

# ABBREVIATION

®	AT	JAN.	JANITOR
A.B.	ANCHOR BOLT	JST.	JOIST
A.C.	ASPHALTIC CONCRETE	K.C.	KEENE'S CEMENT
ACOUS.	ACOUSTICAL	K.P.	KING POST
ACS.	ACRES	KIT.	KITCHEN
A.D.	AREA DRAIN	LAM.	LAMINATED
ALUM.	ALUMINUM	LAW.	LAVATORY
A.T.	ASPHALT TILE	LB.	LB.
ADJ.	ADJUSTABLE	LGTH.	LENGTH
A.F.F.	ABOVE FINISHED FLOOR	LKR.	LOCKER
A.F.S.	ABOVE FINISHED SURFACED	MAS.	MASONRY
ABV.	ABOVE	MAY.	MAXIMUM
BD.	BOARD	MECH.	MECHANICAL
BLK.	BLOCK	MEMB.	MEMBRANE
BLKG.	BLOCKING	MET.	METAL
BRN.	BRAN	MIN.	MINIMUM
BOT.	BOTTOM	MIS.	MISCELLANEOUS
BLDG.	BUILDING	M.O.	MASONRY OPENING
B.TWN.	BETWEEN	M.R.	MISCELLANEOUS RESISTANT
C.J.	CEILING JOIST	MANUF.	MANUFACTURER
C.L.	CENTER LINE	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	NO (#)	NUMBER
CEM.	CEMENT	NOM.	NOMINAL
CER.	CERAMIC	N.T.S.	NOT TO SCALE
C.I.P.	CAST IRON PIPE	ORSC.	OBSCURE
CLG.	CEILING	O.C.	ON CENTER
CLO.	CLOSET	O.D.	OUTSIDE DIAMETER
CLR.	CLEAR	OFF.	OFFICE
CO.	CLEAN OUT	OPN.	OPENING
COL.	COLUMN	OV.	OVEN
COM.	COMMON	OVFL.	OVERFLOW
CONC.	CONCRETE	OPP.	OPPOSITE
CONT.	CONTINUOUS	P.	POST
C.W.	COLD WATER	PL.	PROPERTY LINE, PLATE
C.T.	CERAMIC TILE	PLAS.	PLASTER
C.U.YD.	CUBIC YARD	PLYWD.	PLYWOOD
		PR.	PAIR
		PL.	PLASTIC LAMINATE
		R.	RISER
DET.	DETAIL	RAO, R.	RAJULS
DBL.	DOUBLE	RAFT, R.R.	RAFTER
D.F.	DOUGLAS FIR	REINF.	REINFORCEMENT
D.J.	DECK JOIST	RESIL.	RESILIENT
D.F.N.	DRINKING FOUNTAIN	R.D.	ROOF DRAIN
DIAM.()	DIAMETER	RG.	RANGE
DRWG.	DRAWING	RM.	ROOM
D.S.	DOWNSPOUT	R.O.	ROUGH OPENING
D.W.	DISHWASHER	REF.	REFRIGERATOR
DR.	DOOR	S.C.	SOLID CORE
EA.	EACH	SINK	SINK
EL.	ELEVATION	SEL.STR.	SELECT STRUCTURAL
ELECT.	ELECTRICAL	SH.	SHOWER
ELEV.	ELEVATION	SHR.	SHOWER
ENCL.	ENCLOSURE	SIM.	SIMILAR
EXH.	EXHAUST	SHTG.	SHOOTING
EXIST.	EXISTING	SQ.	SQUARE
EXP.	EXPANSION	STB.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
E.J.	EXPANSION JOINT	STRUC.	STRUCTURAL
F.D.	FLOOR DRAIN	S.S.TL.	STAINLESS STEEL
F.G.	FUEL GAS	SUSP.	SUSPENDED
F.J.	FLOOR JOIST	SPEC.	SPECIFICATIONS
FRN.	FRINSH	SERV.	SERVICE
FLR.	FLOOR	SVSK	SELECT STRUCTURAL
FLRG.	FLOORING	S.S.	SELECT STRUCTURAL
FT.	FOOT	STOR.	STORAGE
FTG.	FOOTING	S.T.C.	SOUND TRANSMISSION CLASS
FG.	FIXED GLASS	SQ.FT.	SQUARE FOOT(FEET)
F.S.	FLOOR SINK	TEL.	TELEPHONE
FLUOR.	FLUORESCENT	TERR.	TERRAZZO
F.O.C.	FACE OF CONCRETE	T.A.O.	TONGUE AND GROOVE
F.O.S.	FACE OF STUD	T.O.C.	TOP OF CONCRETE
F.F.	FINISHED FLOOR	T.O.W.	TOP OF WALL
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	THRU	THROUGH
G.I.	GALVANIZED IRON	TEMP.	TEMPERED
GL.	GLASS	T.O.P.	TOP OF PARAPET
GR.	GRADE	T.	TREAD
GYP.	GYP-SUM	U.	URINAL
G.W.B.	GYP-SUM WALL BOARD	VERT.	VERTICAL
GAR.	GARAGE	VEST.	VESTIBULE
GAR.DISP.	GARBAGE DISPOSAL	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
H.B.	HOSE BIBB	W.	WITH
HD.	HARD WOOD	W.C.	WATER CLOSET
HGT.	HEIGHT	W.D.	WINDOW DIMENSION
H.P.T.	HIGH POINT	W.	WOOD
HDR.	HEAD	WH.	WATER HEATER
HTR.	HEATER	WP.	WATERPROOF
H.W.	HOT WATER		
HORIZ.	HORIZONTAL		
H.C.	HOLLOW CORE		
I.D.	INSIDE DIAMETER		
IN.	INCH		
INT.	INTERIOR		
INSUL.	INSULATION		
INV.	INVERT		



# PUBLIC WORKS NOTES

- All landscape irrigation backflow devices must meet current City requirements for proper installation.
- No discharge of construction wastewater, building materials, debris, or sediment from the site is permitted. No refuse of any kind generated on a construction site may be deposited in residential, commercial, or public refuse containers at any time. The utilization of weekly refuse collection service by the city's hauler for any refuse generated at the construction site is strictly prohibited. Full documentation of all materials/trash landfilled and recycled must be submitted to the Permits Division in compliance of the city's Construction and Demolition Recycling Ordinance.
- Erosion and sediment control devices BMPs (Best Management Practices) must be implemented around the construction site to prevent discharges to the street and adjacent properties. BMPs must be identified and shown on the plan. Control measures must also be taken to prevent street surface water entering the site.
- All storm water, nuisance water, etc. drain lines installed within the street right of way must be constructed of 3" cast iron pipe, and labelled on the site plan. Drains must be shown on plans. Connecting on-site drainage line to sewer lateral is strictly prohibited.
- All runoff water from the roof and side yards and patios must discharge onto 11<sup>th</sup> Street through the drain lines and must be shown on the plans with all required outlet flow line elevations at the discharge point.
- Impervious surface shall be sloped away from the building at 2% minimum slope for a minimum distance of 10'; lot shall be graded to drain surface water away from foundation walls - per CRC Section R401.3.
- Sidewalk, driveway, curb, and gutter construction, repairs or replacement must be completed per Public Works Specifications. See City Standard Plans ST-1, ST-2, ST-3 and ST-10. The plans must have a profile of the driveway, percentage (%) of slope on driveway, and driveway elevations for each side and the middle. In the case where the garage level is below the street drainage flow lines, the combined slope of public and private approach shall not exceed 15% (City recommends that Garage Finish Floor elevation per design plans be higher than existing street grades, in order to minimize possibility of any future flooding of the garage). City Plans/Survey must show elevations for each adjoining property. No deviations in elevations between properties of more than 1/4".
- Driveway profiles exceeding 10% grade will be staked and verified by a licensed professional land surveyor. Verification of driveway grades will be done prior to pouring garage slab. Driveway grades exceeding 15% are not permitted.
- The back of driveway approach must be six inches higher than the flow line on the street. M.B.M.C. § 76.030. The driveway approach on 11th street must be improved per City Standard Plans.
- Contractor to protect in place all existing property corners during construction. If any of the property corners are removed or destroyed during construction, it would be the responsibility of the contractor to restore them.
- All existing or construction related damages or displaced curb/gutter, sidewalk or driveway approach must be replaced and shown on the plans. Additional public improvements may be required during and/or near the completion of construction per M.B.M.C. § 7.2 as determined by the Public Works Inspector based on conditions of the public improvements.
- It is the responsibility of the contractor to protect all the street signs, street lampposts, walls/fences, and/or trees around the property. If they are damaged, lost or removed, it is the responsibility of the contractor to replace them at the contractor's expense. The contractor is also responsible for any street markings that are damaged or removed by the contractor's operations. Contact the Public Works Inspector for sign specification and suppliers.
- Separate water service lines and sanitary sewer laterals must be installed on each unit. Condominiums with three or more units shall use a common sanitary sewer lateral. Lateral shall conform to C.P.C. 717.0 using Table 7-8.
- Condominiums shall include a reciprocal utility right of way corridor between units in order to ensure that each unit has authorized use to access main line utilities for individual services.
- New VCP 6" sanitary sewer lateral will be installed if the existing lateral is less than 6" in diameter. Sewer cleanout should be located within private property lines. A backwater valve is required on the sanitary sewer lateral if the discharges from fixtures with flood level rims are located below the next upstream manhole cover of the public sewer. (Per City Standard Plan ST-24).
- If any existing sewer lateral (6" minimum) is used, it must be televised to check its structural integrity prior to any demolition work. The tape must be made available for review by the Public Works Department and must show proof of the location of where it was shot. The Public Works Department will review the tape and determine at that time if the sanitary lateral needs repairing, replaced, or that it is structurally sound and can be used in its present condition. Videotaping of lateral must be in its original state. No cleaning, flushing or altering prior to videotaping is permitted.
- If a new sewer lateral is to be installed at a different location on the sewer main line, the old lateral must be capped at the property line and at the main line. Prior to structure demolition a sewer cap verification and approval from Public Works Inspector is required.
- Water meters MUST remain accessible for meter readers during construction. Water meters shall be placed near the property line and out of the driveway approach whenever possible. Water meter placement must be shown on the plans. See City Standard Plan ST-15. For existing water service relocations and/or abandonment, water service must be capped at the main and at the meter.
- The water meter box must be purchased from the City, and must have a traffic rated lid if the box is located in the driveway.
- Condominiums with less than 9 units must provide an enclosed storage area for refuse containers. These areas must be constructed to meet the requirements of M.B.M.C. § 24.030. The area must be shown in detail on the plans before a permit is issued.
- Condominiums with 9 or more units shall have a trash and recycling storage area. Trash and recycling storage enclosures shall be enclosed, have a roof, built in such a manner that stormwater will not enter, and a drain installed that empties into the sanitary sewer system. Floor drain or similar traps directly connected to the drainage system shall be provided with an approved automatic means of maintaining their water seals. See 1007.0 trap seal protection in the uniform plumbing code. Contact the city's refuse contractor for sizing of the enclosure. Drawings of the trash enclosure must be on the plan, and must be approved by the public works department before a permit is issued. See standard plan ST-25.
- All work done within the public right-of-way shall be done by a licensed contractor with a Class A, C-12 or C-34 license for all trenching and paving or a Class C-08 license for all concrete work. A Class B license may be acceptable for minor curb, gutter and sidewalk work constructed in conjunction with a single-family residential structure.
- Plan holder must have the plans rechecked and stamped for approval by the Public Works Department before the building permit is issued.
- The contractor shall monitor, supervise and control all construction and construction supportive activities, so as to prevent these activities from causing a public nuisance, including but not limited to, insuring strict adherence to the following:
  - removal of dirt, debris, or other construction material deposited on any public street no later than the end of each working day
  - all excavations shall be backfilled at the end of each working day and roads opened to vehicular traffic unless otherwise approved by the City Engineer
  - all dust control measures per South Coast Air Quality Management District (SCAQMD) requirements shall be adhered to during the construction operations.
  - all construction to be in conformance with the regulations of Cal-OSHA.

NOTE: PLEASE INSERT PUBLIC WORKS COMMENTS BELOW IN ITS ENTIRETY AND ORDER SENT  
 PUBLIC WORKS CORRECTIONS: Must show driveway elevation points at both edges and at the center of driveway. It must show from the center line of the street to the curb flow line and from the curb flow line to the garage floor finish grade.

It shall be the duty of every person cutting or making an excavation in or upon any public place, to place and maintain barriers and warning devices for the safety of the general public. M.B.M.C. 17.16.80. If any excavation is made across any public street, alley, or sidewalk, adequate crossings shall be maintained for vehicles and pedestrians. M.B.M.C. 17.16.100.

# PROJECT DATA

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<b>OWNER:</b>	DC CONSTRUCTION AND DEVELOPMENT P.O. BOX 945, MANHATTAN BEACH, CA 90266																																
<b>PROJECT ADDRESS:</b>	1819; 1821; 1823 11TH STREET MANHATTAN BEACH, CA. 90266																																
<b>APN:</b>	4164-001-017																																
<b>LEGAL DESCRIPTION:</b>	LOT 17, BLOCK 1, REDONDO VILLA TRACT #3 M.B. 11-110-111																																
<b>CONSTRUCTION:</b>	TYPE - V B, SPRINKLERED																																
<b>OCCUPANCY:</b>	R-2/ U																																
<b>ZONING:</b>	RH-D2, AREA DISTRICT I																																
<b>NO. OF STORIES:</b>	TWO STORIES + MEZZANINE																																
<b>SCOPE OF WORK:</b>	PROPOSED TWO STORY + MEZZANINE 3-UNIT CONDOMINIUMS W/ ATTACHED 2-CAR GARAGES																																
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<b>SEPARATE PERMITS AND PLANS ARE REQUIRED FOR:</b>	SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED PERMIT IS ISSUED.																																
<b>ALSO SEPARATE PERMITS ARE REQUIRED FOR:</b>	MECHANICAL ELECTRICAL PLUMBING SITE WORK - INCLUDING SITE WALLS FIRE SPRINKLERS LANDSCAPE GRADING																																

# SHEET SCHEDULE

T - 1	TITLE SHEET
T - 2	GENERAL NOTES
T - 3	DOOR SCHEDULE
T - 4	WINDOW SCHEDULE
T - 5	TITLE-24 CF-1R FORMS
T - 6	TITLE-24 CF-1R FORMS
T - 7	RESOLUTION NO. PC 18-13
T - 8	GREEN BUILDING PROGRAM
C - 0	SITE SURVEY
C - 1	GRADING AND DRAINAGE PLAN
C - 2	UTILITY PLAN
C - 3	DRAINAGE DETAILS
C - 4	CITY OF MB PUBLIC WORKS NOTES & DETAILS
C - 5	CITY OF MB PUBLIC WORKS NOTES & DETAILS
C - 6	DRIVEWAY PROFILES & SECTIONS
C - 7	EROSION CONTROL PLAN
C - 8	EROSION CONTROL NOTES & DETAILS
A - 1.0	SITE PLAN
A - 2.0	PROPOSED FIRST FLOOR PLAN
A - 2.1	PROPOSED SECOND FLOOR PLAN
A - 2.2	PROPOSED MEZZANINE PLAN
A - 3.0	ROOF PLAN
A - 4.0	BUILDING SECTIONS
A - 4.1	BUILDING SECTIONS
A - 4.2	BUILDING SECTIONS
A - 5.0	UNPROTECTED OPENING ANALYSIS
A - 6.0	EXTERIOR ELEVATIONS
A - 6.1	EXTERIOR ELEVATIONS
A - 7.0	ARCHITECTURAL DETAILS
A - 7.1	ARCHITECTURAL DETAILS
A - 7.2	ARCHITECTURAL DETAILS
S - 0.0	STRUCTURAL NOTES
S - 0.1	STRUCTURAL NOTES
S - 0.2	STRUCTURAL NOTES
S - 1.0	FOUNDATION PLAN
S - 1.1	SECOND FLOOR FRAMING PLAN
S - 1.2	MEZZANINE FLOOR FRAMING PLAN
S - 1.3	ROOF FRAMING PLAN
S - 2.0	STRUCTURAL DETAILS
S - 2.1	STRUCTURAL DETAILS
S - 2.2	STRUCTURAL DETAILS
S - 2.3	STRUCTURAL DETAILS
WSW1	SIMPSON WOOD STRONGWALL DETAILS
WSW2	SIMPSON WOOD STRONGWALL DETAILS
E - 1.0	FIRST FLOOR ELECTRICAL PLAN
E - 1.1	SECOND FLOOR ELECTRICAL PLAN
E - 1.2	MEZZANINE ELECTRICAL PLAN
L - 1	LANDSCAPE PLAN

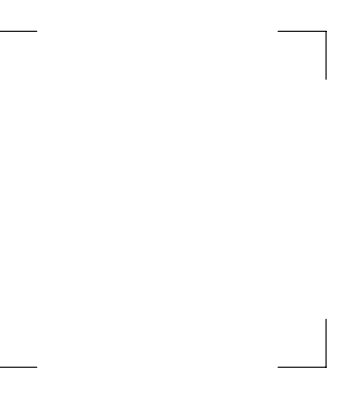
# SYMBOLS

	ROOM NAME
	SECTION DESIGNATION SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	WINDOW LETTER
	DOOR NUMBER
	KEY NOTE

# VICINITY MAP



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Revisions:

11th Street CONDOMINIUMS  
 1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

Title Sheet

Date: 3/26/19  
 Name of File: Preliminary

T-1

**EXIT ANALYSIS:**

OCCUPANT LOAD FACTOR: 1/200 GROSS SF

UNIT FLOOR AREAS:	UNIT A	UNIT B	UNIT C
TOTAL (SF):	1,811.7	1,424.3	1,828.4
UNIT OCCUPANT LOAD (OCC)	9	7	9

TRAVEL DISTANCE

	UNIT A	UNIT B	UNIT C
MAX COMMON PATH OF TRAVEL:	64 FT	63 FT	62 FT

PER CBC TABLE 1006.2.1, 1 EXIT ALLOWED FROM SPACES IN R-2 OCCUPANCIES IN SPRINKLERED BUILDINGS WITH AN OCCUPANT LOAD OF 10 OR LESS AND COMMON PATH OF TRAVEL DISTANCE LESS THAN 125 FT.

