1 Item 1 (Picture) Basement walls, unfinished



3.1 Item 2 (Picture) Basement walls, unfinished



3.1 Item 3 (Picture) Basement walls, unfinished



3.1 Item 4 (Picture) Basement walls, unfinished

3.2 Floors

Repair or Replace

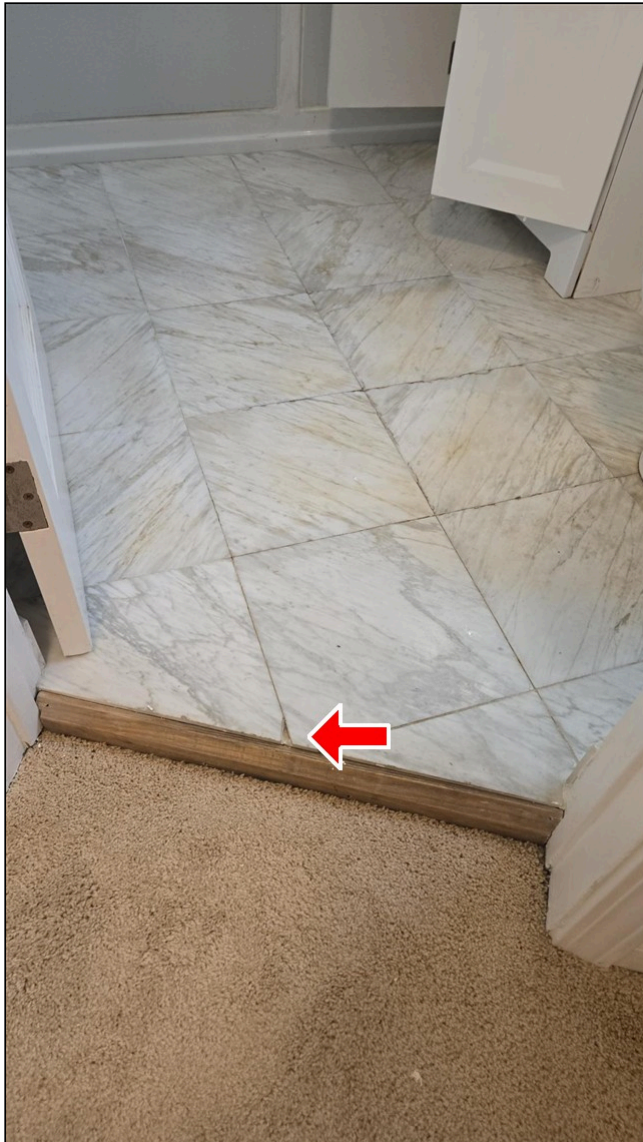
(1) Hairline cracks found on floor tile inside the kitchen. Recommend a qualified person further inspect for repair or replacement recommendations.



3.2 Item 1 (Picture) Kitchen floor tile, hairline cracks

(2) Hall bathroom floor tile has been placed on a raised surface. Multiple tiles are cracked, and grout between tile is cracked and deteriorated. Recommend a qualified floor specialist further inspect floor tile for repair or replacement recommendations.

Raised floor surface indicates possible flooring below tile. Inspector does not test, confirm, or remove tile to inspect floor below. This is for your information.



3.2 Item 2 (Picture) Hall bathroom floor tile

(3) Unfinished floor tile found on lower level surface. Missing grout between replaced tile leading to basement. Recommend a qualified floor specialist further inspect lower level floor tile for repair recommendations.



3.2 Item 3 (Picture) Lower level floor tile

(4) Unfinished concrete flooring found inside basement. Recommend a qualified floor specialist further inspect for installation recommendations.

