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PROPERTY DESCRIPTION

TOTAL PARCEL AREA: 7,952 SF

Assessor's ID No: 747-009-019
 Address: 3636 GARDENIA AVE LONG BEACH CA 90807
 Property Type: Single Family Residential
 Property Boundary Description
 TRACT NO 10607 S 22.5 FT OF LOT 18
 AND ALL OF LOT 19

ZONING	R-1-N
OCCUPANCY GROUP:	R-3
TYPE OF CONSTRUCTION:	V-B
# STORIES:	1
HEIGHT:	13'-4"

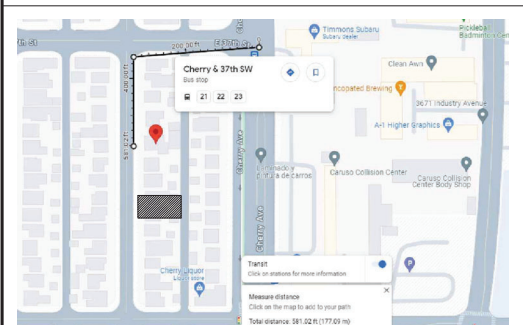
TYPE OF FIRE SPRINKLER: (NO)
 USE: ACCESSORY DWELLING UNIT
 SINGLE FAMILY DWELLING

Building Improvement	1
Square Footage:	2,291
Year Build / Effective Year Built:	1938 / 1958
Bedrooms / Bathrooms	4 / 4
Units	1

SCOPE OF WORK

EXISTING 2 CAR GARAGE AND WORKSHOP TO CONVERT INTO ADU 1,200 SF

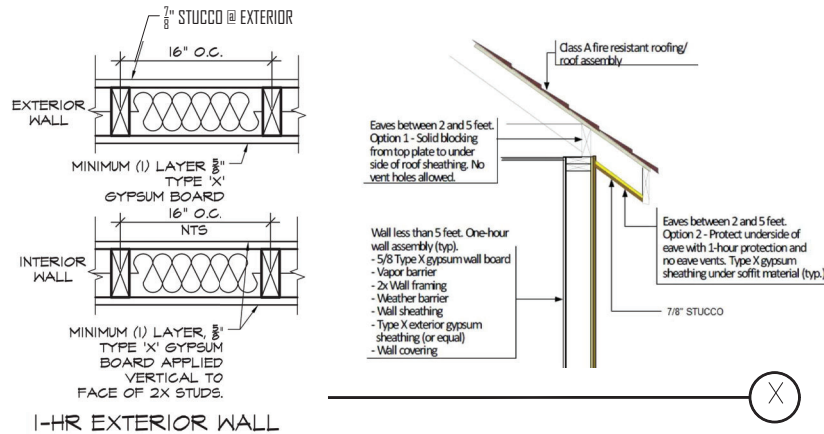
VICINITY MAP



DISTANCE TO BUS STOP No. 21,22,23
 0.11 MILES < 0.5 MILES

CONSULTANTS

ENERGY	DESIGNER
OSCAR MELCHOR 21731 VENTURA BLVD. SUITE 110 WOODLAND HILLS, CA 91364 818-633-3290	ADRIAN LOPEZ 10700 DOWNEY AVE #318 DOWNEY CA 90241 562-519-5450
ENGINEER	OWNER
OSCAR MELCHOR 21731 VENTURA BLVD. SUITE 110 WOODLAND HILLS, CA 91364 818-633-3290	THOMAS CAMPBELL 3636 GARDENIA AVE LON BEACH CA 90807



Small Scale Residential LID BMP Measures Rain Barrel Fact Sheet



Are Rain Barrels Feasible at my Residence?

Rain barrels are appropriate where the following site characteristics are present:

- A level, firm surface for support of the rain barrel is required. Rain barrels should only be elevated with solid construction materials and kept away from retaining walls as a full 55-gallon rain barrel will weigh over 400 pounds.
- An area where the capture water can be used is required to be present within a reasonable distance from the rain barrel.
- Design of an appropriate area for overflow from the barrel is necessary. For sites within immediately adjacent to, or abutting an environmentally sensitive area, see the LID Manual for applicable criteria.

