

Inspection Report

Sanjeev Bhatia

Property Address:
1931 Ruhland Ave
Redondo Beach CA 90278



Subject Property

Professional Inspection Network

Christopher Vella
5267 Warner Ave #212
Huntington Beach, CA 92649
714-726-6746
800-454-6630

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General Info

Property Address 1931 Ruhland Ave Redondo Beach CA 90278	Date of Inspection 2/15/2023	Report ID 20230215-1931-Ruhland-Ave
Customer(s) Sanjeev Bhatia	Time of Inspection 09:00 AM	Real Estate Agent Linda Hernandez Shorewood Realtors

Inspection Details

In Attendance: Buyer, Buyer's/Listing Agent	Type of building: Duplex Residential	Approximate age of building(s): 71 Years Old
Building(s) Faces: South	Temperature: Over 65 (F) = 18 (C)	Weather: Clear
Ground/Soil surface condition: Frozen	Rain in last 3 days: No	Radon Test: No
Water Test: No		

Comment Key & Definitions

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Major Concern: = Denotes a major improvement recommendation that is uncommon for a home of this age or location.

Safety Issue: = Denotes an observation or recommendation that is considered an immediate health and safety concern.

Repair or Replace: = Denotes the item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Improve: = Denotes improvements that should be anticipated over a short term.

Monitor: = Denotes an area where further investigations and/or monitoring is needed. Repairs may be necessary. During the inspection, there was insufficient information. Improvements cannot be determined until further investigations or observations are made.

Inspected = The inspector visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

This structure has been added to and/or upgraded. The owner may have pertinent information regarding both the extent of the work performed and the status of all permits that were required, issued and signed by the appropriate authorities. Determination of compliance with manufacturer's installation instructions, building codes, ordinances, regulations, covenants or other restrictions is beyond the scope of this inspection.

The comments made in this report were based on the condition of the home at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the home again. The proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. My inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

SCOPE OF THE INSPECTION:

Professional Inspection Network endeavors to perform all inspections in substantial compliance with the Standards of Practice of the California Real Estate Inspector Association (CREIA). As such, we inspect the readily accessible, visually observable, installed systems and components of a home as designated in the CREIA Standards of Practice. When systems or components designated in the CREIA Standards of Practice are present but are not inspected, the reason(s) the item was not inspected is identified within this report. This report contains observations of those systems and components that, in the professional judgement of the inspector, are not functioning properly, significantly deficient, unsafe, or are near the end of their service lives. If the cause for the deficiency is not readily apparent, the suspected cause or reason why the system or component is at or near end of expected service life is reported, and recommendations for correction or monitoring are made as appropriate.

USE OF PHOTOS:

Your report includes many photographs. Some pictures are informational and of a general view, to help you understand where the inspector has been, what was looked at and the condition of the item or area at the time of the inspection. Some of the pictures may be of problem areas, these are to help you better understand what is documented in this report and to help you see areas or items that you normally would not see. Not all problem areas or conditions will be supported with photos.

This categorization is the opinion of the inspector and is based on what was observed at the time of inspection. It is not intended to imply that items documented in any one category are not in need of correction. Maintenance items or latent defects left unrepaired can soon become significant defects. It should be considered very likely there will be other issues you personally may consider deficient, and you should add these as desired. There may also be defects that you feel belong in a different category, and again, you should feel free to consider the importance you believe they hold and act accordingly.

Please review the report in its entirety. It is ultimately up to your discretion to interpret its findings and to act accordingly. This report does not offer an opinion as to whom among the parties to this transaction should take responsibility for addressing any of these concerns. As with all aspects of your transaction, you should consult with your Realtor® for further advice regarding the contents of this report. Any repairs should be performed by the applicable licensed and bonded tradesman or qualified professional who will provide copies of all receipts, warranties and applicable permits for any repairs that are carried out.

This home is an older home and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

Summary

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

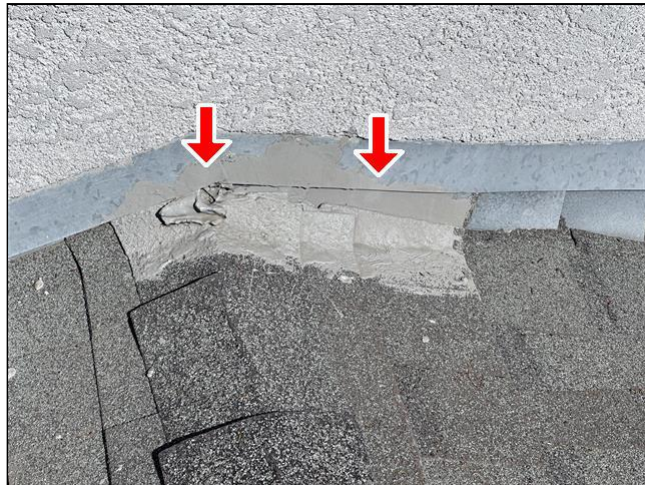
Summary

Roof Coverings

1. (1) **Major Concern:** The patching or repairs performed on this roof appear to have been done by a non-professional. They are not in accordance with industry standards are likely to leak or require ongoing maintenance. We suggest that the entire roof should be evaluated by a qualified roofer and repaired or replaced as necessary.



Item 1 - Item 1(Picture) Roofing



Item 1 - Item 2(Picture) Roofing



Item 1 - Item 3(Picture) Roofing



Item 1 - Item 4(Picture) Roofing

2. (3) **Improve:** It is suggested that all trees, tree limbs and vegetation in contact with the home be removed and/or trimmed away from the home to prevent damage and rodent activity.



Item 2 - Item 1(Picture) Roofing

3. (4) **Monitor:** The roof is covered with mastic in one or more locations. This is an indication of a past problem and note that these areas could not be properly viewed and will require ongoing maintenance. Inquire with the seller for more information Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stain that shows up on the interior.



Item 3 - Item 1(Picture) Roofing
Flashings/Vents



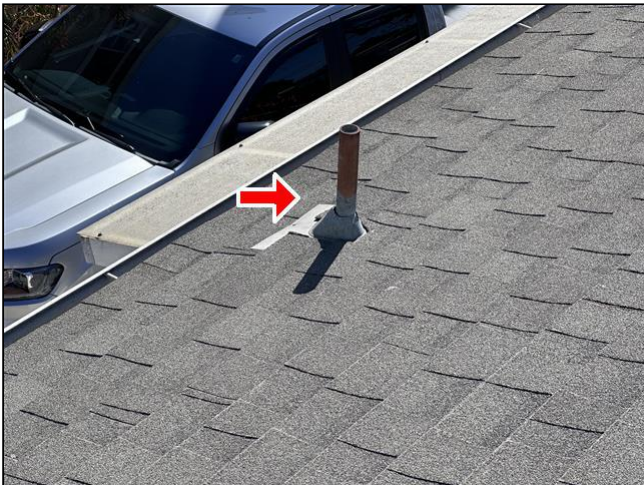
Item 3 - Item 2(Picture) Roofing

4. (1) **Repair or Replace:** The flashing for the main electrical service conduits at the front slope of the roof are surface mounted and/or not installed in accordance to industry standards. The flashings are improperly installed. This can allow leaks. We suggest a qualified roofer should make repairs or modifications as necessary.



Item 4 - Item 1(Picture) Roofing

5. (2) **Repair or Replace:** The mastic at the front East slope of the roof vent penetration is missing. It is suggested that all vent and penetrations be examined and sealed with approved material by a qualified professional.



Item 5 - Item 1(Picture) Roofing

6. (3) **Repair or Replace:** The mastic at the **rear unit** heater metal vent penetration is missing. Also, the exhaust vent lacks a storm collar. It is suggested that all vent and penetrations be examined and sealed with approved material by a qualified professional.



Item 6 - Item 1(Picture) Roofing

Wall Cladding, Flashing, Trims, Beams, Rafters, Eaves, Fascia Boards, Decks, Balconies, Stoops, Steps, Stairways, Areaways, Bridges, Porches, Patio/Cover and Applicable Railings

7. (1) **Repair/Replace/Monitor:** Visible cracking in the stucco cladding was observed at the exterior walls in one or more locations. Cracking in stucco walls happens when there is more stress placed on the wall than the material can withstand. The underlying cause of the hairline wall cracking may be due to problems with the wall's framing, contraction or expansion of wood sheathing, settling, thermal expansion or contraction, rapid changes in temperature, weak areas in the wall or abnormal vibrations in the ground. Suggest further evaluation by a qualified trades person for determination and/or corrective repairs within the inspection contingency period.



Item 7 - Item 1(Picture) Exterior



Item 7 - Item 2(Picture) Exterior

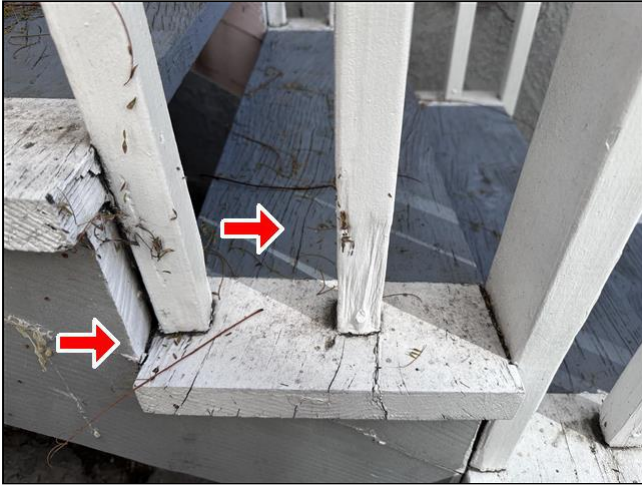
8. (2) **Repair or Replace:** Wood deterioration was observed at the West exterior wall **front unit** stairway/steps. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



Item 8 - Item 1(Picture) Exterior



Item 8 - Item 2(Picture) Exterior

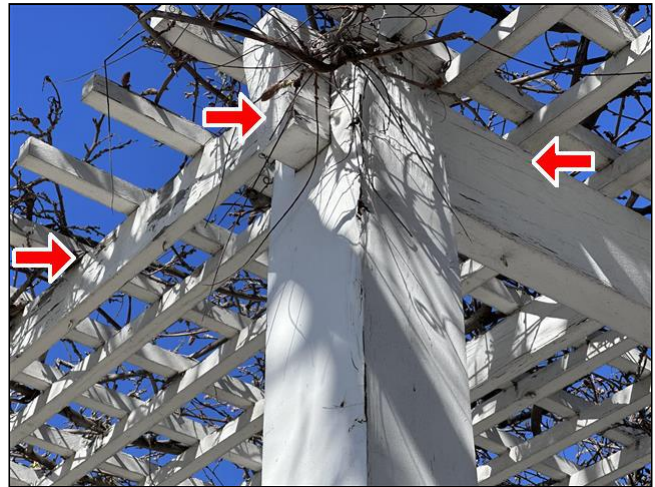


Item 8 - Item 3(Picture) Exterior

9. (3) **Repair or Replace:** Wood deterioration was observed at the front exterior wall **front unit** deck covering. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



Item 9 - Item 1(Picture) Exterior



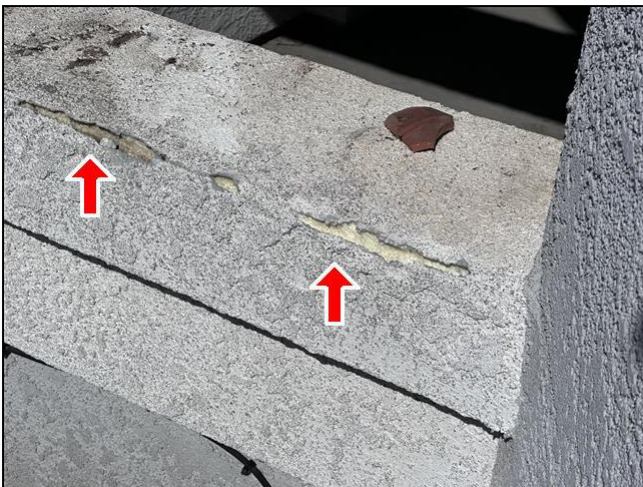
Item 9 - Item 2(Picture) Exterior

10. (4) **Repair or Replace:** The stucco cladding at the West exterior wall window trims/frames/moulding is damaged in one or more locations. Suggest the stucco cladding be repaired by a qualified contractor to prevent water intrusion and water damage.
11. (5) **Repair or Replace:** The stucco cladding at the base of the exterior walls of the building is deteriorated in one or more locations. This type of deterioration is common in many older homes. The home was built in an era before weep screeds were installed at the bottom edge of the stucco siding, the stucco was extended into the soil. The stucco wicks water up out of the soil which causes the stucco to deteriorate from being moist for prolonged periods. We recommend minimizing moisture around the building to help protect the stucco and the foundation from moisture damage. Suggest further evaluation by a qualified trades person for determination and/or corrective repairs within the inspection contingency period.



Item 11 - Item 1(Picture) Exterior

12. (6) **Repair or Replace:** The stucco cladding at the **rear unit** West exterior wall balcony is damaged in one or more locations. Suggest the stucco cladding be repaired by a qualified contractor to prevent water intrusion and water damage.



Item 12 - Item 1(Picture) Exterior

13. (7) **Improve:** It is suggested that all trees, tree limbs and vegetation in contact with the home be removed and/or trimmed away from the home to prevent damage and rodent activity.



Item 13 - Item 1(Picture) Exterior



Item 13 - Item 2(Picture) Exterior

14. (8) **Improve:** The metal weep screed flashing at the rear exterior wall is covered and or does not have the required clearances from the ground. The weep screed should be placed a minimum of 4 inches above the earth, or 2 inches above paved areas, and should be of a type that will allow trapped water to drain to the exterior of the building. Suggest

removal of the soil these locations to prevent water damage and or moisture intrusion.



Item 14 - Item 1(Picture) Exterior

Doors (Exterior)

- 15. Major Concern:** Water damage was observed at the **rear unit** rooftop deck storage door, frame and interior closet area. The door is in this location is not ideal for exterior use. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest repair/replacement by a qualified professional.



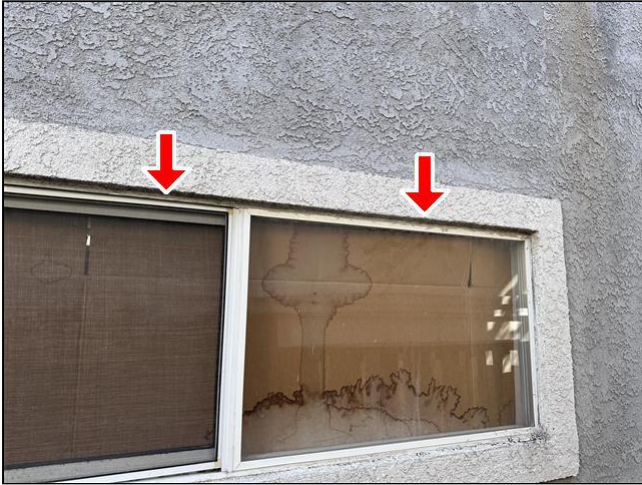
Item 15 - Item 1(Picture) Exterior



Item 15 - Item 2(Picture) Exterior

Windows

- 16. Repair/Replace/Monitor:** The rear West exterior wall window frame is covered with silicone in one or more locations. This is an indication of a past problem and note that these areas could not be properly viewed and will require ongoing maintenance. Inquire with the seller for more information Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stain that shows up on the interior.



Item 16 - Item 1(Picture) Exterior



Item 16 - Item 2(Picture) Exterior

Vegetation, Grading, Drainage, Driveways, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

17. (1) **Safety Issue:** The uneven concrete walkway at the front area of the subject property poses a trip hazard. Suggest repair by a qualified professional.



Item 17 - Item 1(Picture) Exterior

18. (2) **Repair/Replace/Monitor:** The retaining wall(s) at the front area of the subject property is cracked and shows signs of movement. Unable to determine the rate of movement during a one time visit to the subject property. The evaluation of soil conditions and/or retaining wall stability is not within the scope of this inspection. For information on soil and retaining wall stability and/or the potential for movement, we recommend that you determine if the owners have information on the soils condition, or contact a qualified geotechnical engineer who is familiar with conditions in this area.



Item 18 - Item 1(Picture) Exterior

19. (3) **Repair or Replace:** There is a negative slope towards the building at the rear wall which will cause water to pond during rain or extended irrigation. This configuration can cause or contribute to water intrusion or deterioration of the foundation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



Item 19 - Item 1(Picture) Exterior



Item 19 - Item 2(Picture) Exterior

20. (4) **Repair or Replace:** There is a negative slope towards the building at the West exterior wall which will cause water to pond during rain or extended irrigation. This configuration can cause or contribute to water intrusion or deterioration of the foundation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



Item 20 - Item 1(Picture) Exterior

21. (5) **Improve/Monitor:** Unable to determine if a moisture barrier has been employed between the soil and exterior wall/foundation at the rear North-West corner of the home. The lack of a moisture barrier can allow to seep into the structure and cause damage. It is strongly advised that these exterior areas be further investigated and corrected by a qualified contractor.



Item 21 - Item 1(Picture) Exterior

22. (6) **Improve/Monitor:** Low/neutral areas were observed at the grading which will cause water to pond during rain or extended irrigation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



Item 22 - Item 1(Picture) Exterior

23. (7) **Monitor:** Unable to verify adequate drainage for the retaining walls throughout the subject property during the inspection. A retaining wall drainage pipe or toe drain is a pipe with perforations that collects water all along the wall and then drains it to the exterior; either to the sides or through the front of the wall. While tall walls need multiple pipe drains at different heights, most pipe drains are located at the base of the wall, vented every 30 to 50 feet. We suggest asking the current home owner/builder to provide any documents to verify conforming installation of the retaining walls and drainage systems prior to close of escrow to determine if further investigations are required. It is also suggested that all debris be cleared away from the swale. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the retaining wall and limited to short durations.



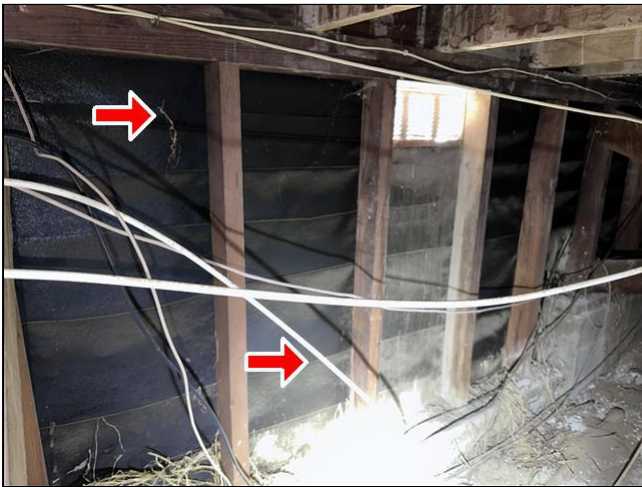
Item 23 - Item 1(Picture) Exterior



Item 23 - Item 2(Picture) Exterior

Foundations, Basement and Crawlspace

24. (1) **Safety Issue/Repair/Replace:** The cripple walls at the **front unit** have not been reinforced. It is suggested that the foundation be improved/retrofitted with approved structural hardware and cripple walls be reinforced by a qualified professional. The primary purpose of earthquake retrofitting is to keep your home from being displaced from its concrete foundation and cripple walls from movement - making the building safer and less prone to major structural damage during an earthquake. Existing homes need to be retrofitted because our understanding of the effects of earthquakes as well as construction techniques have improved after the homes were built.

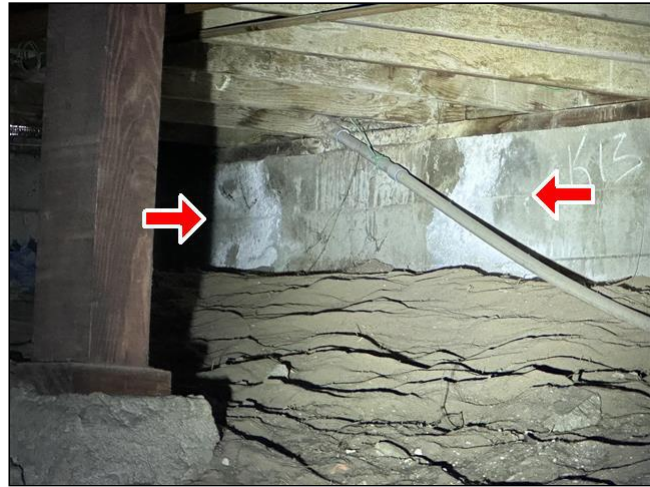


Item 24 - Item 1(Picture) Structural Components

25. (2) **Improve/Monitor:** A condition known as efflorescence is evident on portions of the concrete foundation walls or slab. This whitish, fuzzy material is a mineral deposit left when moisture in the concrete evaporates. The presence of efflorescence often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations.



