

Project Summary:

Job Address: 2114 & 2116 The Strand
 Manhattan Beach, CA 90266

Zone: Area District III (RM - Residential Medium Density)

Building Type: Duplex (with (2) ADUs - Detached)

Occupancy Group: R3/U

Construction Type: Type V-B (Sprinklered Throughout)
 (Under Separate Permit)

Number of Stories: 3-Stories

Parking: 4-Car Parking

Lot Size: 3,308 sf

Legal Description: APN:4178-013-009
 LOTS 16 & 17, BLOCK 8, NORTH
 MANHATTAN BEACH SUBDIVISION NO. 2,
 VACATED STREET ADJACENT ON SW AND
 EX OF STREETS, M.B. 2-1

Project Description: (N) Duplex (with (2) ADUs, detached)

Codes & Amendments

This project is designed to comply with the following:
 Manhattan Beach Municipal Code
 2022 California Residential Code (CRC)
 2022 California Building Code (CBC)
 2022 California Mechanical Code (CMC)
 2022 California Plumbing Code (CPC)
 2022 California Electrical Code (CEC)
 2022 California Green Building Standards
 2022 California Energy Efficiency Standards
 Local Jurisdiction Amendments

(E) Building To be Demolished
 2120 The Strand
 Multi-Family Residential: 7-Unit
 8,880 SF
 30' Max. Building Height

Approximate Rough Grading Quantities**
 Cut: 700 (CY)
 Fill: 200 (CY)

Grading Plans under separate permit

Project Data:

Lot Area: 3,308 s.f.

Buildable Floor Area
 Allowable: 5,292.8 s.f. (=3,308 x 1.6)
 Proposed: 3,831 s.f.
 Garage: 415 s.f.
 Gross Total Living: 5,198 s.f.

Open Space Requirements
 Unit-1 (Apartment-1): 961 x .15 = 144.15
 Unit-2 (Apartment-2): 1,994 x .15 = 299.1
 443.25

Required: 443.25 s.f.
 Proposed: 616 s.f. (complies)

ADU
 Open space not required

**BUILDING-B
 DUPLEX WITH 2-ADUs - DETACHED**

BUILDABLE FLOOR AREA	FLOOR s.f.	OPEN SPACE
UNIT-1 (APARTMENT-1)	961 s.f.	220 s.f.
UNIT-2 (APARTMENT-2)	1,994 s.f.	396 s.f.
FIRST FLOOR	(1,044 s.f.)	(265 s.f.)
SECOND FLOOR FLOOR	(950 s.f.)	(131 s.f.)
UNIT-3 (ADU-1)	**952 s.f.	Not Required
**not counted toward BFA		
UNIT-4 (ADU-2)	876 s.f.	Not Required
TOTAL BUILDABLE FLOOR AREA	3,831 s.f.	Required: 443.25 s.f. Proposed: 616 s.f.
GARAGE	415 s.f.	
GROSS TOTAL LIVING	5,198 s.f.	

Height Calculation:

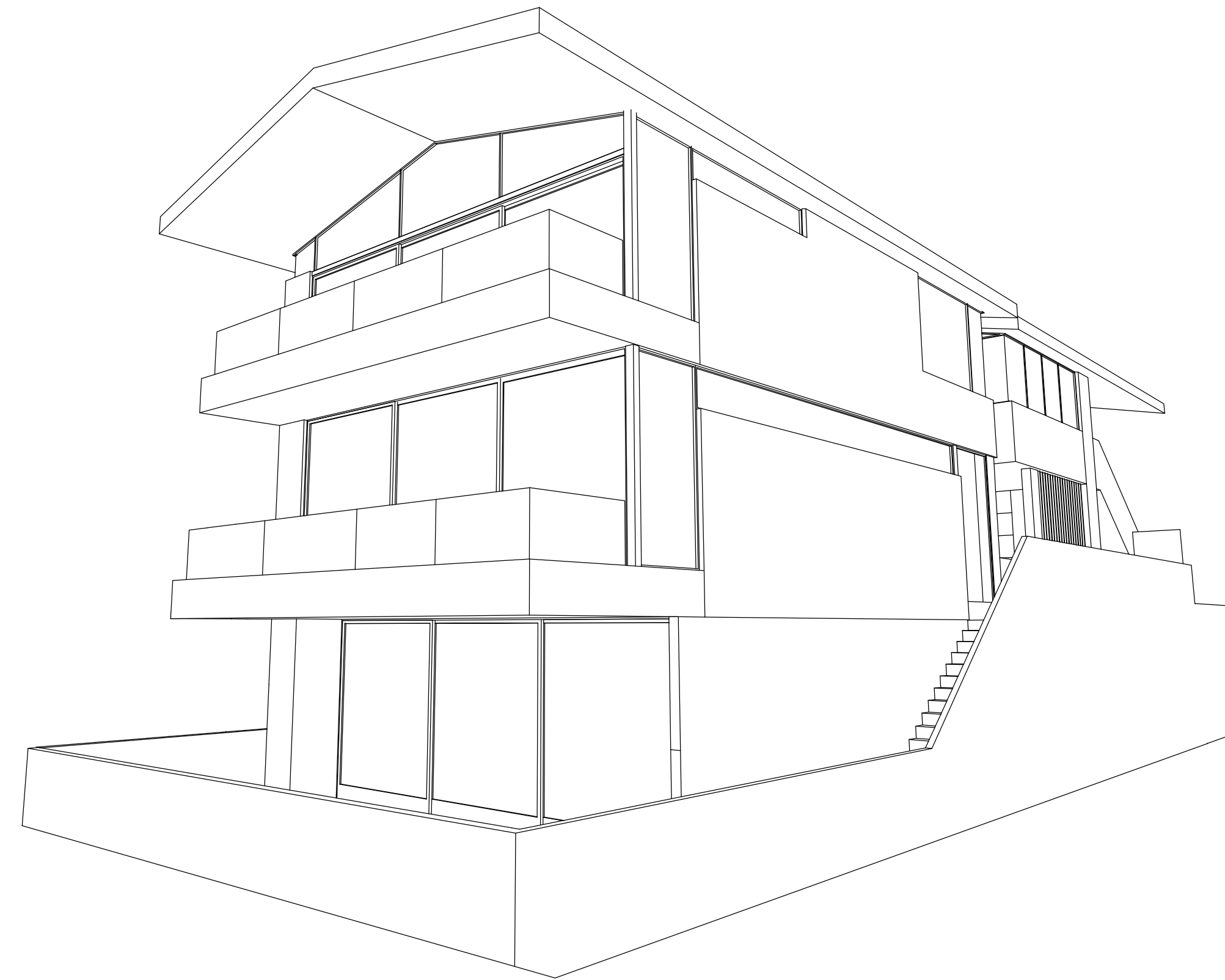
(1) 38.49 + (2) 38.49 + (3) 50.56 + (4) 51.52 = (5) 179.06 / 4 = Avg. Grade Elevation: (6) 44.76 + Height Limit (7) = 30 Max. Allowable Height Elevation (8) 74.76

(1)	(2)	(3)	(4)	(7)	(8)
38.49	38.49	50.56	51.52	30	74.76

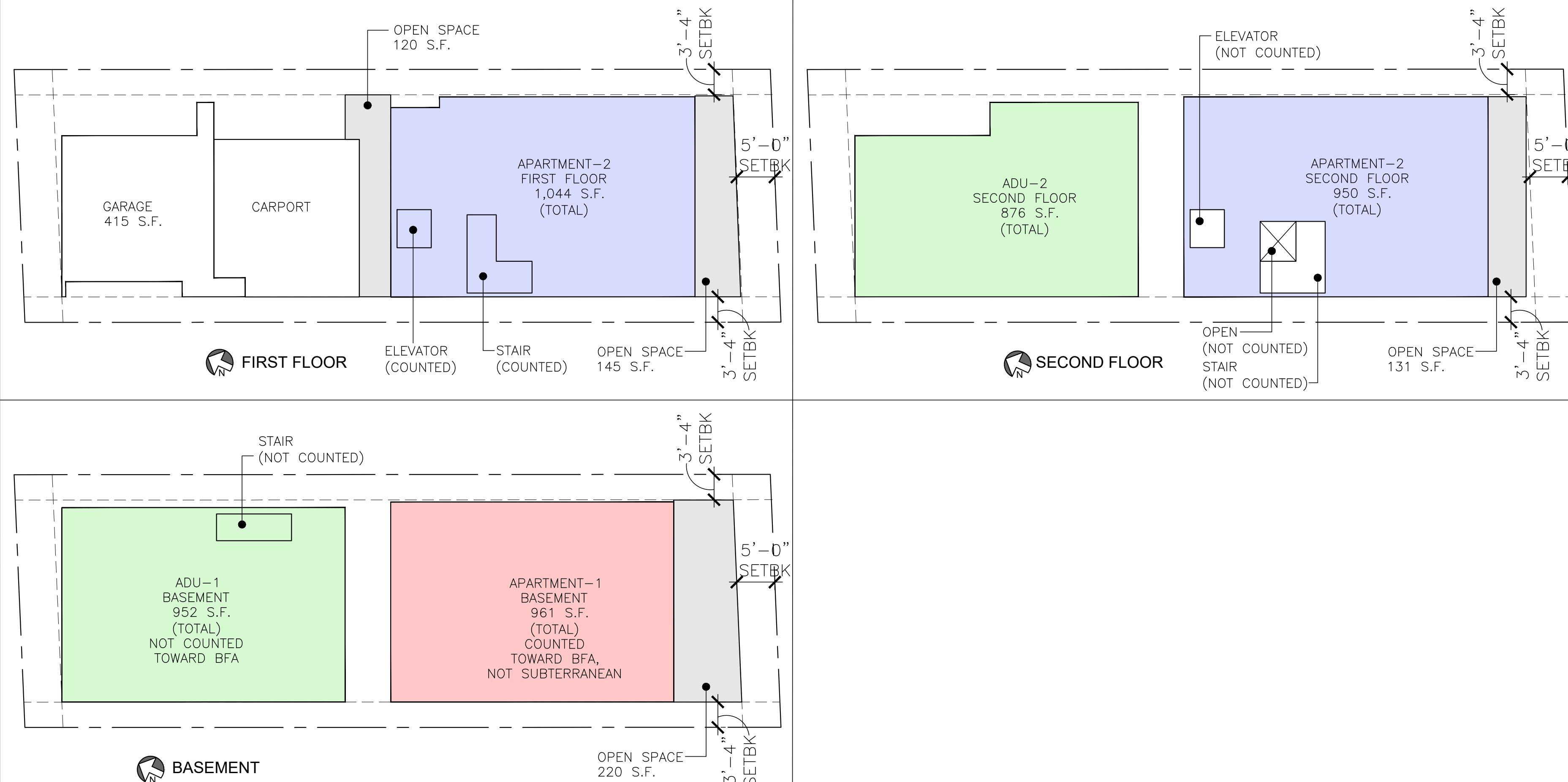
Proposed Height Limit 74.76

2114 & 2116 THE STRAND

DUPLEX WITH (2 ADUs - DETACHED)



BFA & OPEN SPACE CALCULATIONS DIAGRAM
 N.T.S.