PER CBC TABLE 1006.3.2(1), 1 EXIT ALLOWED FROM BASEMENT, FIRST SECOND OR THIRD STORY ABOVE GRADE PLANE IN SPRINKLERED BUILDINGS WITH A MAXIMUM OF 4 DWELLING UNITS AND COMMON PATH OF TRAVEL DISTANCE LESS THAN 125 FT.

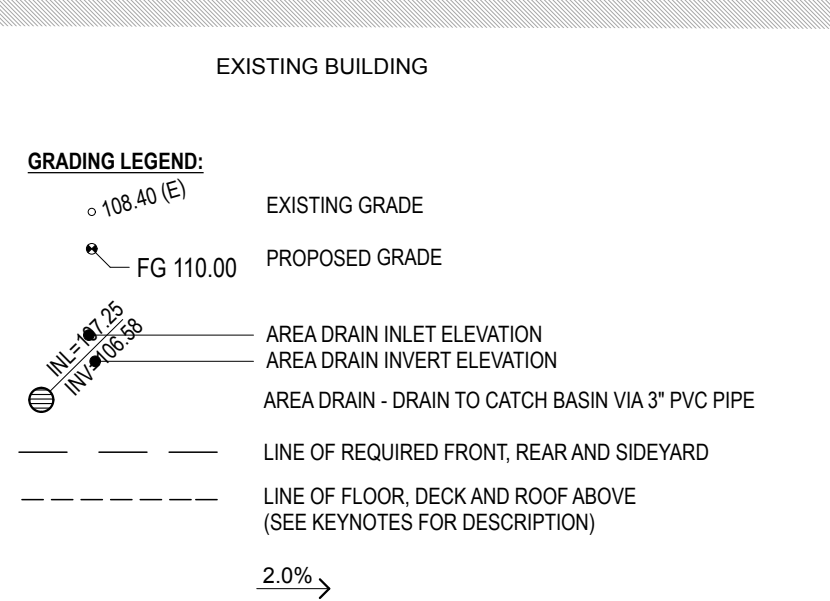
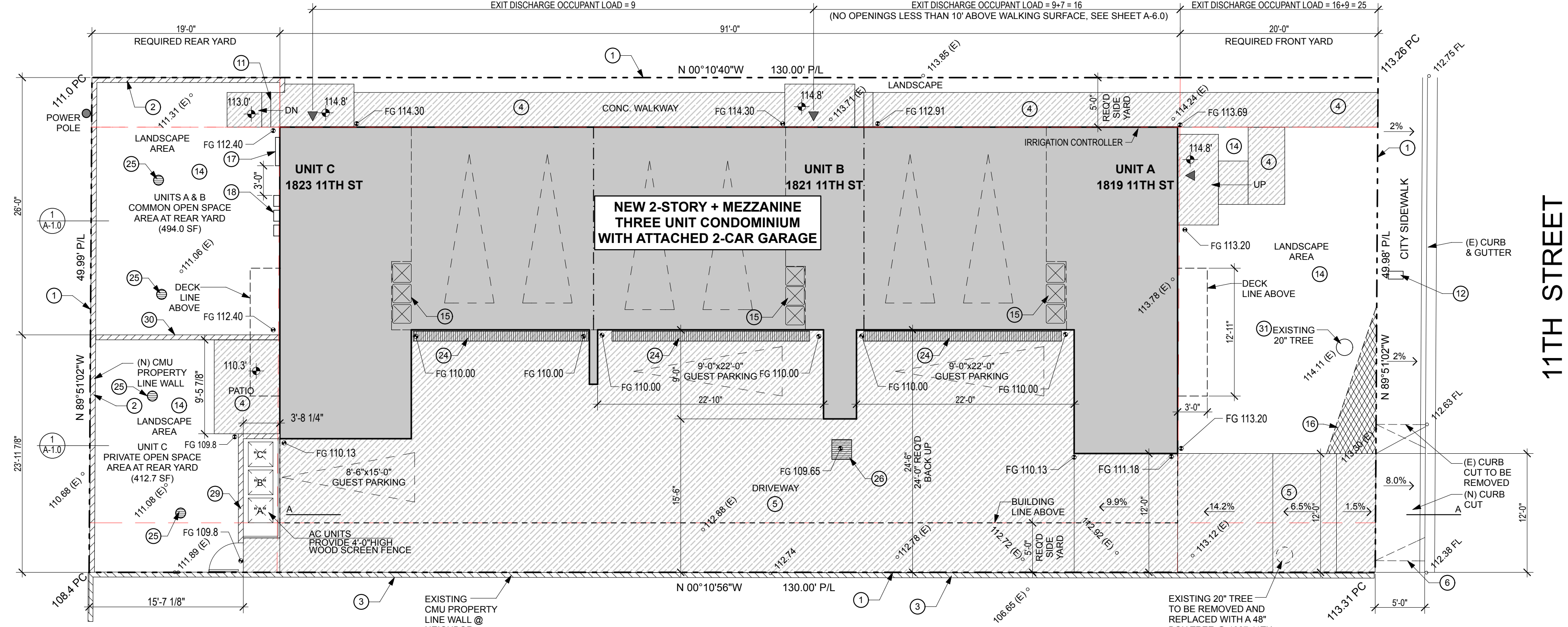
REQUIRED NUMBER OF EXITS:

	UNIT A	UNIT B	UNIT C
EXIT DISCHARGE:			
MINIMUM EXIT DISCHARGE WIDTH: 4"			
PROVIDED EXIT DISCHARGE WIDTH: 60"			

PER CBC 1028.4.2 EXIT DISCHARGE COURT WITH WIDTH OF LESS THAN 10'-0" SHALL BE PROTECTED BY A 1-HOUR FIRE RATED WALL TO A MINIMUM HEIGHT OF 10'-0" AND SHALL BE UNOBSTRUCTED TO A HEIGHT OF 7'-0" OPENINGS IN THAT RATED WALL SHALL BE 34 HOUR RATED MINIMUM.

EXCEPTION 1. EXIT DISCHARGE COURTS WITH AN OCCUPANT LOAD OF LESS THAN 10

SEE SITE PLAN AT SHEET A-1.0 FOR EXIT DISCHARGE COURT OCCUPANT LOAD. SEE FLOOR PLANS AT SHEETS A-2.0 AND A-2.1 FOR RATING OF EXTERIOR WALL AT DISCHARGE COURT. SEE EXTERIOR ELEVATION AT SHEET A-6.0 FOR OPENING LOCATIONS (NONE IN RATED WALL)

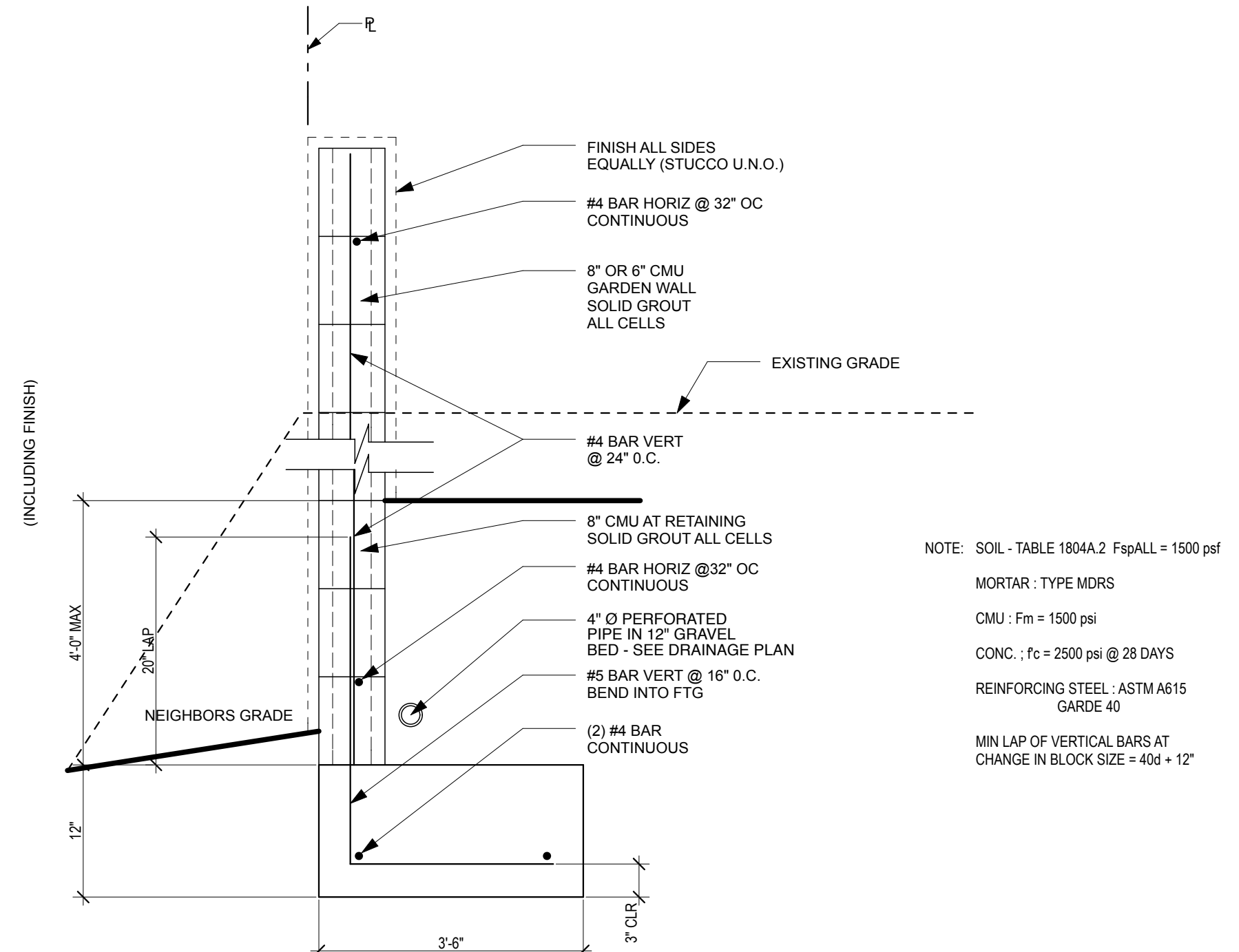
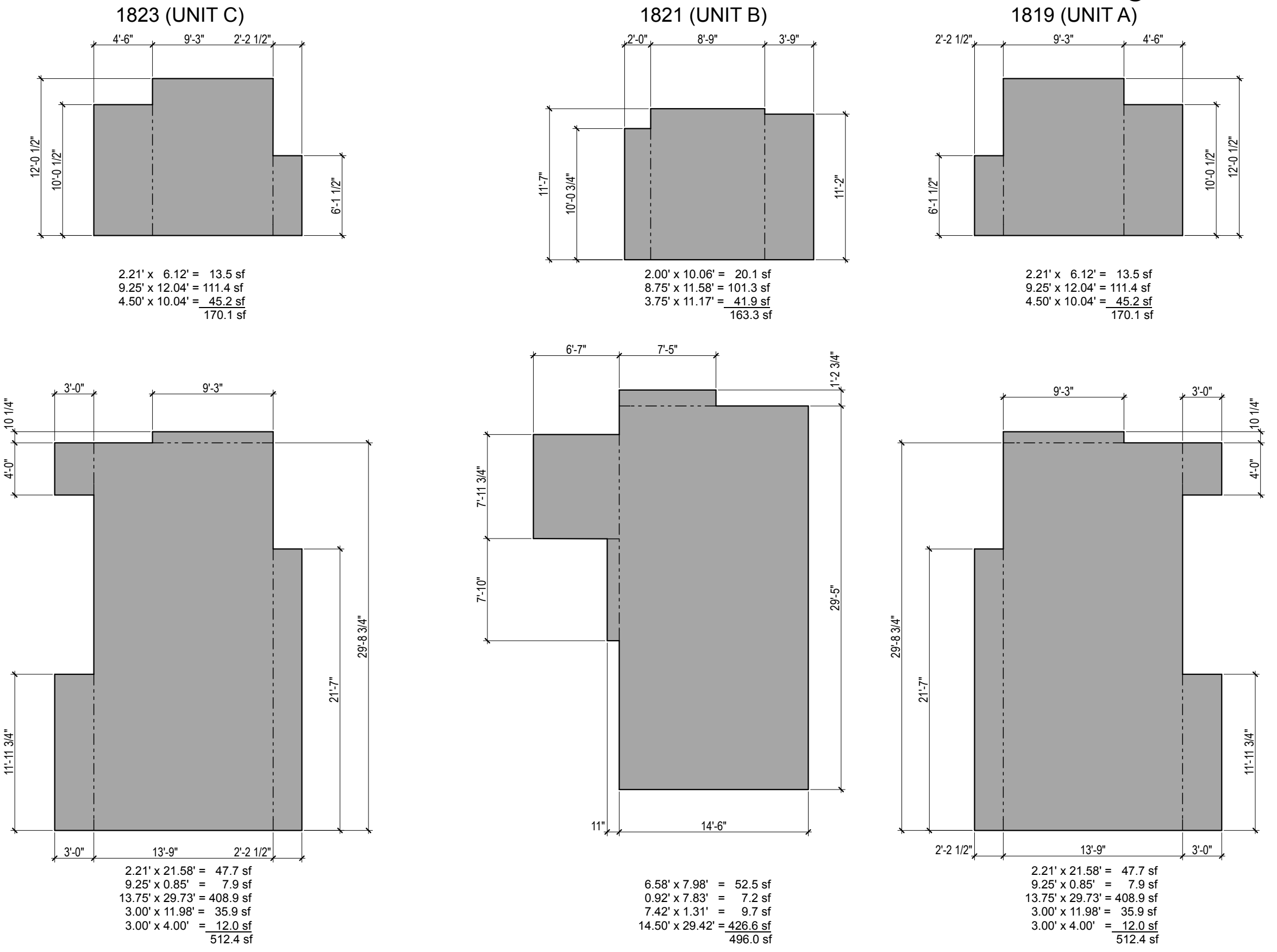