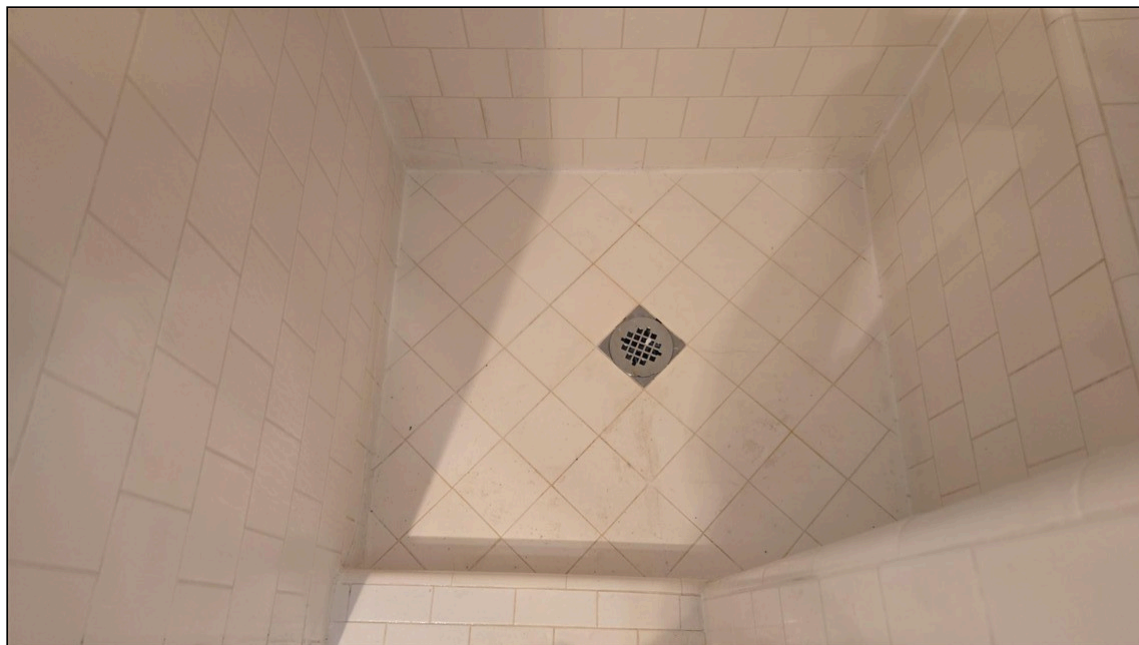


3.2 Item 4 (Picture) Basement, unfinished flooring

3.3 Shower & Bath Floors/Walls

Repair or Replace

Lower level hall bathroom shower walls have multiple repairs and minor cracking on tile. Heavy seals are present. Recommend a qualified person further inspect lower level bathroom shower walls for repair or replacement recommendations.

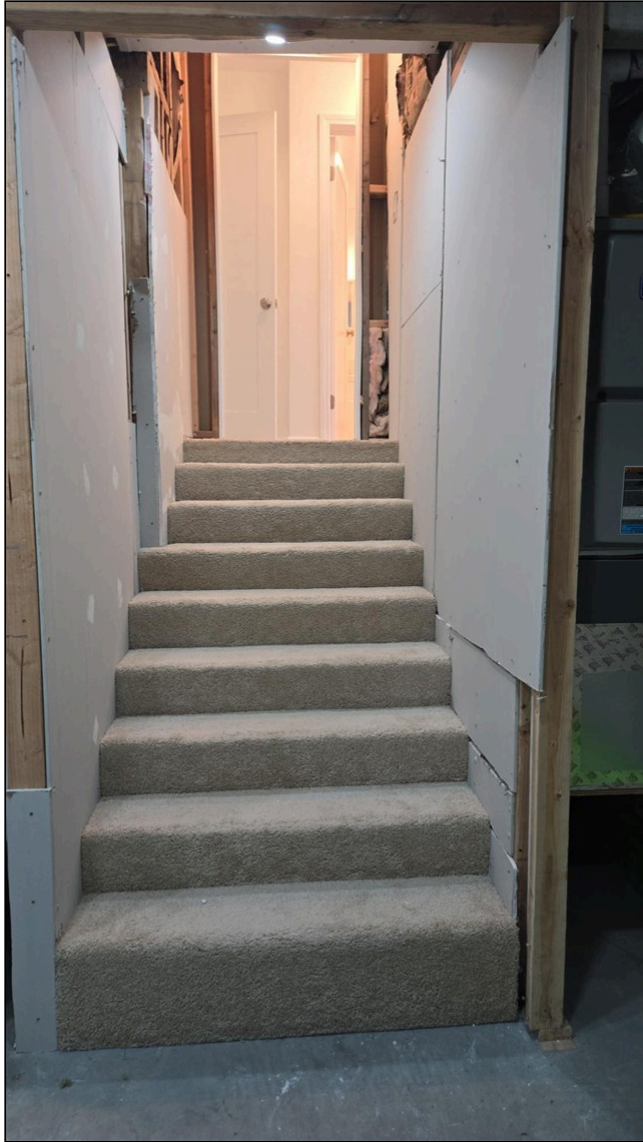


3.3 Item 1 (Picture) Lower level hall bath shower walls

3.4 Stairs, Steps, Landings, Stairways and Ramps and Railings, Guards and Handrails

Repair or Replace

Stairwell leading to basement is missing a graspable handrail on either side of stairwell. Recommend a qualified person further inspect and install proper handrail as needed.