How Many Rain Barrels Do I Need?

The number of rain barrels required to capture runoff from a given roof or impervious area is shown in the following table.

Roof or Impervious Area (sq. ft.)	Number of 55 Gallon Rain Barrels*
500 - 1000	4
1,001 - 1,500	8
1,501 - 2,000	10
2,001 - 2,500*	14

Small Scale Residential LID BMP Measures Rain Barrel Fact Sheet



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How Many Rain Barrels Do I Need?

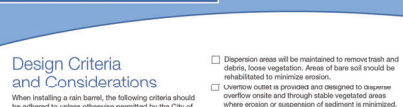
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2,001 - 2,500*	14

"I certify that the proposed work will no destroy or unreasonably interfere with any access or utility easement belonging to others and located on my property. But in the event such work does destroy or unreasonably interfere with a such easement, a substitute easement(s) satisfactory to the holder(s) of the easement will be provided"

Thomas Campbell
 Signature Title
 Print name/date:

Small Scale Residential LID BMP Measures Rain Barrel Fact Sheet



Design Criteria and Considerations

When installing a rain barrel, the following criteria should be adhered to unless otherwise permitted by the City of Long Beach. The owner should check all boxes that will be complied with:

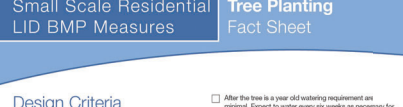
- Screens are present on all rain barrel inlets to remove debris and larger particles as the water enters the barrel. Removable child resistant covers and mosquito screening are in place.
- Barrel is child safe: access is child proof and the barrel is properly sealed and anchored on a stable surface to prevent barrel from tipping over. Remember - each rain barrel weighs approximately 400 pounds when full!
- Above ground barrels are not located on uneven or sloped surfaces, if installed on an sloped surface, the base where the barrel is installed has been leveled using appropriate construction materials prior to installation.
- Installed rain barrels have not been placed on elevated platforms, decks or porches without consulting local building code officials.

Operations and Maintenance

Once a rain barrel is installed, the following criteria should be adhered to. The owner should check all boxes that will be complied with:

- Rain barrel components will be inspected 4 times annually and following major storm events. Screens, downspouts, downpipes, and leaders will be repaired or replaced as needed.
- Rain barrels will be cleaned as necessary to prevent algae growth and the breeding of insects. Cleaning should always take place on a permeable surface. If vectors are breeding in a rain barrel, the barrel will be drained immediately.
- During dry periods, spigot drains will be left open when barrel is not in use.

Small Scale Residential LID BMP Measures Tree Planting Fact Sheet



Design Criteria and Considerations

When installing a canopy tree, the following criteria should be adhered to unless otherwise permitted by the City of Long Beach. The owner should check all boxes that will be complied with:

- Canopy trees must be planted at least 10 feet from the house foundation and at least 3 feet from fence, patio, driveway and sidewalks. To reduce stormwater runoff and erosion, canopy trees should be planted within 10 feet of an impervious area on the residential property, such as a driveway or walkway.
- If digging a canopy tree within close proximity (20 feet) to overhead utility lines, restrictions may apply. Questions related to the overhead utility lines and placement near overhead utility lines can be answered by contacting Southern California Edison (800) 655-4555 or visiting their website at: <http://www.sce.com/Safety/lines/power/04/04/04.htm>.
- Prior to planting, property owners must check for underground utilities before planting the canopy tree in the right-of-way. Call DigAlert (800) 327-2600 or one-way dig alert at least two days before you begin digging a hole for the tree, and they will mark where the underground utilities are in the right-of-way.

Operations and Maintenance

Once trees have been planted, the following criteria should be adhered to. The owner should check all boxes that will be complied with:

- For the first month after planting your tree, water deeply (10 gallons) twice a week. For the second and third months after planting, water deeply once a week. The next two months you should only water every two weeks and once the tree is at least on rootsite or you can water once a month for the rest of the first year.

