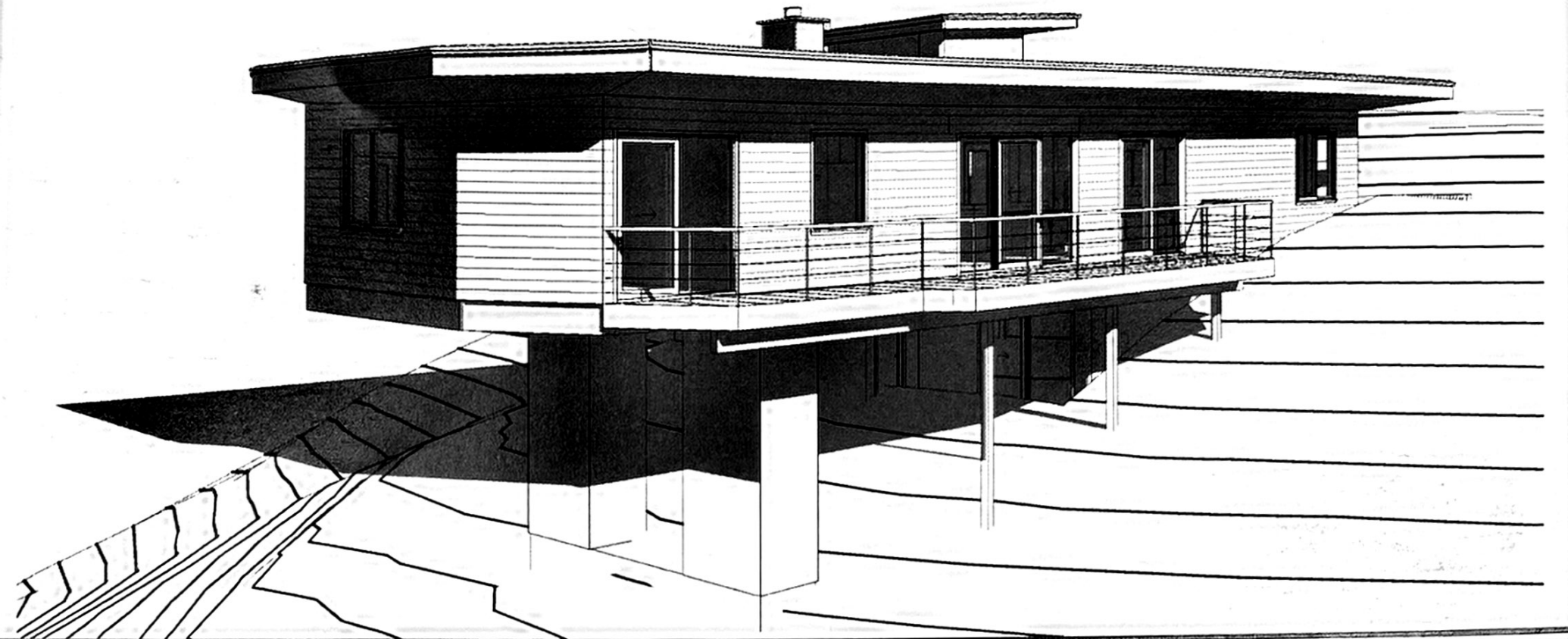


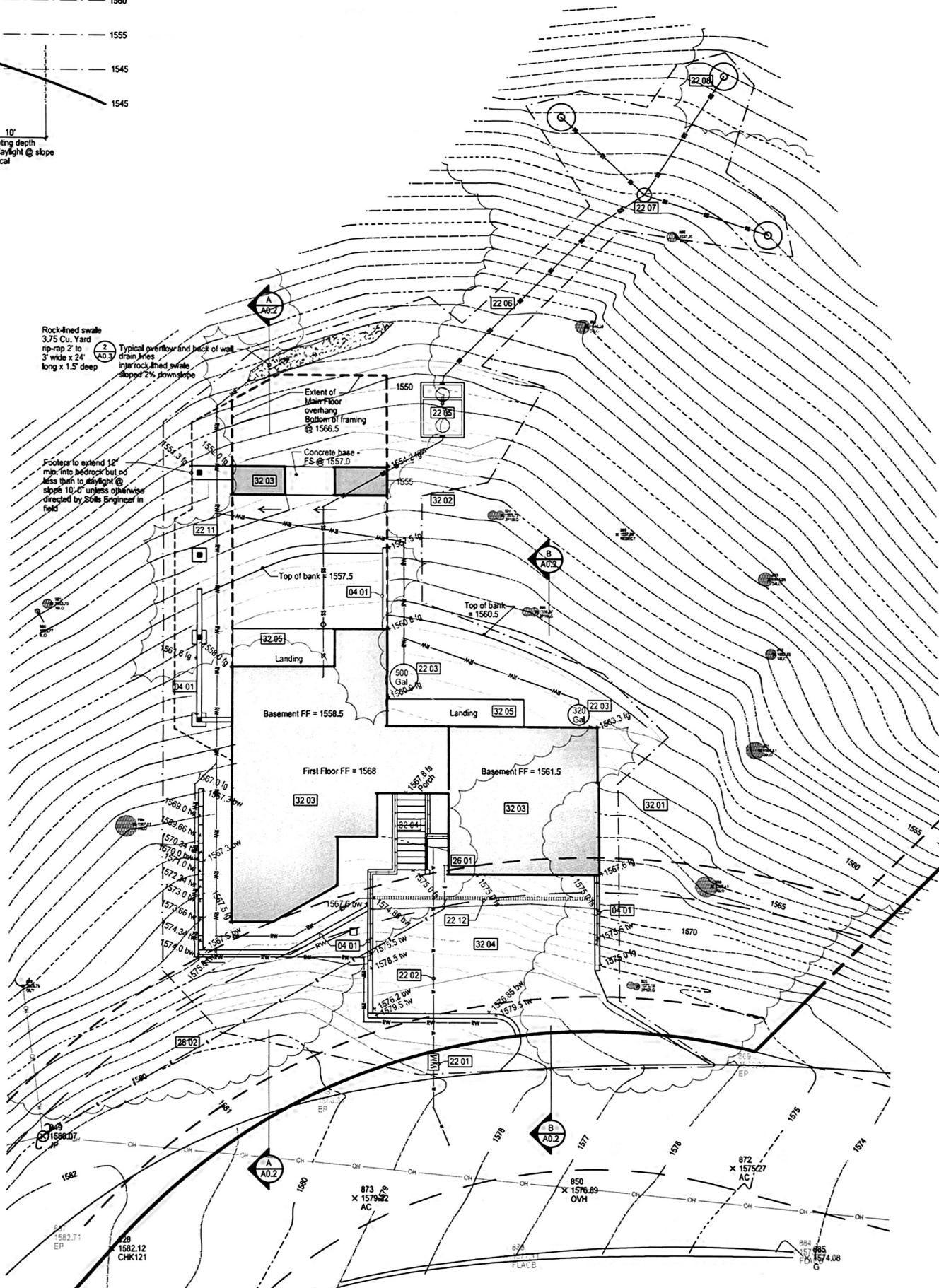
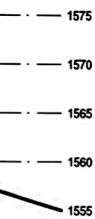
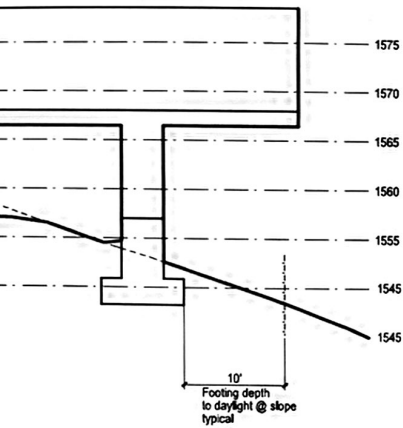