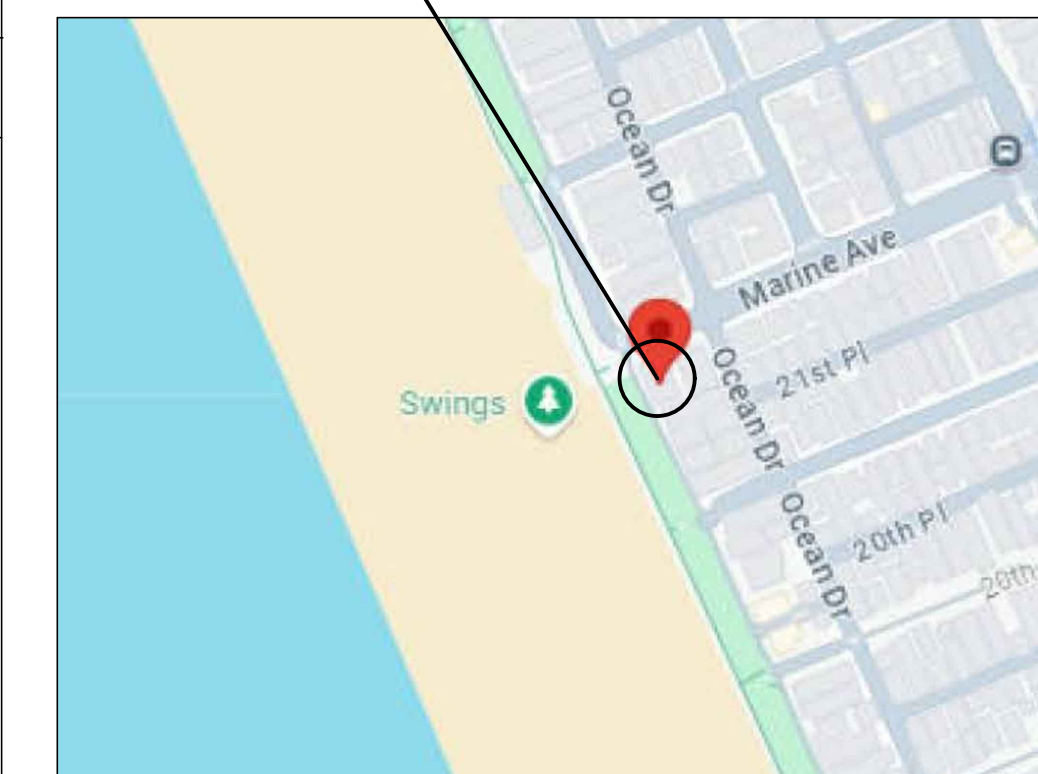
Sheet Index:

Architectural	Notes/Schedules
A-1.0 Cover Sheet	
A-1.2 Survey	
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A-2.0 Floor Plans	
A-2.1 Floor Plans	
A-2.2 Floor Plans	
A-2.3 Roof Plan	
A-3.0 Exterior Elevations	
A-3.1 Exterior Elevations	
A-4.0 Building Sections	
A-8.0 Architectural Details	

Structural

* Not a part of this submittal

PROJECT SITE



Vicinity Map:
 Not to Scale

Contacts:

Structural Engineer	General Contractor
Energy Consultant	Geotechnical Consultant
Civil Engineer	Civil Grading + Drainage Engineer
Denn Engineers 3914 Del Amo Blvd. #921 Torrance, CA 90503 (310) 542-9433	

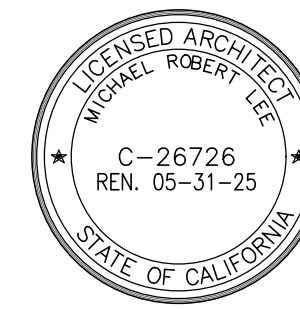
LEE
 MICHAEL LEE ARCHITECTS, INC.

2200 Highland Avenue
 Manhattan Beach, CA 90266
 t. 310.545.5771
 f. 310.545.4330
 www.mleearchitects.com

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**2114 & 2116
 The Strand**

2114 & 2116 The Strand
 Manhattan Beach, CA 90266



Date: 03/29/2024

Revisions	By
Coastal Submittal Set 12.11.2024	JMG
Coastal Submittal Set 02.21.2025	JMG
Coastal Submittal Set 05.22.2025	JMG

Scale: SEE DWG.

Drawn by: JPT

**Cover Sheet
 Building-B**

A 1.0

BOUNDARY SURVEY WITH TOPOGRAPHY

FOR
WPL PROPERTIES
JENNIFER HALFORD
106 SUNBIRD CLIFFS LANE
COLORADO SPRINGS, CO 80919
PHONE (310) 936-6157

JOB ADDRESS

2120 THE STRAND
MANHATTAN BEACH, CA 90266

LEGAL DESCRIPTION

LOTS 16 & 17, BLOCK 8, NORTH MANHATTAN BEACH
SUBDIVISION NO. 2, VACATED STREET ADJACENT ON SW
AND EX OF STREETS, M.B. 2-1, APN 4178-013-009

AREA = 6.615 SF

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY
DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT



DRAWN BY: KW CHECK BY: TS

DRAWN ON: AUGUST 13, 2024

REVISIONS: FEBRUARY 13, 2025

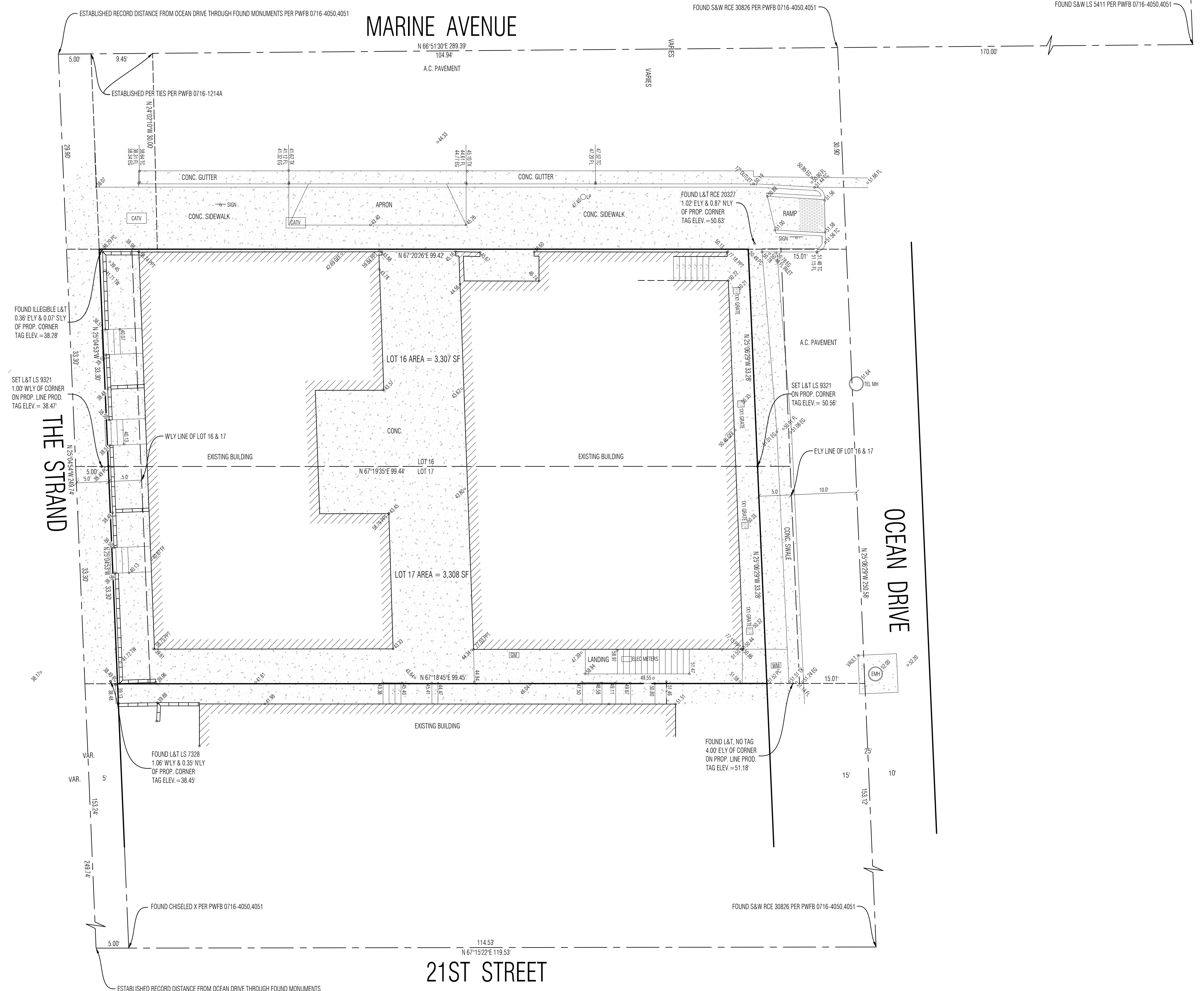
SET MONUMENTS: FEBRUARY 13, 2025

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
+106.76	EXISTING ELEVATION		BLOCK WALL
	EXISTING CONTOUR		EXISTING FENCE
BCR	BEGINNING OF CURB RETURN		
CATV	CABLE TV PULL BOX		
CONC.	CONCRETE		
CHUNKY	CHUNKY		
CEFB	CITY ENGINEERS FIELD BOOK		
CA	CATERLINE		
C.L.F. / W.L.F.	CHAIN LINK FENCE / WROUGHT IRON FENCE		
ELY	EASTERLY		
EG	EDGE OF GUTTER		
EM	ELECTRIC METER		
FF	FINISH FLOOR		
FR	FRESH DRAIN		
FL	FLOWLINE		
GFF	GARAGE FINISH FLOOR		
GM	GAS METER		
GW / SW	GW / SW		
I.P.	IRON PIPE MONUMENT		
L&T	LEAD AND TAG MONUMENT		
MH	MANHOLE (SANITARY SEWER / STORM DRAIN)		
NLY	NORTHERLY		
N&L / N&W	NAIL AND TAG / NAIL AND WASHER MONUMENT		
PE	PULL BOX (EDISON / TRAFFIC / STREET LIGHT)		
PE (CONT)	TELEPHONE / CABLE TV		
PP	PROPERTY CORNER / PROP. CORNER		
PL	PROPERTY LINE / PROP. LINE		
PP / UP	POWER POLE / UTILITY POLE		
PPH	PARADET		
PWFB	PUBLIC WORKS FIELD BOOK		
R.R.	RAIL ROAD		
RFB	ROAD DEPARTMENT FIELD BOOK		
R.S.	RECORD OF SURVEY		
SPN / S&W	SPRINKLER AND WASHER MONUMENT		
SW	SOUTHERLY		
SSCO	SANITARY SEWER CLEANOUT		
STK / STR&T	STAKE / STAKE AND TAG MONUMENT		
STL / LT	STREET LIGHT POLE / LIGHT POLE		
TC	TOP OF CURB		
TX / BX	TOP OF APRON / BOTTOM OF APRON		
WLY	WESTERLY		
WM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED. BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THIS SURVEY PLAN FOR OFFSET DIMENSIONS. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION BY PHONE AT: (310) 542-9433. M-F 8:00 AM TO 5:00 PM.