"As the owner of the project property, I hereby certify that the above information is true, accurate and to the best of my knowledge."

CITY OF LONG BEACH
APPROVED
 May 17 2024

(Signature)
HISTORIC PRESERVATION

LOT = 7,952 SF	
(E) SFD = 2,291 SF	
(E) 2 CAR GARAGE AND WORKSHOP TO CONVERT INTO ADU = 1,200 SF	
TOTAL = 3,491 SF	
LOT COVER 3,491/7,952=0.43%	
FAR 3,491/7,952=0.43	
THE USABLE OPEN SPACE REQUIREMENT IS 16%. = 1,272 sf	
AREA #1 = 17'8"x58'8" = 1,278 SF	
AREA #2 = 22'9"x34'0" = 775 SF	
TOTAL AREA PROVIDE: 2,027 SF > 16% OK	

DRAINAGE
 5% SLOPE AWAY FROM HOUSE
 2% SLOPE TOWARD PUBLIC WAY

ALL SITE DRAINAGE TO COMPLY WITH 2022 CRC AND DRAIN TO STREET 1% MIN. SLOPE GRADE TO BE SUCH THAT SURFACE WATER DRAINS AT MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET (5%) OF A FOUNDATION WALL

NOTES:
 TO UPGRADE ALL EXISTING CONFORMING PLUMBING FIXTURES TO NEW WATER CONSERVATIVE FIXTURES
 SITE MEASUREMENTS BASED ON A SITE ASSESSMENT NOT A LAND SURVEY

- 2022 CALIFORNIA RESIDENTIAL CODE (CRC).
- 2022 CALIFORNIA BUILDING CODE (CBC).
- 2022 CALIFORNIA GREEN BUILDING STANDARD CODE (CALGREEN).
- 2022 CALIFORNIA PLUMBING CODE (CPC).
- 2022 CALIFORNIA MECHANICAL CODE (CMC).
- LONG BEACH MUNICIPAL CODE (LBMC).
- HEALTH AND SAFETY CODE (HSC), TABLE (T).
- 2022 CALIFORNIA ENERGY CODE.