Structural Design Criteria	
A. FLOOR LIVE LOAD [1603.1.1]:	40 PSF
B. ROOF LIVE LOAD [1603.1.2]:	20 PSF MAX
C. WIND DESIGN DATA [1603.1.4]: NOTE: WIND RESISTANCE BASED ON WFCM PRESCRIPTIVE DESIGN INCORPORATED INTO NOTES AND DETAILS. BASIC WIND SPEED (3-MILE GUST): WIND IMPORTANCE FACTOR I: WIND EXPOSURE(S): THE APPLICABLE INTERNAL PRESSURE COEFFICIENT: DESIGN WIND PRESSURE(S) FOR COMPONENTS & CLADDING (NOT SPECIFICALLY DESIGNED BY THE REGISTERED DESIGN PROFESSIONAL):	110 MPH II (INCLUDED IN SPEED) B +/- .18 16 PSF
D. EARTHQUAKE DESIGN DATA [1603.1.5] SEISMIC IMPORTANCE FACTOR I: OCCUPANCY CATEGORY: MAPPED SPECTRAL RESPONSE ACCELERATIONS - SITE CLASS: SPECTRAL RESPONSE COEFFICIENTS - SEISMIC DESIGN CATEGORY: BASIC SEISMIC-FORCE RESISTING SYSTEM(S): DESIGN BASE SHEAR: SEISMIC RESPONSE COEFFICIENT(S) - RESPONSE MODIFICATIONS FACTOR(S) - BEARING WALLS LIGHT-FRAMED WOOD SHEAR WALLS OR STL PLATES ANALYSIS PROCEDURE USED:	II II Ss: 1.185 S1: 0.451 D Ses: 0.811 Sot: 0.466 D LIGHT FRAMED WALLS W/ SHEAR PANELS Fx: 9,227 # (Unit 1) / 9506 # (Unit 2) Cs: 0.1247 R: 6.5 LOAD ANALYSIS PROCEDURE
E. ALLOWABLE BEARING VALUES OF SOILS [1603.1.6]: (BASED ON TABLE 1806.2, LOWEST PRESUMPTIVE BEARING VALUE)	1,500 PSF
F. SPECIAL LOADS [1603.1.8]	NONE

HERS Feature Verifications	
BUILDING-LEVEL VERIFICATIONS:	High quality insulation installation (QII), Indoor air quality ventilation, Kitchen range hood
COOLING SYSTEM VERIFICATIONS:	Minimum Airflow, Verified EER, Verified SEER, Fan Efficacy Watts/CFM
HVAC DISTRIBUTION SYSTEM VERIFICATIONS:	Duct leakage testing, Ducts Located entirely in conditioned space
DOMESTIC HOT WATER SYSTEM VERIFICATIONS:	None

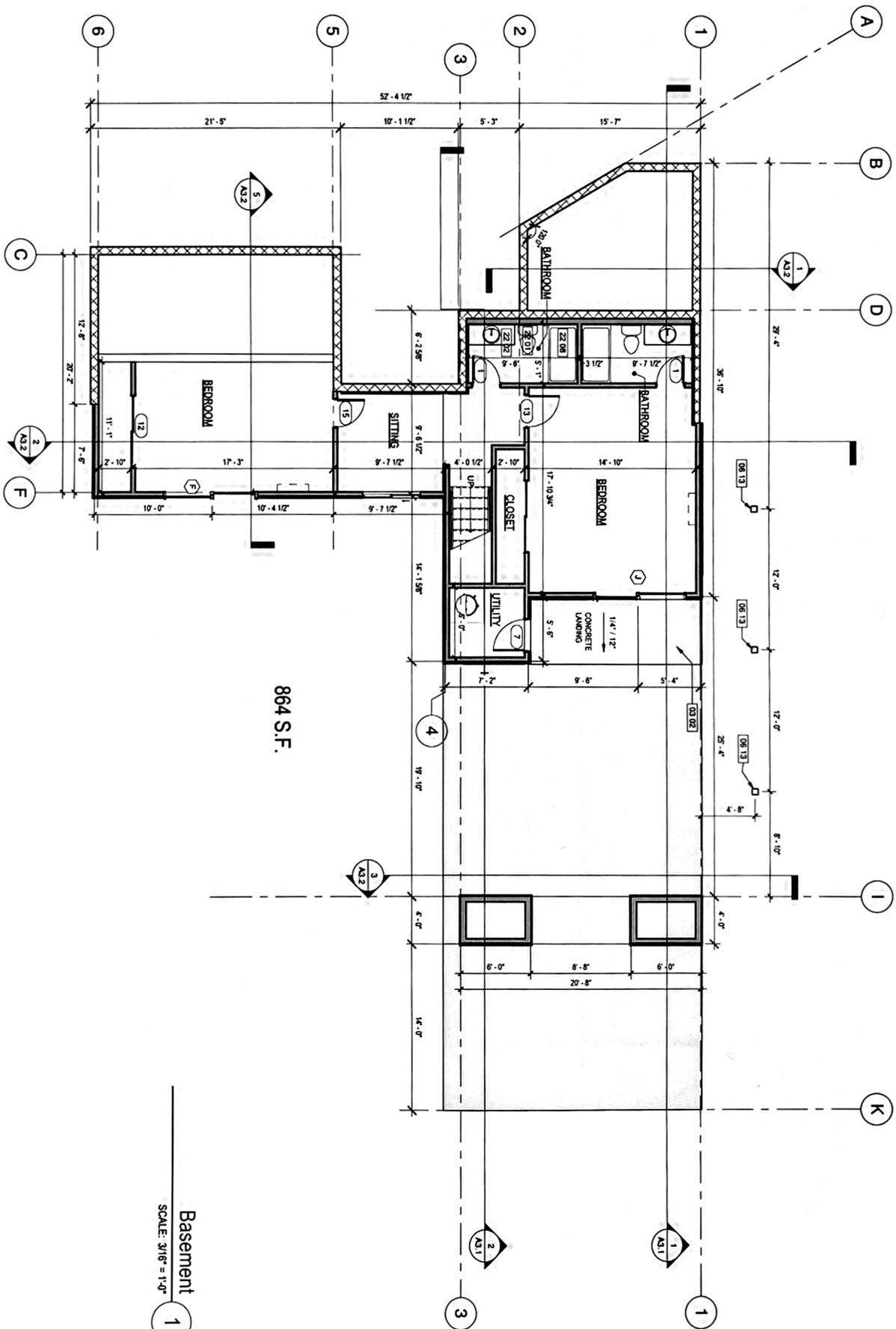
Storm Water Control Performance Requirements	
SEE SHEET Xx.x FOR DETAILS AND ADDITIONAL INFORMATION.	