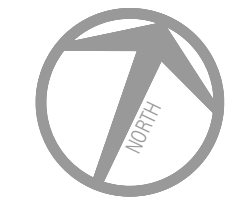
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ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL BE AT DENN ENGINEERS' RISK. DENN ENGINEERS SHALL BE RESPONSIBLE FOR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.



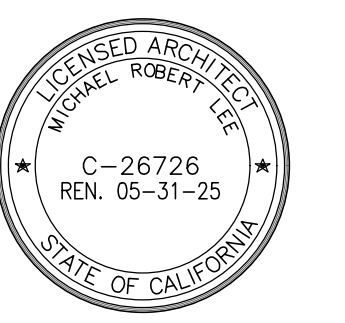
BENCHMARK NO. QY8392 / ELEVATION 37.168 (2013 QUAD YEAR)
USC&GS BRASS DISC MONUMENT MARKED MKD 1-1052-1960, IN THE FIRST STEP BELOW
IN CONCRETE WALK AT THE STAIRS TO THE BEACH 7 FEET WEST OF THE CENTERLINE OF
THE STRAND AND NEAR THE CENTERLINE PROD. OF MARINE AVENUE

NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY.
NO EASEMENTS WERE IDENTIFIED ON THE PROVIDED TITLE REPORT PER THE FOLLOWING.

UPWARD TITLE COMPANY
ORDER NO. 4220124-00818
DATED JULY 15, 2024



SCALE 1" = 8'

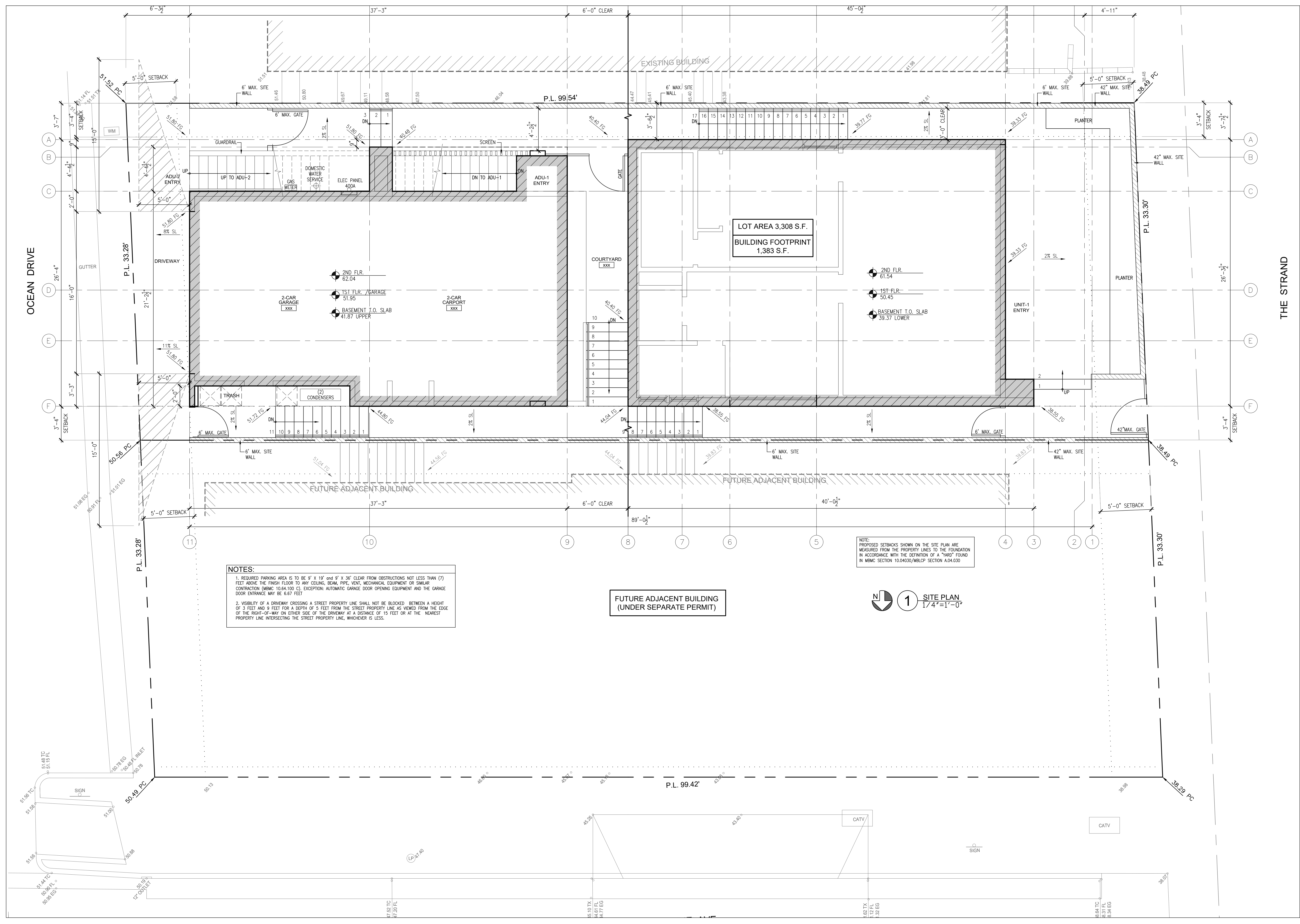


Date: 03/29/2024

Revisions	By
Coastal Submittal Set 12.11.2024	JMG
Coastal Submittal Set 02.21.2025	JMG
Coastal Submittal Set 05.22.2025	JMG

Scale: 1/4" = 1'-0"

Drawn by: JPT
**Site Plan
 Building-B**



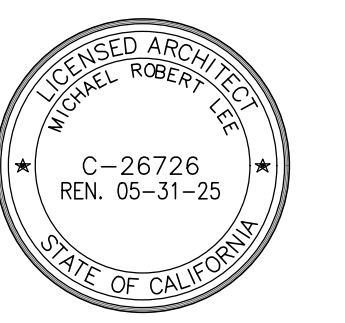
NOTES:

- REQUIRED PARKING AREA IS TO BE 9' X 19' AND 9' X 36' CLEAR FROM OBSTRUCTIONS NOT LESS THAN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONTRACTION (MIMC 10.64.100 C). EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67 FEET
- VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.

**FUTURE ADJACENT BUILDING
 (UNDER SEPARATE PERMIT)**

NOTE:
 PROPOSED SETBACKS SHOWN ON THE SITE PLAN ARE MEASURED FROM THE PROPERTY LINES TO THE FOUNDATION IN ACCORDANCE WITH THE DEFINITION OF A "YARD" FOUND IN MIMC SECTION 10.04030/WBLOP SECTION A.04.030

1 SITE PLAN
 1/4" = 1'-0"

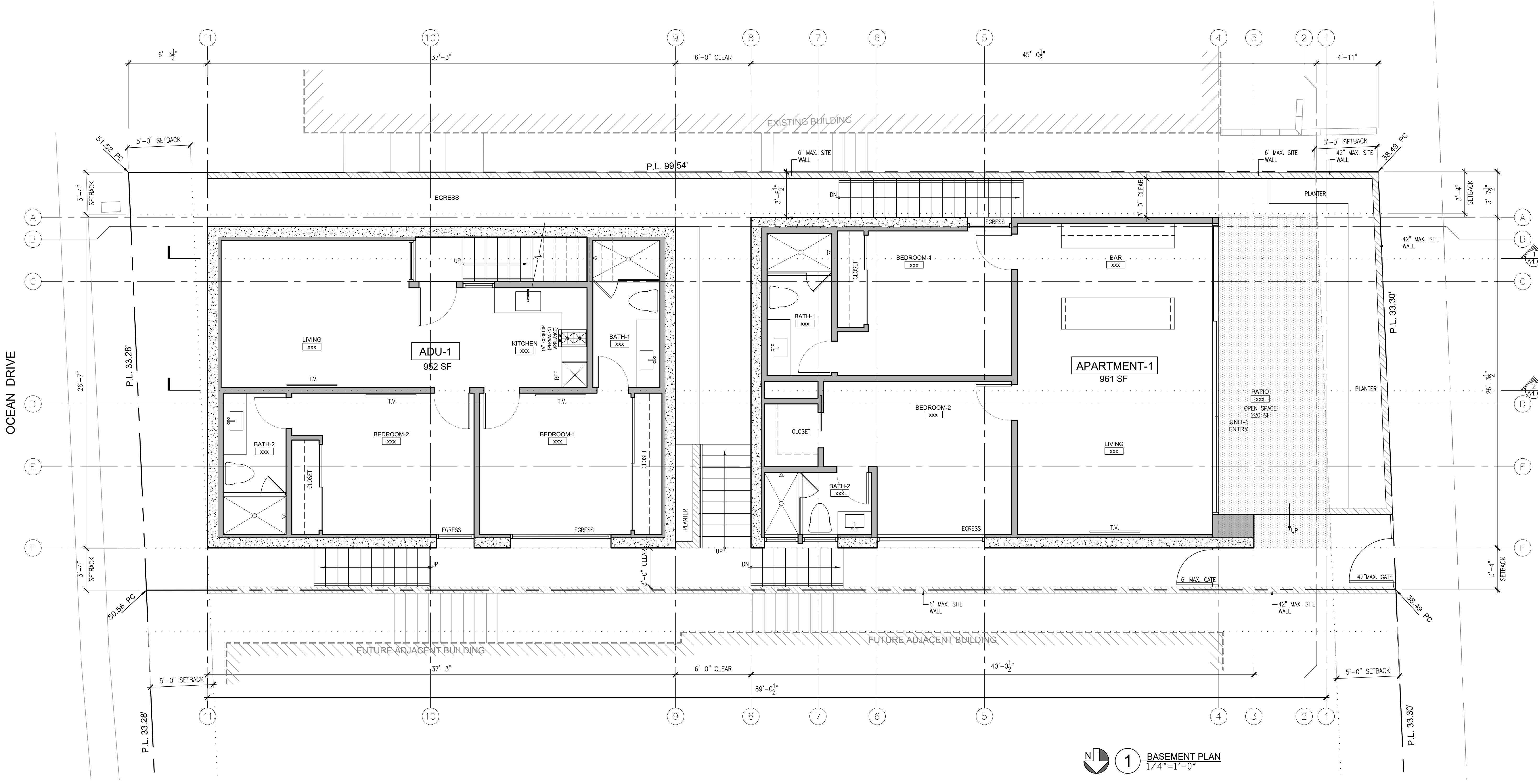


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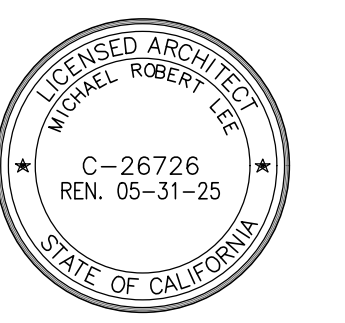
Drawn by: JPT
Floor Plans Building-B