**SITE PLAN**  
SCALE: 1/8" = 1'-0"

- SITE PLAN NOTES:**
- PROPERTY LINE
  - NEW CMU PROPERTY LINE WALL SEE DETAIL 1/A-1.0
  - EXISTING CMU / WOOD FENCE OVER CMU WALL TO REMAIN (NO CHANGE IN HEIGHT)
  - NEW CONCRETE WALKWAY / PATIO PROVIDE NEW SAW CUTS AS SHOWN
  - NEW CONCRETE DRIVEWAY PROVIDE NEW SAW CUTS AS SHOWN
  - EXISTING CURB CUT TO BE REMOVED
  - NEW CURB CUT PROVIDE NEW CURB CUT AS SHOWN PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES
  - LINE OF ROOF EAVE ABOVE
  - LINE OF BALCONY ABOVE
  - LINE OF SECOND FLOOR ABOVE
  - EXTERIOR CONCRETE STAIR SEE DETAILS INDICATED ON PLAN
  - EXISTING WATER METER LOCATION PROVIDE TRAFFIC RATED LID. SEE PUBLIC WORKS NOTES @ T-6
  - DECOMPOSED GRANITE PERMEABLE SURFACE
  - LANDSCAPED AREA SEE LANDSCAPE PLAN FOR REQUIRED PLANT MATERIALS AND SIZES. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM
  - TRASH AREA TRASH AREA FOR A MINIMUM OF THREE 4' TALL 2'X2' TRASH CANS AT GARAGE. REFUSE AREA SHALL NOT INTRUDE INTO REQUIRED PARKING DIMENSIONS. (MIMC 5.24.030) SEE A-1.0 (GROUND FLOOR / GARAGE PLAN) FOR EXACT LOCATION INSIDE THE GARAGE.
  - DRIVEWAY VISIBILITY TRIANGLE PROVIDE UNOBSTRUCTED TRIANGLE OF SIGHT VISIBILITY (5' x 15') ADJACENT TO DRIVEWAY AND BEHIND THE ULTIMATE PROPERTY LINE WHEN EXISTING AREAS WITHOUT WALL, COLUMNS OR LANDSCAPING 36" HIGH. ALL PLANTERS NEXT TO DRIVEWAY MUST CONFORM TO THIS REQUIREMENT. (PER MIMC 10.64.150)
  - NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUB OUT CONDUIT MIN. 200 AMP SERVICE. WATERPROOF METAL CONTAINER (FLUSH MOUNT) PAINT TO MATCH ADJACENT WALL. ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS. REFER TO M. E. P. SHEETS, PER ARTICLE 220, NEC
  - NEW GAS METER LOCATION SUBJECT TO GAS COMPANY APPROVAL. SEE DETAILS 8 & 9 / A-7.1
  - SEWER LATERAL - SEE PUBLIC WORKS NOTES @ T-6
  - NEW PROPERTY LINE CLEAN OUT PROVIDE NEW PROPERTY LINE CLEAN OUT PER CITY OF MANHATTAN BEACH PUBLIC WORKS NOTES @ T-6
  - CERTIFICATES CERTIFICATES OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND/OR TESTING. ALL CF2R FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED PROVIDER DATA REGISTRY. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
  - CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED REGISTERED AND SIGNED/CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDER.
  - SEPARATE PERMITS SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SERVICE GAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
  - FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6' AT ALL OTHER LOCATIONS ON SITE (3' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
  - NEW TRENCH DRAIN WITH TRAFFIC RATED GRATE DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
  - AREA DRAIN DRAIN TO SUMP BASIN VIA 3" Ø PVC PIPE
  - CATCH BASIN WITH SUMP PUMP 30"x30"x4" DEEP PREFAB CATCH BASIN W/ 24" SQ. GRATE PROVIDE (2) ZOLLER MODEL #161 SUMP PUMPS PER HYDROLOGY BY PERU CONSULTANTS OUTLET TO STREET VIA (2) 3" Ø PVC PIPES TO PROPERTY LINE THEN (2) 3" Ø DUCTILE IRON PIPES THROUGH CURB FACE. NOTE: SUBMIT HYDRAULIC CALCULATIONS AND DETAIL FOR SUMP / PUMP TO BUILDING DEPARTMENT FOR APPROVAL PRIOR TO FABRICATION
  - PEDESTRIAN PROTECTION DURING CONSTRUCTION COMPLY WITH UBC SECT. 3303 REGARDING PROTECTION OF PEDESTRIANS.
  - BUILDING ADDRESS BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER SECTION 501.2
  - CMU / WOOD FENCE AND GATE PROVIDE 5'-0" HIGH COMBINATION CMU WALL / WOOD FENCE WITH 3'-0" x 5'-0" WOOD GATE
  - NEW COMBINATION CMU / WOOD FENCE PROVIDE 6'-0" HIGH SEPARATION FENCE SEE DETAIL
  - PROTECTED TREE PROTECTED TREE TREE MUST NOT BE REMOVED OR DAMAGED, AND MUST BE PROTECTED PER CITY TREE PROTECTION REQUIREMENTS BELOW
- TREE PROTECTION REQUIREMENTS:**
- PROTECTED TREES MAY NOT BE REMOVED OR RELOCATED WITHOUT PRIOR APPROVAL.
- TREES SHALL BE PROTECTED WITH REQUIRED FENCING AND ADVISORY SIGNS WITH TREE PROTECTION REQUIREMENTS SHALL BE CLEARLY POSTED ON THE SITE AND PROPERLY MAINTAINED.
- NO TRASH, CONSTRUCTION MATERIAL OR DEBRIS, DIRT, PORTABLE TOILETS, OR ANY OTHER MATERIAL SHALL BE PLACED WITHIN THE PROTECTIVE FENCING AREA.
- PROVIDE 2" MULCH IN PROTECTIVE AREA.
- PROVIDE IRRIGATION (SOAKER HOSE) CIRCLING AROUND PROTECTIVE AREA STARTING AT A MINIMUM DISTANCE OF 1' AWAY FROM THE TRUNK.
- NO GRADING WITHIN THE PROTECTIVE FENCING AREA
- ANY PRUNING OF BRANCHES OR ROOTS MUST COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI A300) PRUNING STANDARDS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS. ANY PROPOSED REVISIONS REQUIRE PRIOR APPROVAL BY THE CITY.
- A SECURITY DEPOSIT MAY BE REQUIRED TO ENSURE THE EXISTING TREE(S) ARE PROTECTED.
- VIOLATION OF THE TREE PRESERVATION REGULATIONS MAY RESULT IN FINES UP TO THE COST OF AN EQUAL SIZE REPLACEMENT TREE OR THE APPRAISED VALUE OF THE TREE, WHICHEVER IS HIGHER.

**1819: 1821: 1823 MEZZANINE CALC**  
SCALE: 1/8" = 1'-0"

NOTE: ALLOWABLE MEZZANINE AREA IS TAKEN FROM INSIDE OF WALL AND IS THEREFORE DIFFERENT FROM BFA FLOOR AREA @ T-1



1  
A.1.0

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Revisions:

**11th Street Condominiums**  
1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

Date: 3/26/19  
Name of File: Preliminary

Site Plan

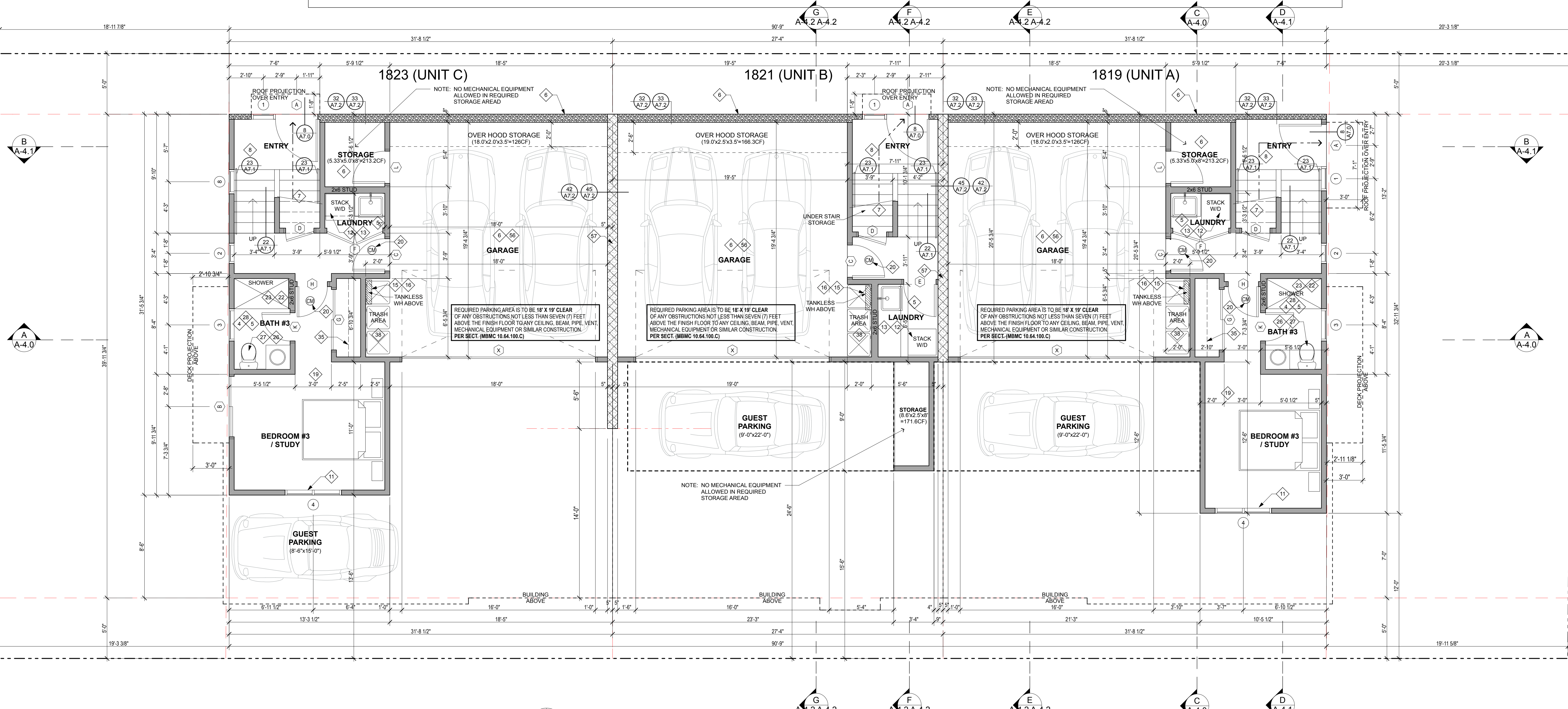
**A-1.0**

**FLOORPLAN NOTES:**

VERIFY ALL PLUMBING FIXTURES WITH OWNER

- NEW ELECTRIC METER SERVICE PANEL WITH A 3" DIAMETER STUB OUT CONDUIT**  
MIN. 200 AMP SERVICE.  
WATERPROOF METAL CONTAINER.  
PAINT TO MATCH ADJACENT WALL.  
ELECTRICIAN SHALL PROVIDE PANEL SCHEDULE AND LOAD CALCULATIONS.  
REFER TO M. E. P. SHEETS.  
PER ARTICLE 220, NEC.
- GROUND FAULT INTERRUPTER (GFI) OUTLETS**  
SHALL BE PROVIDED IN BATHROOMS, GARAGES, CRAWL SPACES, EXTERIOR, AND WITHIN 6' OF KITCHEN SINKS.  
REFER TO M. E. P. SHEETS.  
PER SECT 210-8a, NEC.
- SEPARATE BRANCH CIRCUIT FOR APPLIANCES**  
APPLIANCES SUCH AS KITCHEN SINK FOOD GRINDERS, DISHWASHERS, MICROWAVE OVENS, TRASH COMPACTORS, WASHING MACHINES DRYERS, REFRIGERATORS, FREEZERS, AIR CONDITIONERS, FAUS, BUILT-IN HEATERS OR ANY FIXED APPLIANCE WITH MOTOR LARGER THAN 1/4 HP SHALL BE ON A SEPARATE BRANCH CIRCUIT SUPPLIED BY A MIN. NUMBER 12 AWG WIRE.
- GENERAL LIGHTING @ KITCHEN AND BATH**  
PROVIDE HIGH EFFICIENCY LIGHTING AT NOT LESS THAN 40 LUMENS PER WATT.  
REFER TO ELECTRICAL PLANS.  
PER SECT. 2-5352j T-24
- MECHANICAL VENTILATION @ BATHROOMS**  
BATHROOMS SHALL BE MECHANICALLY VENTILATED OR PROVIDED WITH WINDOW AREA NOT LESS THAN 3 SQFT. AT LEAST 50% OPENABLE. PER SECTION 303.3.  
BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS SHALL BE PROVIDED WITH MECHANICAL VENTILATION IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE PER SECT. 1203.4.2.1, C.B.C.
- ONE-HOUR FIRE RESISTIVE WALL / CEILING**  
GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS BY NOT LESS THAN 5/8" TYPE "X" GYPSUM BOARD.  
PER TABLE R302.6.  
5/8" TYPE "X" GYP. WALL BOARD AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS.  
PER SECT. 406.1.4, C.B.C.  
PENETRATIONS THROUGH FIRE RATED WALL COMPLY WITH SECTION 714 SEE DETAILS 40 & 43 / A-7.2  
WALL SEPARATING DWELLING UNITS SHALL BE 1-HOUR FIRE RATED PER SECTION R420.2. SEE DETAILS 42 & 45 / A-7.2  
EXTERIOR WALL LOCATED LESS THAN 10 FT. AWAY FROM PROPERTY LINE SHALL BE 1-HOUR FIRE RATED. PER TABLE 602. SEE DETAILS 32 / A-7.2 & 33 / A-7.2
- STAIRWAY**  
PROVIDE 1 LAYER 5/8" TYPE "X" G.W.B. AT ALL WALLS AND SOFFIT FOR ENCLOSED USABLE SPACE BENEATH STAIRWAY.  
PER SECT. 1009, C.B.C.
- STAIR HANDRAIL (MATERIAL T.B.D.)**  
SEE DETAIL 5 / A-7.0  
STAIR HANDRAIL SHALL BE 34" TO 38" ABOVE TREAD. NOSING, CIRCULAR HANDRAIL SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NOT GREATER THAN 2". IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAXIMUM CROSS SECTION DIMENSION OF 2.25" EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01" PER CBC SECT. 1014.3.  
HANDRAIL ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION IN ANY POINT ALONG THE TOP, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1607.7.1, & 1607.1.1.
- GUARDRAIL (42" HIGH U.N.O.)**  
SEE DETAIL: 18 / A-7.1 & 25 / A-7.1  
GUARDRAIL SHALL NOT BE LESS THAN 42" HIGH AND SHALL HAVE BALLUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING.  
PER CBC SECTION 1013.  
GUARDRAIL ASSEMBLIES SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION IN ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING PER 1607.7.1, & 1607.1.1.
- CORRIDOR / HALL WIDTH**  
MINIMUM CLEAR WIDTH 36" (REQ'D)  
PER SECT. 1005.2, C.B.C.
- WINDOWS AT BEDROOMS (EGRESS)**  
MIN. CLR. OPENING, 5.7 sq. ft.  
MIN. CLR. HEIGHT, 24"  
MIN. CLR. WIDTH, 20"  
FINISHED SILL HEIGHT TO BE NOT MORE THAN 44" ABOVE FINISHED FLOOR REFER TO WINDOW / DOOR SCHEDULE.  
PER SECT. 1026, C.B.C.
- DRYER VENT**  
EXHAUST TO OUTSIDE AIR @ WALL PROVIDE LINT TRAP ACCESS PAINT TO MATCH EXTERIOR FINISH.  
INSTALL PER MANUF. SPECS VERIFY LOCATION WITH ARCHITECT.  
PER SECT. 504.3 & 908, C.M.C.
- WASHER**  
HOT AND COLD WATER VALVES, PROVIDE SMITTY PAN WITH DRAIN.
- FORCED AIR UNIT**  
SIZE: PER TITLE-24 CALCS. SEE CF-1R FORMS GAS FRED (INTERMITTENT ELECTRONIC IGNITION)  
"B" VENT THRU FLOOR TO ROOF.  
PAINT TO MATCH EXTERIOR FIN.  
INSTALLATION CLEARANCES PER MANUF. SPECS @ GARAGE - PROVIDE 18" HIGH PLATFORM.  
PER SECT. 308, C.M.C. & C.P.C.
- WATER HEATER**  
SIZE: PER TITLE-24 CALCS. SEE CF-1R FORMS HIGH RECOVERY WITH RECIRCULATION PUMP GAS FRED (INTERMITTENT ELECTRONIC IGNITION)  
PROVIDE SEISMIC STRAPS  
"B" VENT THRU FLOOR TO ROOF.  
PAINT TO MATCH EXTERIOR FIN.  
P & T VALVE SHALL TERMINATE OUTSIDE INSTALLATION CLEARANCES PER MANUF. SPECS @ GARAGE - PROVIDE 18" HIGH PLATFORM.  
PER SECT. 510.1, C.P.C. & SECT. 308.2, C.M.C.  
INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF WATER HEATER CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.
- COMBUSTION AIR VENTS**  
PROVIDE VENTS FOR TOP & BOTTOM COMBUSTION AIR. TOP VENT LOCATED WITHIN 12" OF CEILING. BOTTOM VENT LOCATED WITHIN 12" OF PLATFORM. SIZE PER CMC.  
PER CHAPTER 7, U.M.C. and U.P.C.
- RETURN AIR GRILLE**  
SIZE PER CODE.  
VERIFY LOCATION WITH ARCHITECT.
- AIR SUPPLY DUCT**  
2 sq. in. PER 1000 BTU REQUIRED @ F.A.U.  
SIZE PER CODE.  
PER SECT. 317, U.M.C.
- LIGHT and VENTILATION @ BEDROOMS**  
NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 1/10 OF THE FLOOR AREA (MIN. 10 sq. ft.) NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 1/20 OF THE FLOOR AREA (MIN. 5 sq. ft.)  
PER SECT. 1203 C.B.C.
- COMBINATION SMOKE AND CARBON MONOXIDE ALARM**  
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY.  
PER SECTION R314.3; R315.1:  
SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED.  
PER SECTION R314.3; R314.4; R315.1:  
SMOKE DETECTORS ARE REQUIRED IN EACH ROOM USED FOR SLEEPING AND CENTRALLY LOCATED IN THE WALL OR CEILING IN CORRIDORS PROVIDING ACCESS TO EACH SLEEPING AREA AT EACH FLOOR OR BASEMENT LEVEL AND IN CLOSE PROXIMITY TO THE STAIRWAY. SMOKE DETECTORS SHALL BE CONNECTED TO THE BUILDING WIRING SYSTEM IN ALL NEW CONSTRUCTION AND BE PROVIDED WITH BATTERY BACKUP. SHALL SOUND AN ALARM AUDIBLE IN ALL AREAS OF THE BUILDING OR BE INTERCONNECTED.  
PER SECT 907.2.10, C.B.C.