Project Data	
PROJECT DESCRIPTION:	SINGLE FAMILY RESIDENCE
ADDRESS:	11800 SAN MARCOS ROAD, ATASCADERO, CA 93401
LEGAL DESCRIPTION:	LOT 5 OF BLOCK 81 ATASCADERO COLONY, CITY OF ATASCADERO, CA
APN:	055-181-022
ZONE:	RS - RURAL SUBURBAN (2.5-10 ACRE LOT MIN)
FIRE SEVERITY ZONE:	HIGH
OTHER OVERLAYS:	NONE
ADJACENT USES:	NORTH: RS - RESIDENTIAL SOUTH: RS - RESIDENTIAL EAST: RS - RESIDENTIAL WEST: RS - RESIDENTIAL
AREA OF DISTURBANCE:	6,630 s.f.
NEW IMPERVIOUS AREA:	4,262 s.f.
BUILDING AREA CONDITIONED SPACE HOUSE:	2,489 s.f.
UNCONDITIONED SPACE GARAGE: DECK:	431 s.f. 515 s.f.
SETBACKS:	FRONT: 25'-0" exception (3) Sloping Lot Adjustment. Where the elevation of the natural grade on a lot at a point fifty (50) feet from the centerline of the adjacent street right-of-way is seven (7) feet above or below the elevation of the centerline, a private garage may be located, at the discretion of the applicant, as close as five (5) feet to the street property line, subject to the approval of an administrative use permit (Section 9-1.112 of this title), provided that portions of the dwelling other than the garage shall be established at the setback otherwise required. SIDE: 5'-0" REAR: 10'-0"
LOT AREA SUMMARY:	
Lot Area:	349,787 Sq. Ft. (8.03 acres)
Proposed:	
Combined Footprint of units/deck:	3,435 Sq. Ft.
Driveway & Walkways:	827 Sq. Ft.
Remaining Landscape Area:	345,525 Sq. Ft.
Lot Coverage:	Max. Allowable: 50% 4,262 SF / 349,787 SF = 1.2%
LANDSCAPING AREA:	
On site Landscaping:	3,185 SF / 9,069 SF = 35.12%
Off site Landscaping:	523 SF
Site Grading:	Area outside of built structures: 345,525 SF Approx. Cut: 365 CY Approx. Fill: 60 CY
BUILDING INFORMATION:	
BUILDING AREA SUMMARY	
Basement:	864 s.f.
First Floor:	1,625 s.f.
TOTAL LIVING SPACE:	2,489 s.f.
PORCHES:	515 s.f.
GARAGE AREA:	431 s.f.
TOTAL PRIVATE EXT. SPACE:	946 s.f.
TOTAL BUILT SPACE:	3,435 sf
Building Height:	Height above average natural grade within building footprint Required: 30' Proposed: 22'-0" +/-
Construction Type:	VB
Sprinklers:	NFPA-13D
Occupancy:	RS
Soils Report:	ENGINEER: MID COAST GEOTECHNICAL, INC. DATE: August 12, 2020 PROJECT NUMBER: 19712
Geological Report	ENGINEER MID COAST GEOTECHNICAL, INC.