3.4 Item 1 (Picture) Missing handrail, basement stairwell

3.5 Counters, Cabinets and Drawers

Repair or Replace

Kitchen and bathroom cabinets and counter tops are dated and have normal wear and tear. Recommend a qualified person further inspect for repair recommendations.



3.5 Item 1 (Picture) Kitchen cabinets/
countertops



3.5 Item 2 (Picture) Kitchen cabinets

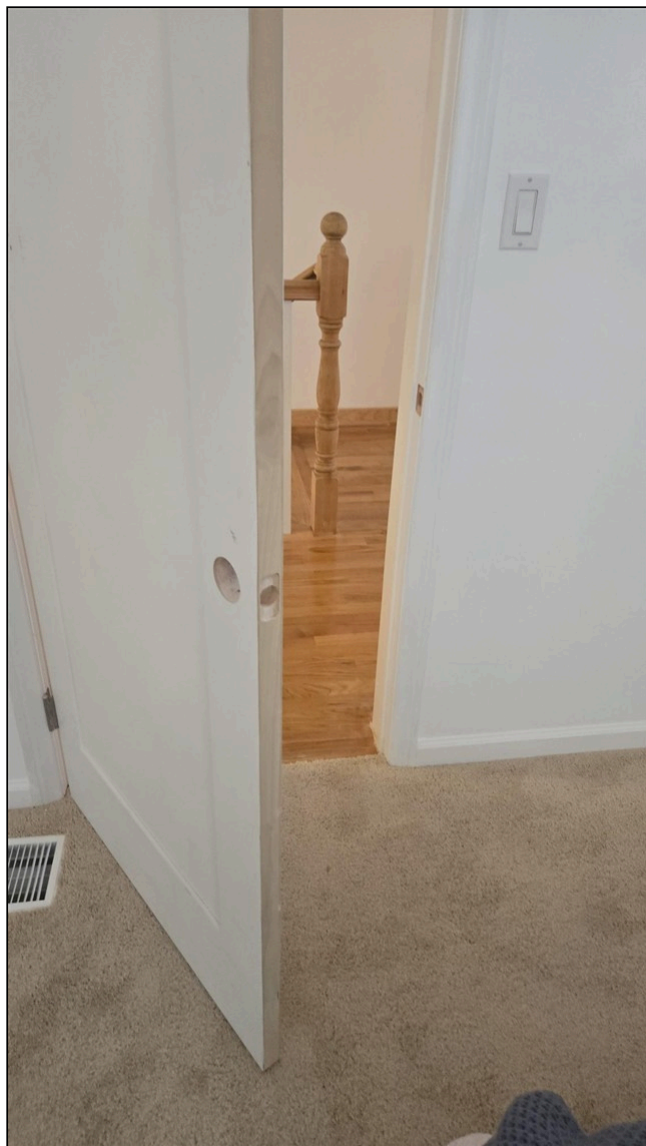


3.5 Item 3 (Picture) Hall bathroom cabinet

3.6 Doors

Repair or Replace

(1) Main level bedroom entry door is missing handle and latch plate. Recommend a qualified person further inspect for repair or installation recommendations.



3.6 Item 1 (Picture) Main level bedroom entry door

(2) Interior doors throughout home do not have door stops installed. Doors open and make contact with walls. Recommend installing door stops to prevent contact with walls and damage to walls. Install as needed.



3.6 Item 2 (Picture) Missing door stop

(3) Closet door for lower level bedroom was not installed at time of inspection. Recommend a qualified person install door properly as needed.



3.6 Item 3 (Picture) Lower level bedroom closet door

4. Electrical

4.2 Electric Meter and Base, Main Disconnect, Main and Distribution Panels, Grounding

Repair or Replace

(1) Panel is missing circuit breakers creating gaps that could allow foreign objects to enter behind circuit breaker cover panel. Recommend a qualified electrician further inspect and install knockout covers on open slots as needed.