1 BASEMENT PLAN
 1/4" = 1'-0"

THE STRAND

OCEAN DRIVE

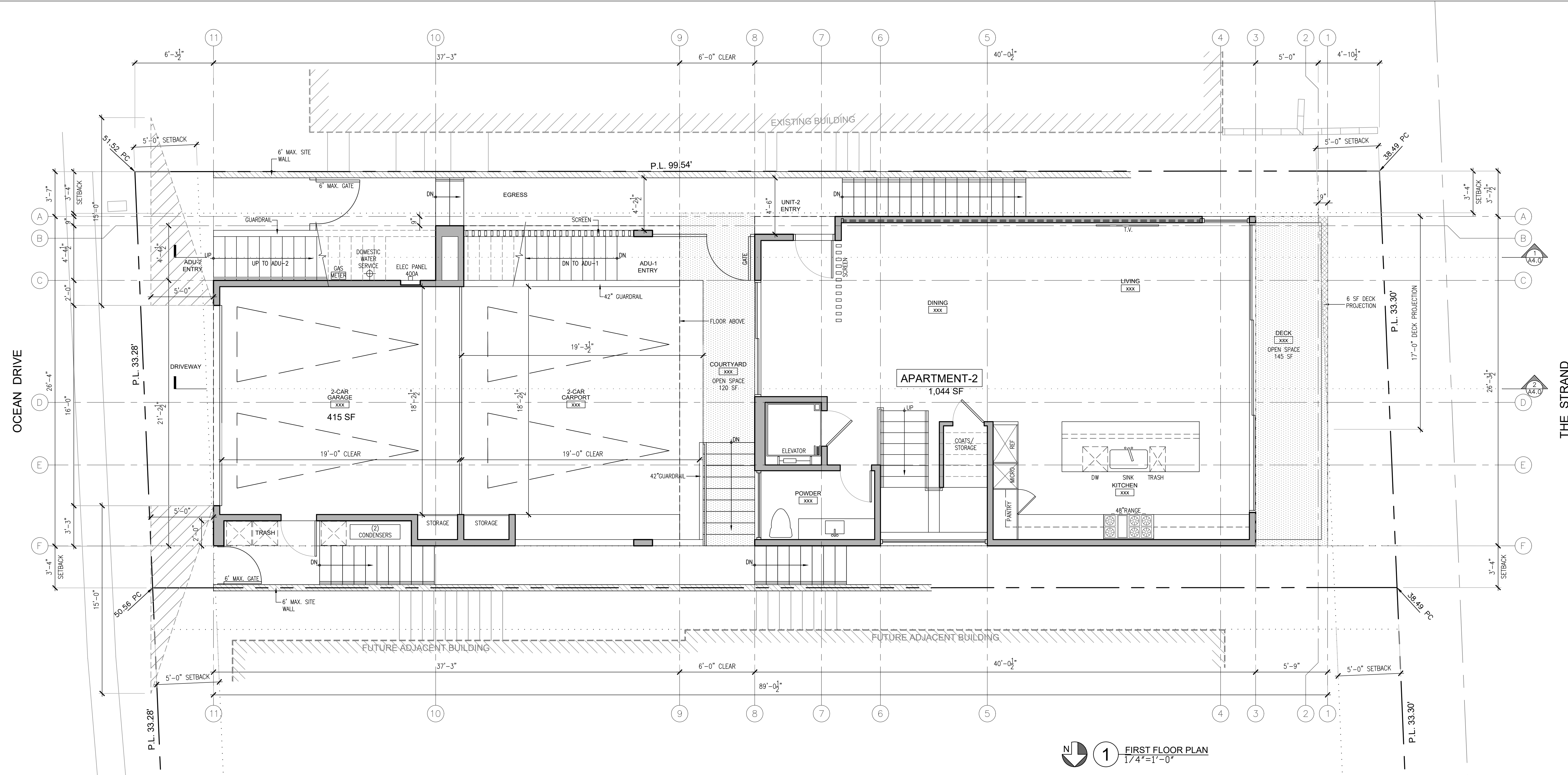


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Floor Plans Building-B



NOTES:

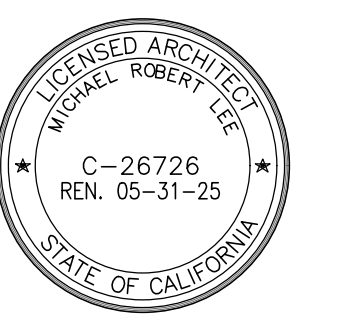
- REQUIRED PARKING AREA IS TO BE 16' X 19' CLEAR FROM OBSTRUCTIONS NOT LESS THAN (7) FEET ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR OBSTRUCTION (MBC 10.64.100 C), EXCEPTION: AUTOMATIC GARAGE DOOR OPENING EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6.67 FEET
- VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE / WALL / HANDRAIL AND HEDGE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 6" AT ALL OTHER LOCATIONS ON SITE (5' IN DRIVEWAY VISIBILITY TRIANGLE AND IN THE TRAFFIC VISION CLEARANCE TRIANGLE).
- ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.

AGING IN PLACE DESIGN AND FALL PROTECTION:

- NEWLY CONSTRUCTED DWELLINGS SUBJECT TO THE REQUIREMENTS OF THIS CODE SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTIONS R327.1.1 THROUGH R327.1.4.
- NEW CONSTRUCTION DWELLING UNITS REQUIRE WATER CLOSET AND SHOWER GRAB BAR REINFORCEMENT FOR AT LEAST ONE BATHROOM ON THE ENTRY LEVEL OF THE DWELLING IN ACCORDANCE WITH 2022 CRC SECTION R327.1.1. REINFORCEMENT SHALL BE LOCATED BETWEEN 32 INCHES AND 39 1/4 INCHES ABOVE FLOOR FLUSH WITH THE WALL.
- REINFORCEMENT TO BE SOLID LUMBER AND NOT LESS THAN 2x8
- WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE, OR ON ONE SIDE WALL AND THE BACK WALL.
- WHERE THERE IS NO BATHROOM AT THE ENTRY LEVEL, THE REINFORCEMENT FOR GRAB BARS MAY BE INSTALLED ON THE SECOND OR THIRD FLOOR.
- SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.

INFORMATION AND/OR DRAWINGS IDENTIFYING THE LOCATION OF GRAB BAR REINFORCEMENT SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH THE CGBC Section 4.410.1.

- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES, AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. [CRC R327.1.2]
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL ASSEMBLY. [CRC R327.1.4]



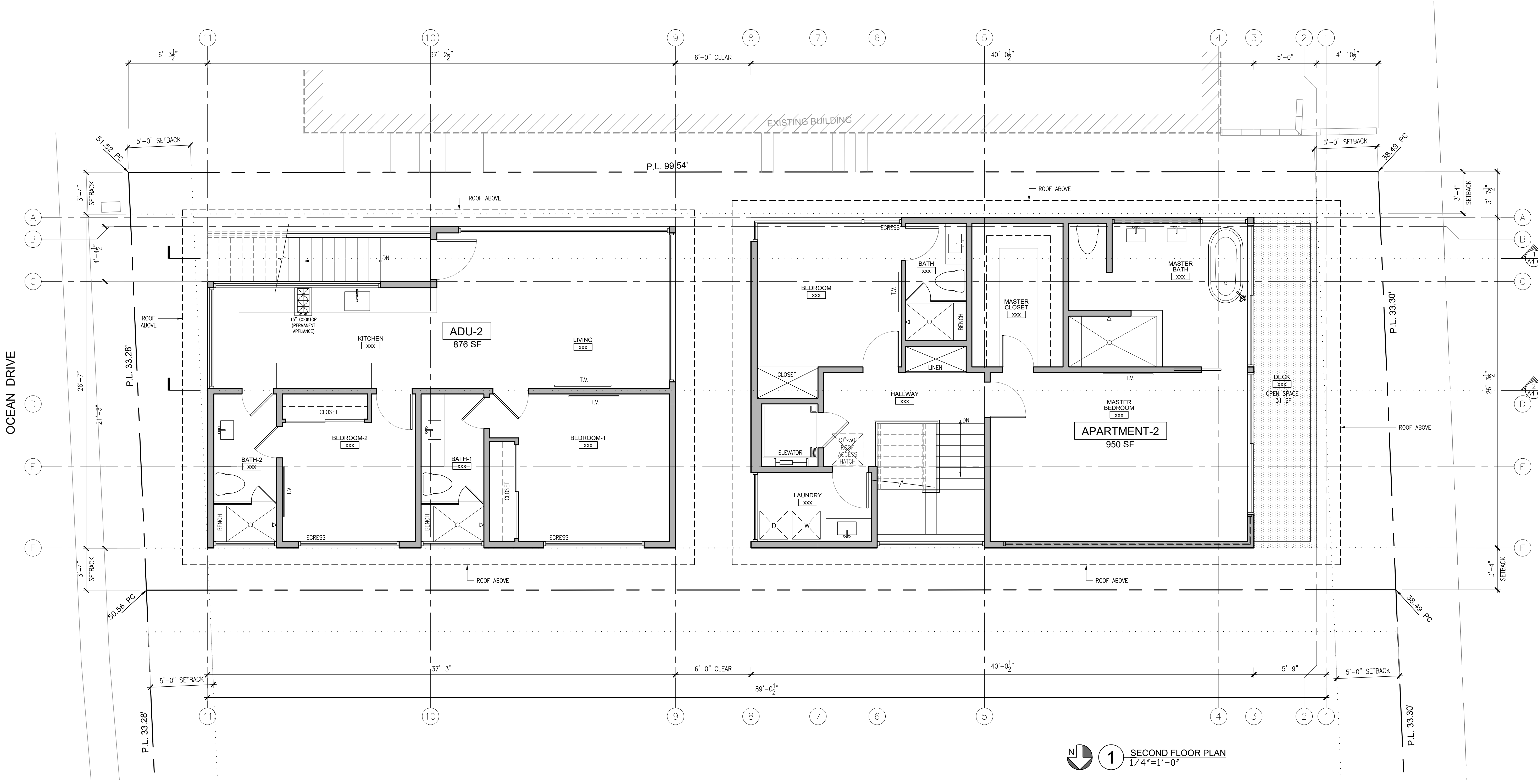
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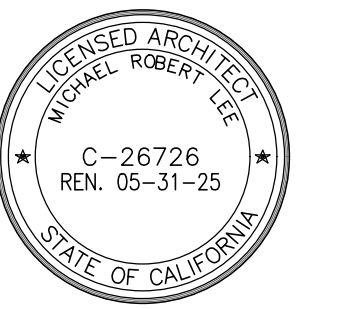
Scale: 1/4" = 1'-0"