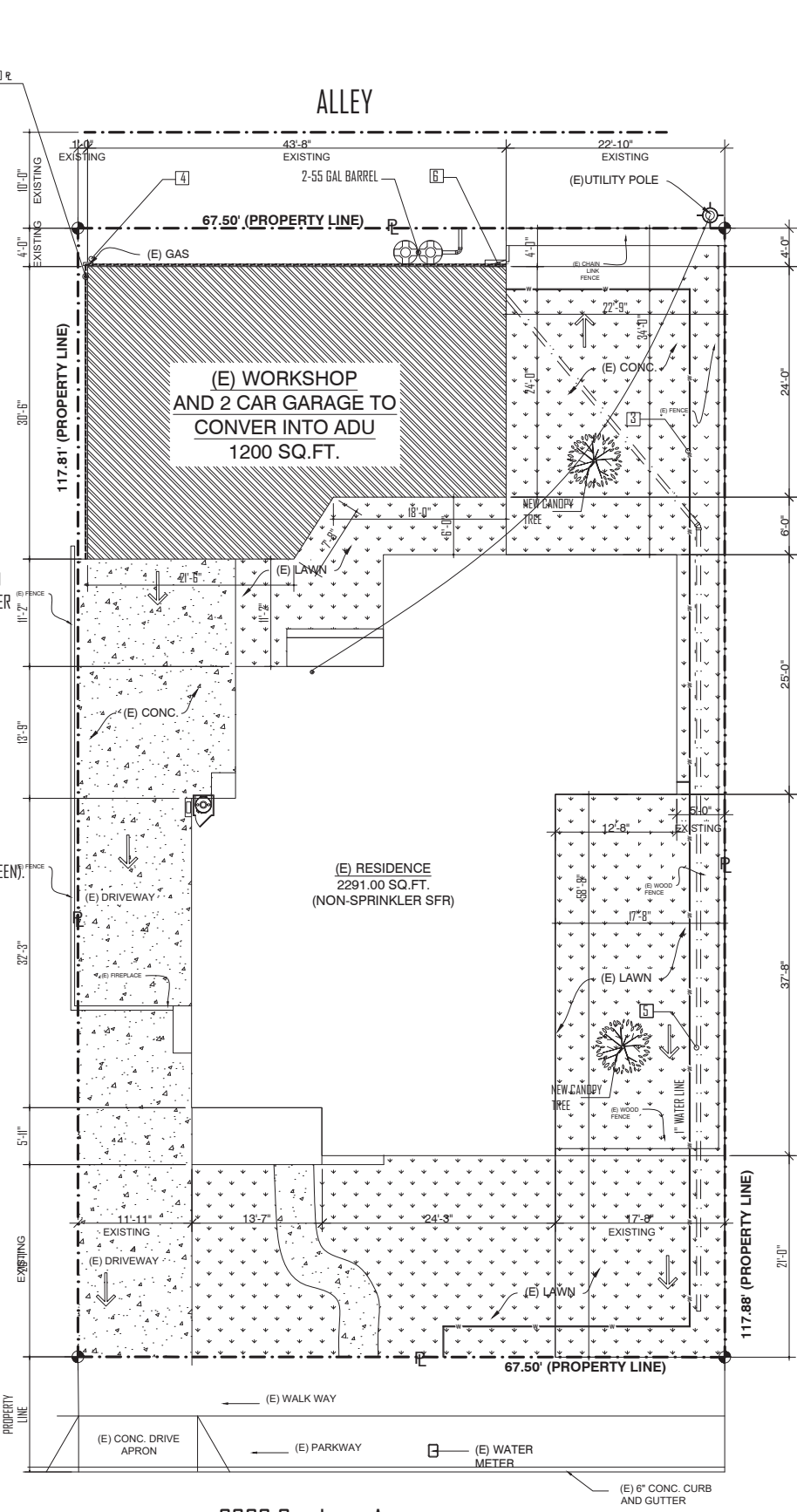
- 1 TANKLES WATER HEATER
- 2 MINI SPLIT CONDENSER PER ENERGY CALCS.
- 3 WATER METER 1" LINE
- 4 GAS METER 3/4" LINE
- 5 SEWER LINE 8" 4"
- 6 NEW SUBPANEL 100 AMPS

THIS PROJECT IS SUBJECT TO MPDES AND SUSMP REGULATIONS PER LBMC 18.5I. PROVIDE THE FOLLOWING:
 A. THE PROJECT ARCHITECT OR ENGINEER OF RECORD, OR AUTHORIZED QUALIFIED DESIGNER, SHALL SIGN A STATEMENT ON THE PLANS TO THE EFFECT:
 "AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPS TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPS MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPS NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION"

DESIGNER 4/18/2024

SITE PLAN
 SCALE 3/8" = 1'-0"

MAIN UNIT IS NOT FIRE SPRINKLERED



DRAWN BY:
ADRIAN LOPEZ
 10700 DOWNEY AVE
 DOWNEY CA 90241
 562-519-5450
(Signature)

CONTRACTOR

DATE:
 5/13/2024

DESCRIPTION:

SITE PLAN & INDEX

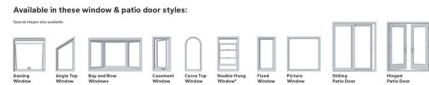


THOMAS CAMPBELL
 MAIN ADDRESS:
 3636 GARDENIA AVE LONG BEACH CA 90807
 ADU ADDRESS:
 3636 GARDENIA AVE LONG BEACH CA 90807

ENGINEER: 2023

Solutions for Real Life

- Four optional performance packages
- Integrated blinds and shades for added privacy
- Backed by the best limited lifetime warranty for wood windows and patio doors
- Innovative Hidden Screen provides easy and convenient access to fresh air and natural light without compromising your view



Colors & Finishes

Wood Species for complementing your home's interior



Prefinished Pine Interior Colors



Aluminum-Clad Exterior Colors



Glass

Low-E Glass

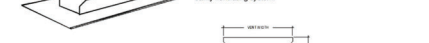


Additional Glass Options



LOW PROFILE AIR INTAKE

Low profile air intake designed for flat roof installation. Allows air movement and combustion reduction in conjunction with attic quality ventilating system.