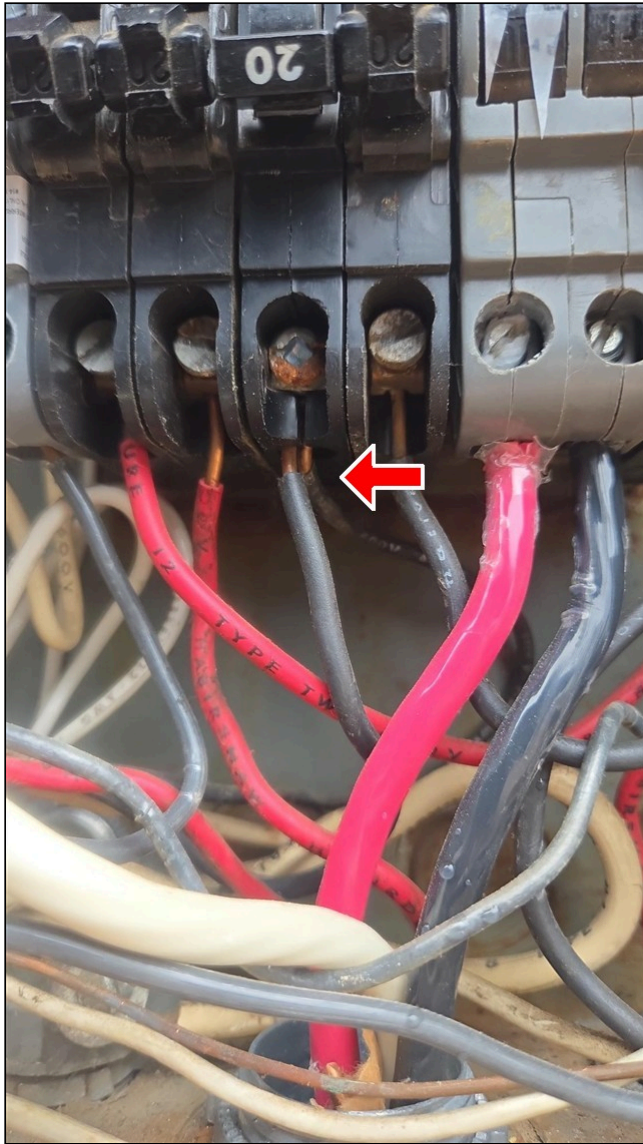
4.2 Item 1 (Picture) Missing labels, main distribution panel

(2) Grounding for main distribution panel was not observed at time of inspection. It's possible that grounding rod may be within building materials, or not visible. Older homes may not meet current requirements for grounding, and although multiple outlets throughout home are grounded, it may be difficult to identify location for all grounded outlets when panel is not grounded to current standards. It is encouraged to have a licensed electrician further inspect main distribution panel grounding for upgrade recommendations.

4.3 Circuit Breakers, Fuses and Compatibility of their Amperage and Voltage

Repair or Replace

(1) Double tapped breaker located inside distribution panel. This occurs when two wires are connected to one breaker. This may cause wires to over heat and expand, which could cause wires to become loose and possibly arc. Recommend a qualified electrician connect wires in a "pigtail" or add additional breaker. Repair as needed.



4.3 Item 1 (Picture) Double tapped breaker

(2) Many older panels may not be equipped with whole house surge protectors (breaker style). This home is currently not equipped with whole house surge protection. Contacting a qualified licensed electrician for further information on upgrade recommendations is encouraged. This is for your information.

California officially adopted the 2020 National Electrical Code (NEC) requirements, including those for surge protection devices (SPDs) in dwelling units, with an effective date of January 1, 2023.

Specifically, the 2022 California Electrical Code (California Code of Regulations Title 24, Part 3) is based on the 2020 edition of the NEC.

This means that as of January 1, 2023, new dwelling unit services and replacements of existing dwelling unit service equipment in California are required to be equipped with a Type 1 or Type 2 SPD, either as an integral part of the service equipment or immediately adjacent to it, according to the requirements of NEC Article 230.67.

(3) Multiple brands of circuit breakers are present in main distribution panel. Having multiple brands of circuit breakers that do not match the panel is common. It is generally not recommended, and can be unsafe to mix circuit breaker brands within the same electrical panel. While some breakers may physically fit into panels of different brands, they are not always designed or tested to work together, potentially leading to safety hazards, voided warranties, and failed inspections. As a home inspector,

we encourage further inspection by a licensed electrician to further inspect for the potential cost to replace, or bring current panel up to current NEC requirements.

4.4 Switches, Receptacles, Light Fixtures and Visible Wiring (observed from a representative number)

Repair or Replace

Missing cover plates on multiple light switches and outlets throughout basement. Recommend installing cover plates as needed.



4.4 Item 1 (Picture) Missing cover plates, basement



4.4 Item 2 (Picture) Missing cover plates, basement

4.5 Polarity and Grounding of Receptacles within 6 feet of Interior Plumbing Fixtures and all Receptacles in Garage, Carport, Exterior Walls of Inspected Structure

Repair or Replace

(1) The kitchen outlets next to kitchen sink are non protected outlets. Receptacles within six feet of a water source are required to be GFCI protected. These outlets are outdated and considered a safety issue until corrected. Recommend a qualified electrician further inspect and repair or replace as needed.