Item 25 - Item 1(Picture) Structural Components
Floors/Columns/Piers

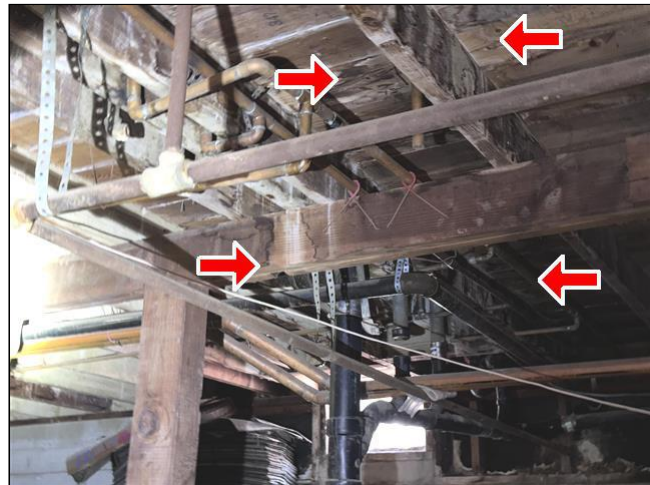


Item 25 - Item 2(Picture) Structural Components

26. (1) **Improve:** Water staining, possible wood deterioration and possible fungus was observed at the **front unit** subfloor and framing in one or more locations. It is suggested that the subfloor below bathrooms be further evaluated by a qualified contractor to determine if wood subfloors or in need of repair and or replacement.



Item 26 - Item 1(Picture) Structural Components



Item 26 - Item 2(Picture) Structural Components

27. (2) **Improve:** The girder and post connections are not reinforced according to modern standard building practice. No adverse effects resulting from this condition are noted. We suggest as an up-grading these connections would be considered optional.



Item 27 - Item 1(Picture) Structural Components

Roof Structure & Attic Space

28. (1) **Improve/Safety Issue:** Evidence of rodents was found in the form of feces was observed in the **front unit** attic space of the home. Consult with the property owner about this. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary. Future costs could be incurred from prior rodent damage not visible at time of inspection.



Item 28 - Item 1(Picture) Structural Components

29. (2) **Monitor:** Water staining was observed on the underside of the **front unit** roof sheathing and structure in various locations. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary.

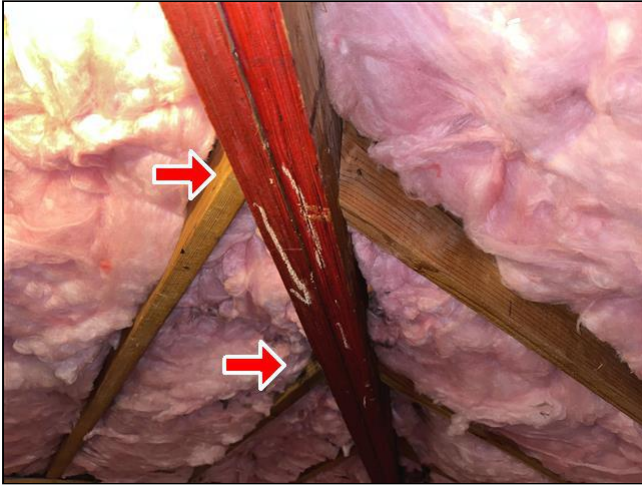


Item 29 - Item 1(Picture) Structural Components



Item 29 - Item 2(Picture) Structural Components

30. (3) **Repair or Replace:** Signs of possible wood deterioration was observed at the **rear unit** roofing structure. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.

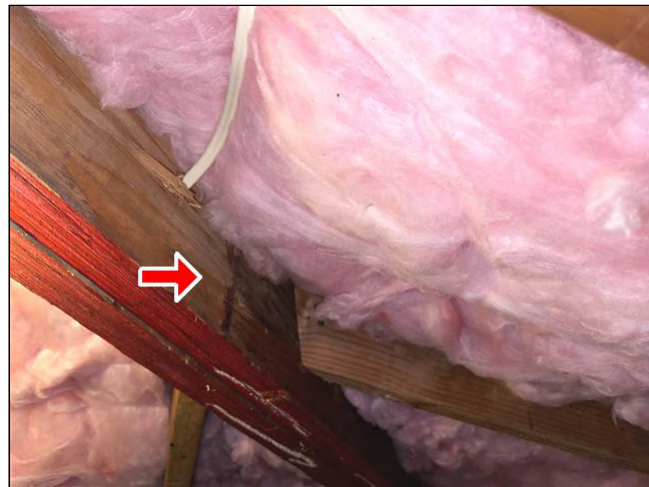


Item 30 - Item 1(Picture) Structural Components

31. (4) **Monitor:** Water staining was observed at the **rear unit** attic space platform and roof structure. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary.



Item 31 - Item 1(Picture) Structural Components



Item 31 - Item 2(Picture) Structural Components

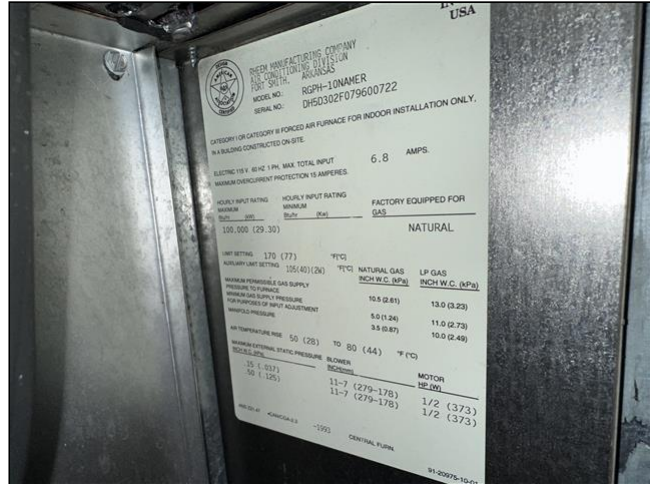
Heating Equipment

32. (1) **Repair/Replace/Monitor:** The **front unit** wall heater is at or approaching the end of its service life. The wall heater is 30+ years old. The wall heater can fail at any time. Eventual replacement of this system should be anticipated. - A qualified HVAC contractor can inspect the system and provide you with replacement options and costs.



Item 32 - Item 1(Picture) Heating/Central Air

33. (2) **Repair/Replace/Monitor:** The **rear unit** forced air heater is at or approaching the end of its service life. The wall heater is 20+ years old. The wall heater can fail at any time. Eventual replacement of this system should be anticipated.
 - A qualified HVAC contractor can inspect the system and provide you with replacement options and costs.



Item 33 - Item 1(Picture) Heating/Central Air
Flues and Vents (for gas heating systems)

Item 33 - Item 2(Picture) Heating/Central Air

34. (1) **Safety Issue:** The **front unit** wall heater metal exhaust vent does not have safe clearance from combustible material. The metal vent is in contact with the underside of the roof sheathing and wall frame. Suggest further review and conforming installation by a licensed HVAC contractor.



Item 34 - Item 1(Picture) Heating/Central Air

Item 34 - Item 2(Picture) Heating/Central Air

35. (2) **Monitor:** The older ceramic exhaust flue at the **front unit** living room wall heater may contain Asbestos. This can only be verified by laboratory analysis. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" (damaged, crumbling, or in any state that allows the release of fibers). Suggest further review, testing and removal by a qualified professional.



Item 35 - Item 1(Picture) Heating/Central Air Cooling and Air Handler Equipment

36. (1) **Repair or Replace:** The **rear unit** air conditioning system did not provide sufficient drop in temperature (cooling) during the inspection. It is suspected that the unit is not adequately sized for the rear unit. Also, there are air supply registers at the lower bonus room area. This does not appear to be the original design of the HVAC system and can reduce the efficiency of the HVAC system. Suggest further investigations by a qualified HVAC contractor to provide repair/replacement options and cost.



Item 36 - Item 1(Picture) Heating/Central Air



Item 36 - Item 2(Picture) Heating/Central Air

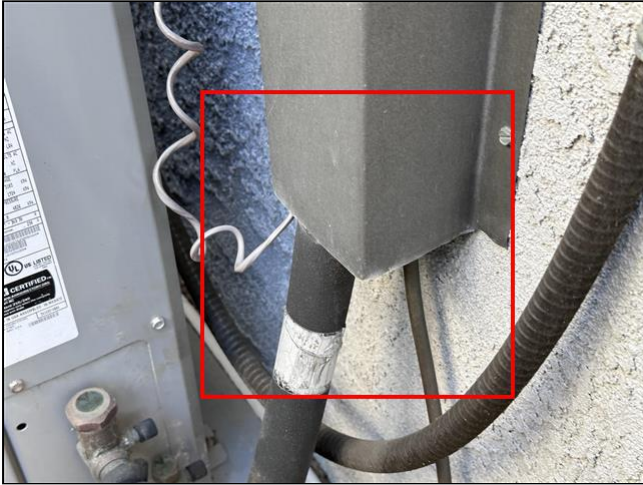


Item 36 - Item 3(Picture) Heating/Central Air



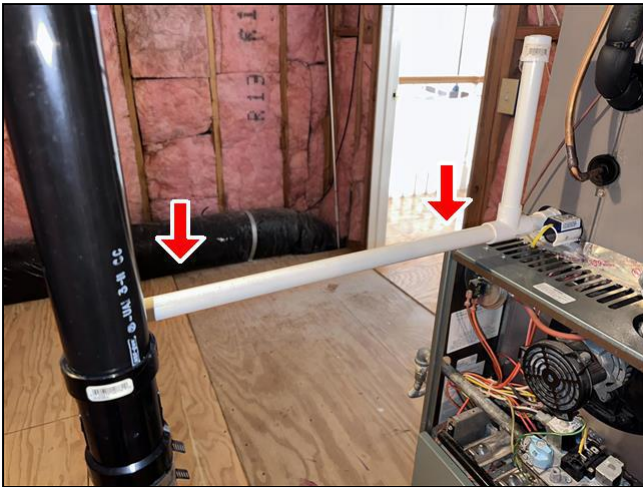
Item 36 - Item 4(Picture) Heating/Central Air

37. (2) **Improve:** The penetration(s) where the coolant refrigerant lines enter the building are not sealed. These areas are large enough to allow pest entry into the building. We suggest the holes in the penetrations should be properly sealed.



Item 37 - Item 1(Picture) Heating/Central Air

38. (3) **Repair or Replace:** The condensate drain line(s) for the indoor air component of the air conditioning system should be improved. The drain attaches to a plumbing vent without the use of a "P" trap. Suggest repair by a licensed HVAC contactor.



Item 38 - Item 1(Picture) Heating/Central Air

Fireplace(s)

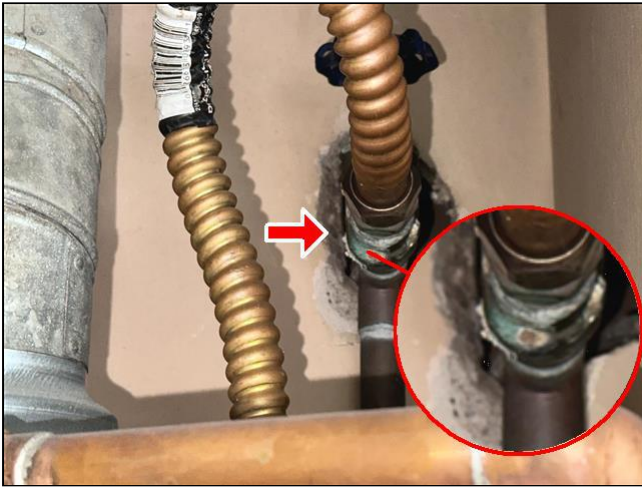
39. **Repair or Replace:** The rear unit living room fireplace is inoperative. Suggest further investigations and repair by a qualified professional.

Plumbing Drain, Waste and Vent Systems

40. (3) **Monitor:** We cannot determine the condition of underground drain and waste piping during our inspection. Drain lines can experience blockages due to construction debris, lack of proper slope in the lines, or improper fittings. -- We recommend that the building sewer be evaluated by camera by a qualified plumber to determine if any repairs or modifications are needed.

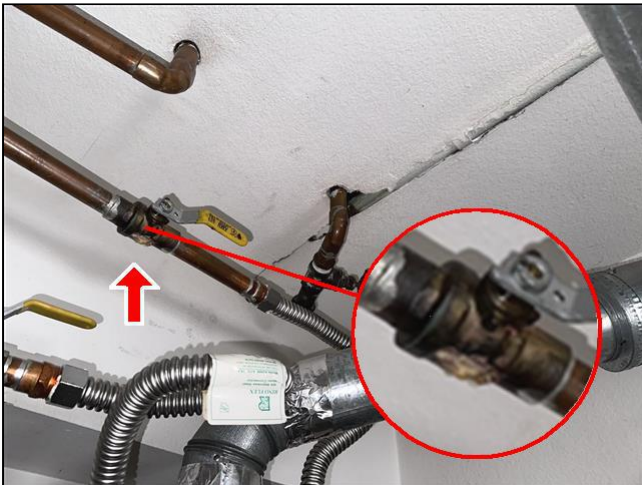
Plumbing Water Supply, Distribution System and Fixtures

41. (1) **Repair or Replace:** The cold water supply valve for the front unit water heater is corroded. Although the valve is not leaking it is suggested that it be replaced by a qualified professional.



Item 41 - Item 1(Picture) Plumbing System

42. (2) **Repair or Replace:** The angle stop valve at the rear wall below the **front unit** primary bathroom sink are corroded. Although the valves are not leaking, it is suggested that they be replaced by a qualified professional to prevent water damage.
43. (3) **Repair or Replace:** The cold water supply valve for the **rear unit** water heater is corroded. Although the valve is not leaking it is suggested that it be replaced by a qualified professional.



Item 43 - Item 1(Picture) Plumbing System

44. (4) **Improve:** Suggest the application of caulking between the bathroom tub spout and operation valve cover plates at the **front unit** hallway bathroom to prevent moisture damage.



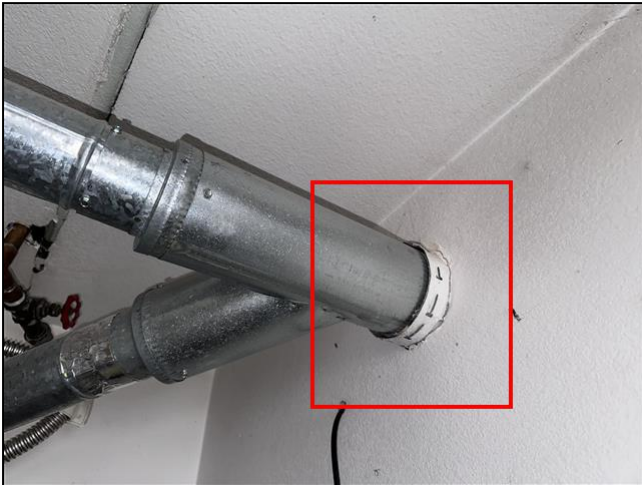
Item 44 - Item 1(Picture) Plumbing System



Item 44 - Item 2(Picture) Plumbing System

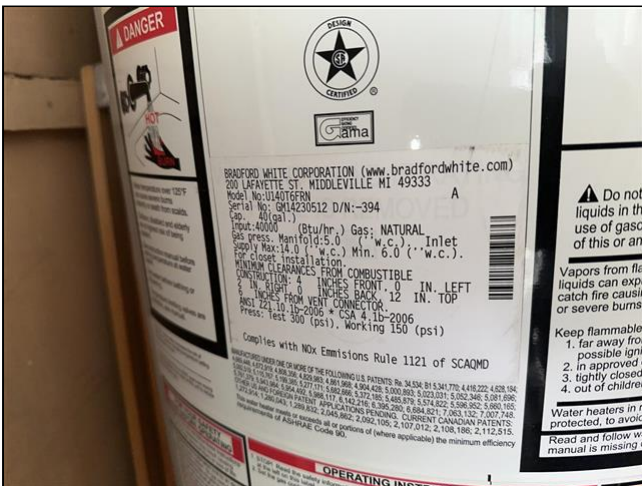
Hot Water Systems, Controls, Flues and Vents

45. (1) **Safety Issue:** The **rear unit** water heater(s) vent passes through a ceiling or wall without the use of an approved thimble or spacer. This could be a fire hazard. We suggest a qualified technician should install an approved, listed thimble or spacer.



Item 45 - Item 1(Picture) Plumbing System

46. (2) **Repair/Replace/Monitor:** The **front unit** water heater is an older unit. The water heater may be nearing the end of its service life. Typical life expectancy of water heaters is 7 to 12 years. The existing unit is 13 years old. It is difficult to determine when replacement will be necessary. Suggest replacement of the water heater by a licensed and qualified plumber.



Item 46 - Item 1(Picture) Plumbing System

47. (3) **Improve:** There is no catch pan installed under the **front unit** water heater. A pan is required by the plumbing standards when the appliance is located in an area where a leak could damage the structure. - Installation of a pan and drain pipe to the exterior should be done by a qualified technician.



Item 47 - Item 1(Picture) Plumbing System

48. (4) **Safety Issue:** The water heaters at the **rear unit** garage are not "rigidly" reinforced (there is a gap between the unit and the walls) - "blocking" or equivalent is needed to prevent earthquake movement. Suggest further review and repairs by a licensed plumber.

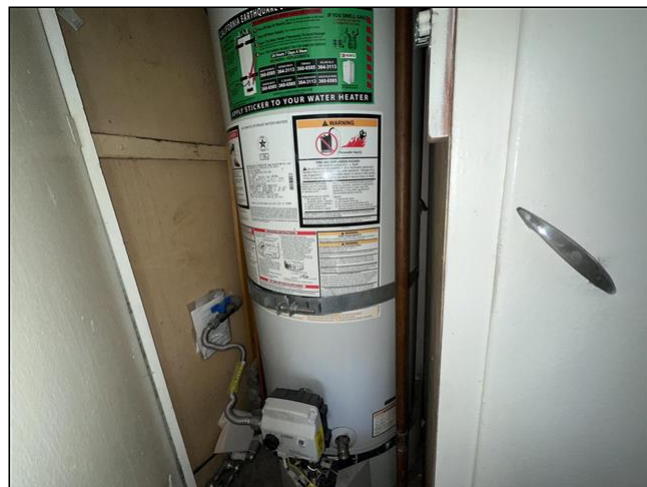


Item 48 - Item 1(Picture) Plumbing System

49. (6) **Note/Monitor:** The **front unit** water heater was operational and produced hot water at time of inspection.



Item 49 - Item 1(Picture) Plumbing System



Item 49 - Item 2(Picture) Plumbing System

Gas Supply & Gas Piping

50. (1) **Safety Issue:** The gas valve at the **rear unit** second floor hallway laundry closet has not been capped. The valve should be covered with a cap/cover when not in use.



Item 50 - Item 1(Picture) Plumbing System

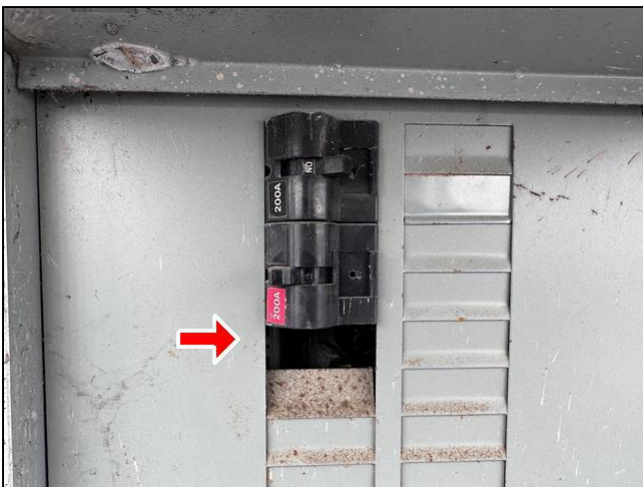
51. (2) **Safety Issue:** The gas supply pipe at the **rear unit** living room fireplace lacks a shut off valve. This is a safety concern. Suggest the installation of a shut off valve by a qualified professional.