Drawn by: JPT

Floor Plans
 Building-B



1 SECOND FLOOR PLAN
 1/4" = 1'-0"

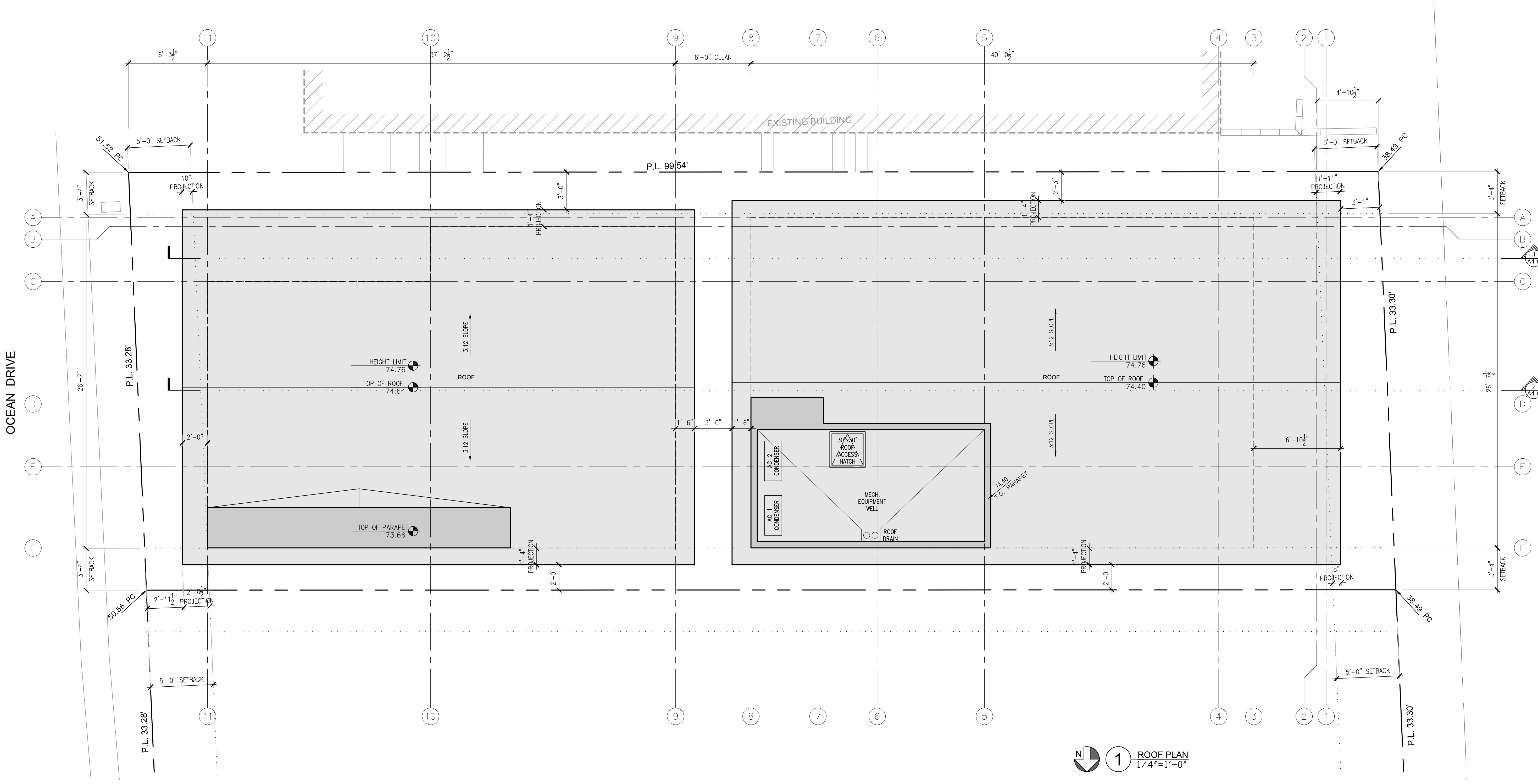


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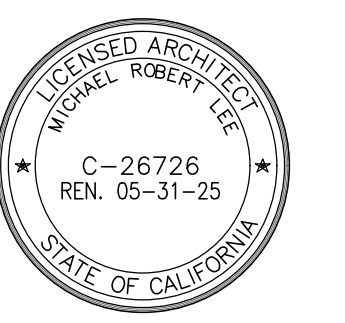
Drawn by: JPT
**Roof Plans
 Building-B**