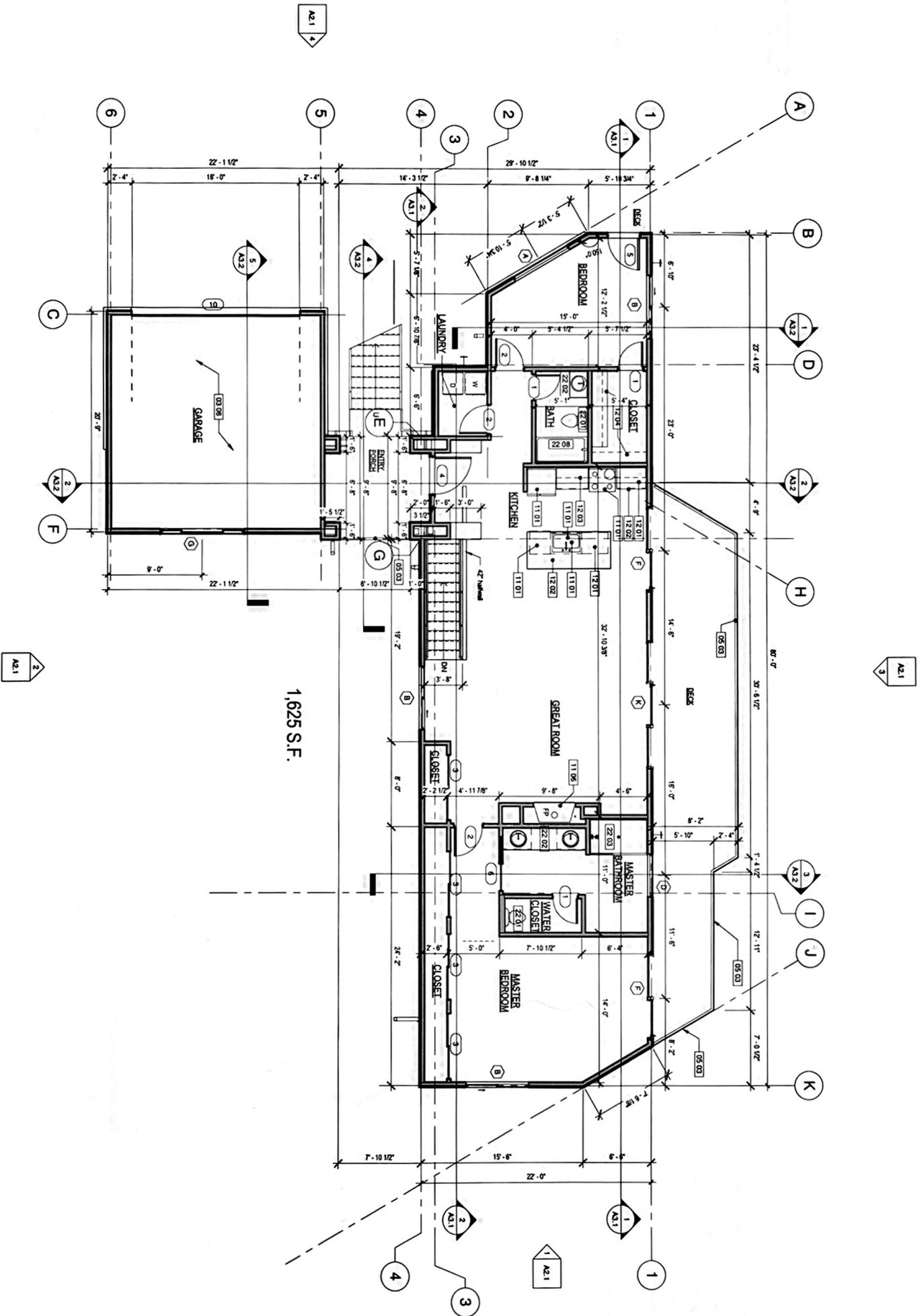


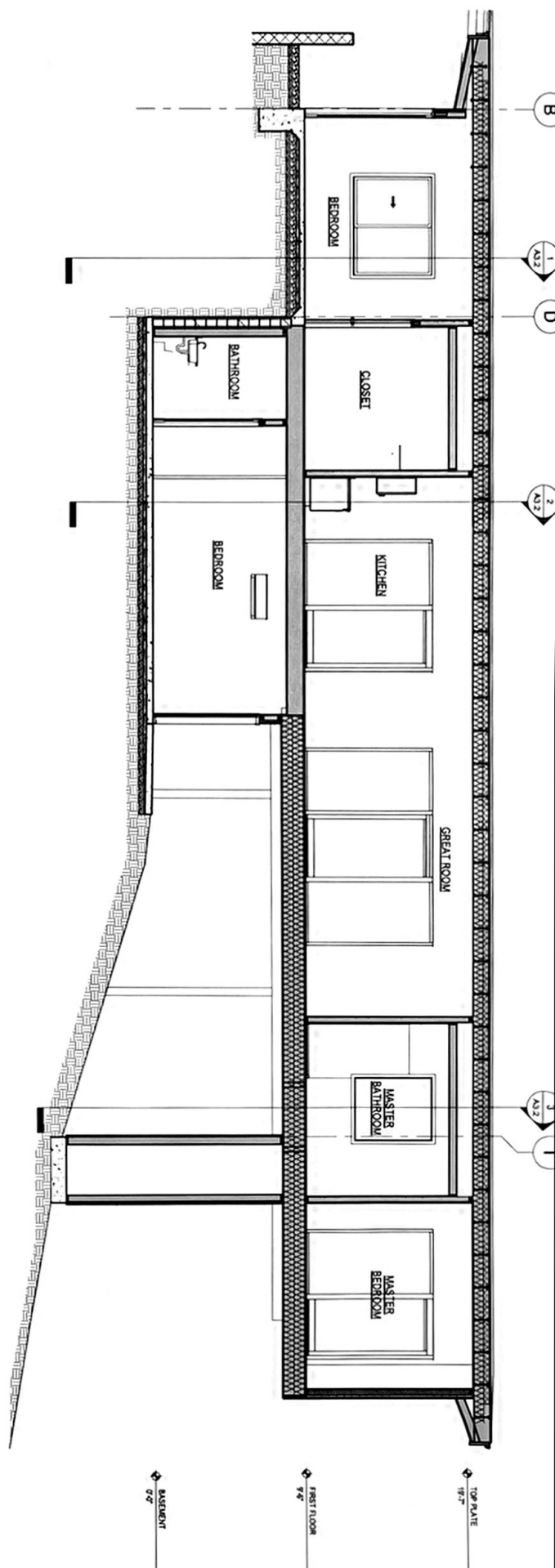