Item 51 - Item 1(Picture) Plumbing System

Service and Grounding Equipment, Main Overcurrent Device, Main, Distribution Panels, Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage

52. (1) **Safety Issue:** It is suggested that all openings at the West exterior wall main electrical panel for the rear unit be covered with plastic covers.



Item 52 - Item 1(Picture) Electrical System

53. (2) **Safety Issue:** Suggest trimming away tree limbs/vegetation from the main electrical service entrance wires at the

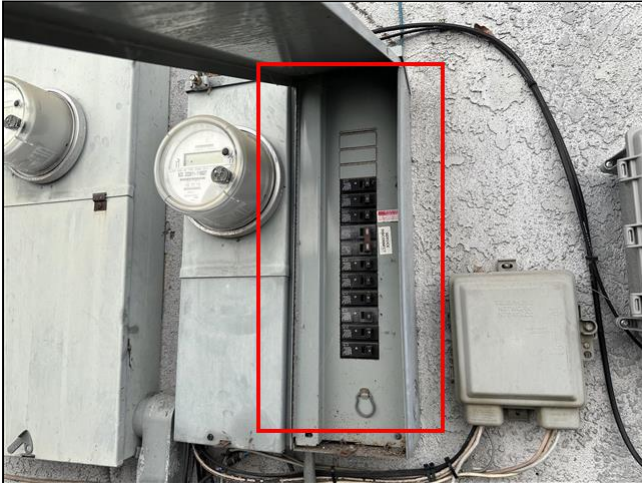
front of the property.



Item 53 - Item 1(Picture) Electrical System

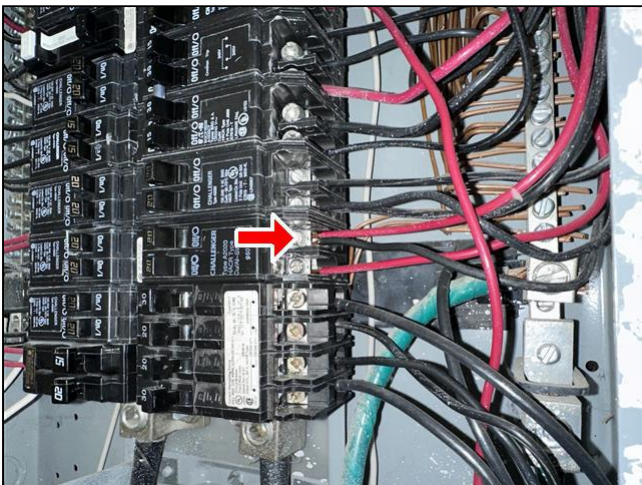
Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage

54. (1) **Safety Issue:** Two circuit conductors within the **front unit** main distribution panel are doubled up (referred to as "double taps") to a single breaker and must be separated. Each circuit conductor is to be served by a separate breaker; suggest repairs by a licensed electrical contractor.



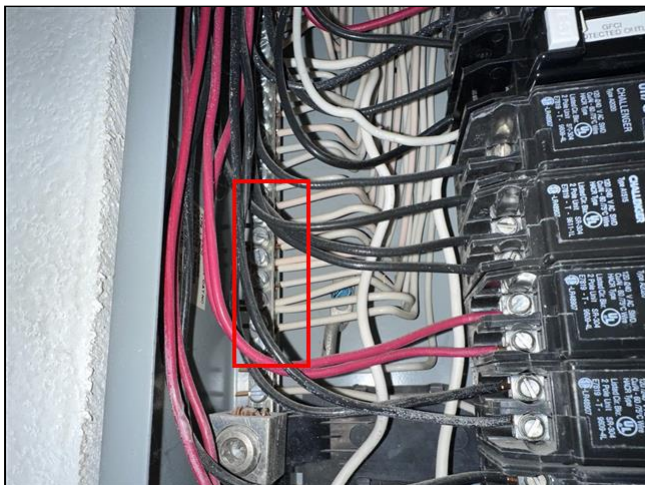
Item 54 - Item 1(Picture) Electrical System

55. (2) **Safety Issue:** Two circuit conductors within the **rear unit** main distribution panel are doubled up (referred to as "double taps") to a single breaker and must be separated. Each circuit conductor is to be served by a separate breaker; suggest repairs by a licensed electrical contractor.



Item 55 - Item 1(Picture) Electrical System

56. (3) **Safety Issue:** Double tapped neutral wires were observed at the **rear unit** main electrical panel neutral bus bar. When more than one neutral wire is fed into a single screw/terminal on the neutral bus bar, the connections can become loose. When there are loose connections in your main panel from a double tapped neutral like this, they can cause overheating or arcing, which can then lead to shock, and an electrical fire. Suggest repair/replacement by a qualified professional.



Item 56 - Item 1(Picture) Electrical System

Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside and outside of the home) Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures.

57. (1) **Safety Issue:** The **front unit** kitchen countertop electrical outlet lacks GFCI (Ground Fault Circuit Interrupter) protection. Suggest the installation of a GFCI outlet by a qualified electrician.



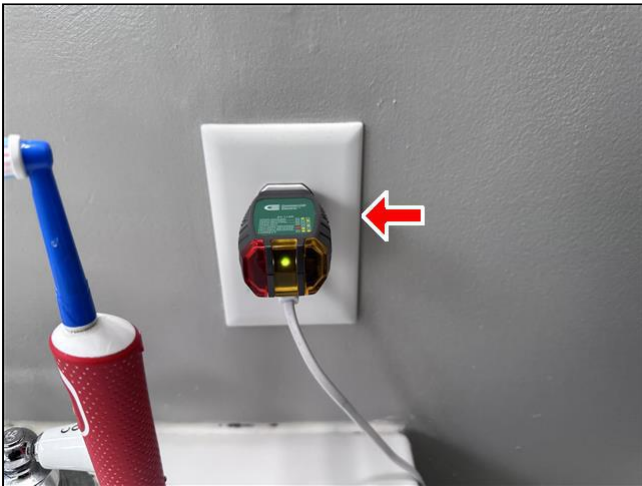
Item 57 - Item 1(Picture) Electrical System

58. (2) **Safety Issue:** The three prong electrical outlets at the **front unit** kitchen countertop are not grounded. Suggest further review and grounding of the outlets by a qualified electrician.



Item 58 - Item 1(Picture) Electrical System

59. (3) **Safety Issue:** The **front unit** hallway bathroom electrical outlet lacks GFCI (Ground Fault Circuit Interrupter) protection. Suggest the installation of a GFCI outlet by a qualified electrician.



Item 59 - Item 1(Picture) Electrical System

60. (4) **Safety Issue:** The three prong electrical outlet at the **front unit** hallway bathroom is not grounded. Suggest further review and grounding of the outlets by a qualified electrician.



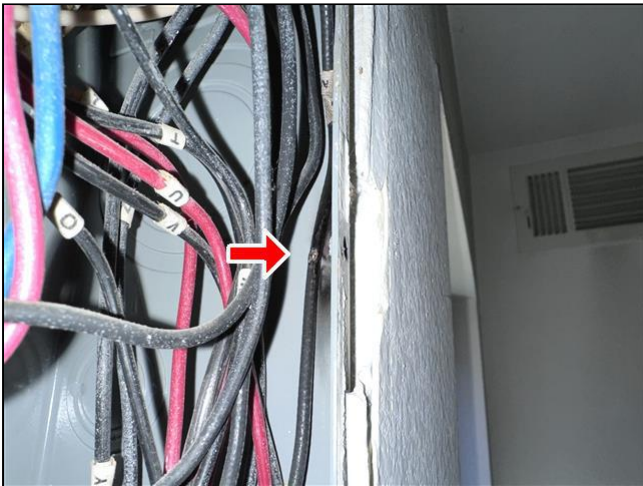
Item 60 - Item 1(Picture) Electrical System

61. (5) **Safety Issue:** The installation of ground fault circuit interrupter (GFCI) devices is advisable at all exterior and garage outlets. GFCI's are strongly recommended. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution; suggest repairs by a licensed electrical contractor.



Item 61 - Item 1(Picture) Electrical System

62. (6) **Safety Issue:** Upon removing the top right side screw for the **rear unit** electrical panel, the screw cut the wire insulation and tripped the circuit for the distribution wire. Suggest further review and repair by a qualified electrician.



Item 62 - Item 1(Picture) Electrical System

Insulation in Attic

63. **Repair or Replace:** The front unit insulation is inconsistent. Insulation should be evenly distributed throughout the attic space. Suggest repair/replacement of the insulation by a qualified professional.



Item 63 - Item 1(Picture) Insulation & Ventilation



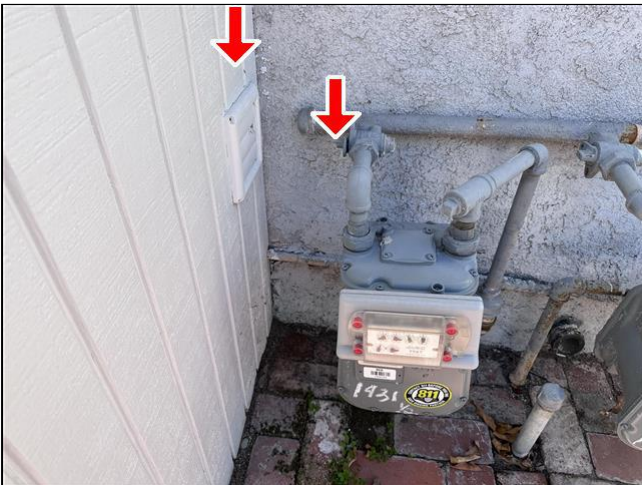
Item 63 - Item 2(Picture) Insulation & Ventilation



Item 63 - Item 3(Picture) Insulation & Ventilation

Venting Systems (Kitchens, Baths and Laundry)

64. (1) **Safety Issue:** The **front unit** laundry dryer vent terminates in close proximity to the gas meters at the East exterior wall. The minimum distance of three feet clearance from the gas meter to the clothes dryer intake or exhaust vent opening is required. Suggest relocating the laundry dryer vent by a qualified professional.



Item 64 - Item 1(Picture) Insulation & Ventilation

65. (2) **Repair or Replace:** The **front unit** primary bathroom exhaust vent opening lacks a baffle. Suggest further review and repair by a qualified professional.



Item 65 - Item 1(Picture) Insulation & Ventilation

Walls and Ceilings

66. (1) **Major Concern:** Evidence of water damage/roof leak was observed at the **front unit** South-East bedroom interior wall and ceiling finishes. A higher than average moisture reading was observed at the interior surfaces in various locations. The source of the leak(s) should be identified and repairs performed as necessary. Suggest referring to the Roofing section of this report regarding additional information. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 66 - Item 1(Picture) Interiors



Item 66 - Item 2(Picture) Interiors



Item 66 - Item 3(Picture) Interiors



Item 66 - Item 4(Picture) Interiors



Item 66 - Item 5(Picture) Interiors



Item 66 - Item 6(Picture) Interiors



Item 66 - Item 7(Picture) Interiors



Item 66 - Item 8(Picture) Interiors



Item 66 - Item 9(Picture) Interiors

67. (2) **Repair/Replace/Monitor:** Evidence of water intrusion/roof leak was observed at the **rear unit** living room East interior wall. It appears that the chimney is leaking. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. There is surface growth on the kitchen sink cabinet floor and sidewalls. This may indicate the presence of mold, fungus or other microbial organisms. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a

qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 67 - Item 1(Picture) Interiors

68. (3) **Improve/Monitor:** Evidence of patching was observed at the **front unit** kitchen interior ceiling finishes. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 68 - Item 1(Picture) Interiors

69. (5) **Improve/Monitor:** Evidence of patching was observed at the **front unit** hallway bathroom interior ceiling finishes. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.

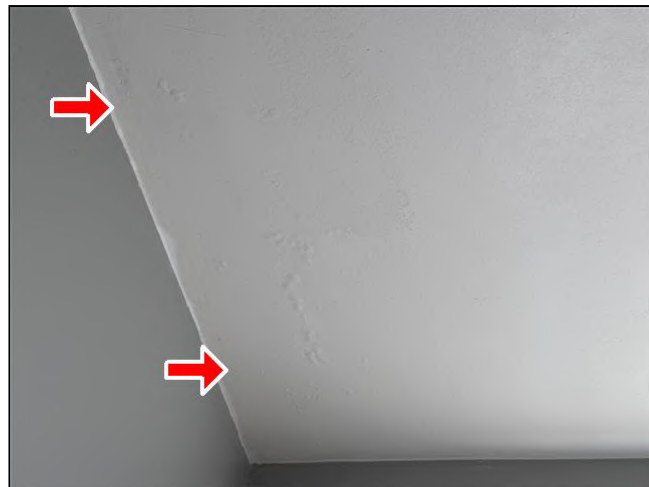


Item 69 - Item 1(Picture)

70. (6) **Improve/Monitor:** There is surface growth on the **front unit** hallway bathroom interior ceiling finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 70 - Item 1(Picture) Interiors



Item 70 - Item 2(Picture) Interiors

71. (7) **Improve/Monitor:** There is surface growth on the **front unit** primary bathroom interior window sill finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 71 - Item 1(Picture) Interiors

Floors

72. (1) **Repair or Replace:** Evidence of water damage/water leak was observed at the **rear unit** third floor area adjacent to the french doors. The floor is damaged. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest repair/replacement of the floor by a qualified professional.



Item 72 - Item 1(Picture) Interiors



Item 72 - Item 2(Picture) Interiors

Windows (representative number)

73. **Repair or Replace:** The **front unit** kitchen East wall dual pane widow interior gasket is bulging. This is common with many older dual pane window. This indicates that the gasket/seal is defective. Replacement of the window is suggested by a qualified professional.



Item 73 - Item 1(Picture) Interiors

Counters and Cabinets (representative number)

74. **Repair or Replace:** The **front unit** kitchen sink backsplash/countertop is in need of caulking with silicone at various areas to prevent moisture damage. Recommend repair or replace as necessary.



Item 74 - Item 1(Picture) Interiors

Garage Ceilings/Walls

75. (1) **Major Concern:** Evidence of water intrusion and damaged wood was observed at the **front unit** garage along the East wall/ceiling and West areas as well. Water is entering from the exterior deck and/or faulty garage at the East exterior wall. The source of the water should be identified and repairs performed as necessary. Suggest referring to the Roofing section of this report regarding additional information. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 75 - Item 1(Picture) Garage

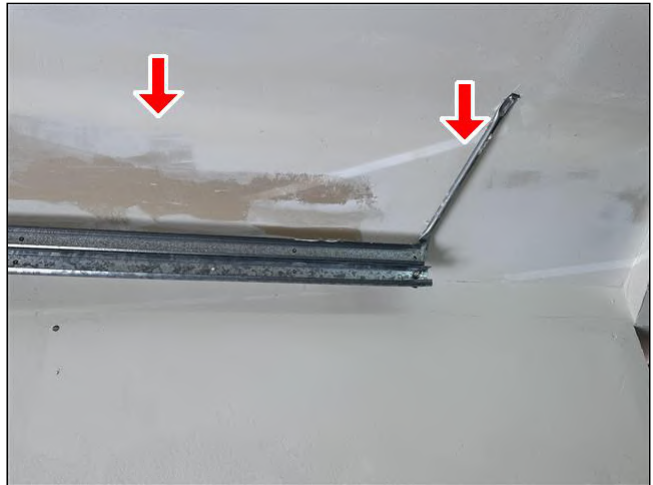


Item 75 - Item 2(Picture) Garage

76. (2) **Major Concern:** Evidence of water intrusion was observed at the **rear unit** East garage in several locations. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



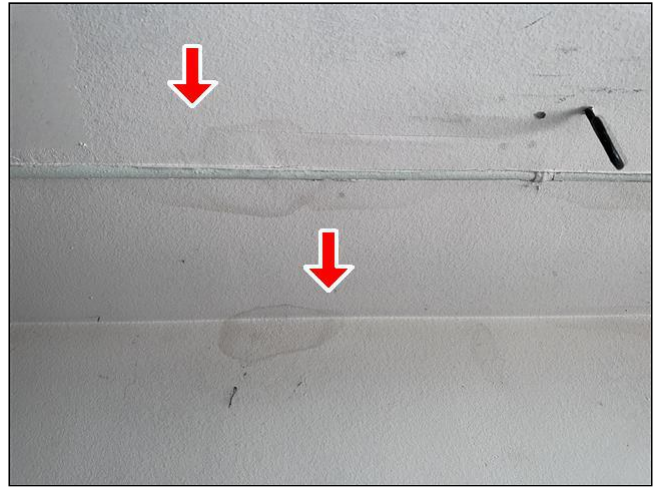
Item 76 - Item 1(Picture) Garage



Item 76 - Item 2(Picture) Garage



Item 76 - Item 3(Picture) Garage



Item 76 - Item 4(Picture) Garage



Item 76 - Item 5(Picture) Garage



Item 76 - Item 6(Picture) Garage



Item 76 - Item 7(Picture) Garage



Item 76 - Item 8(Picture) Garage



Item 76 - Item 9(Picture) Garage

77. (3) **Major Concern:** Evidence of water intrusion was observed at the **rear unit** West bonus room along the West and rear wall. The presence of water often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations. Also, there is surface growth on the interior surfaces/finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 77 - Item 1(Picture) Garage



Item 77 - Item 2(Picture) Garage

78. (4) **Improve/Monitor:** There is surface growth on the **rear unit** East garage interior wall finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



Item 78 - Item 1(Picture) Garage

79. (5) **Improve/Monitor:** A condition known as efflorescence is evident on portions of the **front unit** garage concrete foundation walls or slab. This whitish, fuzzy material is a mineral deposit left when moisture in the concrete evaporates. The presence of efflorescence often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations.



Item 79 - Item 1(Picture) Garage

Dishwashers

80. **Repair or Replace:** The rear unit dishwasher metal door is rusted. Suggest replacement of the dishwasher.



Item 80 - Item 1(Picture) Appliances

Ranges/Ovens/Cooktops

81. **Safety Issue:** The anti-tip bracket for the **front unit** kitchen stove has not been installed. The anti-tip bracket provides extra protection when excess force is applied to an open oven door. Suggest the installation by a qualified professional.



Item 81 - Item 1(Picture) Appliances

Exhaust/Recirculating Fan

82. **Repair or Replace:** Water stains were observed at the **front unit** kitchen exhaust vent. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary.



Item 82 - Item 1(Picture) Appliances



Item 82 - Item 2(Picture) Appliances

Refrigerators

83. **Repair or Replace:** The **rear unit** water supply valve for the kitchen refrigerator was off during the inspection. It has been stated that the valve leaks when turned on. It is suggested that the water supply valve be replaced by a qualified professional to prevent water damage.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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1. Roofing

The inspector shall inspect from ground level or eaves: The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

The inspector is not required to: Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material.



Roofing

Styles & Materials

Roof Covering:

Asphalt/Fiberglass Shingles

Viewed Roof Covering From:

Walked Roof
Drone

Chimney (exterior):

Metal Flue Pipe

Number Of Roofing Layers:

Shingle Roof: 1 to 2 Layers

Gutters & DownSpouts:

Metal
Full Installation
Discharge Below Grade Level

Items

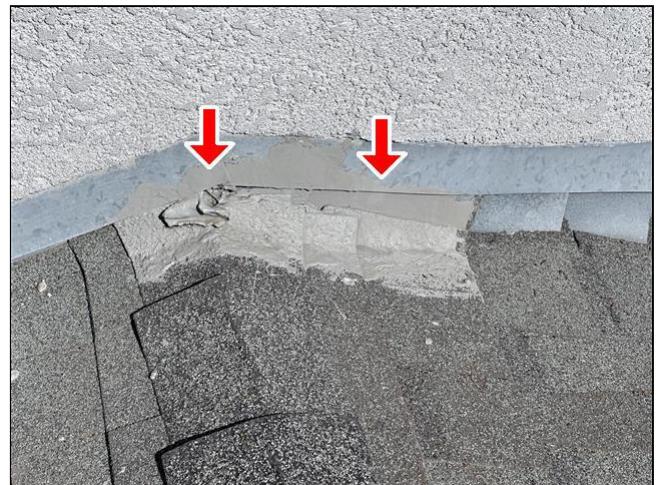
1.0 Roof Coverings

Comments: Major Concern, Repair or Replace, Improve, Monitor

(1) **Major Concern:** The patching or repairs performed on this roof appear to have been done by a non-professional. They are not in accordance with industry standards are likely to leak or require ongoing maintenance. We suggest that the entire roof should be evaluated by a qualified roofer and repaired or replaced as necessary.