NEC (National Electrical Code)

Section 210-8(a)(5) was modified in 1993 to apply to receptacles that serve "as opposed to being above" the kitchen countertop, and to add wet bar sinks. In the 1996 NEC, dwelling unit grade-level unfinished accessory buildings, and every kitchen counter-top receptacle (not just those within 6 feet of the sink), were added to the list of locations requiring GFCI protection. A 2005 revision removed the countertop criteria for wet bar, laundry, and utility sinks, thereby requiring GFCI protection for any receptacle within 6 feet of these dwelling unit sinks. Commercial and institutional were added as qualifiers for application of the GFCI requirements in other than dwelling unit kitchens. These kitchens were distinguished from others by adding what was to become the definition of a kitchen (an area with a sink and permanent facilities for food preparation and cooking). In keeping with tradition, new GFCI protection requirements were added during the 2014 revision cycle. GFCI protection is now required in laundry areas. This is not restricted to a laundry room since it is common to find the appliances in hall closets or master bedroom. A tub or shower stall is not always located in a bathroom so receptacles within 6 feet of any tub or shower stall are required to be protected. Kitchen dishwasher branch circuits have been added whether they are hard wired or for cord-connected appliances.



4.5 Item 1 (Picture) Left kitchen sink outlet

(2) There was no outlet present in lower hall bathroom (washer and dryer outlet is present at laundry area). Recommend a proper GFCI outlet be installed by a qualified electrician.



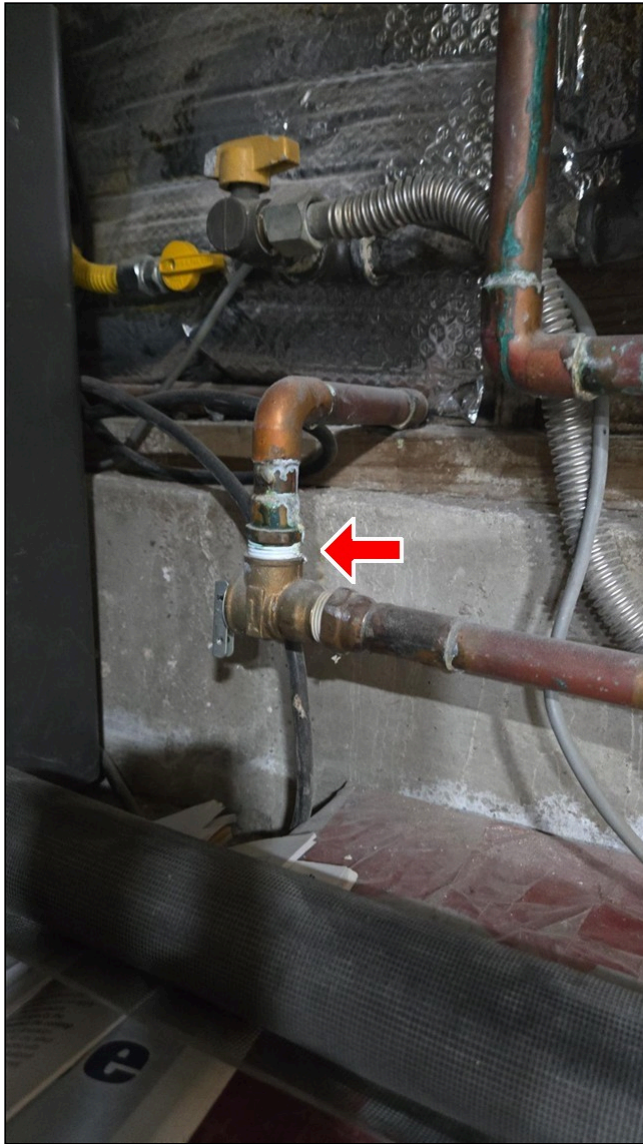
4.5 Item 2 (Picture) Missing GFCI outlet, lower level hall bathroom

5. Plumbing

5.2 Water Heating Equipment, Controls, Chimneys, Flues and Vents

Repair or Replace

(2) Temperature pressure relief (TPR) valve for tankless water heater is in an improper direction. If valve was to leak, water would fill valve and corrode. Recommend a qualified person further inspect for repair recommendations.