STYLE	HEIGHT	WIDTH	DEPTH	FLANGE	ROOF	NET AREA
NO.	INCH	INCH	INCH	INCH	PITCH	SQ. FT.
A100	14"	18.25"	6"	6"	7:12	100"
A200	20.5"	25.5"	7.5"	6"	20.5"	184"

SEE DRAWING FOR DIMENSIONS

FACTORY STANDARD METALS

- Reinforced Fiberglass Reinforced Plastic
- Paint-ready ZINC PHOSPHATE BONDED STEEL
- 4 x 4 CGO (Galvalume) Reinforced Clad

FACTORY STANDARD METALS

TECHNICAL DATA

- ASTM A636/A636M - G90 hot dipped galvanized steel, Z90A standard
- ASTM A636/A636M - G90 hot dipped galvanized steel, Z90A standard, A637M D 2010 95 mill phosphatized
- ASTM A 30214 - G90 hot dipped galvanized coated steel with lacquer

Why Choose Pella Lifestyle Series?

Pella Lifestyle Series products are the #1 performing wood window and patio door for the combination of energy, sound and value.*

Style Flexibility

No matter the style of your home, these beautiful wood windows and patio doors offer the most detailed features and options. With your choice of beautiful interior and exterior paint or stains, you have the style flexibility to match other finishes throughout your home.

Redefining Performance

Make your home more comfortable and help keep outside noises out and inside noises in. To make things easier, we've created performance packages to highlight what's most important to you. Upgrade from a dual- to a triple-pane glass design with the available packages to meet the unique needs of each room in your home.*

Room-by-Room Solutions

Packed with time-tested innovations, you can create solutions for your home, room-by-room. The revolutionary Hidden Screen appears when you open a double-hung window and folds away when it's closed, delivering a clear view when your window is closed and improves curb appeal year-round. Choose optional integrated security sensors that come factory-installed to preserve the beauty and warranty of your window and patio door. Pairable with restricted integrated blinds and shades for added privacy and convenience.

The Best Limited Lifetime Warranty for Wood Windows and Patio Doors*

You can be confident in your investment. At Pella, we are committed to designing and building wood products with exceptional quality and durability. This is supported by:

- Endurance:** Advanced protection for wood against rot, mold, mildew, decay, staining from acid rain, and other environmental damage.
- Extreme Weather Resilience:** Exceptionally durable construction, including wind-resistant exterior finish, helps protect windows and patio doors for years.
- Insulating Glass Unit:** A long-lasting insulating glass unit with multiple panes, providing a clear view and exceptional energy efficiency.

Designed for Real Life.

The best limited lifetime warranty*

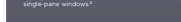
Pella wood products are covered by the best limited lifetime warranty for wood windows and patio doors.

Patented triple-pane design.

Pella's patented triple-pane glass design gets you products that provide excellent energy efficiency and sound reduction.

Superior energy efficiency.

Our patented low-e triple-pane design makes your home more comfortable. Available performance options deliver 70% more energy efficiency than standard single-pane windows.



Noise reducing windows for a healthier home.

Triple-pane windows absorb sound waves and help give you exceptional sound control. With available performance options, they deliver 20% more sound control than standard single-pane windows.*

Increased privacy and security.

Triple-pane windows are intentionally designed to be accessible. They are locked between panes of insulating glass and protected from dust, dirt, and other debris. Available manual or motorized with Pella Insignia technology.

Trusted innovations.

Pella Lifestyle Series windows and patio doors with integrated blinds and shades have been recognized by Awards for Window Blind Safety and have been certified as Best for Kids.



THE NEW ADUS WILL BE ARCHITECTURALLY COMPATIBLE WITH THE PRIMARY DWELLINGS AND STRUCTURES ON-SITE, INCLUDING THE USE OF COMPLEMENTARY COLOR PALETTES, EXTERIOR FINISHES, ROOF PITCH, AND OTHER DESIGN ELEMENTS.