1.0 Item 1(Picture) Roofing



1.0 Item 2(Picture) Roofing



1.0 Item 3(Picture) Roofing



1.0 Item 4(Picture) Roofing

(2) **Repair/Replace/Monitor:** The composition shingle roofing is wearing at uneven rates. The sides of the roofing that are more exposed to the sun's light are wearing more quickly than other areas. Replacement of some areas may be required prior to the entire roofing requiring replacement. Unable to determine how long the roofing will remain serviceable. As with any roof, periodic review by a licensed roof contractor is advised to repair any needed areas.



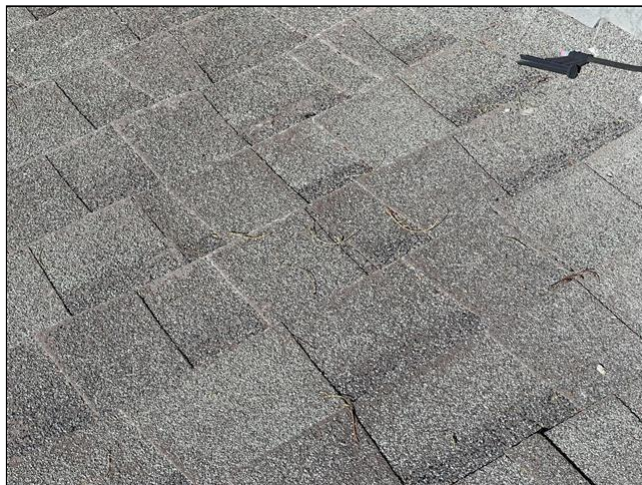
1.0 Item 5(Picture) Roofing



1.0 Item 6(Picture) Roofing



1.0 Item 7(Picture) Roofing



1.0 Item 8(Picture) Roofing



1.0 Item 9(Picture) Roofing

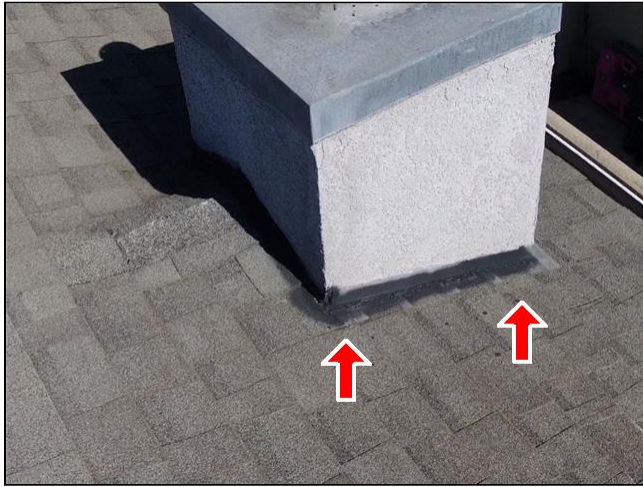
(3) **Improve:** It is suggested that all trees, tree limbs and vegetation in contact with the home be removed and/or trimmed away from the home to prevent damage and rodent activity.



1.0 Item 10(Picture) Roofing

(4) **Monitor:** The roof is covered with mastic in one or more locations. This is an indication of a past problem

and note that these areas could not be properly viewed and will require ongoing maintenance. Inquire with the seller for more information. Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stain that shows up on the interior.



1.0 Item 11(Picture) Roofing

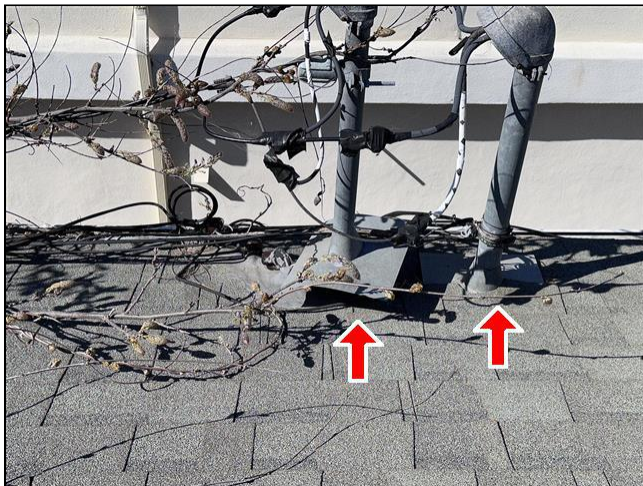


1.0 Item 12(Picture) Roofing

1.1 Flashings/Vents

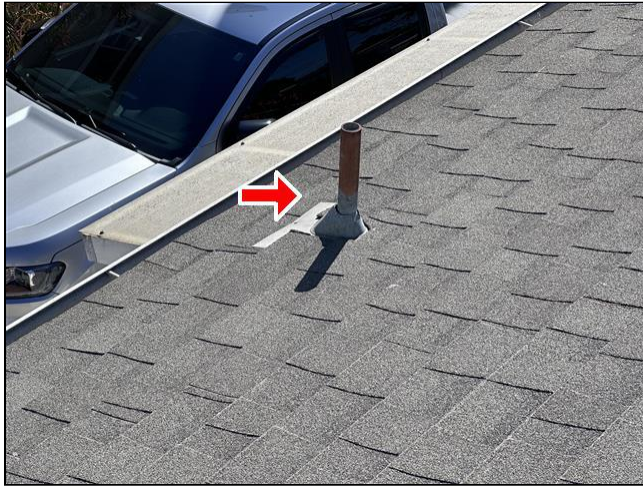
Comments: Repair or Replace

(1) **Repair or Replace:** The flashing for the main electrical service conduits at the front slope of the roof are surface mounted and/or not installed in accordance to industry standards. The flashings are improperly installed. This can allow leaks. We suggest a qualified roofer should make repairs or modifications as necessary.



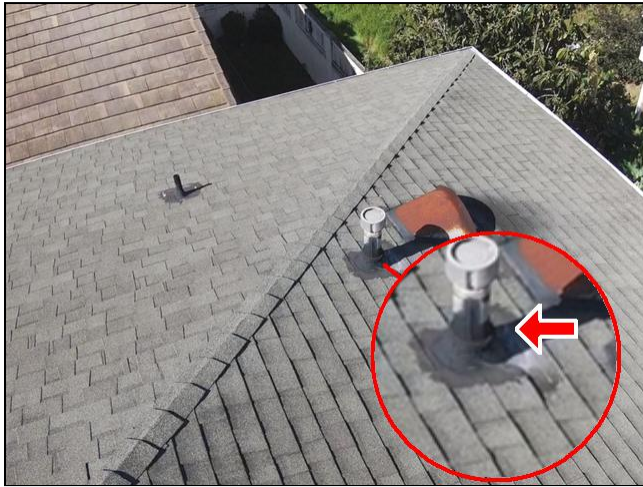
1.1 Item 1(Picture) Roofing

(2) **Repair or Replace:** The mastic at the front East slope of the roof vent penetration is missing. It is suggested that all vent and penetrations be examined and sealed with approved material by a qualified professional.



1.1 Item 2(Picture) Roofing

(3) **Repair or Replace:** The mastic at the **rear unit** heater metal vent penetration is missing. Also, the exhaust vent lacks a storm collar. It is suggested that all vent and penetrations be examined and sealed with approved material by a qualified professional.



1.1 Item 3(Picture) Roofing

1.3 Roof Drainage Systems

Comments: Monitor

Monitor: Various downspouts are discharging into an underground drainage system. The drainage system was not water-tested during the inspection. We make no representations as to its nature or effectiveness. The operation of the drainage system should be observed during adverse weather. Inquires should be made to the seller(s) as to their knowledge of its past and present condition.



1.3 Item 1(Picture) Roofing



1.3 Item 2(Picture) Roofing

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Professional Inspection Network recommends an annual inspection and tune-up to minimize the risk of leakage and to maximize roof life. It is impossible to inspect the total underside surface of the roof sheathing for evidence of leaks. Evidence of prior leaks may be disguised by interior finishes. Leakage can develop at any time and may depend on rain intensity, wind direction, and other factors. Estimates of remaining roof life are approximations only and do not preclude the possibility of leakage.

The entire underside of the roof sheathing is not inspected for evidence of leakage.

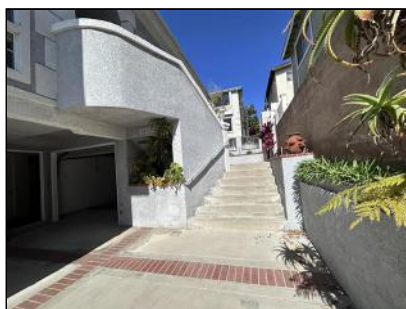
Interior finishes may disguise evidence of prior leakage.

No comment can be offered on the condition of the membrane beneath the roof surface.

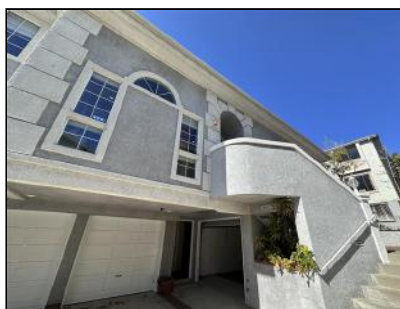
2. Exterior

The inspector shall inspect: The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

The inspector is not required to: Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.



Exterior



Exterior

Styles & Materials

Siding Material:

Stucco Cladding

Exterior Entry Doors:

Wood

Appurtenance:

- Balcony
- Porch
- Deck
- Steps

Driveway:

Concrete

Walkways:

Concrete

Fence Type:

- Wood
- Stucco

Items

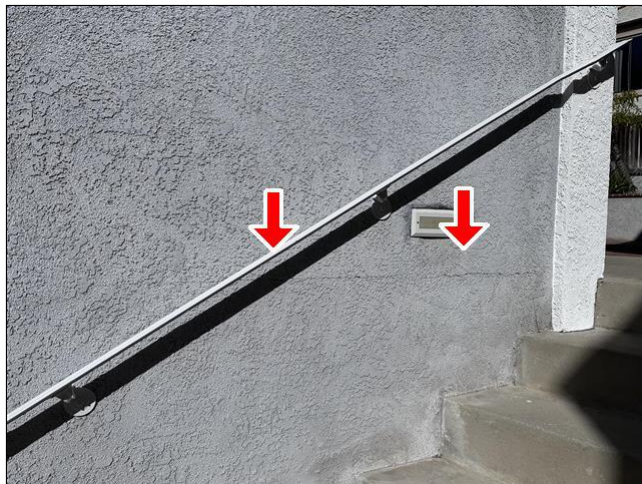
2.0 Wall Cladding, Flashing, Trims, Beams, Rafters, Eaves, Fascia Boards, Decks, Balconies, Stoops, Steps, Stairways, Areaways, Bridges, Porches, Patio/Cover and Applicable Railings

Comments: Repair or Replace, Improve

(1) **Repair/Replace/Monitor:** Visible cracking in the stucco cladding was observed at the exterior walls in one or more locations. Cracking in stucco walls happens when there is more stress placed on the wall than the material can withstand. The underlying cause of the hairline wall cracking may be due to problems with the wall's framing, contraction or expansion of wood sheathing, settling, thermal expansion or contraction, rapid changes in temperature, weak areas in the wall or abnormal vibrations in the ground. Suggest further evaluation by a qualified trades person for determination and/or corrective repairs within the inspection contingency period.



2.0 Item 1(Picture) Exterior



2.0 Item 2(Picture) Exterior

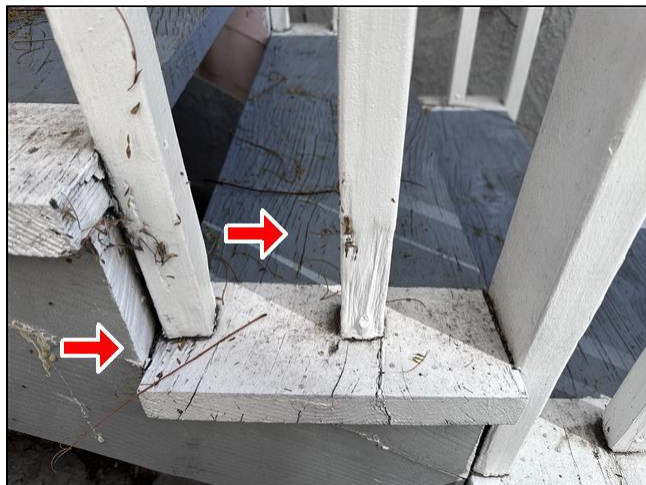
(2) **Repair or Replace:** Wood deterioration was observed at the West exterior wall **front unit** stairway/steps. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



2.0 Item 3(Picture) Exterior



2.0 Item 4(Picture) Exterior

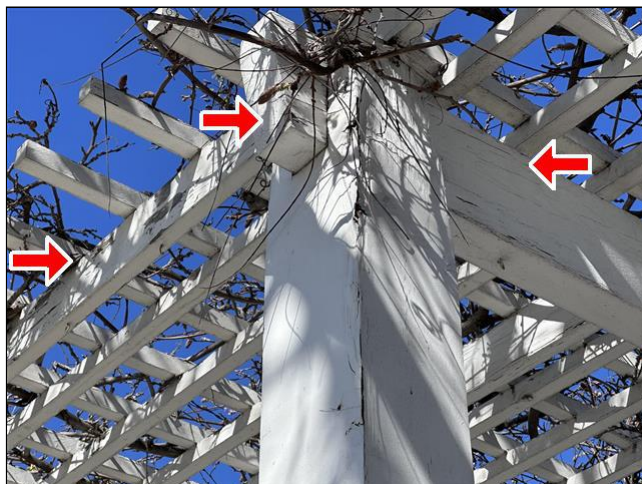


2.0 Item 5(Picture) Exterior

(3) **Repair or Replace:** Wood deterioration was observed at the front exterior wall **front unit** deck covering. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.



2.0 Item 6(Picture) Exterior



2.0 Item 7(Picture) Exterior

(4) **Repair or Replace:** The stucco cladding at the West exterior wall window trims/frames/moulding is damaged in one or more locations. Suggest the stucco cladding be repaired by a qualified contractor to prevent water intrusion and water damage.

(5) **Repair or Replace:** The stucco cladding at the base of the exterior walls of the building is deteriorated in one or more locations. This type of deterioration is common in many older homes. The home was built in an era before weep screeds were installed at the bottom edge of the stucco siding, the stucco was extended into the soil. The stucco wicks water up out of the soil which causes the stucco to deteriorate from being moist for prolonged periods. We recommend minimizing moisture around the building to help protect the stucco and the foundation from moisture damage. Suggest further evaluation by a qualified trades person for determination and/or corrective repairs within the inspection contingency period.



2.0 Item 8(Picture) Exterior

(6) **Repair or Replace:** The stucco cladding at the **rear unit** West exterior wall balcony is damaged in one or more locations. Suggest the stucco cladding be repaired by a qualified contractor to prevent water intrusion and water damage.



2.0 Item 9(Picture) Exterior

(7) **Improve:** It is suggested that all trees, tree limbs and vegetation in contact with the home be removed and/or trimmed away from the home to prevent damage and rodent activity.



2.0 Item 10(Picture) Exterior



2.0 Item 11(Picture) Exterior

(8) **Improve:** The metal weep screed flashing at the rear exterior wall is covered and or does not have the required clearances from the ground. The weep screed should be placed a minimum of 4 inches above the earth, or 2 inches above paved areas, and should be of a type that will allow trapped water to drain to the exterior of the building. Suggest removal of the soil these locations to prevent water damage and or moisture intrusion.



2.0 Item 12(Picture) Exterior

(9) **Monitor:** The front section of the subject property/home was built in an era before weep screeds were installed at the bottom edge of the stucco siding, the stucco was extended into the soil. The stucco wicks water up out of the soil which causes the stucco to deteriorate from being moist for prolonged periods. We recommend minimizing moisture around the building to help protect the stucco and the foundation from moisture damage.



2.0 Item 13(Picture) Exterior

2.1 Doors (Exterior)

Comments: Repair or Replace

Major Concern: Water damage was observed at the **rear unit** rooftop deck storage door, frame and interior closet area. The door is in this location is not ideal for exterior use. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest repair/ replacement by a qualified professional.



2.1 Item 1(Picture) Exterior

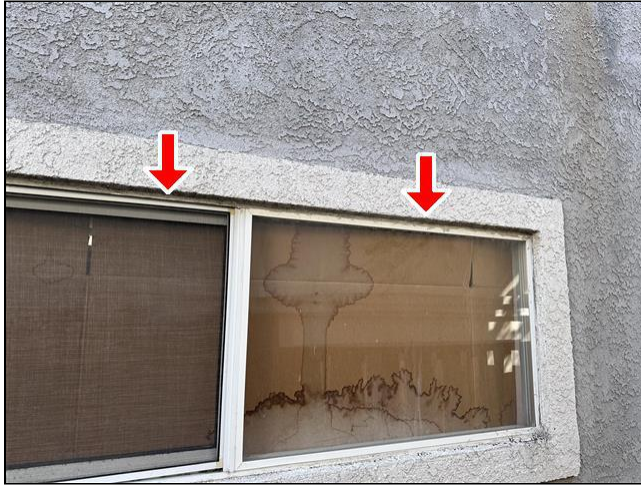


2.1 Item 2(Picture) Exterior

2.2 Windows

Comments: Repair or Replace, Monitor

Repair/Replace/Monitor: The rear West exterior wall window frame is covered with silicone in one or more locations. This is an indication of a past problem and note that these areas could not be properly viewed and will require ongoing maintenance. Inquire with the seller for more information Leaks can be difficult to repair, as the source of the leakage can be far removed from the water stain that shows up on the interior.



2.2 Item 1(Picture) Exterior



2.2 Item 2(Picture) Exterior

2.4 Vegetation, Grading, Drainage, Driveways, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

Comments: Safety Issue, Repair or Replace, Monitor

(1) **Safety Issue:** The uneven concrete walkway at the front area of the subject property poses a trip hazard. Suggest repair by a qualified professional.



2.4 Item 1(Picture) Exterior

(2) **Repair/Replace/Monitor:** The retaining wall(s) at the front area of the subject property is cracked and shows signs of movement. Unable to determine the rate of movement during a one time visit to the subject property. The evaluation of soil conditions and/or retaining wall stability is not within the scope of this inspection. For information on soil and retaining wall stability and/or the potential for movement, we recommend that you determine if the owners have information on the soils condition, or contact a qualified geotechnical engineer who is familiar with conditions in this area.



2.4 Item 2(Picture) Exterior

(3) **Repair or Replace:** There is a negative slope towards the building at the rear wall which will cause water to pond during rain or extended irrigation. This configuration can cause or contribute to water intrusion or deterioration of the foundation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



2.4 Item 3(Picture) Exterior



2.4 Item 4(Picture) Exterior

(4) **Repair or Replace:** There is a negative slope towards the building at the West exterior wall which will cause water to pond during rain or extended irrigation. This configuration can cause or contribute to water intrusion or deterioration of the foundation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



2.4 Item 5(Picture) Exterior

(5) **Improve/Monitor:** Unable to determine if a moisture barrier has been employed between the soil and exterior wall/foundation at the rear North-West corner of the home. The lack of a moisture barrier can allow to seep into the structure and cause damage. It is strongly advised that these exterior areas be further investigated and corrected by a qualified contractor.



2.4 Item 6(Picture) Exterior

(6) **Improve/Monitor:** Low/neutral areas were observed at the grading which will cause water to pond during rain or extended irrigation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.