KEY NOTES CONTINUED AT SHEET A-2.1



**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
1823 11th

Revisions:  
△  
△  
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**11th Street CONDOMINIUMS**  
1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

**First Floor Plan**

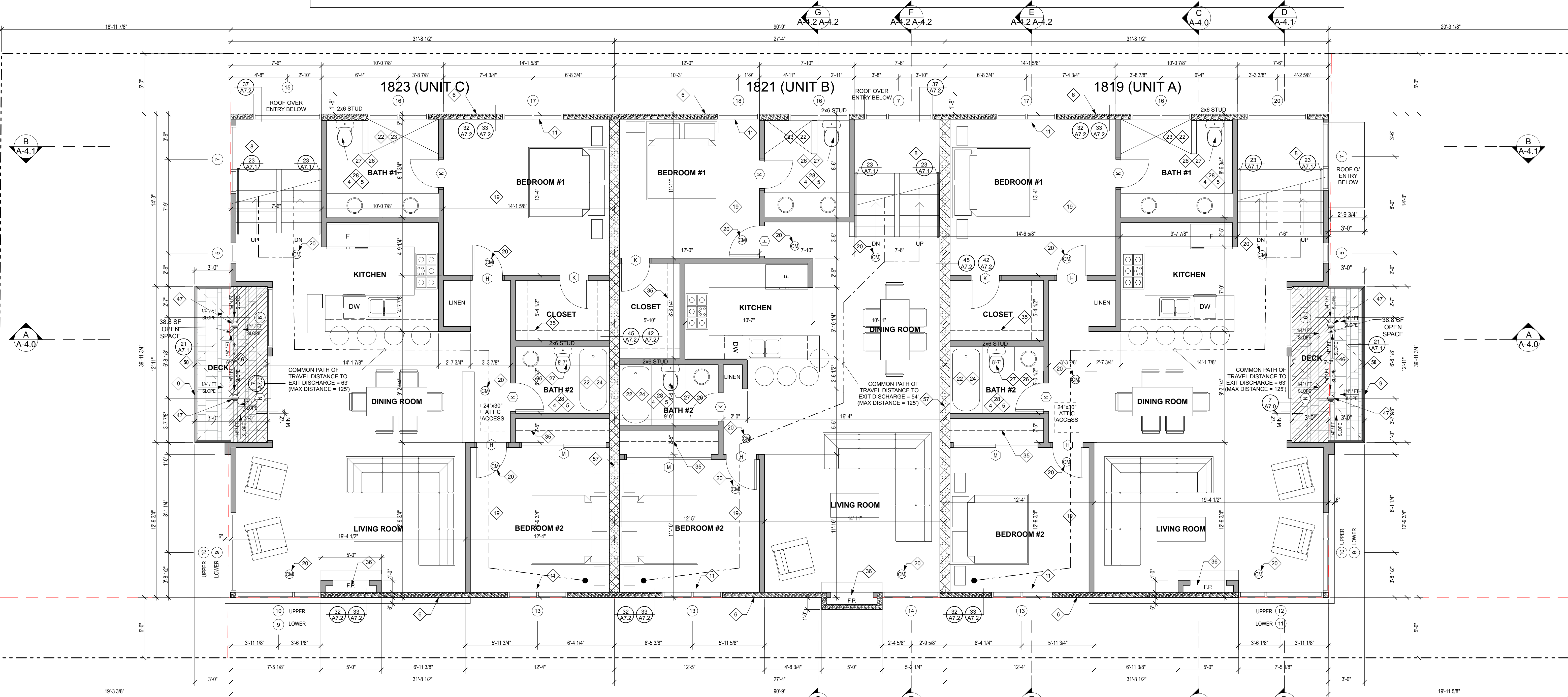
Date: 6/17/19  
Name of File: Preliminary

**A-2.0**

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**FLOORPLAN NOTES:**  
(CONTINUED FROM SHEET A-2.0)

- 21. **PLUMBING WALL**  
PROVIDE 2x6 STUD WALL BEHIND PLUMBING FIXTURES PER C.P.C.
- 22. **SHOWERS & TUB SHOWERS**  
CONTROL VALVES FOR SHOWERS AND TUB SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC SEC 410.7  
PROVIDE APPROVED SMOOTH HARD NON ABSORBENT FINISH TO CEILING (VERIFY WITH ARCHITECT)  
PROVIDE 1-LAYER "GREENBOARD" MOISTURE RESISTANT GYPSUM WALLBOARD PER UBC SEC 907.1.3
- 23. **FRAMESLESS TEMPERED GLASS ENCLOSURE**  
6" SHOWER, WITH DOOR @ TUB SHOWER COMBINATION PER SECT. 2406 & 2407, U.B.C.
- 24. **BATH TUB**  
MANUF.:  
MODEL:  
INSTALL PER MANUF SPECS
- 25. **TUB TRAP ACCESS**  
12" x 12" PREFABRICATED SHEET METAL PAINT TO MATCH ADJACENT WALL
- 26. **WATER CLOSETS**  
1.28 GALLON FLUSH, MAX. PER H & S CODE, SECT. 17921.3b
- 27. **ACCESS TO TOILETS**  
30" CLEAR WIDTH REQUIRED  
24" CLEARANCE IN FRONT REQUIRED PER SECT. 2902.6 & 2904, C.B.C.
- 28. **EXHAUST FAN**  
BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDISTAT PER 2013 C.G.B.S.C.
- 29. **EXHAUST FAN**  
BATHROOMS SHALL BE EQUIPPED WITH AN EXHAUST FAN CONTROLLED BY A HUMIDISTAT PER 2013 C.G.B.S.C.
- 30. **DISHWASHER**  
HOT WATER STUB-OUT SMITTY PAN WITH DRAIN PER SECTION R100.1
- 31. **REFRIGERATOR SPACE**  
COLD WATER STUB-OUT (ICE MAKER)
- 32. **KITCHEN SINK**  
DOUBLE BASIN  
MANUF.:  
MODEL:  
PROVIDE GARBAGE DISPOSAL PER 2016 CPC SECTION 710.0
- 33. **COOK - TOP**  
MANUF.:  
MODEL:  
PROVIDE GAS STUB-OUT THROUGH ROOF PER MANUF SPECS  
OR  
DOWNDRAFT VENT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH. VERIFY LOCATION OF VENT WITH ARCHITECT. SEE ENERGY CONFORMANCE NOTES
- 34. **CONVECTION OVEN**  
MANUF.:  
MODEL:  
PROVIDE GAS STUB-OUT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH. VERIFY LOCATION OF VENT WITH ARCHITECT.
- 35. **UNDER-COUNTER MICROWAVE OVEN**  
MANUF.:  
MODEL:  
PROVIDE GAS STUB-OUT DUCT TO OUTSIDE AIR THRU WALL PAINT TO MATCH EXTERIOR FINISH. VERIFY LOCATION OF VENT WITH ARCHITECT.
- 36. **GAS FIREPLACE (VENT THROUGH ROOF)**  
MANUFACTURER: LENOX  
MODEL: SYMMETRY GAS ONLY  
APPROVAL: ANS 221.88 - 2009  
INSTALL PER MANUFACTURERS SPECIFICATIONS. USE THIS PRODUCT OR APPROVED EQUAL, TO BE DETERMINED BY OWNER / ARCHITECT.  
- PER SECTION R100.1  
WOOD BURNING FIREPLACES ARE NOT PERMITTED PER AQMD RULE 445
- 37. **DRAINAGE FIXTURES LOCATED BELOW THE NEXT UPSTREAM MANHOLE OR BELOW THE MAIN SEWER LEVEL REQUIRES INVESTIGATION TO ASCERTAIN THE NECESSITY FOR SEWER BACKWATER DEVICE INSTALLATION PER 2016 CPC SECTION 710.0**
- 38. **TRASH CANS**  
TRASH AREA FOR A MINIMUM OF (3) 4' TALL 2X2' TRASH CANS REFUSE AREA SHALL NOT INTRUDE TO INTO REQUIRED PARKING DIMENSIONS.
- 39. **STAIR REQUIREMENTS**  
A. MAX 7.75" RISE & MIN. 10" RUN  
B. MIN. 36" CLEAR WIDTH  
C. HANDRAILS 34" TO 38" HIGH ABOVE TREAD NOSING.  
D. HANDGRIP PORTION OF HANDRAIL SHALL BE NOT LESS THAN 1 1/4" NOR MORE THAN 2" CROSS SECTIONAL DIM. DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (1003.3.2.3.4.6)
- 40. **LANDING AT EGRESS DOOR**  
LANDING AT EGRESS SHALL NOT BE MORE THAN 1 1/2' LOWER THAN TOP OF THRESHOLD.  
(EXCEPTION: THRESHOLD HEIGHT CAN BE 7.75" MAX. IF DOOR IS NOT A REQUIRED EXIT OR DOOR DOES NOT SWING OVER THE LANDING.)  
PER CRC SECTION R311.3.1
- 41. **LAUNDRY ROOM**  
DRIP PANS OR OTHER DEVICES FOR LAUNDRY ROOM, WATER HEATERS, AND DISHWASHERS MUST BE PROVIDED.
- 42. **CABLE BOX**
- 43. **GAS METER**
- 44. **BACKWATER VALVE**  
AN APPROVED BACKWATER VALVE IS REQUIRED FOR DRAINAGE PIPING SERVING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. (UPC: 710.1)
- 45. **GARAGE FLOOR**  
GARAGE FLOOR SHALL BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARD A DRAIN OR VEHICLE ENTRY DOORWAY CBC SECT. 406.1.3.
- 46. **DECK WATERPROOFING**  
MANUF.: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL PER SECT. 1402, C.B.C.
- 47. **DECK DRAINS**  
MANUF.: THUNDERBIRD  
MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER  
PROVIDE DRAIN LINE TO DRAINAGE SYSTEM  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL SEE DETAIL 28 / A-7.1
- 48. **LANDING AT EXTERIOR DOORS**  
LANDING ON EACH SIDE OF EXTERIOR DOOR SHALL HAVE A LENGTH IN DIRECTION OF TRAVEL OF NOT LESS THAN 36" SECTION R311.3.
- 49. **WATER METER SERVICE**  
SEE LOCATION ON SITE PLAN AT A-1.0
- 50. **OPEN RAILING**  
BALCONIES SHALL HAVE OPEN RAILINGS OR GLASS
- 51. **1-HOUR COMMON / SEPARATION WALL**  
WALL BETWEEN INDIVIDUAL UNITS SHALL BE 1-HOUR CONSTRUCTION AND SHALL HAVE SOUND TRANSMISSION COEFFICIENT (STC) RATING OF 57.0 MINIMUM. SEE DETAILS 42 & 45 / A-7.2 FOR CONSTRUCTION  
COMMON WALL BETWEEN UNITS SHALL BE FREE FROM PLUMBING, MECHANICAL, EQUIPMENT DUCT OR VENT PER CRC SECT R-302.2  
COMMON WALL SHALL EXTEND FROM FOUNDATION TO UNDERSIDE OF ROOF SHEATHING PER CRC SECT R-302.2.1 (UPC: 710.1)
- 52. **WHOLE HOUSE VENTILATION**  
WHOLE HOUSE MECHANICAL VENTILATION SYSTEM PER 2016 CALIFORNIA RESIDENTIAL COMPLIANCE MANUAL. THE BUILDING SHALL BE PROVIDED WITH A WHOLE HOUSE VENTILATION SYSTEM.  
EXHAUST FANS AT THE LAUNDRY ROOM SHALL BE 75 CFM MIN. (PER TABLE 4-14)  
AND SHALL OPERATE CONTINUOUSLY  
FAN SHALL BE RATED TO OPERATE AT A MAX. NOISE LEVEL OF 1.0 SONE.  
- OR -  
PROVIDE WHOLE HOUSE VENTILATION SYSTEM @ FAU FORCED AIR UNIT TO PROVIDE REQUIRED WHOLE HOUSE VENTILATION SYSTEM.  
UNIT MUST BE INSTALLED WITH A SUMMER SWITCH AT THE AIR HANDLER AND AN OUTSIDE AIR DUCT DIRECTLY TO THE RETURN AIR PLENUM.  
UNIT MUST BE EQUIPPED WITH CONTROLS WHICH ENSURE THAT THE AIR HANDLER RUNS EVEN WHEN THERE IS NO HEATING OR COOLING.  
OUTDOOR AIR DUCT INLET SHALL BE PLACED TO AVOID DRAWING AIR FROM KNOWN AREAS OF CONTAMINANTS, SUCH AS CHIMNEYS, GARAGES, EXHAUST FANS, ETC.  
INSTALLER SHALL MEASURE THE VENTILATION FLOW RATE INDUCED TO ENSURE THAT IT MEETS THE VENTILATION RATE REQUIREMENTS UNDER NORMAL HEATING AND COOLING OPERATING CONDITIONS.
- 53. **FUTURE SOLAR ELECTRICAL CONDUIT**  
PROVIDE ELECTRICAL CONDUIT FOR EACH UNIT FROM ROOF TO ELECTRICAL SERVICE PANEL FOR FUTURE SOLAR
- 54. **PLUMBING FIXTURES**  
ALL NEW PLUMBING FIXTURES SHALL BE WATER CONSERVING PER 2016 CPC 402.0



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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**11th Street CONDOMINIUMS**  
1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

**Second Floor Plan**

Date: 6/17/19  
Name of File: Preliminary

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 architecture  
 627 Avalon Way  
 Manhattan Beach, CA 90266  
 T: 310.376.1822  
 www.912arch.com

- 55. **DECK OVERFLOW**  
DECK SHALL BE DRAINED BY DRAINS AND OVERFLOW DRAIN OR SCUPPER PER SECTION R903.4.
- 56. **DUCTS PENETRATING WALL**  
DUCTS PENETRATING WALL OR CEILING PENETRATIONS BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 0.019 INCH MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECTION 406.3.4.3.
- 57. **WALLS SEPARATING DWELLING**  
WALLS SEPARATING DWELLING UNITS FROM EACH OTHER SHALL HAVE AN AIRBORNE SOUND RATING OF STC 50 MINIMUM AND IMPACT SOUND RATING OF MINIMUM - PER SECTION 1207.