1 ROOF PLAN
 1/4" = 1'-0"

2114 & 2116 The Strand

2114 & 2116 The Strand
 Manhattan Beach, CA 90266



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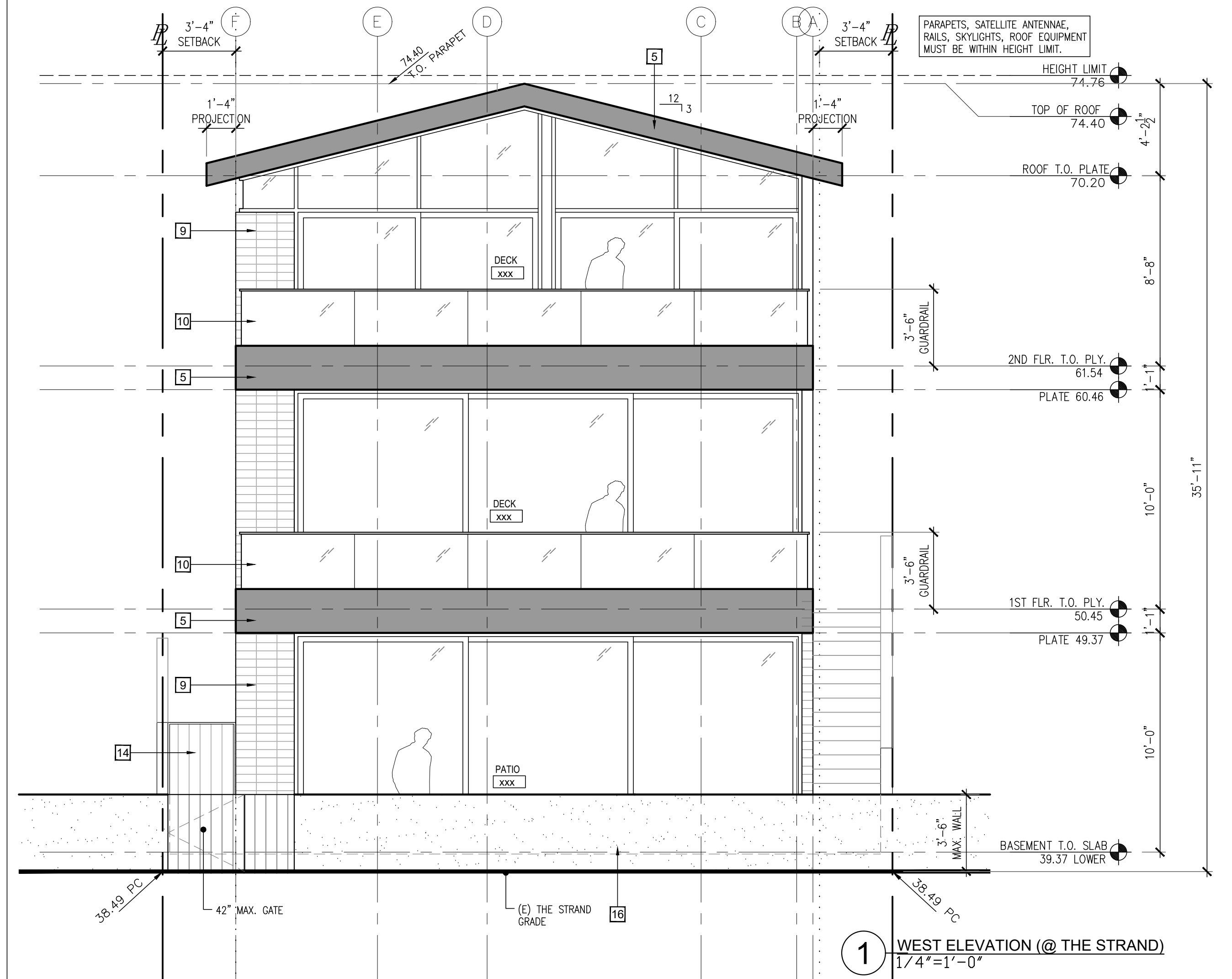
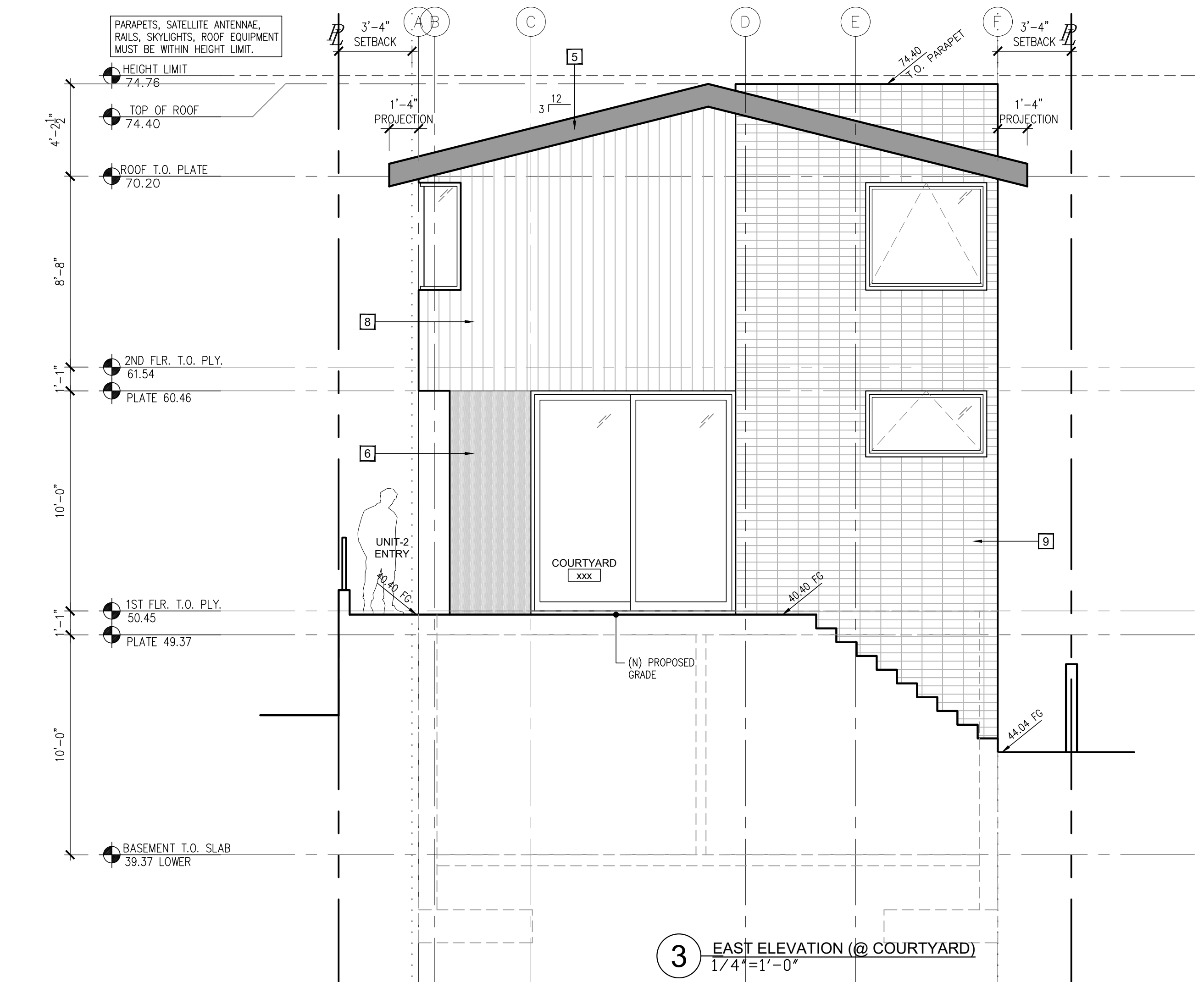
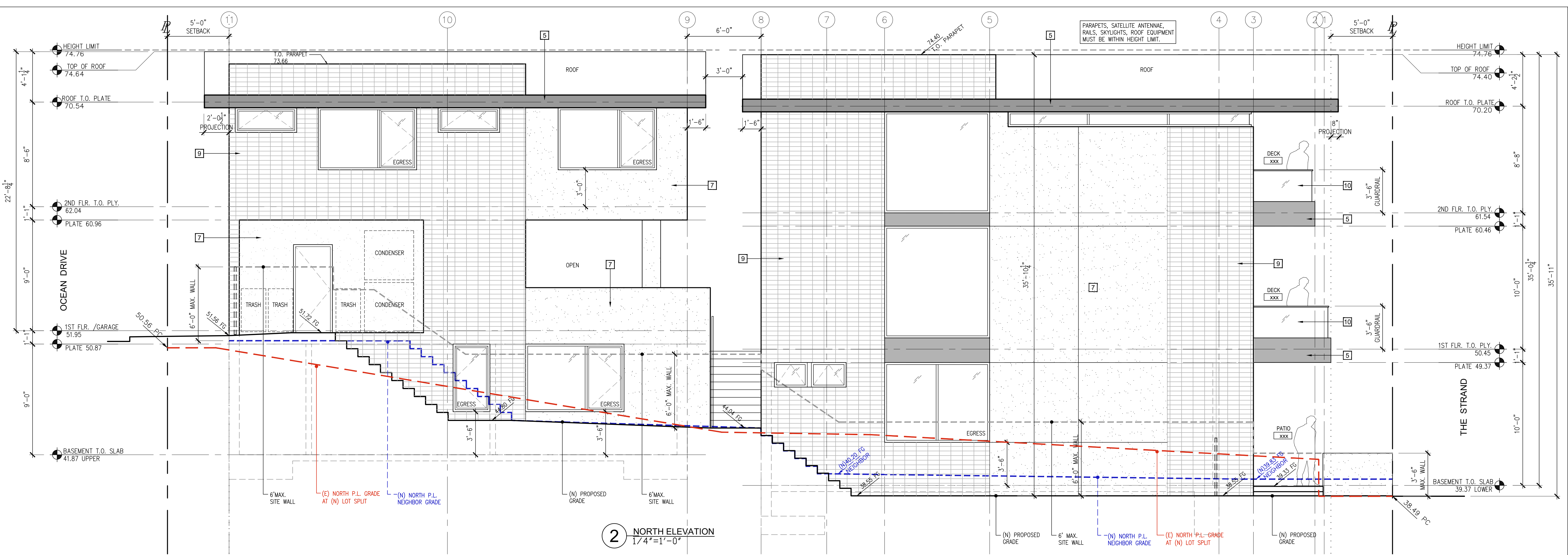
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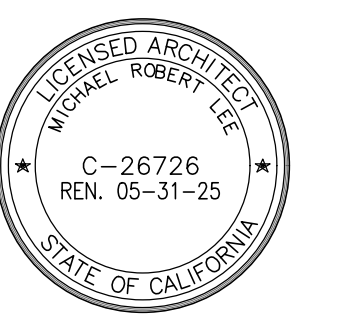
Exterior Elevations Building-B

A 3.0



KEY NOTES LEGEND:

1	400 AMP ELEC. PANEL (FULLY RECESSED INTO BUILDING WALL)
2	F.V. & PHONE (FULLY RECESSED INTO BUILDING WALL)
3	GAS METER (FULLY RECESSED INTO BUILDING WALL)
4	DOMESTIC WATER SERVICE
5	ALUMINUM HEAVY GAUGE ROOF FASCIA (PAC CLAD)
6	WOOD CLADDING (STAIN GRADE)
7	SMOOTH STUCCO
8	T & G VENEER (VERIFY WITH OWNER / ARCHITECTS)
9	BRICK, STONE OR PORCELAIN FINISH
10	GLASS GUARDRAIL 1/2" TEMP'D 42" MIN. HIGH
11	ARCHITECTURAL SCREEN (MATERIAL TO BE VERIFY)
12	DOWNSPOUT IN WALL
13	OVERFLOW DECK SCUPPER
14	WOOD GATE W/ STEEL FRAME (6'-0" MAX.)
15	EXPANSION JOINT (ALUMINUM)
16	CONCRETE SITE WALL STUCCO FINISH
17	
18	
19	
20	
21	ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
22	