2.4 Item 7(Picture) Exterior

(7) **Monitor:** Unable to verify adequate drainage for the retaining walls throughout the subject property during the inspection. A retaining wall drainage pipe or toe drain is a pipe with perforations that collects water all along the wall and then drains it to the exterior; either to the sides or through the front of the wall. While tall walls need multiple pipe drains at different heights, most pipe drains are located at the base of the wall, vented every 30 to 50 feet. We suggest asking the current home owner/builder to provide any documents to verify conforming installation of the retaining walls and drainage systems prior to close of escrow to determine if further investigations are required. It is also suggested that all debris be cleared away from the swale. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the retaining wall and limited to short durations.



2.4 Item 8(Picture) Exterior



2.4 Item 9(Picture) Exterior

(8) **Monitor:** The property drainage system was not water-tested during the inspection. We make no representations as to its nature or effectiveness. The operation of the drainage system should be observed during adverse weather. Inquires should be made to the seller(s) as to their knowledge of its past and present

condition.



2.4 Item 10(Picture) Exterior

2.6 Fence/Block Walls & Gates

Comments: Repair or Replace

Repair or Replace: Wood deterioration was observed at the exterior wooden fence throughout. The wood fence is in need of replacement.



2.6 Item 1(Picture) Exterior

2.10 Irrigation

Comments: Improve

Improve: Various irrigation sprinklers at the are in close proximity to the exterior walls of the home. It is suggested that the sprinklers be relocated away from the home and foundation walls to prevent damage to the home.



2.10 Item 1(Picture) Exterior

2.11 Grounds

Comments: Monitor

Monitor: The evaluation of soil conditions and/or stability is not within the scope of this inspection. For information on soil stability and/or the potential for movement, we recommend that you determine if the owners have information on the soils condition, or contact a qualified geotechnical engineer who is familiar with conditions in this area.

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspection does not include an assessment of geological conditions and/or site stability. If further concerned about hillside, lot, or soil conditions, we recommend that you refer to a qualified licensed Geo-Technical Engineer before the close of escrow.

3. Structural Components

The inspector shall inspect: The basement. The foundation. The crawlspace. The visible structural components. Any present conditions or clear indications of active water penetration observed by the inspector. And report any general indications of foundation movement that are observed by the inspector, such as but not limited to sheetrock cracks, brick cracks, out-of-square door frames or floor slopes.

The inspector is not required to: Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector, Move stored items or debris, Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.

Styles & Materials

Foundation: Poured Concrete	Method used to observe Crawlspace: Crawled	Floor Structure: Wood Joists Rear Unit: Slab Foundation
Wall Structure: Not Visible	Columns or Piers: Wood Piers	Ceiling Structure: Wood Joist
Roof Structure: Stick-built Plywood Sheathing Soid Plank Sheathing Rafters	Roof-Type: Hip	Method used to observe attic: Walked Inaccessible Areas
Attic Information: Attic Access: Various Locations		

Items

3.0 Foundations, Basement and Crawlspace

Comments: Safety Issue, Repair or Replace, Improve, Monitor

(1) **Safety Issue/Repair/Replace:** The cripple walls at the **front unit** have not been reinforced. It is suggested that the foundation be improved/retrofitted with approved structural hardware and cripple walls be reinforced by a qualified professional. The primary purpose of earthquake retrofitting is to keep your home from being displaced from its concrete foundation and cripple walls from movement - making the building safer and less prone to major structural damage during an earthquake. Existing homes need to be retrofitted because our understanding of the effects of earthquakes as well as construction techniques have improved after the homes were built.

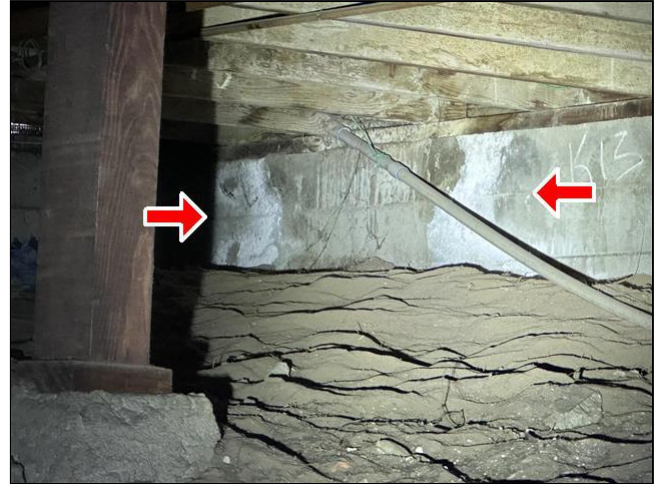


3.0 Item 1(Picture) Structural Components

(2) **Improve/Monitor:** A condition known as efflorescence is evident on portions of the concrete foundation walls or slab. This whitish, fuzzy material is a mineral deposit left when moisture in the concrete evaporates. The presence of efflorescence often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations.



3.0 Item 2(Picture) Structural Components



3.0 Item 3(Picture) Structural Components

(3) **Monitor:** The original building (front unit) is anchored to the foundation using older technology. The original configuration appears to have performed adequately to date. Consider upgrades as part of any future modernization and/or remodeling.

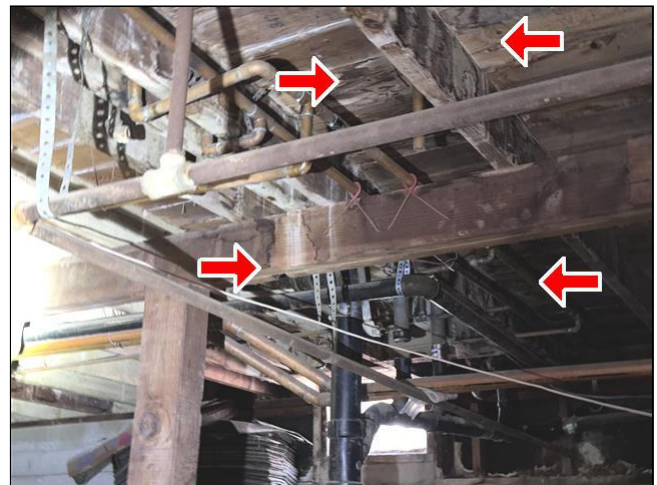
3.2 Floors/Columns/Piers

Comments: Improve

(1) **Improve:** Water staining, possible wood deterioration and possible fungus was observed at the **front unit** subfloor and framing in one or more locations. It is suggested that the subfloor below bathrooms be further evaluated by a qualified contractor to determine if wood subfloors or in need of repair and or replacement.



3.2 Item 1(Picture) Structural Components



3.2 Item 2(Picture) Structural Components

(2) **Improve:** The girder and post connections are not reinforced according to modern standard building

practice. No adverse effects resulting from this condition are noted. We suggest as an up-grading these connections would be considered optional.



3.2 Item 3(Picture) Structural Components

3.5 Roof Structure & Attic Space

Comments: Safety Issue, Improve, Monitor

(1) **Improve/Safety Issue:** Evidence of rodents was found in the form of feces was observed in the **front unit** attic space of the home. Consult with the property owner about this. A qualified person should make repairs to seal openings in the structure, set traps, and clean rodent waste as necessary. Future costs could be incurred from prior rodent damage not visible at time of inspection.

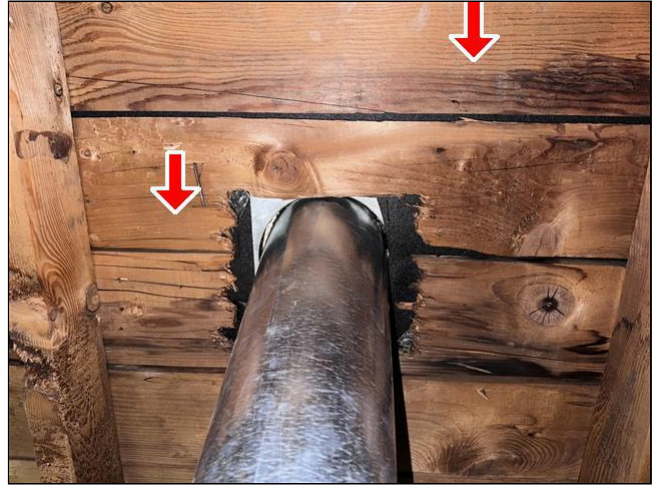


3.5 Item 1(Picture) Structural Components

(2) **Monitor:** Water staining was observed on the underside of the **front unit** roof sheathing and structure in various locations. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary.

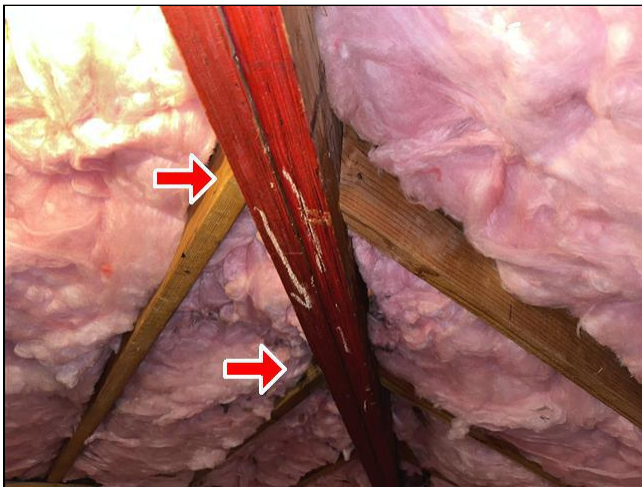


3.5 Item 2(Picture) Structural Components



3.5 Item 3(Picture) Structural Components

(3) **Repair or Replace:** Signs of possible wood deterioration was observed at the **rear unit** roofing structure. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. Suggest repair/replacement of all deteriorated wood by a licensed contractor.

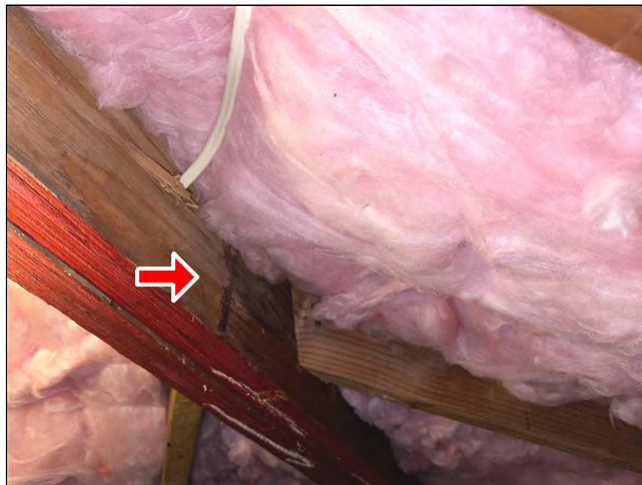


3.5 Item 4(Picture) Structural Components

(4) **Monitor:** Water staining was observed at the **rear unit** attic space platform and roof structure. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary.



3.5 Item 5(Picture) Structural Components



3.5 Item 6(Picture) Structural Components

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Structural components concealed behind finished surfaces could not be inspected.

Only a representative sampling of visible structural components was inspected in the attic garage.

Evaluation of permits, identifying the extent of modifications and code compliance are beyond the scope of this inspection.

4. Heating / Central Air Conditioning

The inspector shall inspect: The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls. The fireplace, and open and close the damper door if readily accessible and operable. Hearth extensions and other permanently installed components. And report as in need of repair deficiencies in the lintel, hearth and material surrounding the fireplace, including clearance from combustible materials.

The inspector is not required to: Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage. Inspect the flue or vent system. Inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels. Determine the need for a chimney sweep. Operate gas fireplace inserts. Light pilot flames. Determine the appropriateness of such installation. Inspect automatic fuel feed devices. Inspect combustion and/or make-up air devices. Inspect heat distribution assists whether gravity controlled or fan assisted. Ignite or extinguish fires. Determine draft characteristics. Move fireplace inserts, stoves, or firebox contents. Determine adequacy of draft, perform a smoke test or dismantle or remove any component. Perform an NFPA inspection. Perform a Phase 1 fireplace and chimney inspection.

Styles & Materials

Heat Type:

Forced Air
Wall Heater

Heater Location:

Attic Space
Living Room
Hallway

Energy Source:

Natural Gas

Number of Heat Systems (excluding wood):

Three

Heater System Brand:

BRYANT
RHEEM
WILLIAMS

Heater System Age:

Rear Unit Forced Air: 20+ Years Old
Front Unit: Wall Heaters 10+ Years Old

Ductwork:

Insulated Flexible Ducting

Filter Type:

Disposable

BTU's:

100,000 BTU
35,000

Cooling Equipment Type:

Air Conditioner Unit

Cooling Equipment Energy Source:

Electricity (240-Volt)

Number of AC Only Units:

One

Cooling Equipment Brand:

BRYANT

Air Conditioner Unit Age:

7 Years Old

Fireplace(s):

One

Type of Fireplace(s):

Metal Gas Fireplace

Items

4.0 Heating Equipment

Comments: Repair or Replace, Monitor

(1) **Repair/Replace/Monitor:** The **front unit** wall heater is at or approaching the end of its service life. The wall heater is 30+ years old. The wall heater can fail at any time. Eventual replacement of this system should be anticipated. - A qualified HVAC contractor can inspect the system and provide you with replacement options and costs.

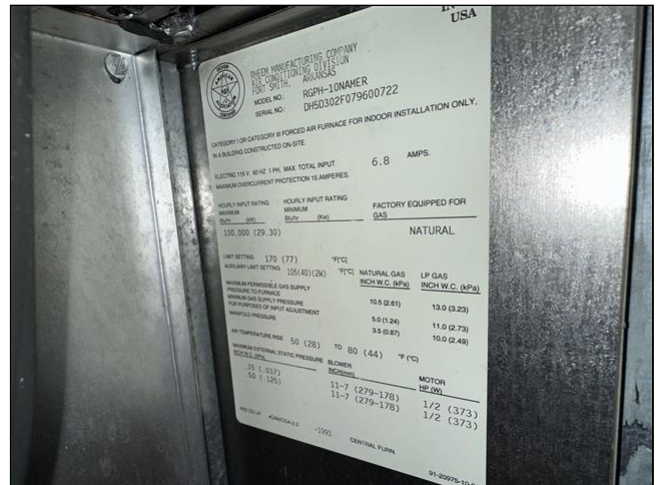


4.0 Item 1(Picture) Heating/Central Air

(2) **Repair/Replace/Monitor:** The **rear unit** forced air heater is at or approaching the end of its service life. The wall heater is 20+ years old. The wall heater can fail at any time. Eventual replacement of this system should be anticipated. - A qualified HVAC contractor can inspect the system and provide you with replacement options and costs.



4.0 Item 2(Picture) Heating/Central Air



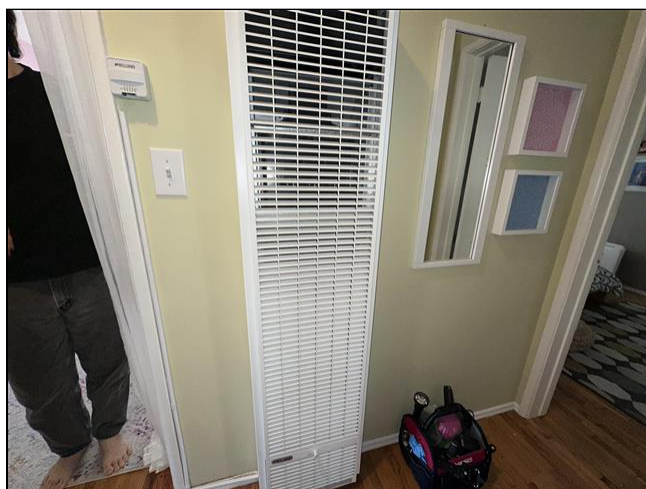
4.0 Item 3(Picture) Heating/Central Air

(3) **Monitor:** The **front unit** wall heater was operational and produced heat at time of inspection. However, due to the many components that are not visible (such as the heat exchanger and the entire length of the flue pipe), our inspection of the system is limited. Because of this, we recommend further evaluation/safety check be performed by the local gas company before the end of your contingency period.



4.0 Item 4(Picture) Heating/Central Air

(4) **Monitor:** The **front unit** hallway wall installed is not original. The furnace appeared functional at the time of inspection. However, we recommend asking the sellers for documentation showing that this unit was installed by a licensed HVAC contractor per the manufactures installation requirements. If documentation cannot be produced, I recommend this unit be further explored by a licensed HVAC contractor for safety.



4.0 Item 5(Picture) Heating/Central Air

(5) **Monitor:** The **rear unit** forced air heater was operational and produced heat at time of inspection. However, due to the many components that are not visible (such as the heat exchanger and the entire length of the flue pipe), our inspection of the system is limited. Because of this, we recommend further evaluation/ safety check be performed by the local gas company before the end of your contingency period.



4.0 Item 6(Picture) Heating/Central Air

4.1 Heater Gas Supply

Comments: Improve

Improve: It is suggested that sediment traps be installed at all natural gas fired appliances and heaters.

4.2 Operating Controls/Thermostat

Comments: Inspected

4.3 Flues and Vents (for gas heating systems)

Comments: Safety Issue

(1) **Safety Issue:** The **front unit** wall heater metal exhaust vent does not have safe clearance from combustible material. The metal vent is in contact with the underside of the roof sheathing and wall frame. Suggest further review and conforming installation by a licensed HVAC contractor.



4.3 Item 1(Picture) Heating/Central Air



4.3 Item 2(Picture) Heating/Central Air

(2) **Monitor:** The older ceramic exhaust flue at the **front unit** living room wall heater may contain Asbestos. This can only be verified by laboratory analysis. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" (damaged, crumbling, or in any state that allows the release of fibers). Suggest further review, testing and removal by a qualified professional.



4.3 Item 3(Picture) Heating/Central Air

(3) **Monitor:** Insulation on the underside of the **rear unit** roof sheathing prevents view of the heater vent penetration.



4.3 Item 4(Picture) Heating/Central Air

4.4 Air Return & Distribution Systems

Comments: Inspected

4.5 Air Filter(s)

Comments: Inspected

4.6 Presence of Installed Heat Source in Each Room

Comments: Inspected

4.7 Cooling and Air Handler Equipment

Comments: Repair or Replace, Improve

(1) **Repair or Replace:** The **rear unit** air conditioning system did not provide sufficient drop in temperature

(cooling) during the inspection. It is suspected that the unit is not adequately sized for the rear unit. Also, there are air supply registers at the lower bonus room area. This does not appear to be the original design of the HVAC system and can reduce the efficiency of the HVAC system. Suggest further investigations by a qualified HVAC contractor to provide repair/replacement options and cost.



4.7 Item 1(Picture) Heating/Central Air



4.7 Item 2(Picture) Heating/Central Air

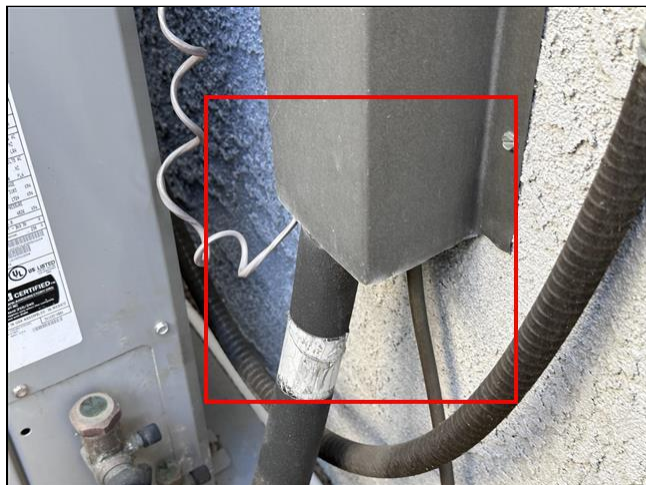


4.7 Item 3(Picture) Heating/Central Air



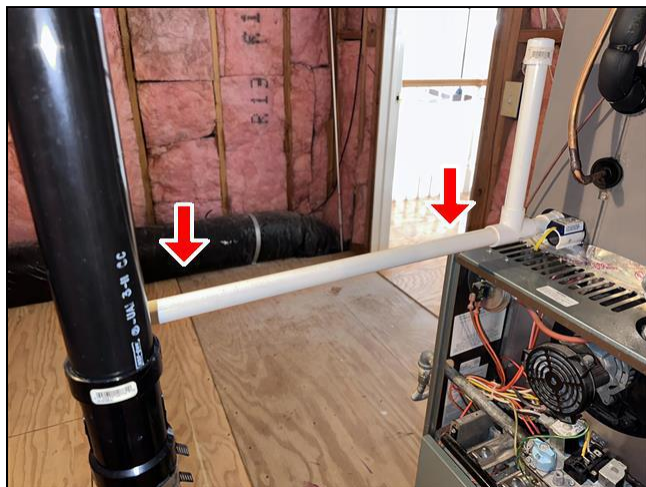
4.7 Item 4(Picture) Heating/Central Air

(2) **Improve:** The penetration(s) where the coolant refrigerant lines enter the building are not sealed. These areas are large enough to allow pest entry into the building. We suggest the holes in the penetrations should be properly sealed.