Grading & Drainage Plan

1" = 10'-0"



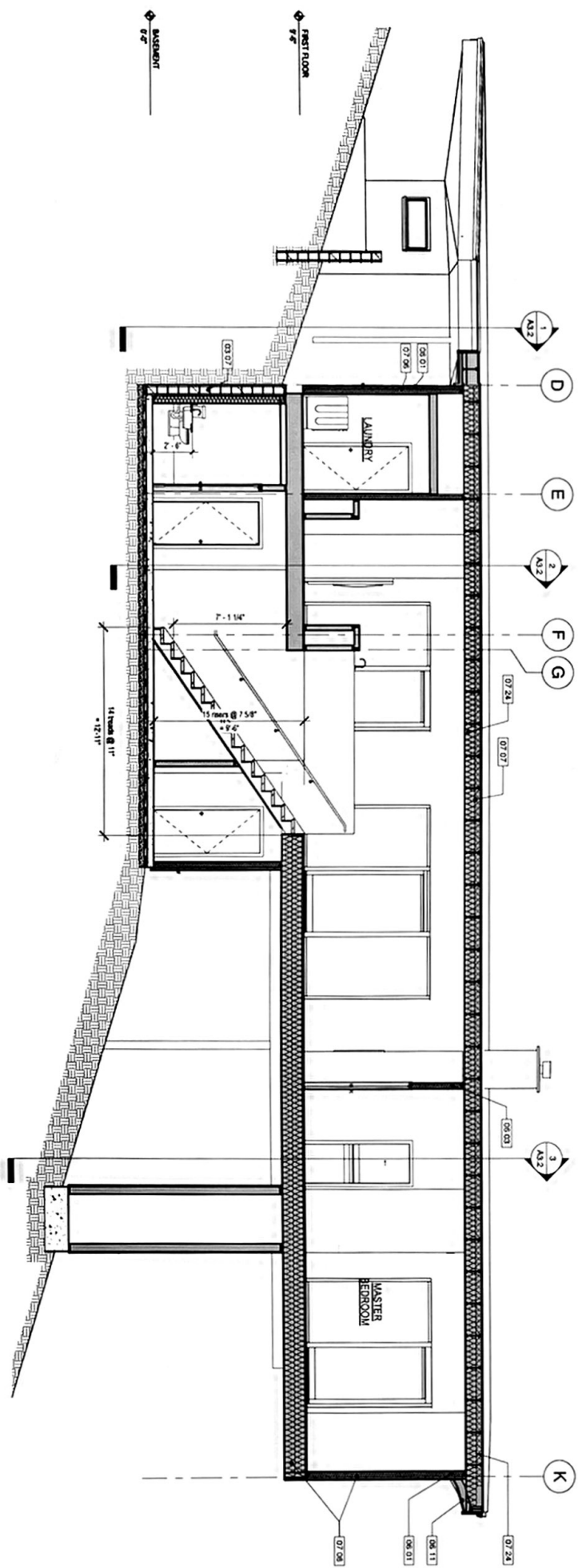
864 S.F.