THE MOLDING CANNOT BE FOAM

LEGEND

- (N) WOOD FRAME W/STUCCO MATCHING W/ EXISTING HOUSE W/ 2 LAYERS OF GRADE 2 PAPER BETWEEN PLYWOOD SHEAR PANEL AND EXTERIOR LATH
- (E) AS-BUILT ROOF
- (E) WOOD FRAME WITH STUCCO
- LOW PROFILE VENT AI200

ROOF VENTILATION CALCULATION

REQUIRED: 1200 SQ. FT. /150' = 8 sq. Ft.
 1. LOW PROFILE VENT 184 = 127 SF (7) x = 8.89sq. ft.
 144 PROVIDE: TOTAL = 8.89 sq. ft.

Grilles

Choose the look of how divided light or make cleaner easier with grilles between the glass.



Grille Patterns

In addition to the patterns shown here, custom grille patterns are available.



Screens

Roller Screens - Roll-up screens that fold out of sight when not in use. Available on casement windows and sliding patio doors.

Flat Screens - InVision™ screens are cleaner than conventional screens and come standard.

Hidden Screens

The exclusive, easy-to-use Hidden Screen appears when you open a double-hung window and folds away when the window is closed. It allows 44% more natural light into your home when a window is closed than a standard screen.*

Added Peace of Mind

Optional integrated wireless security sensors maintain aesthetics, invisible security installation and ensure no warranty fee is caused by post-installation drilling. Sensors can be monitored via the free Pella Insignia™ App and are compatible with major security panel systems for more information, go to www.pella.com.

Integrated Blinds & Shades

Integrated Blinds

Roller blinds or roman shades are available with or without motorization powered by Pella Insignia™ technology.



Integrated Shades

Our best integrated fabric shades are available with or without motorization powered by Pella Insignia™ technology. They feature a white exterior fabric for a uniform look from the street.



Window Hardware

Essential Collection

Our most popular design with finishes to suit every style.