4.7 Item 5(Picture) Heating/Central Air

(3) **Repair or Replace:** The condensate drain line(s) for the indoor air component of the air conditioning system should be improved. The drain attaches to a plumbing vent without the use of a "P" trap. Suggest repair by a licensed HVAC contractor.



4.7 Item 6(Picture) Heating/Central Air

4.8 Normal Operating Controls

Comments: Inspected

4.9 Presence of Installed Cooling Source in Each Room

Comments: Inspected

4.11 Fireplace(s)

Comments: Repair or Replace

Repair or Replace: The **rear unit** living room fireplace is inoperative. Suggest further investigations and repair by a qualified professional.

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Plumbing System

The inspector shall: Verify the presence of and identify the location of the main water shutoff valve. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Flush toilets. Run water in sinks, tubs, and showers. Inspect the interior water supply including all fixtures and faucets. Inspect the drain, waste and vent systems, including all fixtures. Describe any visible fuel storage systems. Inspect the drainage sump pumps testing sumps with accessible floats. Inspect and describe the water supply, drain, waste and main fuel shut-off valves, as well as the location of the water main and main fuel shut-off valves. Inspect and determine if the water supply is public or private. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously. Inspect and report as in need of repair deficiencies in installation and identification of hot and cold faucets. Inspect and report as in need of repair mechanical drain-stops that are missing or do not operate if installed in sinks, lavatories and tubs. Inspect and report as in need of repair commodes that have cracks in the ceramic material, are improperly mounted on the floor, leak, or have tank components which do not operate.

The inspector is not required to: Light or ignite pilot flames. Determine the size, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or the reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines or their connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains. Evaluate gas, liquid propane or oil storage tanks. Inspect any private sewage waste disposal system or component of. Inspect water treatment systems or water filters. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves. Examine ancillary systems or components, such as, but not limited to, those relating to solar water heating, hot water circulation.

Styles & Materials

Water Source: Public	Water Filters: (We do not inspect filtration systems)	Plumbing Water Supply (Main Line): Copper
Plumbing Water Distribution: Copper	Washer Drain Size: 2" Diameter	Plumbing Waste: Cast Iron ABS Galvanized
Front Unit Water Heater Power Source: Gas	Front Unit Water Heater Location: Attic Space	Front Unit Water Heater Suspected Age: 4 Years Old
Front Unit Water Heater Manufacturer: BRADFORD WHITE	Front Unit Water Heater Capacity: 40 Gallons	Rear Unit Water Heater Power Source: Gas
Rear Unit Water Heater Capacity: 50 Gallons	Rear Unit Water Heater Location: Garage	Rear Unit Water Heater Manufacturer: NAVIEN
Rear Unit Water Heater Suspected Age: State: 7 Years Old American Standard: 6 Years Old	Number of Water Heaters: 3	

Items

5.0 Plumbing Drain, Waste and Vent Systems

Comments: Repair or Replace, Monitor

(1) **Repair or Replace:** The **front unit** kitchen sink drain pipe connection on the underside of the sink is corroded and appears to be leaking. Suggest replacement of the corroded drain by a qualified professional to prevent water damage.



5.0 Item 1(Picture) Plumbing System

(2) **Repair or Replace:** The **front unit** hallway bathroom tub was slow to drain during the inspection. This would suggest that the drain is obstructed. Suggest repair by a qualified professional.



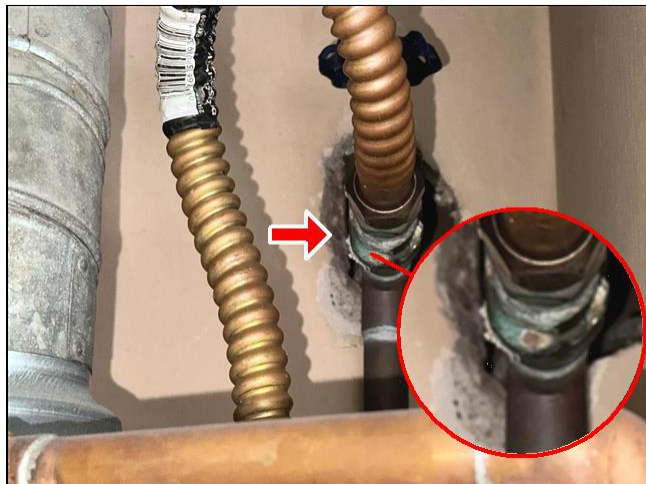
5.0 Item 2(Picture) Plumbing System

(3) **Monitor:** We cannot determine the condition of underground drain and waste piping during our inspection. Drain lines can experience blockages due to construction debris, lack of proper slope in the lines, or improper fittings. -- We recommend that the building sewer be evaluated by camera by a qualified plumber to determine if any repairs or modifications are needed.

5.1 Plumbing Water Supply, Distribution System and Fixtures

Comments: Repair or Replace, Improve

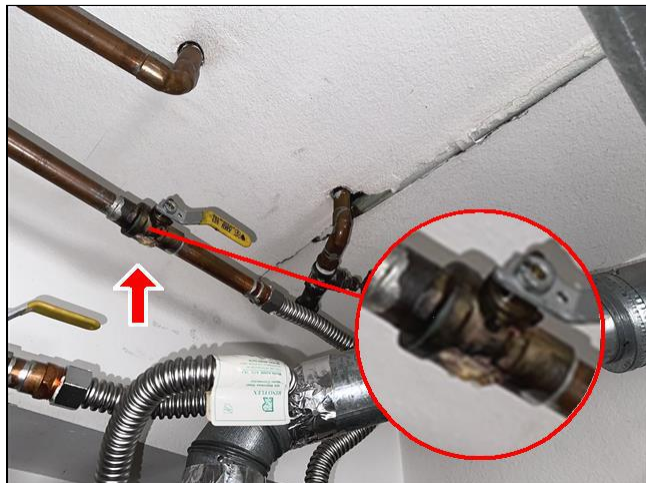
(1) **Repair or Replace:** The cold water supply valve for the **front unit** water heater is corroded. Although the valve is not leaking it is suggested that it be replaced by a qualified professional.



5.1 Item 1(Picture) Plumbing System

(2) **Repair or Replace:** The angle stop valve at the rear wall below the **front unit** primary bathroom sink are corroded. Although the valves are not leaking, it is suggested that they be replaced by a qualified professional to prevent water damage.

(3) **Repair or Replace:** The cold water supply valve for the **rear unit** water heater is corroded. Although the valve is not leaking it is suggested that it be replaced by a qualified professional.



5.1 Item 2(Picture) Plumbing System

(4) **Improve:** Suggest the application of caulking between the bathroom tub spout and operation valve cover plates at the **front unit** hallway bathroom to prevent moisture damage.



5.1 Item 3(Picture) Plumbing System



5.1 Item 4(Picture) Plumbing System

(5) **Improve:** All exterior hose bibs should provided vacuum breakers to prevent hose water from being drawn back into the home's water supply system.

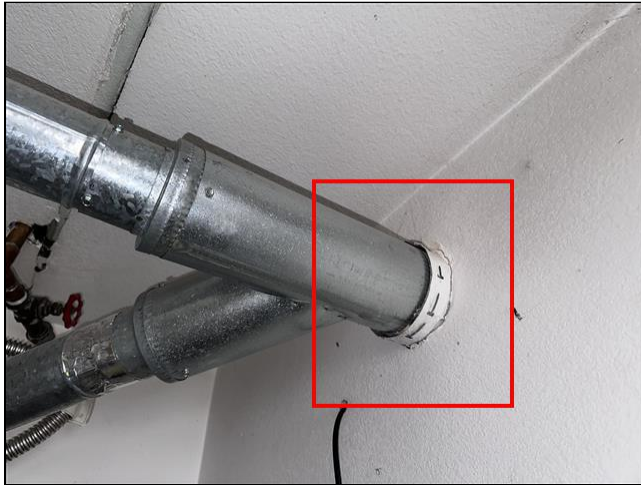


5.1 Item 5(Picture) Plumbing System

5.2 Hot Water Systems, Controls, Flues and Vents

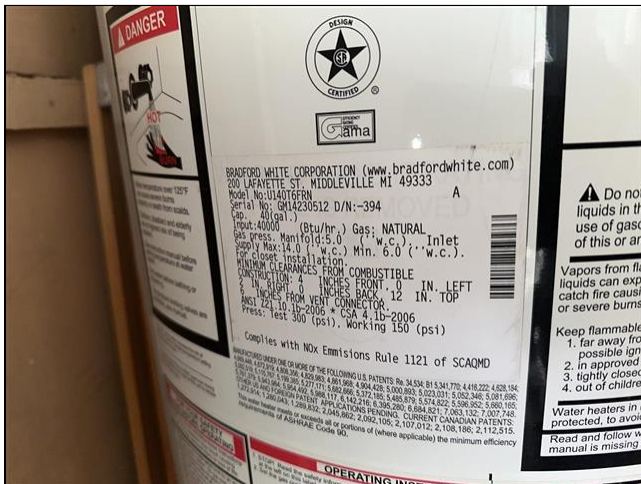
Comments: Repair or Replace, Monitor

(1) **Safety Issue:** The **rear unit** water heater(s) vent passes through a ceiling or wall without the use of an approved thimble or spacer. This could be a fire hazard. We suggest a qualified technician should install an approved, listed thimble or spacer.



5.2 Item 1(Picture) Plumbing System

(2) **Repair/Replace/Monitor:** The **front unit** water heater is an older unit. The water heater may be nearing the end of its service life. Typical life expectancy of water heaters is 7 to 12 years. The existing unit is 13 years old. It is difficult to determine when replacement will be necessary. Suggest replacement of the water heater by a licensed and qualified plumber.



5.2 Item 2(Picture) Plumbing System

(3) **Improve:** There is no catch pan installed under the **front unit** water heater. A pan is required by the plumbing standards when the appliance is located in an area where a leak could damage the structure. - Installation of a pan and drain pipe to the exterior should be done by a qualified technician.



5.2 Item 3(Picture) Plumbing System

(4) **Safety Issue:** The water heaters at the **rear unit** garage are not "rigidly" reinforced (there is a gap between the unit and the walls) - "blocking" or equivalent is needed to prevent earthquake movement. Suggest further review and repairs by a licensed plumber.



5.2 Item 4(Picture) Plumbing System

(5) **Monitor:** The water supply system/water heaters lack an expansion tank. The jurisdiction may not have required one at the time the regulator was installed. To prevent excessive pressure, expansion tanks are then required and usually placed in the cold water line just above the water heater. We suggest when the water heater is replaced, a qualified plumber should install an expansion tank in accordance with industry standards.

(6) **Note/Monitor:** The **front unit** water heater was operational and produced hot water at time of inspection.



5.2 Item 5(Picture) Plumbing System



5.2 Item 6(Picture) Plumbing System

(7) **Note/Monitor:** The **rear unit** water heaters were operational and produced hot water at time of inspection.



5.2 Item 7(Picture) Plumbing System

5.4 Gas Supply & Gas Piping

Comments: Safety Issue, Improve

(1) **Safety Issue:** The gas valve at the **rear unit** second floor hallway laundry closet has not been capped. The valve should be covered with a cap/cover when not in use.



5.4 Item 1(Picture) Plumbing System

(2) **Safety Issue:** The gas supply pipe at the **rear unit** living room fireplace lacks a shut off valve. This is a safety concern. Suggest the installation of a shut off valve by a qualified professional.



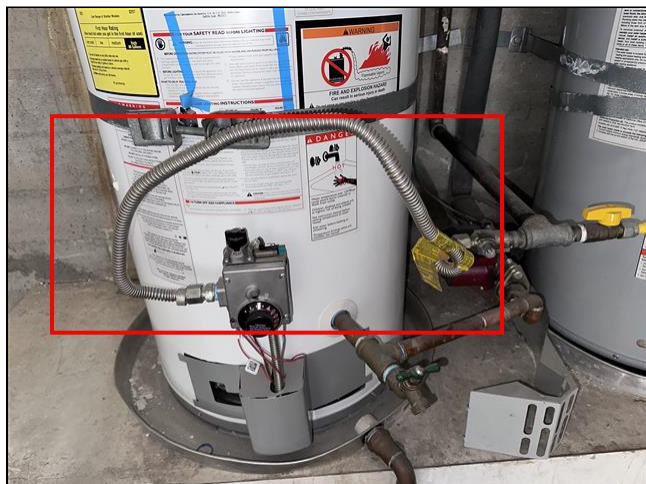
5.4 Item 2(Picture) Plumbing System

(3) **Improve:** The gas supply pipe at the **front unit** water heater lacks a sediment trap. It is suggested that one be installed by a licensed plumber.



5.4 Item 3(Picture) Plumbing System

(4) **Improve:** The gas supply pipe at the **rear unit** left side water heater lacks a sediment trap. It is suggested that one be installed by a licensed plumber.



5.4 Item 4(Picture) Plumbing System

5.5 Main Fuel Shut-off

Comments: Inspected, Improve

(1) **Inspected:** The main gas meters are located at the East wall of the building.



5.5 Item 1(Picture) Plumbing System

(2) **Improve:** The main gas meters lack a seismic shut off valve. It is suggested that one be installed by a licensed plumber as needed and required.



5.5 Item 2(Picture) Plumbing System

5.6 Main Water Shut-off Device

Comments: Inspected

Inspected: The main water shut off valves for both units are located at the East exterior wall of the building.



5.6 Item 1(Picture) Plumbing System

5.7 Main Clean Out

Comments: Inspected

Inspected: The main clean out for the sewer line is located at the exterior of the subject property in one or more locations.



5.7 Item 1(Picture) Plumbing System



5.7 Item 2(Picture) Plumbing System

5.8 Water PSI During Inspection

Comments: Monitor

Monitor: 50 PSI



5.8 Item 1(Picture) Plumbing System

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Portions of the plumbing system concealed by finishes and/or storage (below sinks, etc.), below the structure, and beneath the yard were not inspected.

Water quality is not tested. The effect of lead content in solder and or supply lines is beyond the scope of the inspection.

An inspection of the water main shut off valve, pressure regulator (@ water main), yard sprinklers, and angle stops beneath plumbing fixtures are outside the scope of this inspection. We recommend that these be observed and tested on a regular basis.

The washing machine faucets were not tested for leaks given hoses are connected to machine. Faucets were not operated without means to catch water. Recommend further review before connecting hoses to washing machine.

The plumbing drain system of this house is not visible and was not inspected. If further concerned we recommend that the drains be reviewed with a video camera by a qualified licensed plumbing service.

6. Electrical System

The inspector shall inspect: The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances.

The inspector is not required to: Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting.

Styles & Materials

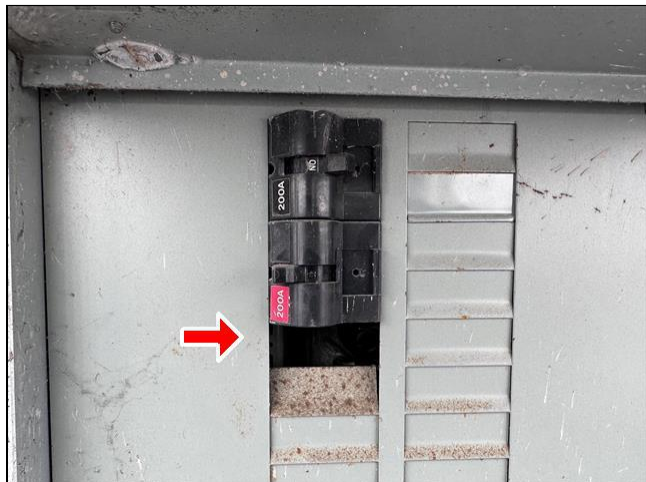
Electrical Service Conductors: Overhead Service Drop 120/240 Volt	Panel Type: Circuit Breakers	Panel Capacity: 100 AMP (2) 200 AMP service panel
Main Disconnect/Panel: Located: West Exterior Wall	Electric Panel Manufacturers: CROUSE-HINDS	Branch Circuit Panel(s): Located: Rear Unit Interior Wall/Laundry Room
Branch wire 15 and 20 AMP: Copper	Wiring Methods: Romex Conduit	Grounding: Copper Wire Ground Connection Not Located
Outlets: Grounded	Ground Fault Circuit Interrupter: Bathroom(s) Exterior	Arc Fault Circuit Interrupter: None Found

Items

6.0 Service and Grounding Equipment, Main Overcurrent Device, Main, Distribution Panels, Branch Circuit Conductors, Overcurrent Devices and Compatibility of their Amperage and Voltage

Comments: Safety Issue, Monitor

(1) **Safety Issue:** It is suggested that all openings at the West exterior wall main electrical panel for the rear unit be covered with plastic covers.



6.0 Item 1(Picture) Electrical System

(2) **Safety Issue:** Suggest trimming away tree limbs/vegetation from the main electrical service entrance wires at the front of the property.



6.0 Item 2(Picture) Electrical System

(3) **Monitor:** Unable to verify the grounding connections for the electrical panels at the West exterior wall. This should be further investigated by a qualified electrician to verify conforming grounding of the electrical systems.

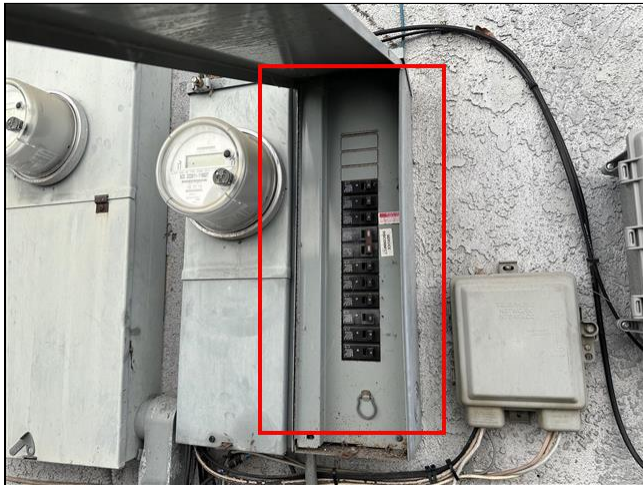


6.0 Item 3(Picture) Electrical System

6.1 Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage

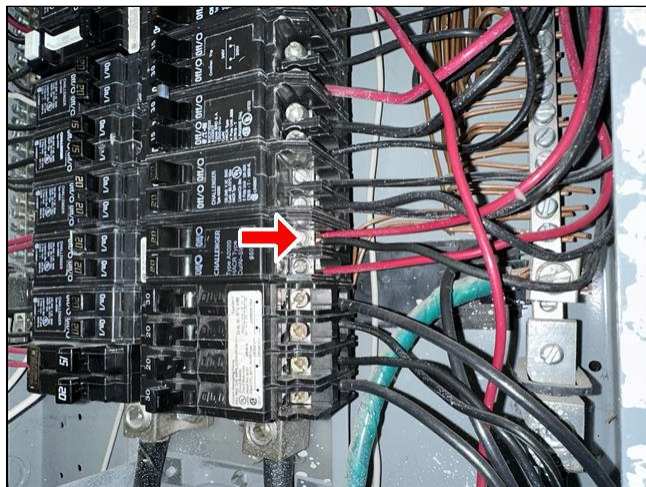
Comments: Safety Issue

(1) **Safety Issue:** Two circuit conductors within the **front unit** main distribution panel are doubled up (referred to as "double taps") to a single breaker and must be separated. Each circuit conductor is to be served by a separate breaker; suggest repairs by a licensed electrical contractor.