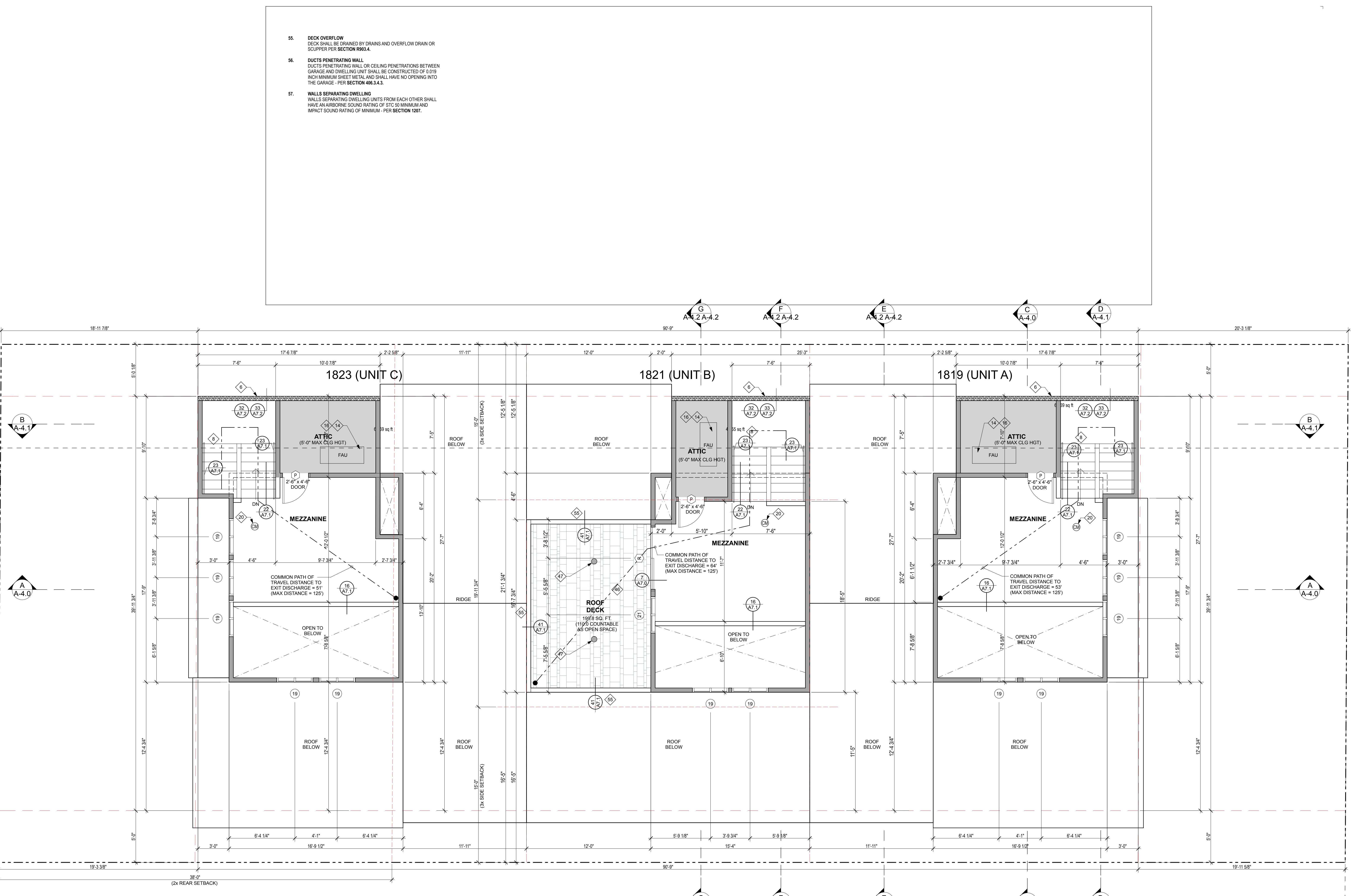
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**11th Street CONDOMINIUMS**  
1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

**Mezzanine Plan**

Date: 3/26/19  
Name of File: Preliminary

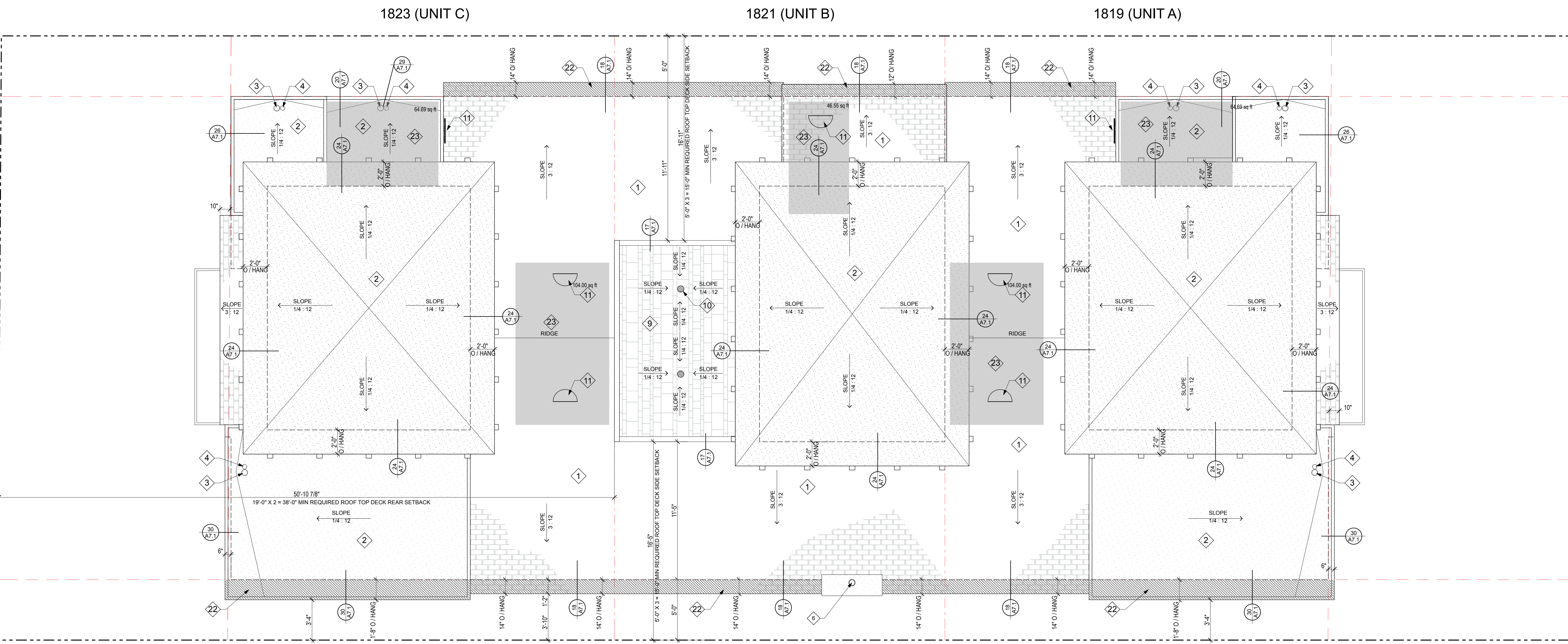


**MEZZANINE FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

KEYNOTES	
1. <b>ROOF FINISH: ASPHALT ROOFING SHINGLES</b> MANUF: MANVILLE MODEL: THREE-TAB APPROVED SELF SEALING OR HAND SEALED SHINGLES. COLOR: PER ARCHITECT CLASS: A PROVIDE 2 LAYERS 15# FELT LAID WITH 1" OVERLAP PER SECT. 1507.2.8.	7. <b>ROOF GUTTER</b> HALF-ROUND COPPER ROOF GUTTER SLOPE TO DOWNSPOUT LOCATION @ 1/8"IN/2'
2. <b>ROOF FINISH</b> MANUF: CROSSFIELD PRODUCTS CORP. PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE ICCP: ESR 1757 SLOPE: 1/4"FT. MIN. CLASS: A INSTALL PER MANUF SPECS USE THIS PRODUCT OR APPROVED EQUAL PER SECT. 1402, C.B.C.	8. <b>3" DIAM. DOWNSPOUT</b> COPPER DOWNSPOUT - DRAIN TO STREET VIA APPROVED NON-EROSIVE DEVICE SEPARATE PIPE REQUIRED FOR OVERFLOW.
3. <b>ROOF DRAINS</b> MANUF: THUNDERBIRD MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER PROVIDE DRAIN LINE TO DRAINAGE SYSTEM INSTALL PER MANUF SPECS USE THIS PRODUCT OR APPROVED EQUAL SEE DETAIL 29/A-7.1	9. <b>DECK WATERPROOFING</b> MANUF: CROSSFIELD PRODUCTS CORP. PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE ICCP: ESR 1757 SLOPE: 1/4"FT. MIN. CLASS: A INSTALL PER MANUF SPECS USE THIS PRODUCT OR APPROVED EQUAL PER SECT. 1402, C.B.C.
4. <b>OVERFLOW SCUPPER / DRAIN</b> REMOVE EXISTING SCUPPERS AND PROVIDE NEW PROVIDE SEPARATE DRAIN LINE OUTLET SHALL BE LOCATED 2' ABOVE LOW POINT OF ROOF OVERFLOW SCUPPER TO BE 3X DRAIN SIZE INSTALL PER MANUF. SPECS SEE DETAIL 29/A-7.1	10. <b>DECK DRAINS</b> MANUF: THUNDERBIRD MODEL: 3" DIA. COPPER DECK DRAIN WITH STRAINER PROVIDE DRAIN LINE TO DRAINAGE SYSTEM INSTALL PER MANUF SPECS USE THIS PRODUCT OR APPROVED EQUAL SEE DETAIL 29/A-7.1
5. <b>ROOF FLASHING</b> PROVIDE COPPER SHEET METAL FLASHING AT ALL ROOF PENETRATION / VALLEY / CRICKET	11. <b>ATTIC VENT</b> UNIT C 84.89 SF + 150 = 0.43 SF VENT AREA (1) UNIT C 104.0 SF + 150 = 0.69 SF VENT AREA (2) UNIT B 46.55 SF + 150 = 0.31 SF VENT AREA (1) UNIT A 104.0 SF + 150 = 0.69 SF VENT AREA (2) UNIT A 84.89 SF + 150 = 0.43 SF VENT AREA (1) PROVIDE (7) 12x24" HALF ROUND DORMER VENT (0.69 SF VENT AREA) = 4.76 SF AT LOCATIONS SHOWN ON ROOF PLAN TOTAL VENT AREA = 4.76 SF PER C.B.C. SECTION 1203
6. <b>CHIMNEY TERMINATION CAP</b> GALV SHEET METAL OR METAL MESH WITH APPROVED SPARK ARRESTOR MANUF: MARCO ICCB# 2518 USE THIS PRODUCT OR AN APPROVED EQUAL INSTALL PER MANUFACTURERS INSTRUCTIONS DECORATIVE CHIMNEY CAP MUST BE LISTED ASSEMBLY CHIMNEY SHALL EXTEND 2 FT ABOVE ADJACENT ROOF WITHIN 10 FT DISTANCE PER SECTION 2113.9, C.B.C.	12. PARAPETS, SATELITE ANTENNA, RAILS, SKYLIGHTS, ROOF EQUIP. MUST BE WITH THE HEIGHT LIMIT.
	13. ALL SITE DRAINAGE SHALL BE TERMINATED AT PUBLIC WAY VIA NON EROSION DEVICE.
	14. ROOF DRAINS PASSING THROUGH THE ROOF INTO THE INTERIOR OF A BUILDING SHALL BE MADE WATER TIGHT AT THE ROOF LINE BY THE USE OF SUITABLE FLASH MATERIAL.
	15. ROOF DRAINAGE WATER SHALL NOT BE ALLOWED TO FLOW OVER PUBLIC PROPERTY, BUT SHALL BE CARRIED, IN A DRAIN PIPE OR OTHER APPROVED TRANSPORT, UNDER THE PUBLIC SIDEWALK OR WALKING SURFACE TO THE GUTTER UNLESS ONE OF THE FOLLOWING CONDITIONS EXISTS AND IS MAINTAINED:
	16. ROOF DRAINAGE WATER IS TO BE DEPOSITED AT A POINT OR POINTS ON THE SITE WHERE THE DRAINAGE SWALE IS TO A NATURAL DRAINAGE CHANNEL THAT DOES NOT FLOW OVER PUBLIC PROPERTY.
	17. ALL CONCENTRATED DRAINAGE, INCLUDING ROOF WATER SHALL BE CONDUCTED VIA GRAVITY TO THE STREET OR AN APPROVED LOCATION AT A 2% MINIMUM.
	18. VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH (0.48 mm) (NO. 26 GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH WIDE (9.14 mm) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY
	19. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.
	20. (ROOF) (ATTIC) (EXTERIOR WALL) SHALL RESIST THE INTRUSION OF FLAME EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4-INCH (6 mm) OPENINGS OR EQUIVALENT. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.
	21. EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF SPM 7A-3 OR SHALL BE PROTECTED BY IGNITION RESISTANT MATERIALS OR NON-COMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.
	22. ROOF / PROJECTION LOCATED WITHIN 5 FEET OF PROPERTY LINE SHALL BE 1 HOUR FIRE RATED SECTION 705.2.3.
	23. <b>RADIANT BARRIER</b> PER TITLE 24 ENERGY REQUIREMENTS, PROVIDE RADIANT BARRIER AT UNDERSIDE OF ROOF SHTG IN ALL ATTIC AREAS

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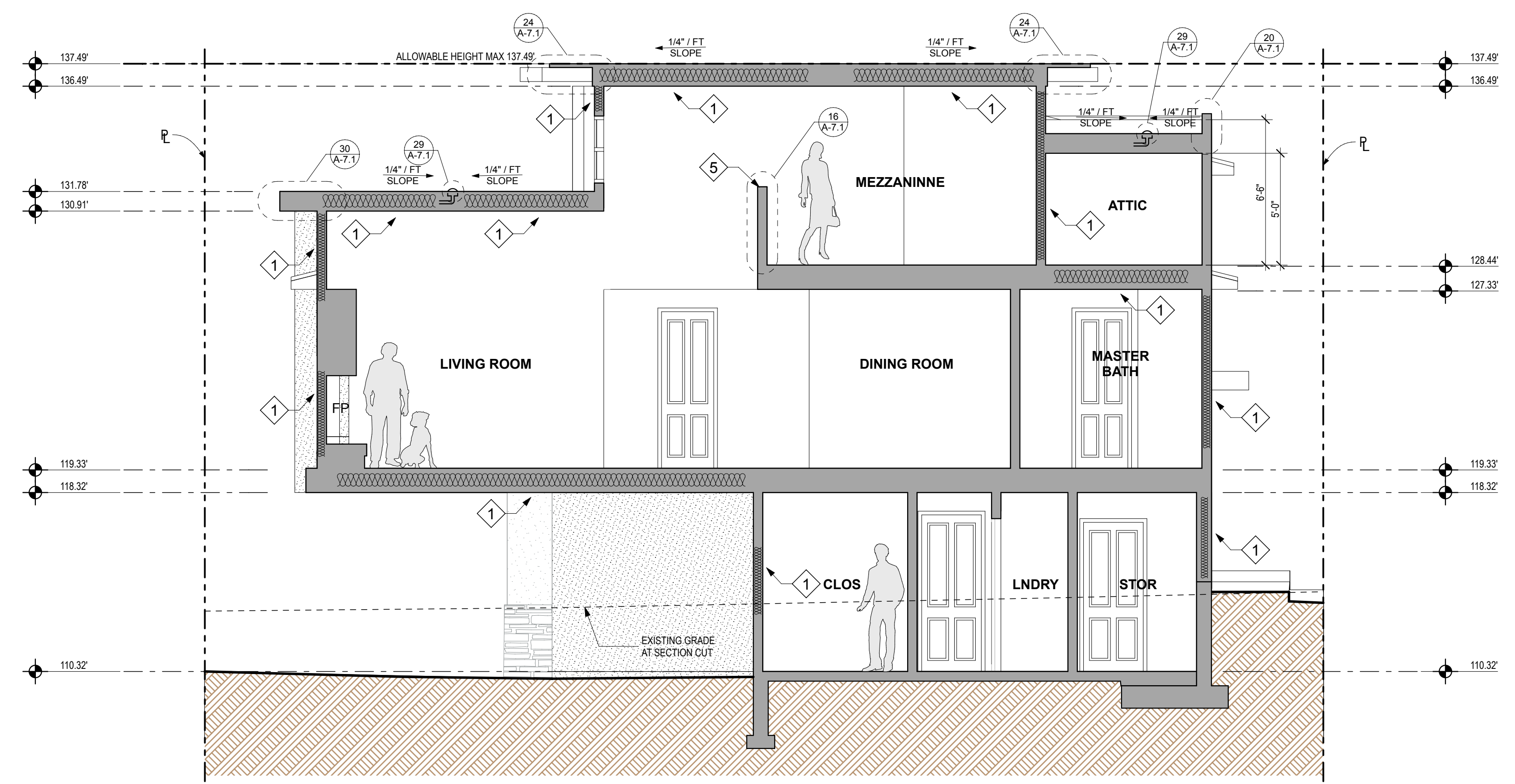