Patio Door Hardware

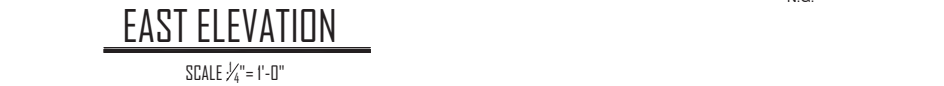
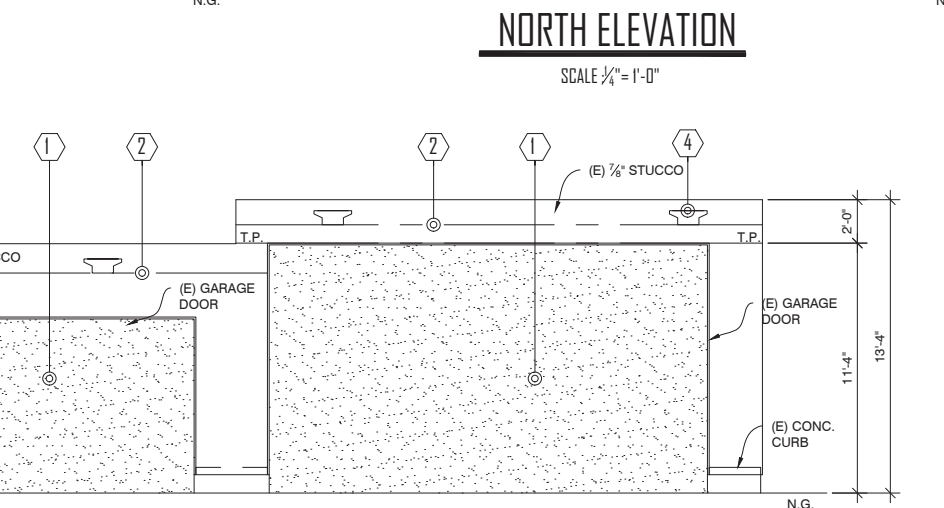
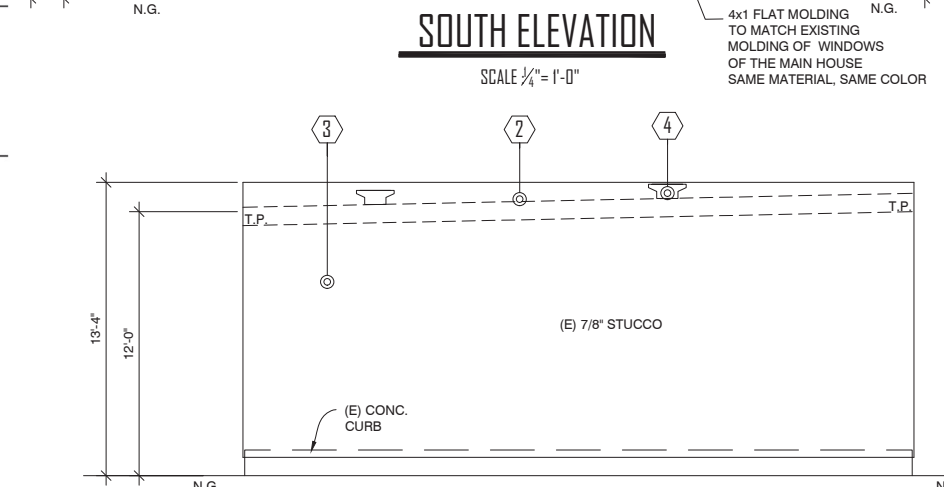
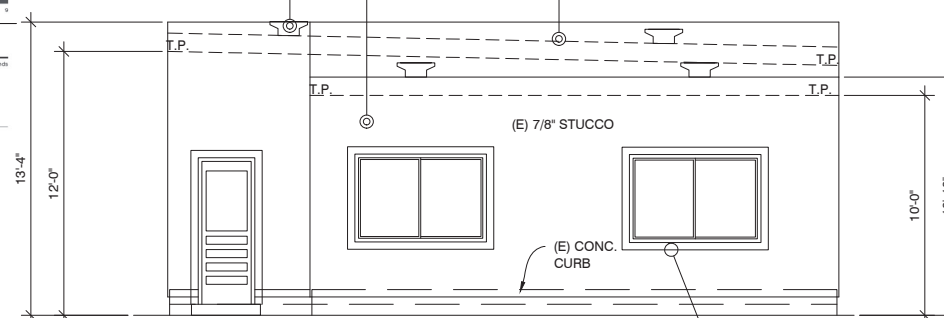
Essential Collection

Enhance your style and transform your home with elegant selections.



CITY OF LONG BEACH
APPROVED
 May 17 2024

HISTORIC PRESERVATION



OWNER:
THOMAS CAMPBELL
 MAIN ADDRESS:
 3636 GARDENIA AVE LONG BEACH CA 90807
 ADU ADDRESS:
 3636 GARDENIA AVE LONG BEACH CA 90807

ENGINEER: 2023

DRAWN BY:
ADRIAN LOPEZ
 10700 DOWNEY AVE
 DOWNEY CA 90241
 562-519-5450
L. Adrian Lopez

REVISIONS

CONTRACTOR

DATE:
 5/13/2024

DESCRIPTION:

ELEVATIONS

A-2.1

**EXISTING
GARAGE/WORKSHOP
INTO ADU**



**EXISTING
MAIN HOUSE**



OWNER:

THOMAS CAMPBELL

MAIN ADDRESS:
3636 GARDENIA AVE LONG BEACH CA 90807

ADU ADDRESS:
3636 GARDENIA AVE LONG BEACH CA 90807

ENGINEER:

2023

DRAWN BY:

ADRIAN LOPEZ
10700 DOWNEY AVE
DOWNEY CA 90241
562-519-5450

L. Adrian Lopez

REVISIONS

△	

CONTRACTOR

DATE:

4/30/2024

DESCRIPTION:

**PHOTOS
EXISTING MAIN HOUSE
EXISTING GARAGE TO
ADU**

A-2.2

Sheet No. ©