Longitudinal Section 1

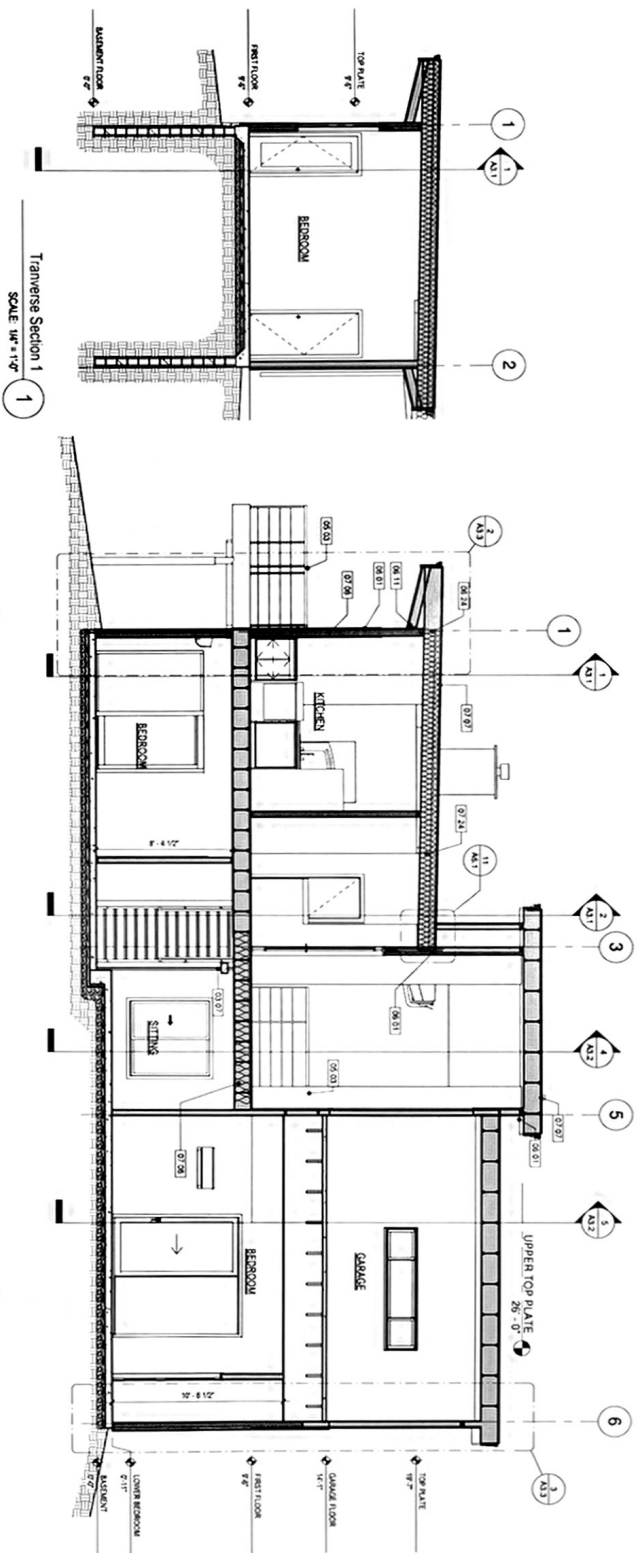
SCALE: 1/4" = 1'-0"