**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

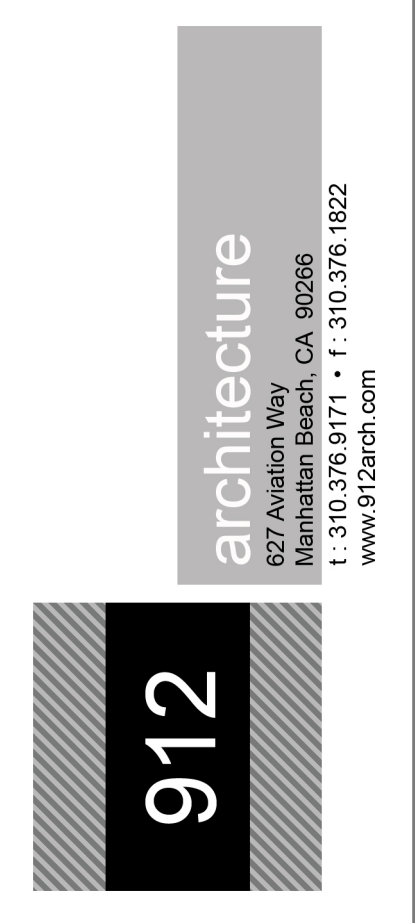
Roof Plan

Date: 3/26/19  
 Name of File: Preliminary

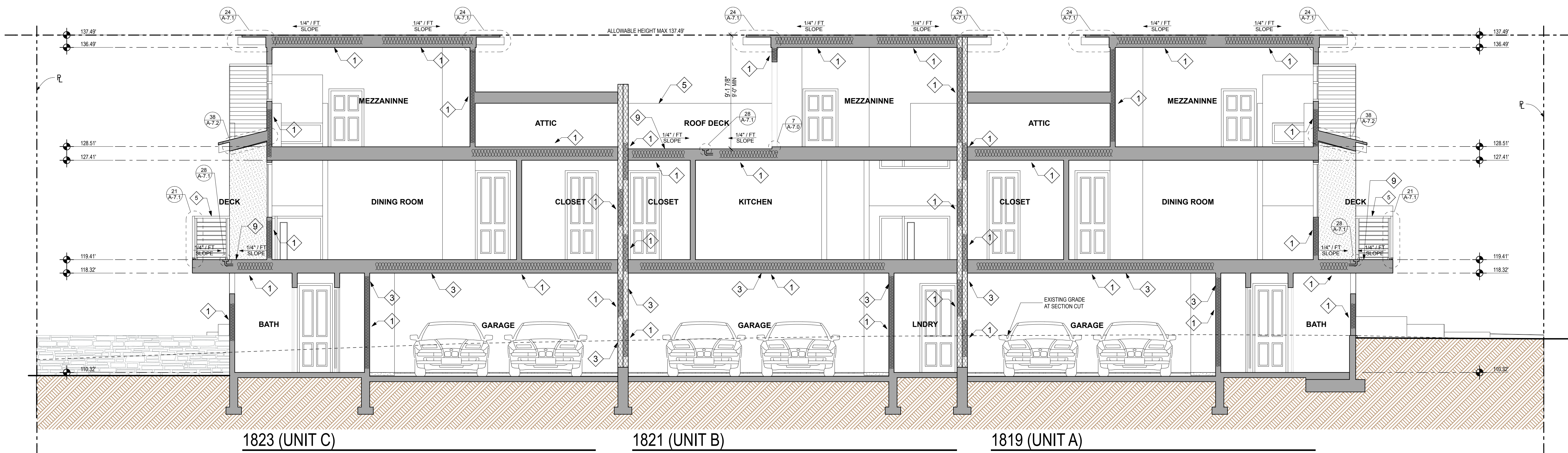
**BFA DIAGRAM**  
SCALE: 1/16"=1'-0"



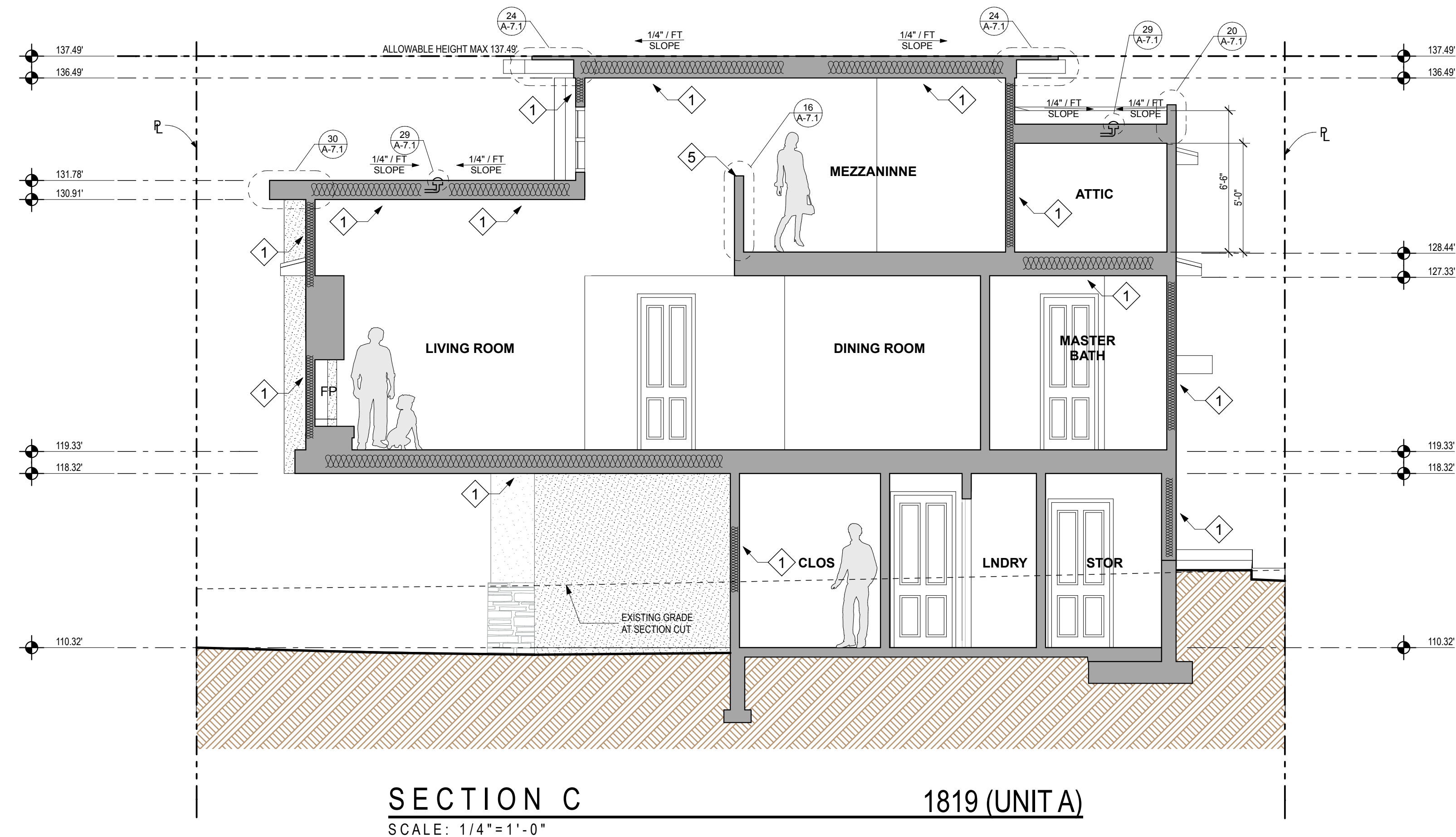
- INSULATION REQUIREMENTS**  
FOIL-BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM  
EXTERIOR WALL R-15  
INTERIOR WALL R-13  
(WHERE SPECIFIED)  
RAISED WD FLOOR R-19 PER CF-1R FORM  
FLR @ OVERHANGS R-19 PER CF-1R FORM  
SLAB EDGE INSUL. N/A  
REFER TO CF-1R FORMS, SEE SHEET T-6
- WATERPROOFING @ FOUNDATION WALL**  
MANUF: DMX PLASTICS LTD  
PRODUCT: DMX AG WATER PROOFING SYSTEM  
ICCF: ESR 2896  
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN FILTER FABRIC WRAP SET IN GRAVEL BED  
OUTLET DRAIN @ STREET THROUGH APPROVED NON-EROSIVE DEVICE, SEE CIVIL DRWGS.  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL.
- ONE-HOUR FIRE RESISTIVE WALL**  
5/8" TYPE "X" GIP WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 302.4, C.B.C.
- HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP AND BOTTOM RISER, AND SHALL TERMINATE IN A NEVEL POST OR WALL  
HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL: 1 1/2" MIN TO 2" MAX  
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL @ OPEN RAIL. SEE GUARDRAIL NOTE  
PER SECT. 1006, C.B.C.
- GUARDRAIL (42" HIGH U.N.O.)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.  
PER SECT. 705, C.B.C.  
SEE HAND RAIL NOTE FOR TOP RAIL  
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS, SO THAT 4" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 509.1, C.B.C.
- PROPOSED NEW ROOF FINISH**  
MANUF: DAVINCI ROOFSCAPES  
PRODUCT: SLATE GRAY ECO-BLEND MULTI-WIDTH SLATE  
OVER 2-LAYERS 30# FELT  
ICCF: ESR-2119  
SLOPE: 6 IN 12  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
- CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
- PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
- PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.



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**11th Street CONDOMINIUMS**  
1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

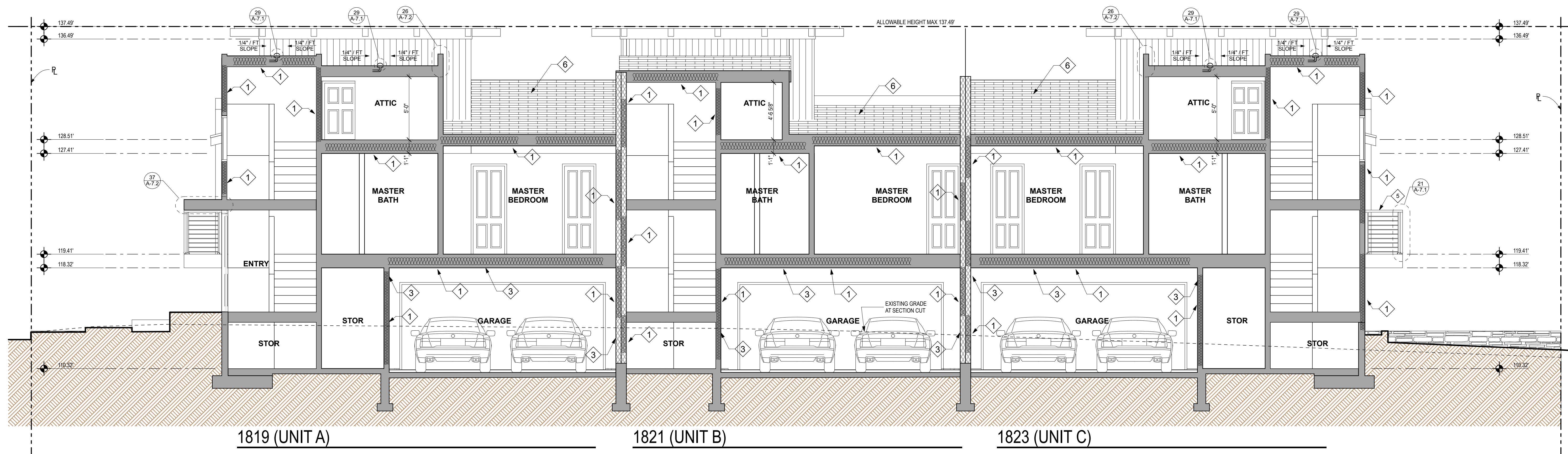


**SECTION C** 1819 (UNIT A)  
SCALE: 1/4"=1'-0"

1. **INSULATION REQUIREMENTS**  
FOIL-BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM  
EXTERIOR WALL R-15  
INTERIOR WALL R-13  
(WHERE SPECIFIED)  
RAISED WD FLOOR R-19 PER CF-1R FORM  
FLR @ OVERHANGS R-19 PER CF-1R FORM  
SLAB EDGE INSUL. N/A  
REFER TO CF-1R FORMS, SEE SHEET T-6
2. **WATERPROOFING @ FOUNDATION WALL**  
MANUF: DMX PLASTICS LTD  
PRODUCT: DMX AG WATER PROOFING SYSTEM  
ICCF: ESR 2896  
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN  
FILTER FABRIC WRAP SET IN GRAVEL BED  
OUTLET DRAIN @ STREET THROUGH APPROVED  
NON-EROSIVE DEVICE. SEE CIVIL DRWGS.  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL.
3. **ONE-HOUR FIRE RESISTIVE WALL**  
5/8" TYPE "X" GIP WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE  
AND ALL ADJACENT LIVING SPACES, AND  
ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 302.4, C.B.C.
4. **HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP  
AND BOTTOM RISER, AND SHALL TERMINATE IN  
A NEWEL POST OR WALL  
HANDGRIP CROSS-SECTIONAL AREA OF TOP  
RAIL: 1 1/2" MIN TO 2" MAX  
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL  
@ OPEN RAIL. SEE GUARDRAIL NOTE  
PER SECT. 1006, C.B.C.
5. **GUARDRAIL (42" HIGH U.N.O.)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.  
PER SECT. 705, C.B.C.  
SEE HAND RAIL NOTE FOR TOP RAIL  
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS,  
SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 509.1, C.B.C.
6. **PROPOSED NEW ROOF FINISH**  
MANUF: DAVINCI ROOFSCAPES  
PRODUCT: SLATE GRAY ECO-BLEND MULTI-WIDTH SLATE  
OVER 2-LAYERS 30# FELT  
ICCF: ESR-2119  
SLOPE: 6 IN 12  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
7. **CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM  
OF 2' ABOVE ANY PART OF THE BUILDING  
WITHIN 10'. CHIMNEY MAY EXCEED THE MAX  
PERMITTED BUILDING HEIGHT BY NO MORE  
THAN 5' PROVIDED THE WIDTH AND DEPTH  
DO NOT EXCEED 3' AND 5' RESPECTIVELY.
8. **PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING  
MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
9. **PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER  
DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.