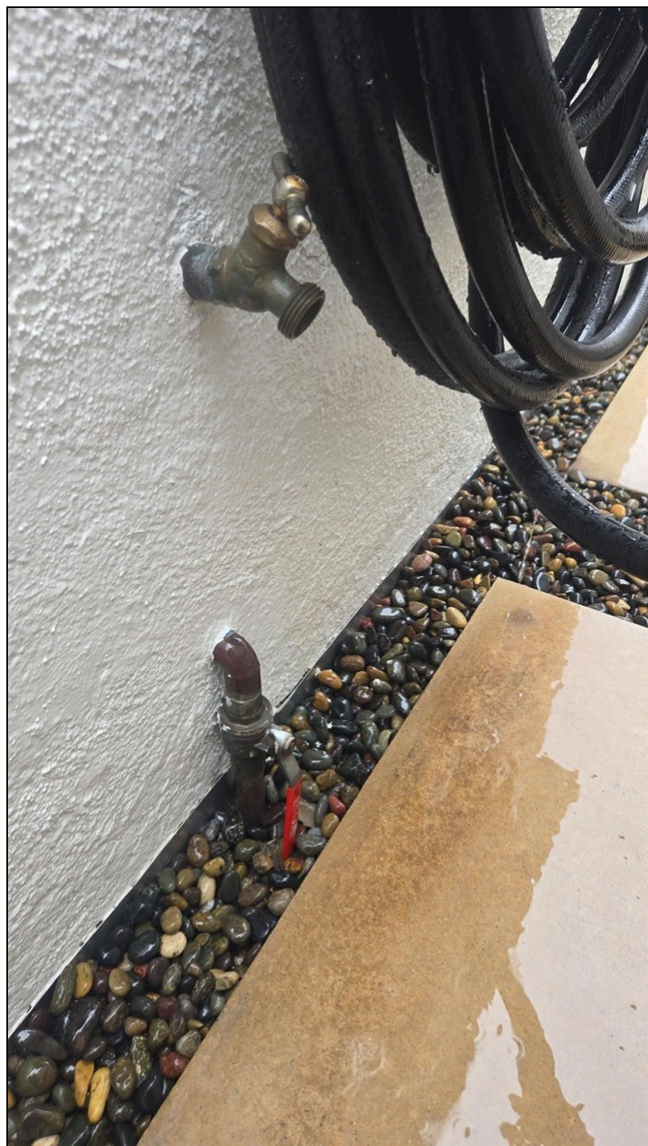


5.2 Item 5 (Picture) TPR valve, water heater

5.3 Exterior Water Supply

Repair or Replace

Anti-siphon valves are missing on water supply hose bibs on the exterior water supply lines. Anti-siphon valves are needed to prevent contamination of your main water supply by blocking potentially dirty water from flowing back into it, a process called backflow or back-siphoning. They act as a safety device on things like garden hose spigots and irrigation systems, which can become filled with pollutants from a hose submerged in puddles or when fertilizers are on the lawn. By creating an air break or a one-way seal, they stop contaminants from being sucked into your potable water during a sudden drop in water pressure. Recommend a qualified person further inspect and install as needed.



5.3 Item 1 (Picture) Missing anti-siphon valve

5.4 Interior Water Supply, Fixtures, Faucets and Systems

Repair or Replace

(1) Water supply fixtures and angle valves on water supplies to sinks are dated and have scale and corrosion. Recommend a qualified plumber further inspect for repair recommendations.



5.4 Item 1 (Picture) Dated angle valves, lower level hall bathroom



5.4 Item 2 (Picture) Dated water supply, lower level hall bathroom



5.4 Item 3 (Picture) Dated water supply, lower level hall bathroom

(2) Lower level hall bathroom shower is missing shower head fixture. Recommend a qualified person further inspect for repair recommendations.



5.4 Item 4 (Picture) Lower level bathroom shower head missing

5.5 Sinks, Toilets and Bath Tubs

Repair or Replace

Lower level hall bathroom sink has rust development and significant wear and tear. Recommend a qualified person further inspect for repair or replacement recommendations.



5.5 Item 1 (Picture) Lower level hall bathroom sink

5.6 Drainage, Waste and Vent System

Repair or Replace

(1) The toilets are loose at floor in the upper and lower hall bathrooms. Repairs may involve re-setting the toilets on a new wax seal. Recommend a qualified licensed plumber repair or correct as needed.



5.6 Item 1 (Picture) Loose toilet, upper hall bathroom



5.6 Item 2 (Picture) Loose toilet, lower level hall bath

(2) Lower level hall bathroom sink is missing drain stop. Recommend installing drain stop to prevent foreign objects from entering into drain line and causing restriction.