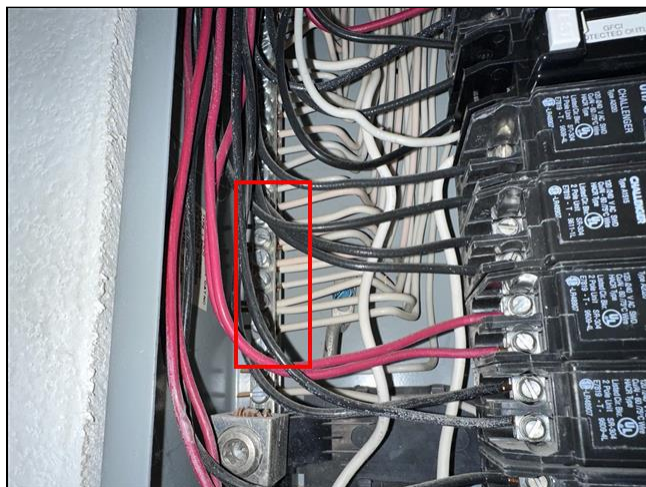
6.1 Item 1(Picture) Electrical System

(2) **Safety Issue:** Two circuit conductors within the **rear unit** main distribution panel are doubled up (referred to as "double taps") to a single breaker and must be separated. Each circuit conductor is to be served by a separate breaker; suggest repairs by a licensed electrical contractor.



6.1 Item 2(Picture) Electrical System

(3) **Safety Issue:** Double tapped neutral wires were observed at the **rear unit** main electrical panel neutral bus bar. When more than one neutral wire is fed into a single screw/terminal on the neutral bus bar, the connections can become loose. When there are loose connections in your main panel from a double tapped neutral like this, they can cause overheating or arcing, which can then lead to shock, and an electrical fire. Suggest repair/replacement by a qualified professional.



6.1 Item 3(Picture) Electrical System

6.2 Connected Devices and Fixtures (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside and outside of the home) Polarity and Grounding of Receptacles within 6 feet of interior plumbing fixtures.

Comments: Safety Issue

(1) **Safety Issue:** The **front unit** kitchen countertop electrical outlet lacks GFCI (Ground Fault Circuit Interrupter) protection. Suggest the installation of a GFCI outlet by a qualified electrician.



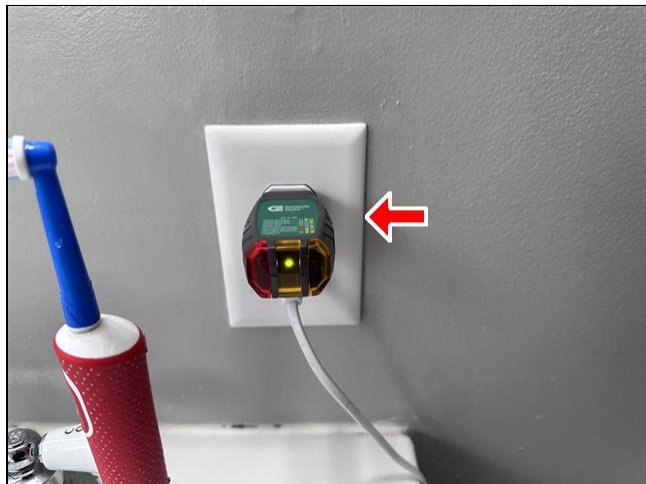
6.2 Item 1(Picture) Electrical System

(2) **Safety Issue:** The three prong electrical outlets at the **front unit** kitchen countertop are not grounded. Suggest further review and grounding of the outlets by a qualified electrician.



6.2 Item 2(Picture) Electrical System

(3) **Safety Issue:** The **front unit** hallway bathroom electrical outlet lacks GFCI (Ground Fault Circuit Interrupter) protection. Suggest the installation of a GFCI outlet by a qualified electrician.



6.2 Item 3(Picture) Electrical System

(4) **Safety Issue:** The three prong electrical outlet at the **front unit** hallway bathroom is not grounded. Suggest further review and grounding of the outlets by a qualified electrician.



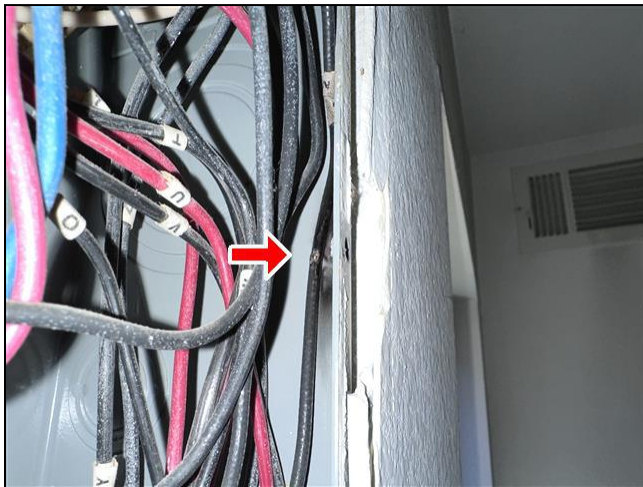
6.2 Item 4(Picture) Electrical System

(5) **Safety Issue:** The installation of ground fault circuit interrupter (GFCI) devices is advisable at all exterior and garage outlets. GFCI's are strongly recommended. A ground fault circuit interrupter (GFCI) offers protection from shock or electrocution; suggest repairs by a licensed electrical contractor.



6.2 Item 5(Picture) Electrical System

(6) **Safety Issue:** Upon removing the top right side screw for the **rear unit** electrical panel, the screw cut the wire insulation and tripped the circuit for the distribution wire. Suggest further review and repair by a qualified electrician.



6.2 Item 6(Picture) Electrical System

(7) **Safety Issue:** The electrical outlet cover at the carport exterior wall is loose. Suggest repair.



6.2 Item 7(Picture) Electrical System

6.3 Electrical Bonding

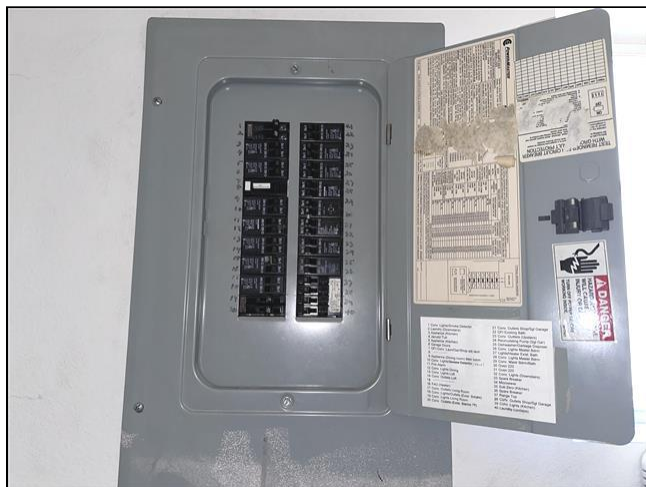
Comments: Improve

Improve: Bonding is not visible. Bonding on gas piping was not observed. It was possibly concealed behind a wall or covered by something (insulation under the house, etc). The points of attachment of the bonding jumpers should be accessible. Professional Inspection Network recommends evaluation and correction as needed by a qualified professional. Generally speaking, the difference between grounding and bonding is: Bonding is connecting the electrical system ground to the houses other systems metal components (water, gas, metal ducting, etc.). Bonding occurs when metal that could carry electricity (but is not supposed to) is intentionally connected together to provide a permanent low resistance path that is capable of conducting all electricity accidentally carried by the metal back to its source (earth/ground). Grounding is a direct connection to the earth to aid in removing damaging transient over-voltages due to lightning. The purpose of bonding is to ensure the electrical continuity of the fault current path, to provide the capacity and ability to conduct safely, any fault current likely to be imposed, and to aid in the operation of the over-current protection device (breaker, GFCI, fuse, etc). Properly bonding all metal parts within an electrical system and metal piping in the building (water and gas pipes) helps ensure a low-impedance fault current path, instead of your body.

6.6 AFCI (ARC Fault Circuit Interrupters)

Comments: Improve

Improve: It should be noted that the building's electrical systems are not equipped with branch circuit Arc-Fault-Interrupter protection device(s) controlling all electrical outlets in the family room, dining room, living room, parlors, libraries, dens, bedrooms sunrooms, recreation rooms, closets, hallways, or similar rooms or areas. It is recommended that consideration be given to having this important electrical protection installed by a qualified electrician.



6.6 Item 1(Picture) Electrical System

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Electrical components concealed behind finished surfaces could not be inspected.

Only a representative sampling of outlets and light fixtures were tested.

Furniture and/or storage restricted access to some electrical components.

One or more of the light fixtures at exterior are controlled by sensors. The sensors or photocells activate light(s) by motion or upon darkness. Testing of these devices is specifically excluded and is beyond the scope of this inspection. Verifying the proper functionality of these fixtures is recommended.

7. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:

Batt
Fiberglass
R-19 or better

Ventilation:

Roof Vents

Exhaust Fans:

None

Dryer Power Source:

Gas Connection

Dryer Vent:

Metal

Floor System Insulation:

None

Items

7.0 Insulation in Attic

Comments: Repair or Replace

Repair or Replace: The front unit insulation is inconsistent. Insulation should be evenly distributed throughout the attic space. Suggest repair/replacement of the insulation by a qualified professional.



7.0 Item 1(Picture) Insulation & Ventilation



7.0 Item 2(Picture) Insulation & Ventilation



7.0 Item 3(Picture) Insulation & Ventilation

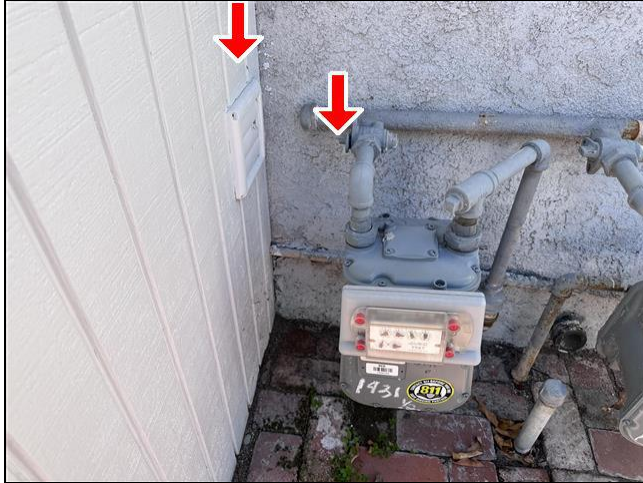
7.3 Ventilation of Attic & Crawl Space Areas

Comments: Inspected

7.4 Venting Systems (Kitchens, Baths and Laundry)

Comments: Safety Issue

(1) **Safety Issue:** The **front unit** laundry dryer vent terminates in close proximity to the gas meters at the East exterior wall. The minimum distance of three feet clearance from the gas meter to the clothes dryer intake or exhaust vent opening is required. Suggest relocating the laundry dryer vent by a qualified professional.



7.4 Item 1(Picture) Insulation & Ventilation

(2) **Repair or Replace:** The **front unit** primary bathroom exhaust vent opening lacks a baffle. Suggest further review and repair by a qualified professional.



7.4 Item 2(Picture) Insulation & Ventilation

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests are performed.

Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.

An analysis of indoor air quality is beyond the scope of this inspection.

Any estimates of insulation R-values or depths are rough average values.

No access was gained to the roof cavity of the sloped ceilings.

Insulation within the roof or ceiling cavities obstructs viewing of structural members, light fixtures and electrical connections.

8. Interiors

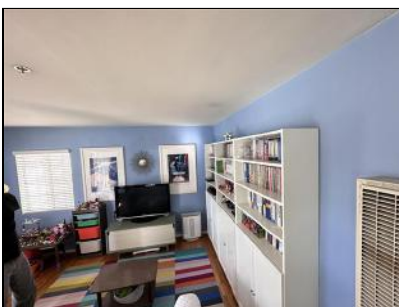
The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

The inspector shall: Open and close a representative number of doors and windows. Inspect the walls, ceilings, steps, stairways, and railings. Inspect garage doors and garage door openers by operating first by remote (if available) and then by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. And report as in need of repair any windows that are obviously fogged or display other evidence of broken seals.

The inspector is not required to: Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine any sauna, steam-jenny, kiln, toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small, ancillary devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.



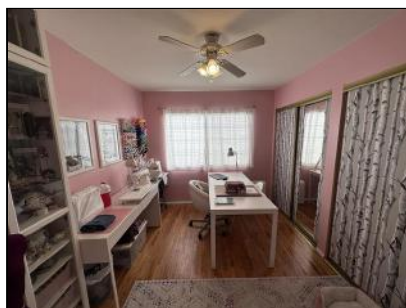
Interiors



Interiors



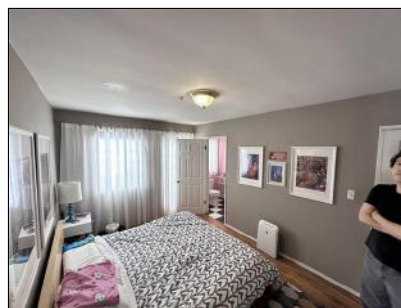
Interiors



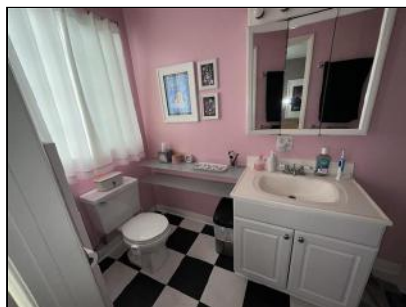
Interiors



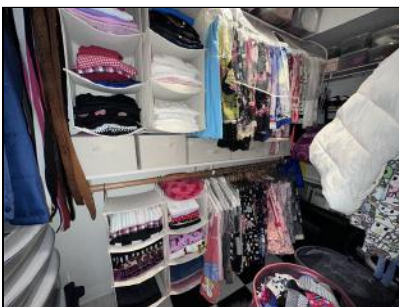
Interiors



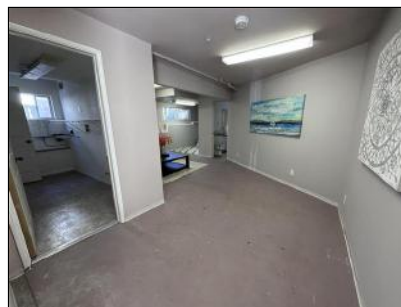
Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



Interiors



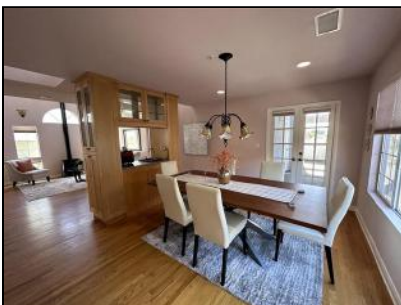
Interiors



Interiors



Interiors



Interiors

Styles & Materials

Ceiling Materials:

Gypsum Board

Wall Material:

Gypsum Board

Floor Covering(s):

Tile

Plaster

Plaster

Vinyl

Wood

Interior Doors:

Wood

Window Types:

Thermal/Insulated

Sliders

Metal

Cabinetry:

Wood

Countertop:

Tile

Granite

Items

8.0 Interiors

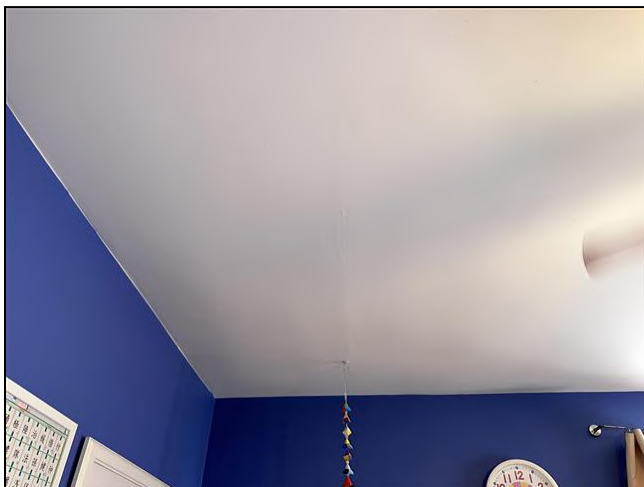
Comments: Monitor

Monitor: Personal belongings blocked access to some electrical receptacles and switches, interior surfaces, inside bathroom, kitchen and interior cabinets, and other components. Windows blocked by furnishings or other personal items cannot be tested for function. Any such components that are inaccessible are excluded from this inspection report.-Concealed damage to component(s) may be present. Inspecting components and surfaces prior to the close of the inspection contingency period should be done by a qualified technician.

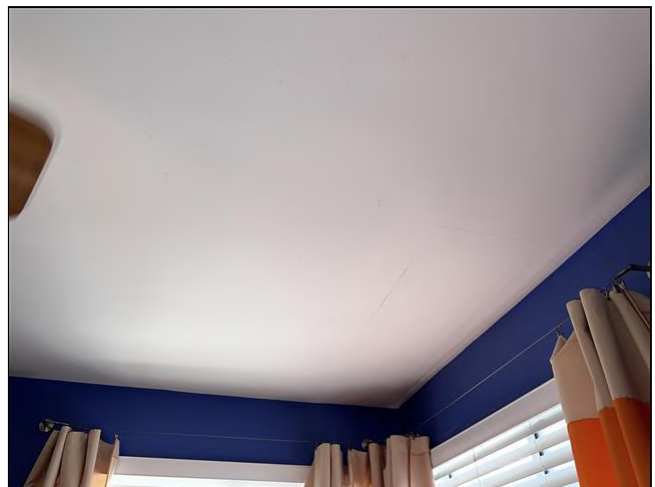
8.1 Walls and Ceilings

Comments: Major Concern, Repair or Replace, Improve, Monitor

(1) **Major Concern:** Evidence of water damage/roof leak was observed at the **front unit** South-East bedroom interior wall and ceiling finishes. A higher than average moisture reading was observed at the interior surfaces in various locations. The source of the leak(s) should be identified and repairs performed as necessary. Suggest referring to the Roofing section of this report regarding additional information. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



8.1 Item 1(Picture) Interiors



8.1 Item 2(Picture) Interiors



8.1 Item 3(Picture) Interiors



8.1 Item 4(Picture) Interiors



8.1 Item 5(Picture) Interiors



8.1 Item 6(Picture) Interiors



8.1 Item 7(Picture) Interiors



8.1 Item 8(Picture) Interiors



8.1 Item 9(Picture) Interiors

(2) **Repair/Replace/Monitor:** Evidence of water intrusion/roof leak was observed at the **rear unit** living room East interior wall. It appears that the chimney is leaking. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. There is surface growth on the kitchen sink cabinet floor and sidewalls. This may indicate the presence of mold, fungus or other microbial organisms. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



8.1 Item 10(Picture) Interiors

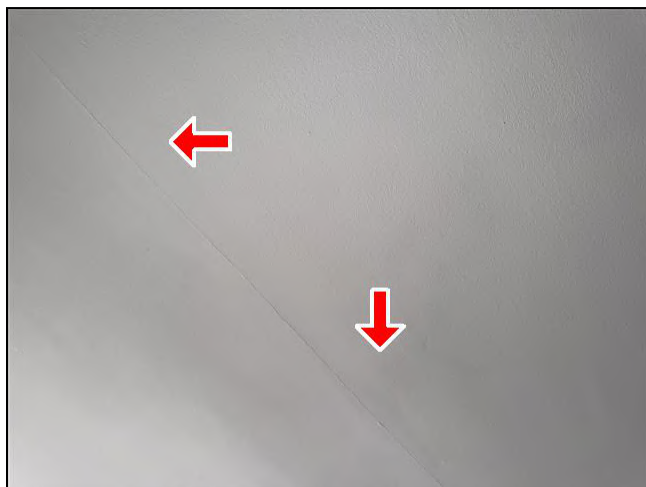
(3) **Improve/Monitor:** Evidence of patching was observed at the **front unit** kitchen interior ceiling finishes. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden

damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



8.1 Item 11(Picture) Interiors

(4) **Improve/Monitor:** Evidence of settlement was observed at the **front unit** living room and primary bedroom interior ceiling finishes. The ceiling finishes are cracked in various locations within the home. This appears to be common settlement and/or movement with older homes. It is suggested that these areas be repaired and patched by a qualified professional and monitored for additional movement to determine if additional repairs to the home will be required.