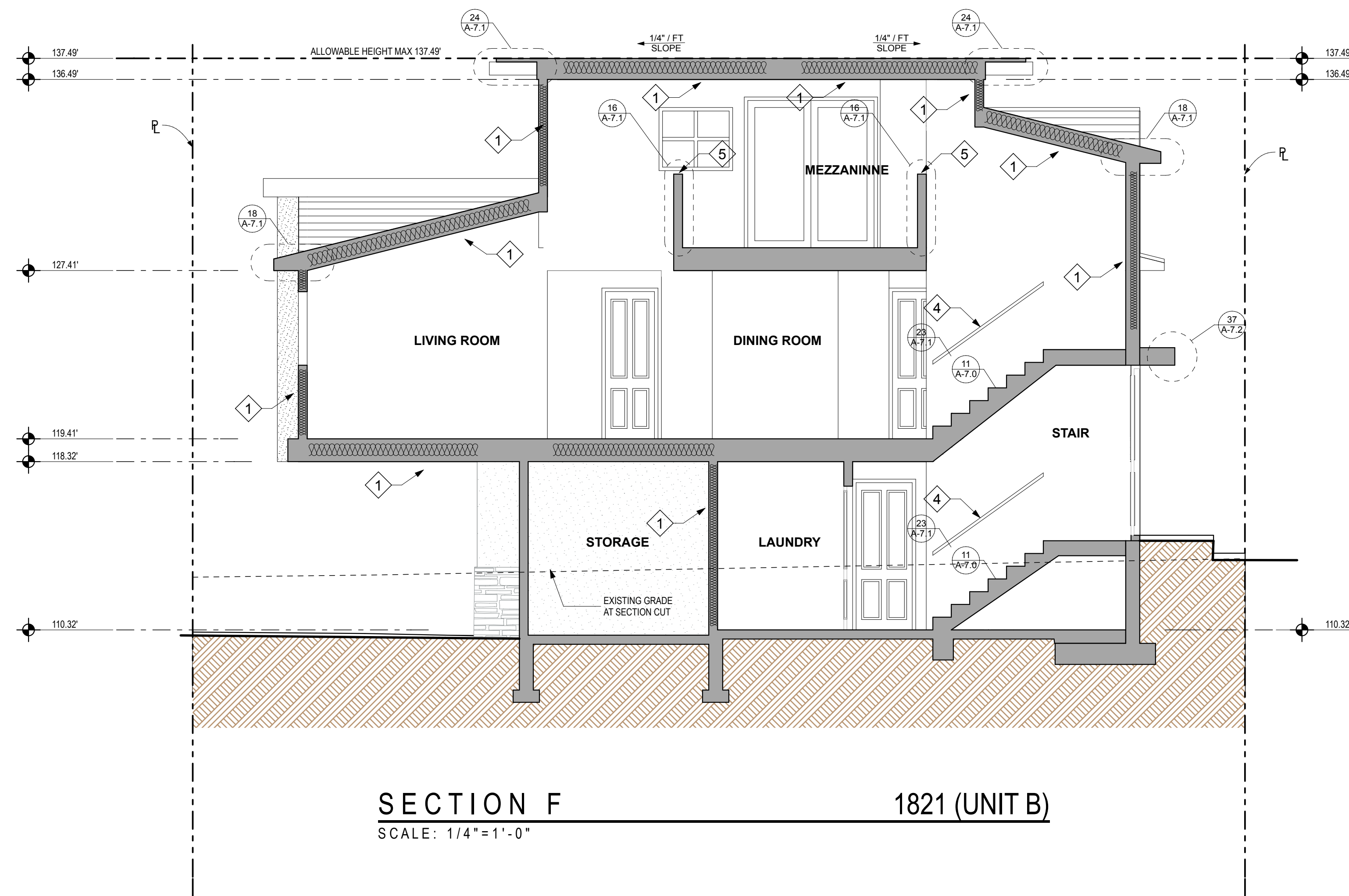


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**SECTION B**  
SCALE: 1/4"=1'-0"

**11th Street CONDOMINIUMS**  
1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

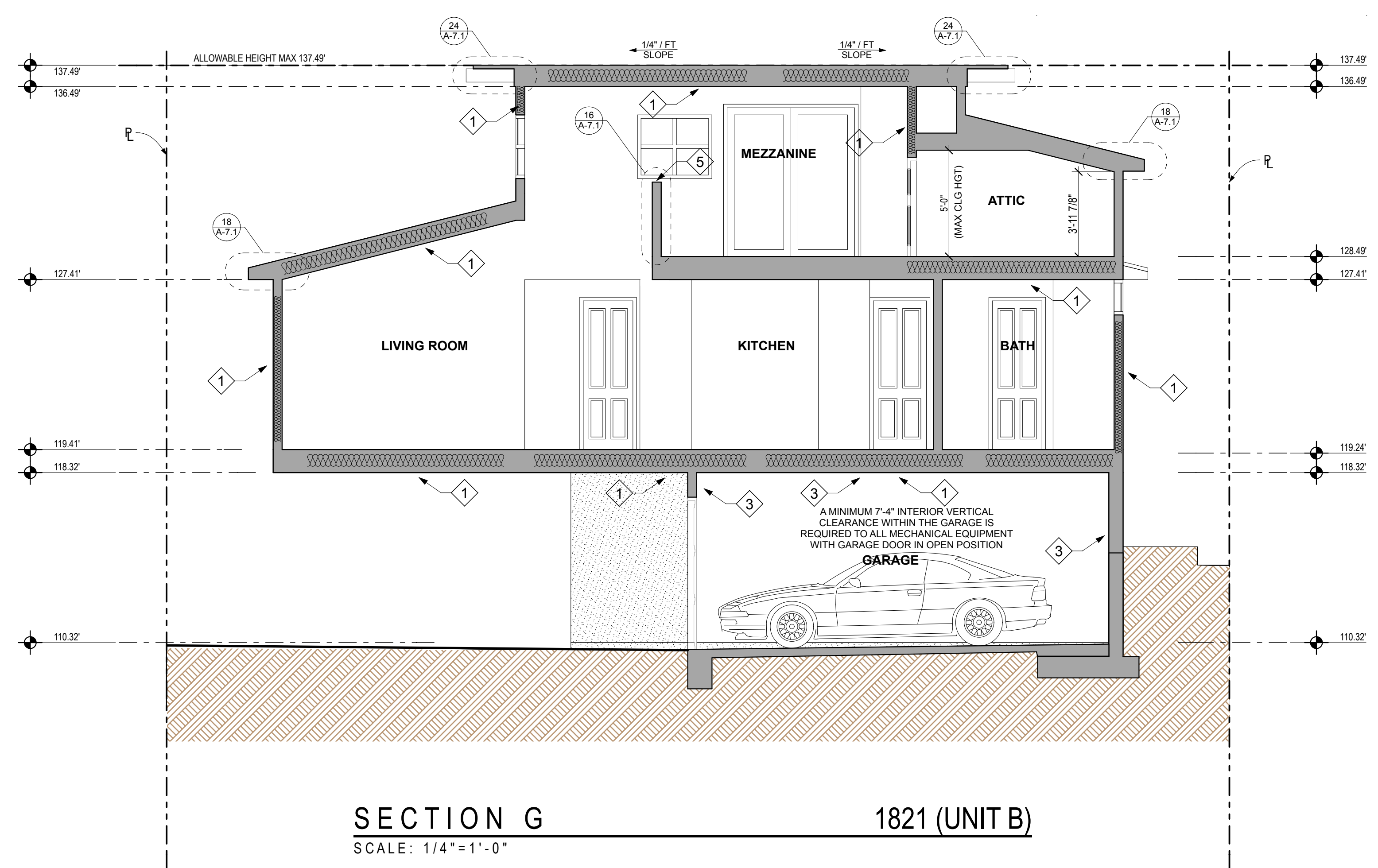


**SECTION F** 1821 (UNIT B)  
SCALE: 1/4"=1'-0"

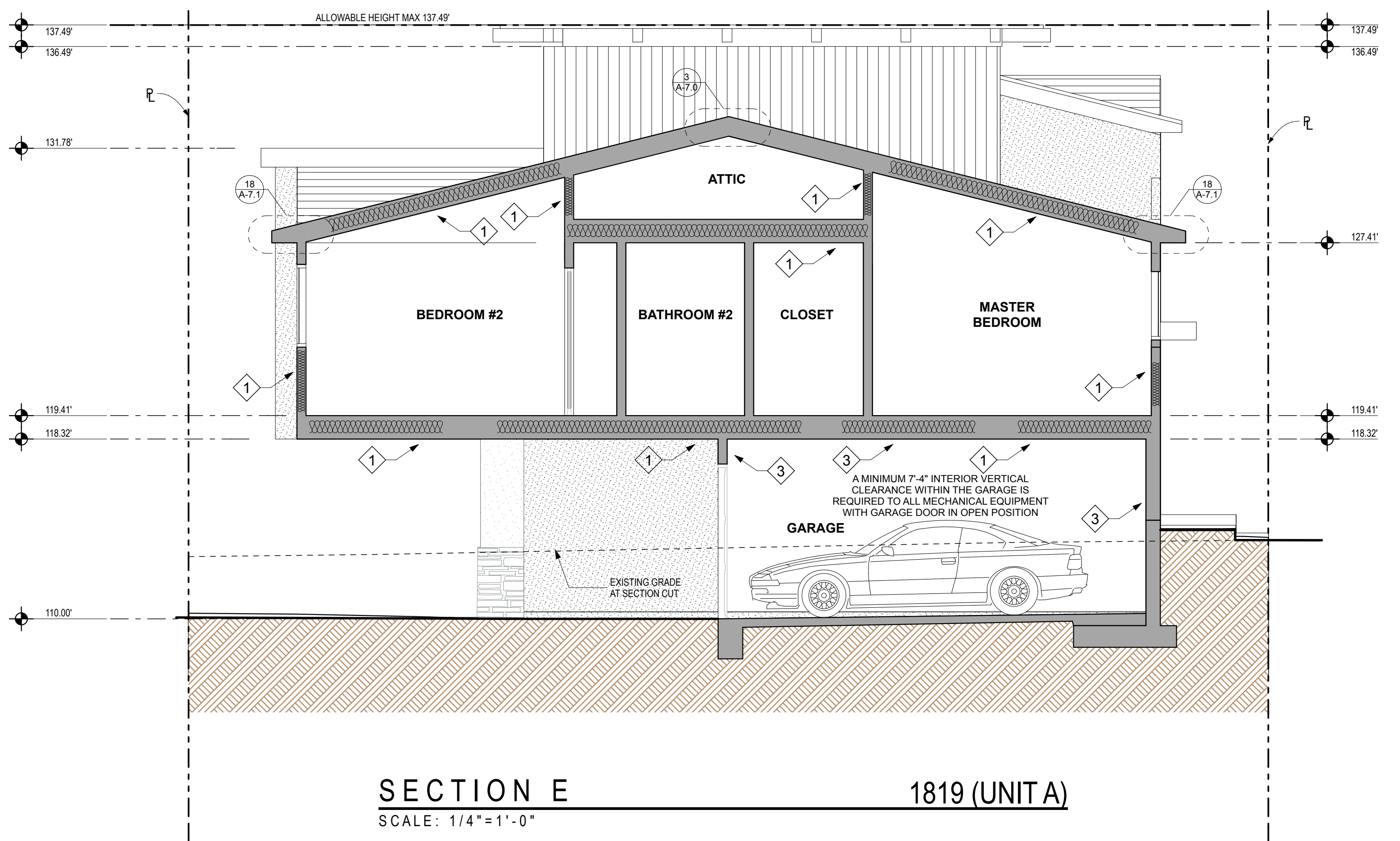
1. **INSULATION REQUIREMENTS**  
FOIL-BACKED BATT INSULATION  
INSTALL PER MANUF. SPECS  
PROVIDE: ROOF / CEILING R-30 PER CF-1R FORM  
EXTERIOR WALL R-15  
INTERIOR WALL R-13  
(WHERE SPECIFIED)  
RAISED WD FLOOR R-19 PER CF-1R FORM  
FLR @ OVERHANGS R-19 PER CF-1R FORM  
SLAB EDGE INSUL. N/A  
REFER TO CF-1R FORMS, SEE SHEET T-6
2. **WATERPROOFING @ FOUNDATION WALL**  
MANUF: DMX PLASTICS LTD  
PRODUCT: DMX AG WATER PROOFING SYSTEM  
ICCF: ESR 2896  
PROVIDE 4" DIA. PERFORATED PIPE DRAIN IN FILTER FABRIC WRAP SET IN GRAVEL BED  
OUTLET DRAIN @ STREET THROUGH APPROVED NON-EROSIVE DEVICE. SEE CIVIL DRWGS.  
INSTALL PER MANUF. SPECS.  
USE THIS PRODUCT OR APPROVED EQUAL.
3. **ONE-HOUR FIRE RESISTIVE WALL**  
5/8" TYPE "X" GYP. WALL BOARD  
AT ALL WALLS AND CEILING BETWEEN GARAGE AND ALL ADJACENT LIVING SPACES, AND ENCLOSING ALL STRUCTURAL MEMBERS  
PER SECT. 302.4, C.B.C.
4. **HANDRAIL**  
TOP OF RAIL @ 34" TO 38" ABOVE TREAD  
NOSING ONE RAIL TO EXTEND 6" BEYOND TOP AND BOTTOM RISER, AND SHALL TERMINATE IN A NEWEL POST OR WALL  
HANDGRIP CROSS-SECTIONAL AREA OF TOP RAIL: 1 1/2" MIN TO 2" MAX  
MIN 1 1/2" CLEAR BETWEEN RAIL AND WALL @ OPEN RAIL. SEE GUARDRAIL NOTE  
PER SECT. 1006, C.B.C.
5. **GUARDRAIL (42" HIGH U.N.O.)**  
TOP RAIL SHALL SUPPORT 20 LBS. PER LIN. FT.  
PER SECT. 705, C.B.C.  
SEE HAND RAIL NOTE FOR TOP RAIL  
OPEN RAIL SHALL HAVE INTERMEDIATE RAILS, SO THAT A 4" DIA. SPHERE CANNOT PASS THRU.  
PER SECT. 509.1, C.B.C.
6. **PROPOSED NEW ROOF FINISH**  
MANUF: DAVINCI ROOFSCAPES  
PRODUCT: SLATE GRAY ECO-BLEND MULTI-WIDTH SLATE  
OVER 2-LAYERS 30# FELT  
ICCF: ESR-2119  
SLOPE: 6 IN 12  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
7. **CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
8. **PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.
9. **PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF. SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C.

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**SECTION G** 1821 (UNIT B)  
SCALE: 1/4"=1'-0"

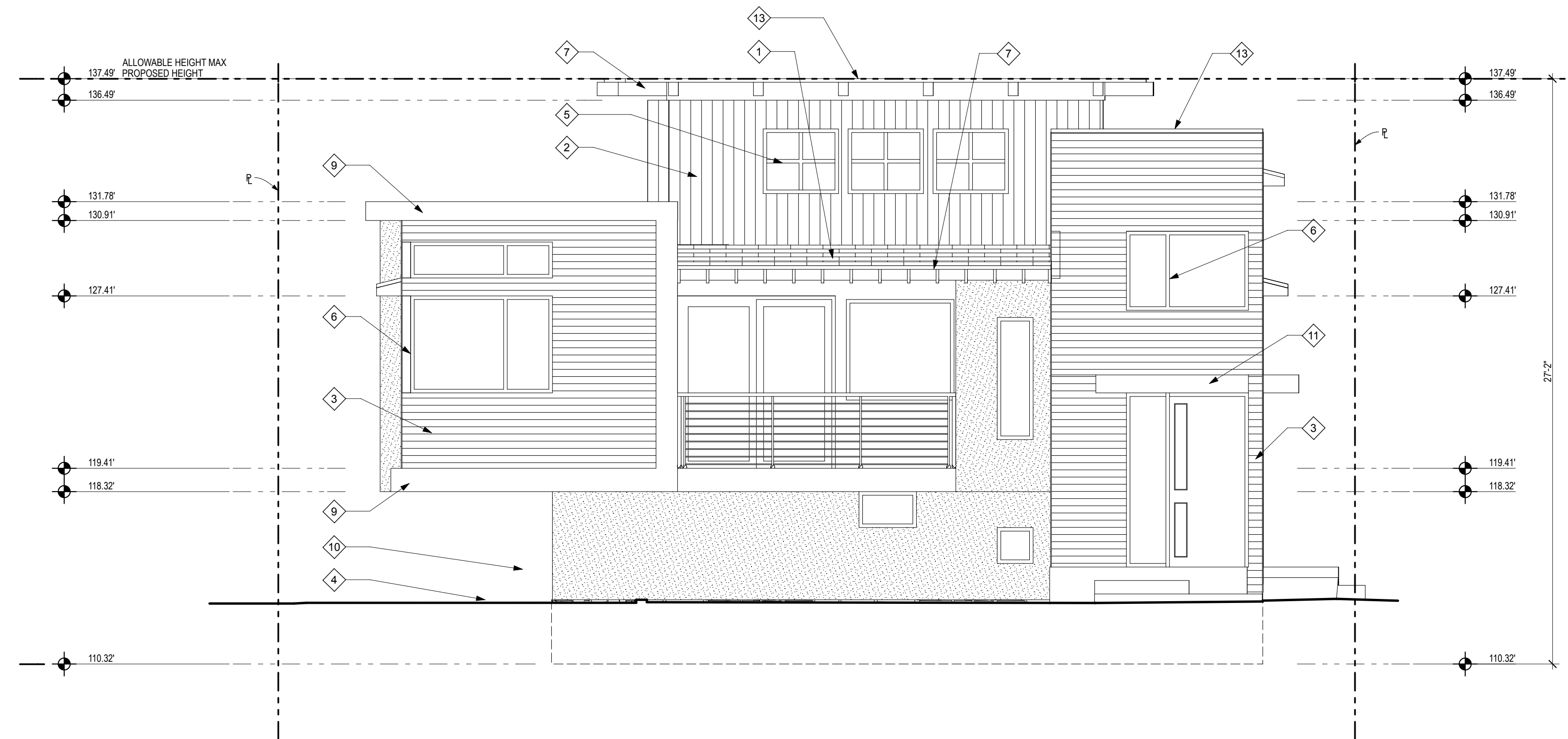


**SECTION E** 1819 (UNIT A)  
SCALE: 1/4"=1'-0"

**11th Street CONDOMINIUMS**  
1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

Sections

Date: 3/26/19  
Name of File: Preliminary



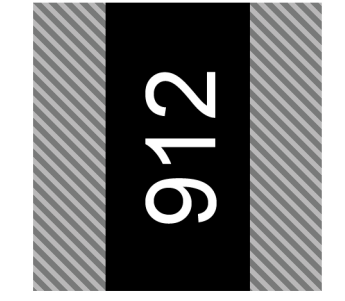
**SOUTH (FRONT) ELEVATION**

SCALE: 1/4" = 1'-0"