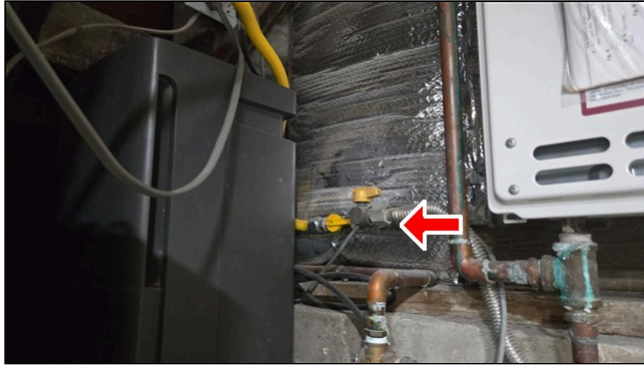


5.6 Item 3 (Picture) Missing drain stop, lower level hall bathroom sink

5.7 Interior Fuel Storage, Piping, Venting, Supports, Leaks

Repair or Replace

Gas furnace and water heater do not have sediment traps installed. Sediment traps are intentionally installed to prevent sediments in gas from restricting the gas valve and burners of the appliance. Recommend a qualified person install sediment traps as needed.



5.7 Item 1 (Picture) Heat system/water heater gas line

5.8 Sump Pumps with accessible float

Repair or Replace

Basement has an injection pump or sump pump location in surface. Injection pump or surface drainage pump is not installed. Recommend a qualified licensed plumber further inspect for repair or installation recommendations.



5.8 Item 1 (Picture) Injection/sump pump location, basement

6. Built-In Kitchen Appliances

6.1 Ranges/Ovens/Cooktops

Repair or Replace

Kitchen oven has deterioration on front door and on inside panels. Recommend a qualified person further inspect oven for repair or replacement recommendations.



6.1 Item 1 (Picture) Oven door, rust and deterioration



6.1 Item 2 (Picture) Oven panel, rust and deterioration

6.5 Microwave Cooking Equipment

Repair or Replace

Built-in microwave is dated and has cracked door panel. Recommend a qualified person further inspect for repair or replacement recommendations.



6.5 Item 1 (Picture) Built in microwave

7. Heating and Cooling

7.1 Normal Operating Controls

Repair or Replace

Heat system did not operate properly at time of inspection using thermostat. Recommend a qualified HVAC technician further inspect for repair recommendations.

7.3 Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Repair or Replace

Ducting inside basement is not properly installed or connected in multiple areas. Recommend a qualified person further inspect ducting for repair recommendations.



7.3 Item 1 (Picture) Detached ducting, basement

9. Basement, Foundation, Crawlspace and Structure

9.0 Foundation, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

Repair or Replace

Plastic or vapor barrier has been installed on foundation wall inside basement on south and west wall. Unable to visually inspect foundation walls at time of inspection. Recommend a qualified person further inspect as needed.



9.0 Item 1 (Picture) Foundation wall, south



9.0 Item 2 (Picture) Foundation wall, west

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Titus
Inspections

Titus Inspections
711 Meyer Lane
Redondo Beach Ca 90278
310-427-5197
Inspected By: Dean Nielsen

Inspection Date: 10/14/2025
Report ID: 251014-01

Customer Info:	Inspection Property:
Meribeth Springob	1287 7th St Hermosa Beach CA 90254
Customer's Real Estate Professional: Maribeth Springob	

Inspection Fee:			
Service	Price	Amount	Sub-Total
Heated Sq Ft 1,001 - 1,500	475.00	1	475.00
Inspection Discount	-50.00	1	-50.00
			Tax \$0.00
			Total Price \$425.00

Payment Method: Quickbooks
Payment Status: Paid
Note:



Titus
Inspections

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**711 Meyer Lane
Redondo Beach Ca 90278
310-427-5197**

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

This is an Agreement between you, the undersigned Client, and us, the Inspector, pertaining to our inspection of the Property at: _____. The terms below govern this Agreement.