Longitudinal Section 2

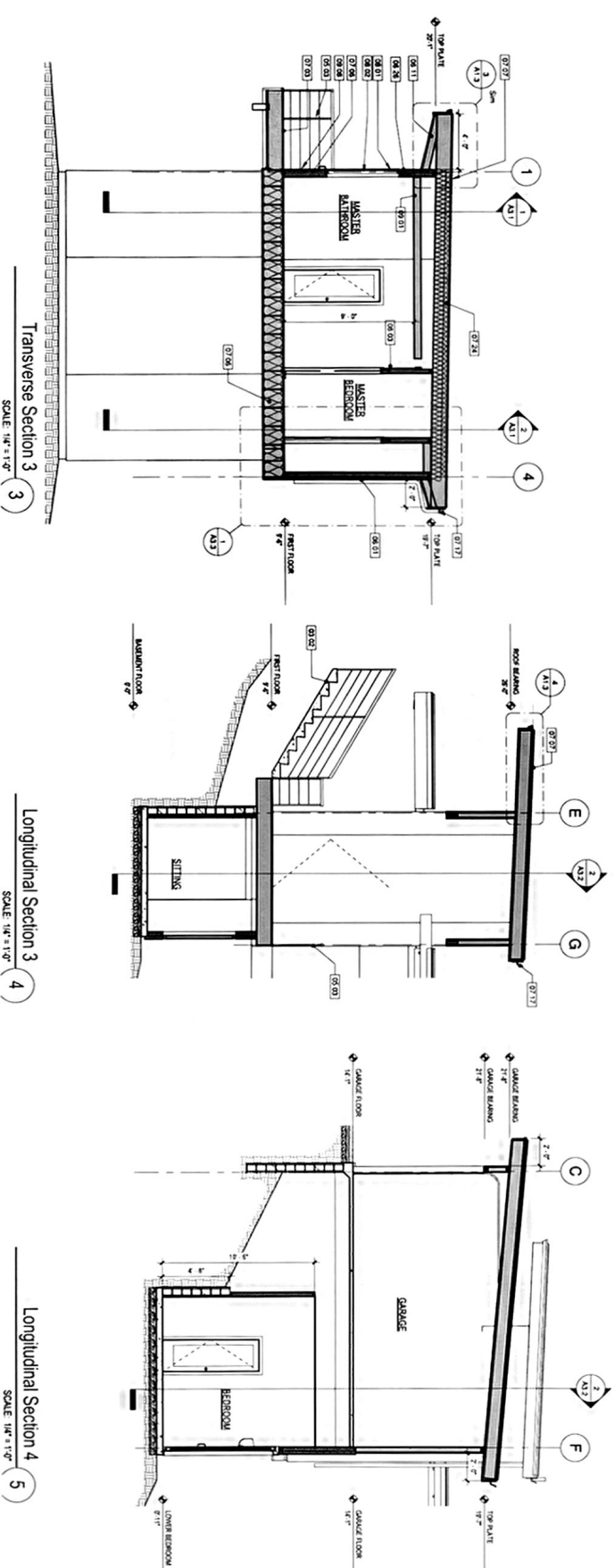
NOTES

1. General Notes: See separate sheet for general notes.
2. Foundation: See separate sheet for foundation details.
3. Structural: See separate sheet for structural details.
4. Mechanical: See separate sheet for mechanical details.
5. Electrical: See separate sheet for electrical details.
6. Plumbing: See separate sheet for plumbing details.
7. Fire Protection: See separate sheet for fire protection details.
8. Safety: See separate sheet for safety details.
9. Accessibility: See separate sheet for accessibility details.
10. Other: See separate sheet for other details.



Transverse Section 1
SCALE: 1/4" = 1'-0"

Transverse Section 2
SCALE: 1/4" = 1'-0"



Transverse Section 3
SCALE: 1/4" = 1'-0"

Longitudinal Section 3
SCALE: 1/4" = 1'-0"

Longitudinal Section 4
SCALE: 1/4" = 1'-0"

San Marcos House

Investments, LLC

2000 (1) Canyon Road

San Marcos, CA 92068

Architect: S. S. S. S. S.

Architect: S. S. S. S. S.

Architect: S. S. S. S. S.

Building Sections

Architect: S. S. S. S. S.

Architect: S. S. S. S. S.

Architect: S. S. S. S. S.

Architect

S. S. S. S. S.

Architect: S. S. S. S. S.

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