NOTES:  
 MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE  
 (42" MAX IN FRONT YARD)  
 8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
 PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,  
 ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

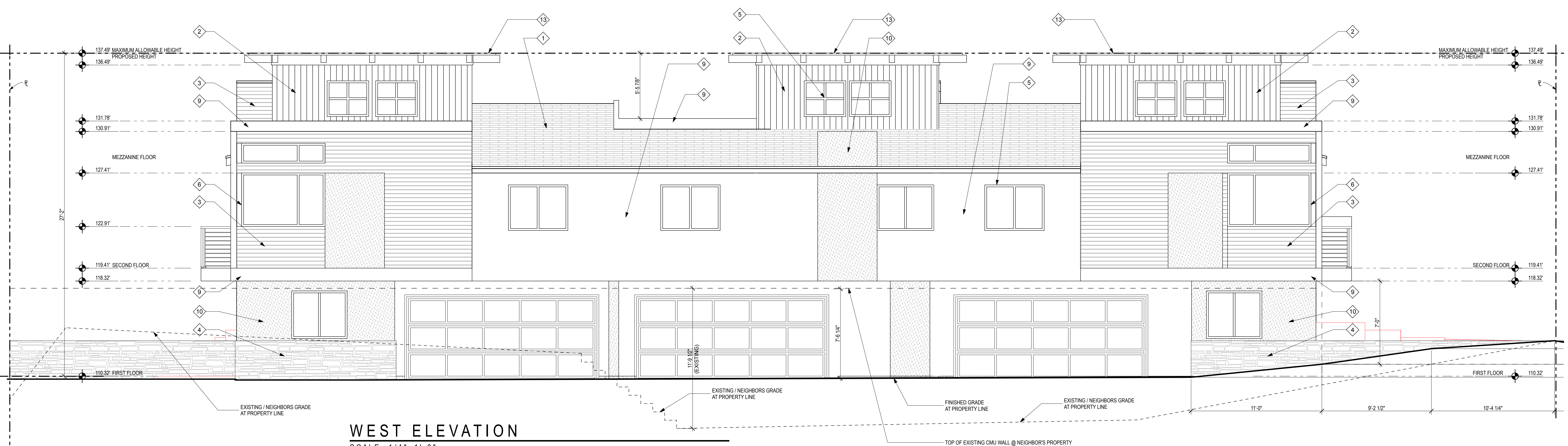
**ELEVATION NOTES:**

1. **ASPHALT SHINGLE ROOFING**  
 40 YEARS MIN. 30 DIMENSION  
 ASPHALT ROOF SHINGLES OVER  
 2 LAYER OF 15# FELT LAID WITH  
 1" OVERLAP  
 PER C.B.C. SECT. 1507.2 AND 1507.3
2. **BOARD AND BATTEN EXTERIOR SIDING**  
 HARDIPANEL BOARD AND BATTEN EXTERIOR SIDING  
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
 SEE DETAIL 23 / A-7.1
3. **HORIZONTAL HARDI-PLANK EXTERIOR SIDING**  
 HARDI-PLANK HORIZONTAL EXTERIOR SIDING  
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
 SEE DETAIL 22 / A-7.1
4. **STONE VENEER**  
 LEDGERSTONE STONE VENEER  
 OVER BROWN COAT  
 SEE DETAIL 21 / A-7.1
5. **BRONZE ANODIZED WINDOW**  
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
 SEE SHEET T-5 FOR CF-IR ENERGY REQUIREMENTS
6. **SILVER ANODIZED WINDOW**  
 AT HORIZONTAL SIDING AREAS ONLY  
 SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
 SEE SHEET T-5 FOR CF-IR ENERGY REQUIREMENTS
7. **EXPOSED WOOD RAFTER TAIL**  
 DOUBLE 2x EXPOSED RAFTER TAIL W/ 3/4" SPACER  
 SEE DETAIL 13 / A-7.0
8. **HORIZONTAL HARDI-SHINGLE EXTERIOR SIDING**  
 HARDI-PLANK HORIZONTAL EXTERIOR SIDING  
 OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
 SEE DETAIL 22 / A-7.1
9. **EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: 20/30 SAND  
 COLOR: WHITE
10. **EXTERIOR STUCCO**  
 7/8" THICK EXTERIOR STUCCO  
 OVER 2-LAYERS WATERPROOFING PAPER  
 FINISH: SMOOTH STEEL TROWEL  
 COLOR: GRAY
11. **METAL FASCIA**  
 BRONZE ANODIZED ALUMINUM FASCIA  
 MATCH EXTERIOR WINDOW FRAME FINISH  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C
12. **CHIMNEY**  
 TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE  
 BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING  
 HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT  
 EXCEED 3' AND 5' RESPECTIVELY.
13. **PROPOSED NEW ROOF FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
 ICCP: ESR 1757  
 SLOPE: 1/4" FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C
14. **PROPOSED NEW DECK FINISH**  
 MANUF: CROSSFIELD PRODUCTS CORP.  
 PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER  
 DEX-O-TEX DECK WATERPROOFING MEMBRANE  
 ICCP: ESR 1757  
 SLOPE: 1/4" FT. MIN.  
 CLASS: A  
 INSTALL PER MANUF SPECS  
 USE THIS PRODUCT OR APPROVED EQUAL  
 PER SECT. 1402, C.B.C



**Revisions:**

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**WEST ELEVATION**

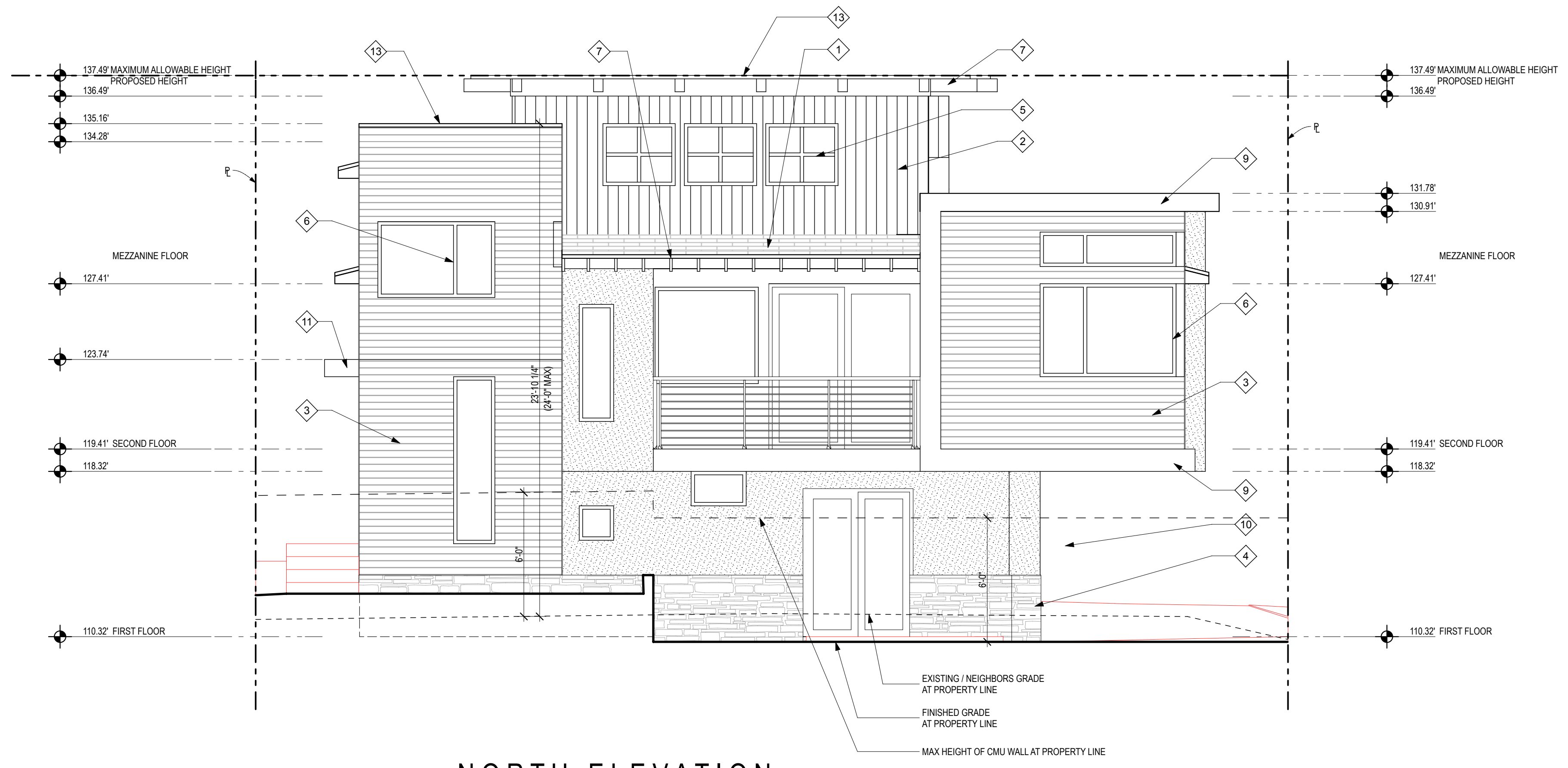
SCALE: 1/4" = 1'-0"

**11th Street CONDOMINIUMS**  
 1819; 1821; 1823 11th Street, Manhattan Beach, CA, 90266

**Exterior Elevations**

Date: 3/26/19  
 Name of File: Preliminary

**A-6.0**

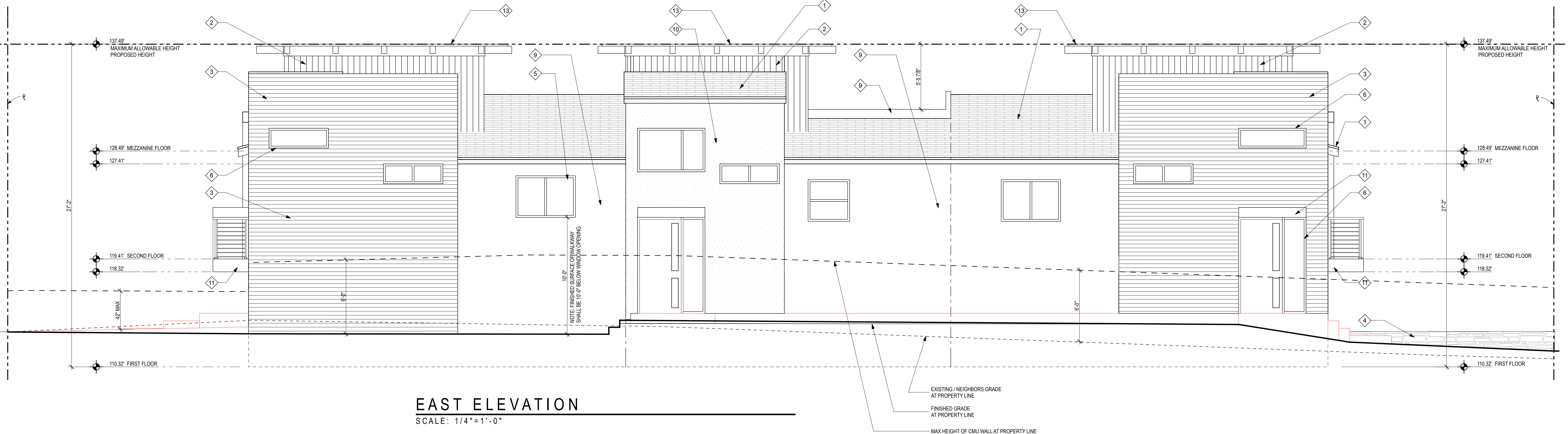


**NORTH ELEVATION**  
SCALE: 1/4"=1'-0"

NOTES:  
MAX. PROPERTY LINE WALL HEIGHT 6'-0" ABOVE LOWEST LOCAL GRADE (42' MAX IN FRONT YARD)  
8'-0" MAX HEIGHT ALLOWED WITH APPROVED FENCE HEIGHT AGREEMENT  
PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS,  
ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.

- ELEVATION NOTES:**
- ASPHALT SHINGLE ROOFING**  
40 YEARS MIN. 30 DIMENSION  
ASPHALT ROOF SHINGLES OVER  
2 LAYER OF 15# FELT LAID WITH  
1" OVERLAP  
PER C.B.C. SECT. 1507.2 AND 1507.3
  - BOARD AND BATTEN EXTERIOR SIDING**  
HARDIPANEL, BOARD AND BATTEN EXTERIOR SIDING  
OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
SEE DETAIL 23 / A-7.1
  - HORIZONTAL HARD-PLANK EXTERIOR SIDING**  
HARD-PLANK HORIZONTAL EXTERIOR SIDING  
OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
SEE DETAIL 22 / A-7.1
  - STONE VENEER**  
LEDGERSTONE STONE VENEER  
OVER BROWN COAT  
SEE DETAIL 21 / A-7.1
  - BRONZE ANODIZED WINDOW**  
SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
SEE SHEET T-5 FOR CF-IR ENERGY REQUIREMENTS
  - SILVER ANODIZED WINDOW**  
AT HORIZONTAL SIDING AREAS ONLY  
SEE PLAN AND WINDOW SCHEDULE FOR SIZE  
SEE SHEET T-5 FOR CF-IR ENERGY REQUIREMENTS
  - EXPOSED WOOD RAFTER TAIL**  
DOUBLE 2x EXPOSED RAFTER TAIL W/ 3/4" SPACER  
SEE DETAIL 13 / A-7.0
  - HORIZONTAL HARD-SHINGLE EXTERIOR SIDING**  
HARD-PLANK HORIZONTAL EXTERIOR SIDING  
OVER TYPAR BUILDING PAPER LAYED SHINGLE FASHION  
SEE DETAIL 22 / A-7.1
  - EXTERIOR STUCCO**  
7/8" THICK EXTERIOR STUCCO  
OVER 2-LAYERS WATERPROOFING PAPER  
FINISH: 20/30 SAND  
COLOR: WHITE
  - EXTERIOR STUCCO**  
7/8" THICK EXTERIOR STUCCO  
OVER 2-LAYERS WATERPROOFING PAPER  
FINISH: SMOOTH STEEL TROWEL  
COLOR: GRAY
  - METAL FASCIA**  
BRONZE ANODIZED ALUMINUM FASCIA  
MATCH EXTERIOR WINDOW FRAME FINISH  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C
  - CHIMNEY**  
TOP OF CHIMNEY MUST EXTEND A MINIMUM OF 2' ABOVE ANY PART OF THE BUILDING WITHIN 10'. CHIMNEY MAY EXCEED THE MAX PERMITTED BUILDING HEIGHT BY NO MORE THAN 5' PROVIDED THE WIDTH AND DEPTH DO NOT EXCEED 3' AND 5' RESPECTIVELY.
  - PROPOSED NEW ROOF FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: DEX-O-TEX ROOF WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C
  - PROPOSED NEW DECK FINISH**  
MANUF: CROSSFIELD PRODUCTS CORP.  
PRODUCT: TILE OR STONE OVER THINSET MORTAR OVER DEX-O-TEX DECK WATERPROOFING MEMBRANE  
ICCF: ESR 1757  
SLOPE: 1/4" FT. MIN.  
CLASS: A  
INSTALL PER MANUF SPECS  
USE THIS PRODUCT OR APPROVED EQUAL  
PER SECT. 1402, C.B.C

- Revisions:**
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**EAST ELEVATION**  
SCALE: 1/4"=1'-0"