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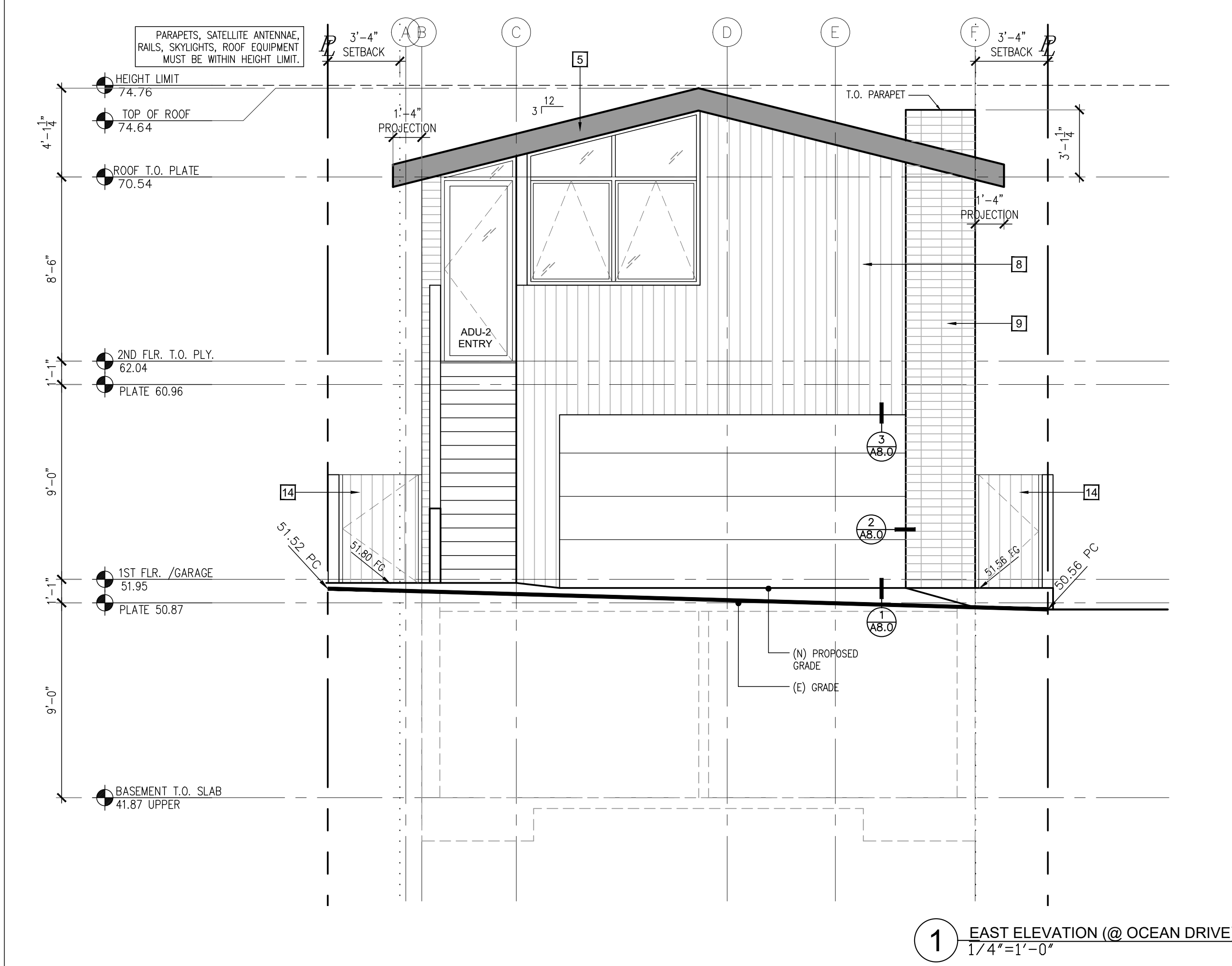
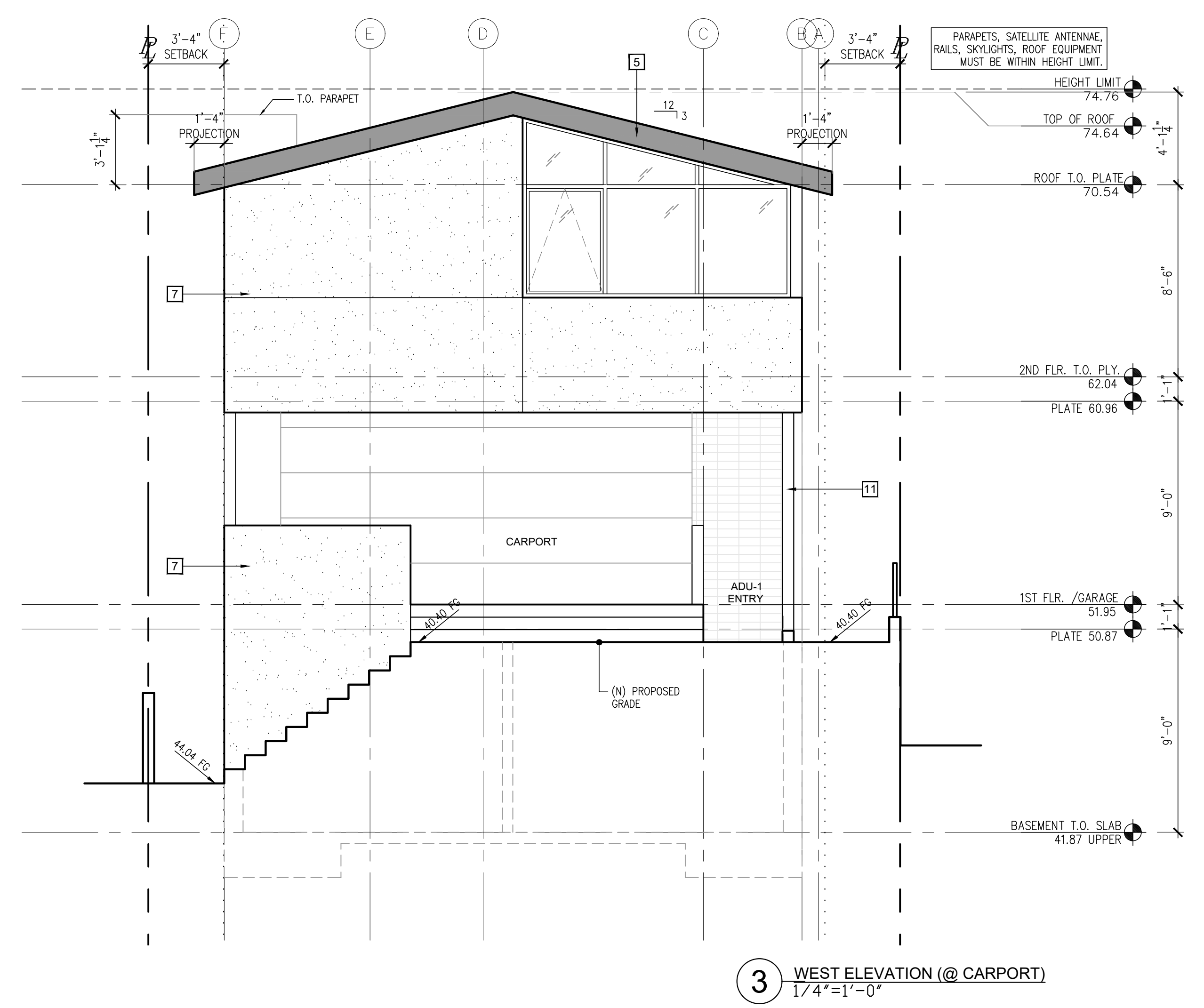
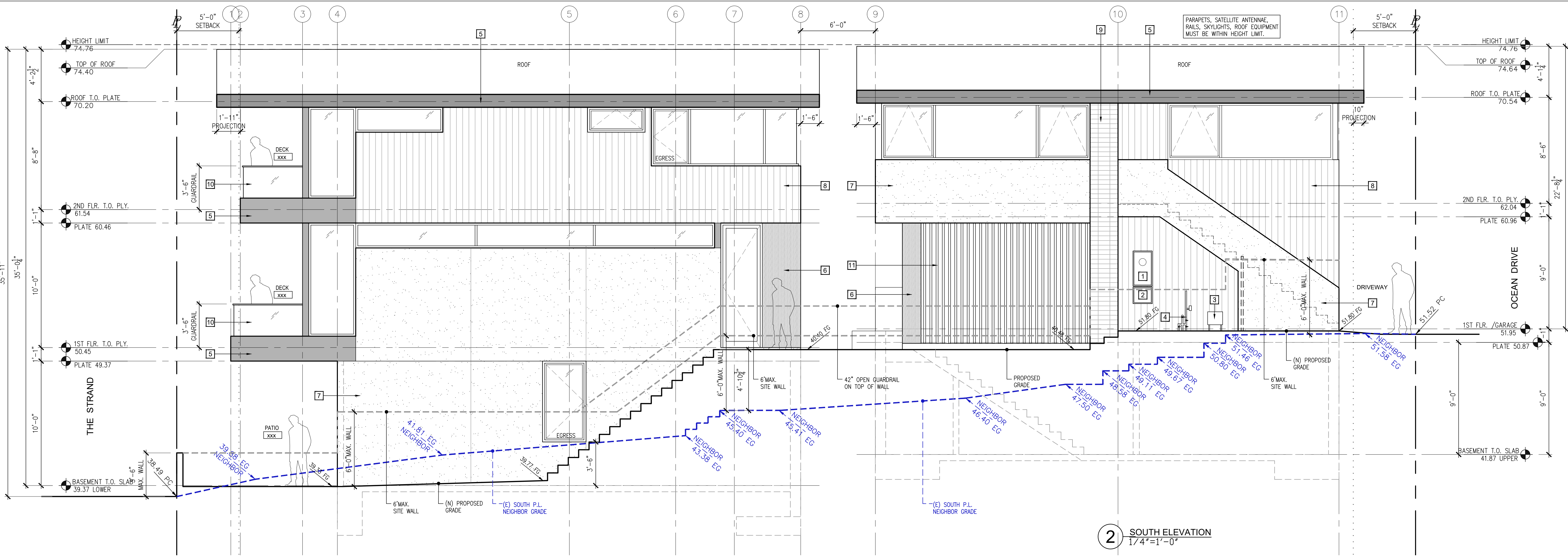
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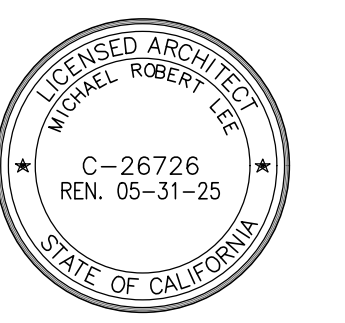
Exterior Elevations Building-B

A 3.1



KEY NOTES LEGEND:

1	400 AMP ELEC. PANEL (FULLY RECESSED INTO BUILDING WALL)
2	T.V. & PHONE (FULLY RECESSED INTO BUILDING WALL)
3	GAS METER (FULLY RECESSED INTO BUILDING WALL)
4	DOMESTIC WATER SERVICE
5	ALUMINUM HEAVY GAUGE ROOF FASCIA (PAC CLAD)
6	WOOD CLADDING (STAIN GRADE)
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17	
18	
19	
20	
21	ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
22	