1. The fee for our inspection is \$____, payable [in full / in part at \$ _____] at a time [before / after] the appointment.
2. We will perform a visual inspection of the home/building and provide you with a written report identifying the defects that we (1) observed and (2) deemed material. The report is only supplementary to the seller's disclosure.
3. Unless otherwise noted in this Agreement or not possible, we will perform the inspection in accordance with the current Standards of Practice (SOP) of the International Association of Certified Home Inspectors ("InterNACHI"), posted at www.nachi.org/sop. If your jurisdiction has adopted mandatory standards that differ from InterNACHI's SOP, we will perform the inspection in accordance with your jurisdiction's standards. You understand that InterNACHI's SOP contains limitations, exceptions, and exclusions. You understand that InterNACHI is not a party to this Agreement, has no control over us, and does not employ or supervise us.
4. Unless otherwise indicated in writing, we will NOT test for the presence of radon, a harmful gas. Unless otherwise indicated in writing, we will not test for mold. Unless otherwise indicated in writing, we will not test for compliance with applicable building codes or for the presence of or for any potential dangers arising from the presence of asbestos, lead paint, soil contamination, or other environmental hazards or violations. If any structure you want us to inspect is a log structure or includes log construction, you understand that such structures have unique characteristics that may make it impossible for us to inspect and evaluate them. Therefore, the scope of our inspection will not include decay of the interior of logs in log walls, log foundations or roofs, or similar defects.
5. Our inspection and report are for your use only. You must give us permission to discuss our observations with real estate agents, owners, repair persons, or other interested parties. You will be the sole owner of the report and all rights to it. We are not responsible for its use or misinterpretation by third parties, and third parties who rely on it in any way do so at their own risk and release us (including employees and business entities) from any liability whatsoever. If you or any person acting on your behalf provide the report to a third party who then sues you and/or us, you release us from any liability and agree to pay our costs and legal fees in defending any action naming us. Our inspection and report are in no way a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. We disclaim all warranties, express or implied, to the fullest extent allowed by law.
6. LIMITATION ON LIABILITY AND DAMAGES. You waive any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building. California law provides that we may not include any limitation on the amount of damages in this agreement for any alleged failure to comply with Section 7196 of the California Business and Professional Code. As to other claims, we assume no liability for the cost of repair or replacement of unreported defects, either current or arising in the future. In those other cases, our liability is limited to liquidated damages in an amount not greater than 1.5 times the fee you paid us. You acknowledge that these liquidated damages are not a penalty, but that we intend them to: (i) reflect the fact that actual damages may be difficult or impractical to ascertain; (ii) allocate risk between us; and (iii) enable us to perform the inspection for the agreed-upon fee. If you wish to eliminate this liquidated damages provision, we are willing to perform the inspection for an increased fee of \$_____, payable in advance.
7. We do not perform engineering, architectural, plumbing, or any other job function

requiring an occupational license in the jurisdiction where the property is located. If we hold a valid occupational license, we may inform you of this and you may hire us to perform additional functions. Any agreement for such additional services shall be in a separate writing.

8. If you believe you have a claim against us, you agree to provide us with the following: (1) written notification of your claim within seven days of discovery, in sufficient detail and with sufficient supporting documents that we can evaluate it; and (2) immediate access to the premises. Failure to comply with these conditions releases us from liability.
9. You agree that the exclusive venue for any litigation arising out of this Agreement shall be in the county where we have our principal place of business. If you fail to prove any claim against us, you agree to pay all our legal costs, expenses and attorney's fees incurred in defending that claim. You agree that the exclusive venue for any legal action against InterNACHI itself, allegedly arising out of this Agreement or our membership in InterNACHI, will be in Boulder County, Colorado. Before bringing any such action, you must provide InterNACHI with 30 days' written notice of the nature of the claim, in sufficient detail and with sufficient supporting documents that InterNACHI can evaluate it. In any action against us or InterNACHI, you waive trial by jury.
10. If a court declares any provision of this Agreement invalid, the remaining provisions remain in effect. This Agreement represents our entire agreement; there are no terms other than those set forth herein. All prior discussions are merged into this Agreement. No statement or promise by us shall be binding unless reduced to writing and signed by one of our authorized officers. Any modification of this Agreement must be in writing and signed by you and by one of our authorized officers. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. You will have no cause of action against us after one year from the date of the inspection.
11. Past-due fees for your inspection shall accrue interest at 8% per year. You agree to pay all costs and attorney's fees we incur in collecting the fees owed to us. If the Client is a corporation, LLC, or similar entity, you personally guarantee payment of the fee.
12. If you request a re-inspection, the re-inspection is subject to the terms of this Agreement.
13. You may not assign this Agreement.
14. If a court finds any term of this Agreement ambiguous or requiring judicial interpretation, the court shall not construe that term against us by reason of the rule that any ambiguity in a document is construed against the party drafting it. You had the opportunity to consult qualified counsel before signing this.
15. If there is more than one Client, you are signing on behalf of all of them, and you represent that you are authorized to do so.
16. If you would like a large-print version of this Agreement before signing it, you may request one by emailing us.
17. If your inspector participates in InterNACHI's Buy-Back Guarantee Program, you will be bound by the terms you may view at www.nachi.org/buy.

TO THE INSPECTOR:

The preferred method for the inspection agreement is to use it with the Appointments feature through the HG Online Services. For information on this feature, please visit our Support Center, go to www.homegauge.com and click on Support, HomeGauge Support Center. Or call Support at 828-254-2030.

If you are seeing this while viewing your report, close the print preview, click on File, Printing Options, click on the Print Option you are using (typically Full Report for Upload) and it will highlight blue, then click "Edit", and un-check the check mark for agreement, and click OK.