8.1 Item 12(Picture) Interiors

(5) **Improve/Monitor:** Evidence of patching was observed at the **front unit** hallway bathroom interior ceiling finishes. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus

and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.

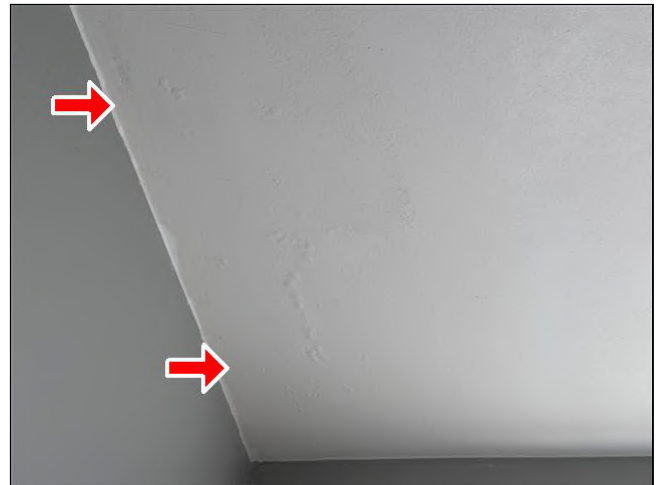


8.1 Item 13(Picture)

(6) **Improve/Monitor:** There is surface growth on the **front unit** hallway bathroom interior ceiling finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



8.1 Item 14(Picture) Interiors



8.1 Item 15(Picture) Interiors

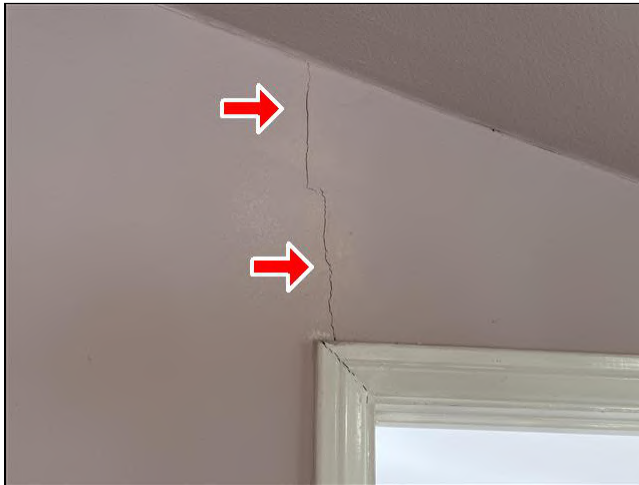
(7) **Improve/Monitor:** There is surface growth on the **front unit** primary bathroom interior window sill finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If

strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



8.1 Item 16(Picture) Interiors

(8) **Improve/Monitor:** Evidence of settlement was observed at the **rear unit** interior ceiling finishes in one or more locations. The ceiling finishes are cracked in various locations within the home. This appears to be common settlement and/or movement with older homes. It is suggested that these areas be repaired and patched by a qualified professional and monitored for additional movement to determine if additional repairs to the home will be required.



8.1 Item 17(Picture) Interiors



8.1 Item 18(Picture) Interiors

8.2 Floors

Comments: Repair or Replace, Monitor

(1) **Repair or Replace:** Evidence of water damage/water leak was observed at the **rear unit** third floor area adjacent to the french doors. The floor is damaged. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms. Suggest repair/

replacement of the floor by a qualified professional.

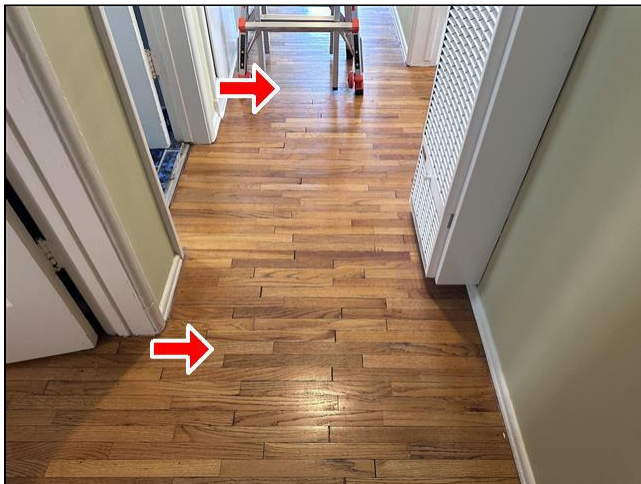


8.2 Item 1(Picture) Interiors



8.2 Item 2(Picture) Interiors

(2) **Monitor:** The **front unit** interior floor has an apparent slope in one or more locations. It is difficult to determine the reason for the apparent floor slope at the time of the inspection. This might be the result of the age and framing design of the home. Suggest further evaluation by a qualified trades person and structural engineer for determination, evaluation and/or corrective repairs if required. Since this inspection is visual in nature, it is always recommended that any movement observed be further evaluated to prevent damage and to insure the integrity of the structure is kept in tact. The type of movement may ultimately not represent a concern to the integrity of the home but we recommend further specialist review for determination of cause and repair options within the inspection contingency period.



8.2 Item 3(Picture) Interiors

8.3 Windows (representative number)

Comments: Repair or Replace

Repair or Replace: The **front unit** kitchen East wall dual pane widow interior gasket is bulging. This is common with many older dual pane window. This indicates that the gasket/seal is defective. Replacement of the window is suggested by a qualified professional.



8.3 Item 1(Picture) Interiors

8.4 Doors (representative number)

Comments: Inspected

8.5 Steps, Stairways, Balconies and Railings

Comments: Inspected

8.6 Counters and Cabinets (representative number)

Comments: Repair or Replace

Repair or Replace: The **front unit** kitchen sink backsplash/countertop is in need of caulking with silicone at various areas to prevent moisture damage. Recommend repair or replace as necessary.



8.6 Item 1(Picture) Interiors

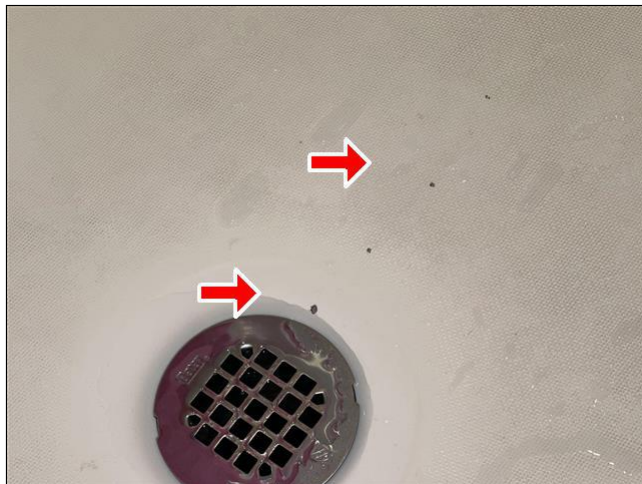
8.9 Bathroom(s)

Comments: Repair or Replace, Monitor

(1) **Repair or Replace:** The **front unit** primary bathroom shower fiberglass floor is slightly chipped/damaged. Suggest repair by a qualified professional as required.



8.9 Item 1(Picture) Interiors



8.9 Item 2(Picture) Interiors

(2) **Monitor:** The testing of shower pan systems are beyond the scope of this inspection. A shower pan is a waterproof barrier that is made of various materials. Typically, they are placed under the tiles of a shower or tub so that they can catch the water and direct it to the drain. It is suggested that all shower pan systems throughout the home be further investigated by a qualified plumber to verify the presence of any leaks that will require repair within the inspection contingency period.



8.9 Item 3(Picture) Interiors



8.9 Item 4(Picture) Interiors

8.11 Smoke Detectors & Carbon Monoxide Detectors

Comments: Monitor

(1) **Smoke Detectors:** Commentary

1. Test smoke alarms monthly, and replace their batteries at least twice per year. Change the batteries when you change your clocks for Daylight Saving Time. Most models emit a chirping noise when the batteries are low to alert the homeowner that they need replacement.
2. Smoke alarms should be replaced when ownership is assumed, when they fail to respond to testing, every

10 years. The radioactive element in ionization smoke alarms will decay beyond usability within 10 years. Ten year old detectors are less than 50% effective.

3. Smoke detectors should be replaced if they become damaged or wet, are accidentally painted over, are exposed to fire or grease, or are triggered without apparent cause.

4. Never disable a smoke alarm. Use the alarms silencing feature to stop nuisance or false alarms triggered by cooking smoke or replaces.

5. Parents should stage periodic night-time re drills to assess whether their children will awaken from the alarm and respond appropriately.

6. Smoke alarms should be installed in the following locations: on the ceiling or wall outside of each separate sleeping area in the vicinity of bedrooms; in each bedroom, as most res occur during sleeping hours; in the basement, preferably on the ceiling near the basement stairs; in the garage, due to all the combustible materials commonly stored there; on the ceiling or on the wall with the top of the detector no less than 12 inches from the intersection on each level within a building, including basements and cellars, but not crawlspaces or uninhabited attics.

7. A qualified professional should be used to install smoke detectors that are hard wired to the house electrical system.

(2) **Carbon Monoxide Detectors:** California Requirements

California law requires that as of July 1, 2011, all existing single-family dwellings have no less than one carbon monoxide detector per level installed inside the home.

8.12 Environmental Issues

Comments: Monitor

(1) **Monitor:** Based on the age of this building, there is a possibility that remaining older materials apart of the structure, systems and components may contain some asbestos. This can only be verified by laboratory analysis which is beyond the scope of this inspection. The Environmental Protection Agency (E.P.A.) reports that asbestos represents a health hazard if "friable" (damaged, crumbling, or in any state that allows the release of fibers). If any sections of the above listed areas are indeed friable, or become friable over time, a specialist should be engaged. Due to the age of construction, there may be other materials that contain asbestos but are not identified by this inspection report.

(2) **Monitor:** There is the potential for lead content in the drinking water. Lead in water may have two sources; the piping system of the utility delivering water and/or the solder used on copper pipes prior to 1988. This can only be confirmed by laboratory analysis. An evaluation of lead in water is beyond the scope of this inspection.

(3) **Monitor:** Lead based paint was in use until approximately 1978. According to the Federal Department of Housing and Urban Development, a lead hazard can be present in a building of this age. This can only be confirmed by laboratory analysis. An evaluation of lead in paint is beyond the scope of this inspection.

(4) **Monitor:** The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Smoke detectors were inspected for location only. For future reference, testing with only button verifies battery and alarm function, not capacity to detect smoke. We advise testing all smoke detectors as per manufacturer before occupying the building and regularly there after.

Carbon monoxide detectors were inspected for location only. For future reference, testing button verifies battery and alarm function, not device's capacity to detect carbon monoxide. We advise testing all carbon monoxide detectors as per manufacturers directions before occupying the building and regularly there after.

The interior surface appears to have been painted recently. Unable to determine if further water stains or other evidence of leakage has been covered over. Refer to written explanation of sellers regarding any other previous leakage occurrences.

Please also understand that the pictures used within report are intended to help identify defective conditions. The photos do not represent all areas where such defects are present on property. Recommend that servicing contractors/individuals make a thorough review of property conditions and provide written costs to cure for all repair needed. Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

9. Garage

Our inspection of the garage includes a visual examination of the readily accessible portions of the walls, ceilings, floors, vehicle and personnel doors, steps and stairways, fire resistive barriers, garage door openers and hardware if applicable. Garage door openers are operated with the mounted control button only. Please note that a representative sample of accessible windows and electrical receptacles are inspected. These features are examined for proper function, excessive wear and general state of repair. In some cases, all or portions of these components may not be visible because of stored personal property. In such cases, some items may not be inspected.



Garages



Garages

Styles & Materials

Garage Door Type:

Two Manual
Two automatic
Roll-Up
Stationery

Garage Door Material:

Metal

Auto-opener Manufacturer:

GENIE

Items

9.1 Garage Door(s)

Comments: Inspected

9.2 Garage Door Operator(s)

Comments: Monitor

Monitor: The garage doors and openers were functional and opened and closed the doors. The light beams responded when tested and caused the door(s) to stop and auto reverse. Testing of the downward force (pressure test) was not performed as this can damage the door and is outside the scope of this inspection. Proper operation of the reversing mechanism should be verified prior to the close of the inspection contingency period. Information on garage door openers is available from the Consumer Product Safety Commission at www.cpsc.gov.



9.2 Item 1(Picture) Garage

9.4 Garage Ceilings/Walls

Comments: Major Concern, Monitor

(1) **Major Concern:** Evidence of water intrusion and damaged wood was observed at the **front unit** garage along the East wall/ceiling and West areas as well. Water is entering from the exterior deck and/or faulty garage at the East exterior wall. The source of the water should be identified and repairs performed as necessary. Suggest referring to the Roofing section of this report regarding additional information. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



9.4 Item 1(Picture) Garage

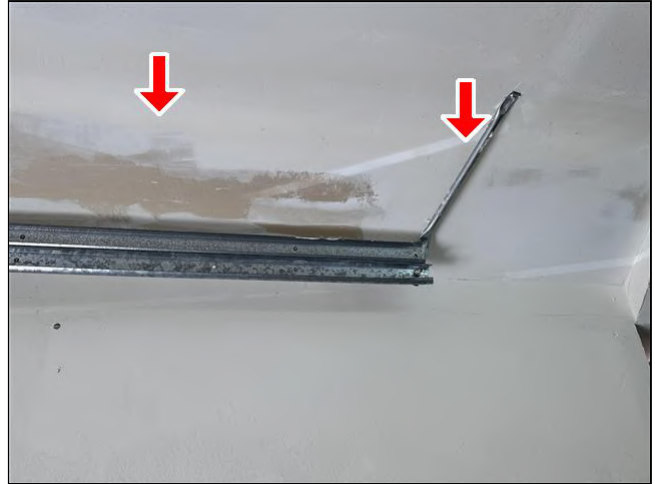


9.4 Item 2(Picture) Garage

(2) **Major Concern:** Evidence of water intrusion was observed at the **rear unit** East garage in several locations. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary. Areas of past and present moisture are favorable for growing many fungal like organisms. There is an extra risk of hidden damage/fungus/mold to be present in this location. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



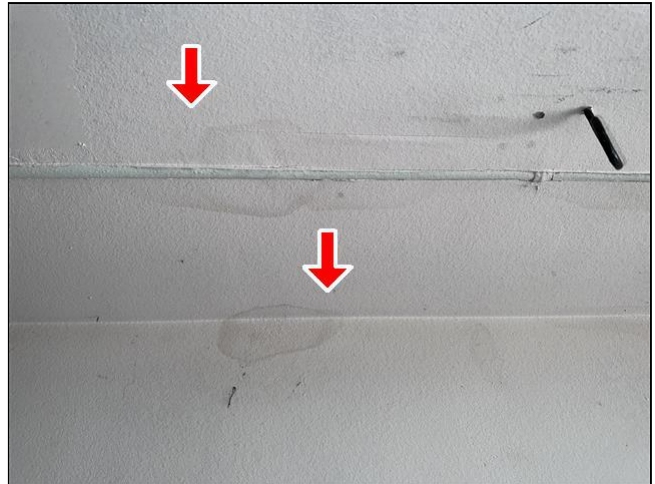
9.4 Item 3(Picture) Garage



9.4 Item 4(Picture) Garage



9.4 Item 5(Picture) Garage



9.4 Item 6(Picture) Garage



9.4 Item 7(Picture) Garage



9.4 Item 8(Picture) Garage



9.4 Item 9(Picture) Garage



9.4 Item 10(Picture) Garage



9.4 Item 11(Picture) Garage

(3) **Major Concern:** Evidence of water intrusion was observed at the **rear unit** West bonus room along the West and rear wall. The presence of water often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage, including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations. Also, there is surface growth on the

interior surfaces/finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



9.4 Item 12(Picture) Garage



9.4 Item 13(Picture) Garage

(4) **Improve/Monitor:** There is surface growth on the **rear unit** East garage interior wall finishes. This may indicate the presence of mold, fungus or other microbial organisms. The identification of molds, fungus and other microbial organisms is outside the scope of this inspection. We suggest a qualified environmental specialist should be retained to evaluate the surfaces and make further recommendations. Testing and remediation of mold growth can only be accomplished by a qualified environmental specialist. If strict protocol is not followed, spores can be released into the interior of the building and may create a health hazard for those with low tolerances to such organisms.



9.4 Item 14(Picture) Garage

(5) **Improve/Monitor:** A condition known as efflorescence is evident on portions of the **front unit** garage concrete foundation walls or slab. This whitish, fuzzy material is a mineral deposit left when moisture in the concrete evaporates. The presence of efflorescence often indicates an occasional surplus of moisture on the outside of the foundation. We suggest to keep the exterior moisture to a minimum, exterior surface drainage,

including downspout water, should be directed as far away from the building as possible. Landscape watering should always be directed away from the building and limited to short durations.



9.4 Item 15(Picture) Garage

(6) **Monitor:** The occupants belongings at the **front unit** garage prevents full view.



9.4 Item 16(Picture) Garage



9.4 Item 17(Picture) Garage

9.5 Garage Floor

Comments: Monitor

Monitor: The occupants belongings at the garage prevents full view.

10. Built-In Kitchen Appliances

The kitchen appliances were all tested by activating one of the user control functions. We did not test every function or cycle on each appliance and cannot confirm that every function or cycle is operable. Testing all cycles or functions on appliances is outside the scope of a home inspection, but is recommended prior to the close of escrow. **FURTHER RECOMMENDATION:** Obtain a Home Warranty Protection Policy to insure against the failure of any appliance that may occur after taking possession of the home.



Appliances



Appliances



Appliances



Appliances



Appliances

Items

10.0 Dishwashers

Comments: Repair or Replace

Repair or Replace: The rear unit dishwasher metal door is rusted. Suggest replacement of the dishwasher.



10.0 Item 1(Picture) Appliances

10.1 Ranges/Ovens/Cooktops

Comments: Safety Issue

Safety Issue: The anti-tip bracket for the **front unit** kitchen stove has not been installed. The anti-tip bracket provides extra protection when excess force is applied to an open oven door. Suggest the installation by a

qualified professional.



10.1 Item 1(Picture) Appliances

10.3 Exhaust/Recirculating Fan

Comments: Repair or Replace

Repair or Replace: Water stains were observed at the **front unit** kitchen exhaust vent. However, we found no sign of active leaks. We suggest asking the owner to provide you with information about the leak(s), and what corrective action (if any) was taken to repair the leak(s). Then if additional damage develops, the source of the leak(s) should be identified and repairs performed as necessary.



10.3 Item 1(Picture) Appliances



10.3 Item 2(Picture) Appliances

10.4 Food Waste Disposer

Comments: Inspected

10.5 Microwave Cooking Equipment

Comments: Inspected

10.9 Appliances

Comments: Repair or Replace, Monitor

Repair/Replace/Monitor: The kitchen appliances are at and/or nearing the end of their service life. The appliances can fail at any time. Eventual replacement of the appliances should be anticipated.

10.10 Refrigerators

Comments: Repair or Replace

Repair or Replace: The **rear unit** water supply valve for the kitchen refrigerator was off during the inspection. It has been stated that the valve leaks when turned on. It is suggested that the water supply valve be replaced by a qualified professional to prevent water damage.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Self-cleaning oven noted, not tested. Determining whether the self-cleaning cycle of oven, timers, or correct temperature calibration of oven controls to oven temperature are operational is beyond the scope of this inspection. Refer to seller and owners manual for further review.

Product recalls and consumer product safety alerts are added almost daily. If the client is concerned about appliances or other items installed in the home that may be on such lists, the client may wish to visit the U.S. Consumer Protection Safety Commission (CPSC) web site <http://www.cpsc.gov> or www.recalls.gov for further information. A basic home inspection does not include the identification or research for appliances and other items installed in the home that may be on the CPSC lists.