Date: 03/29/2024

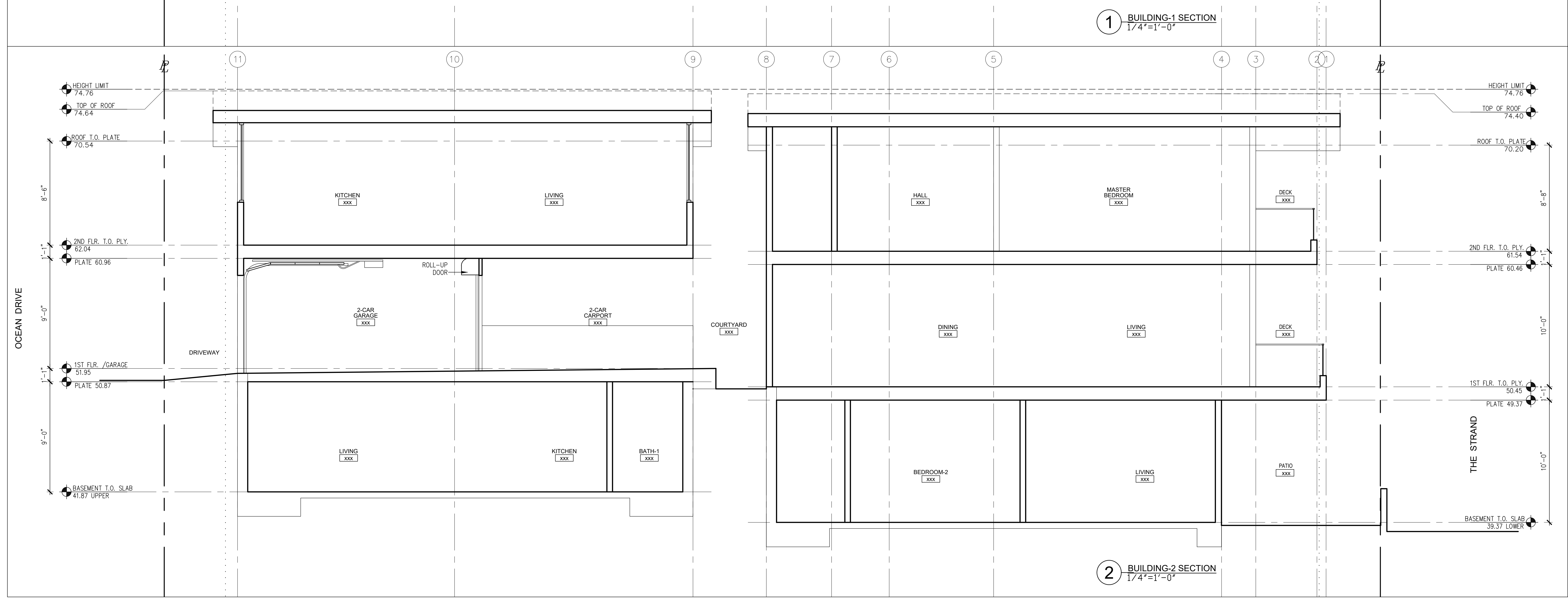
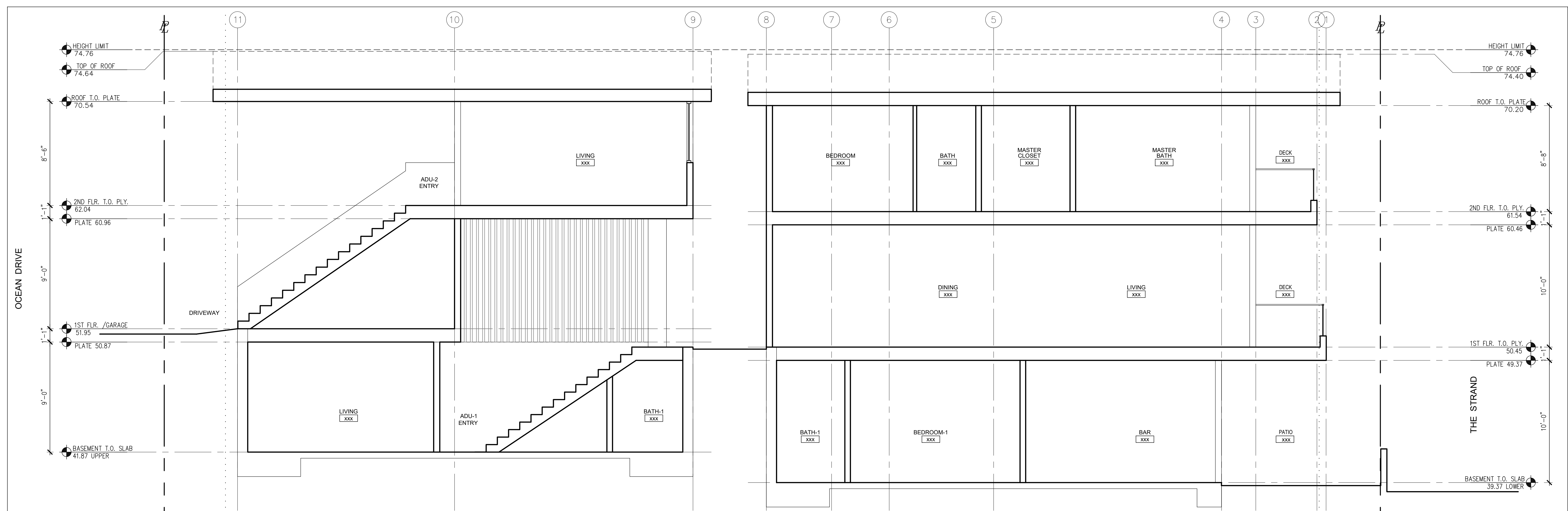
Revisions	By
Coastal Submittal Set 12.11.2024	JMG
Coastal Submittal Set 02.21.2025	JMG
Coastal Submittal Set 05.22.2025	JMG

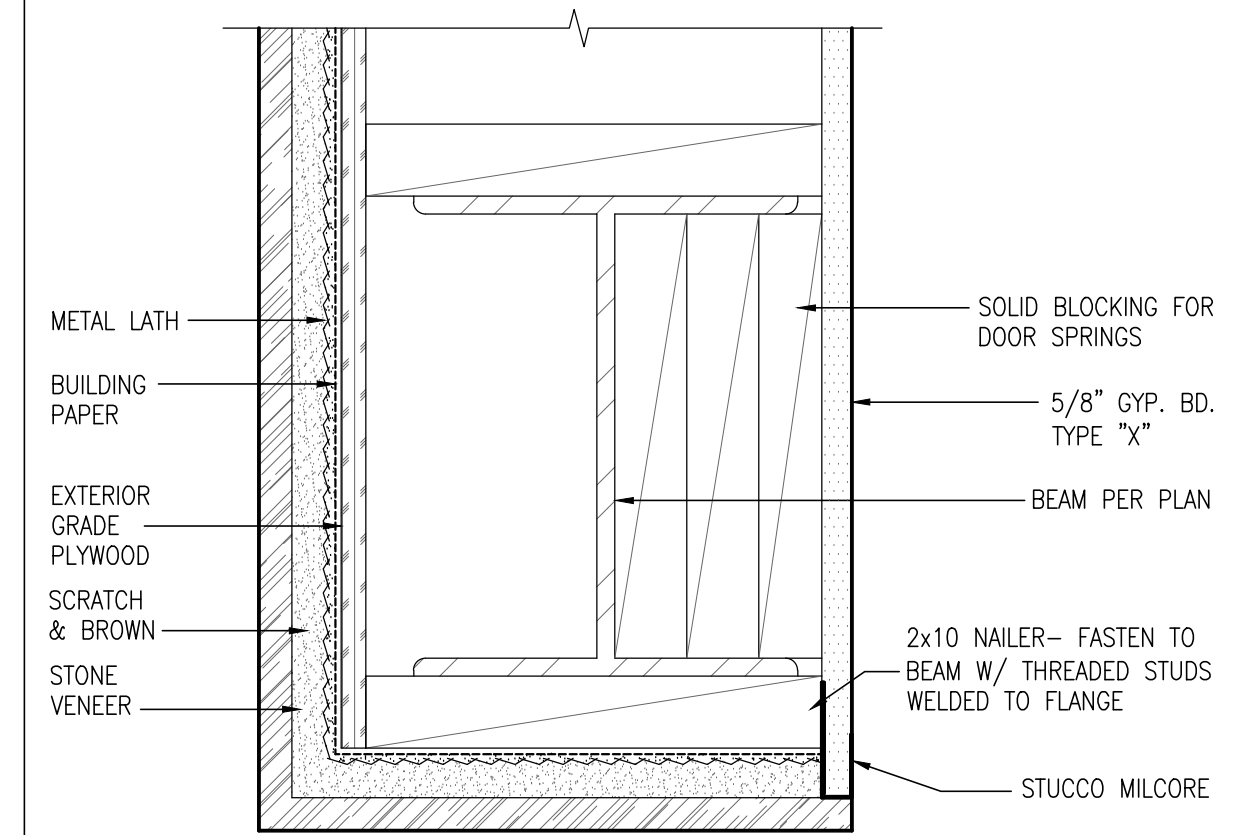
Scale: 1/4" = 1'-0"

Drawn by: JPT

Building Section
 Building-B

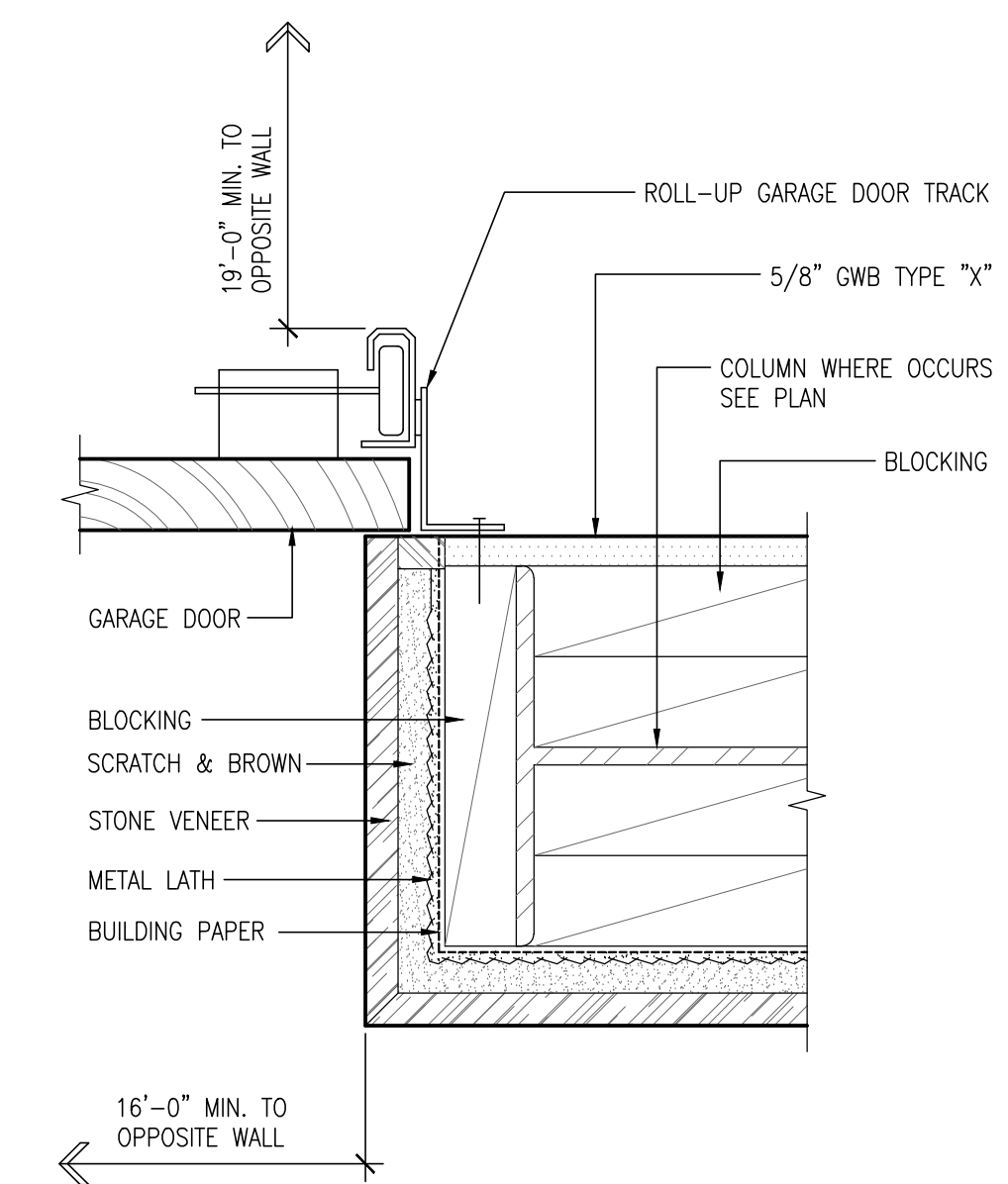
A 4.0





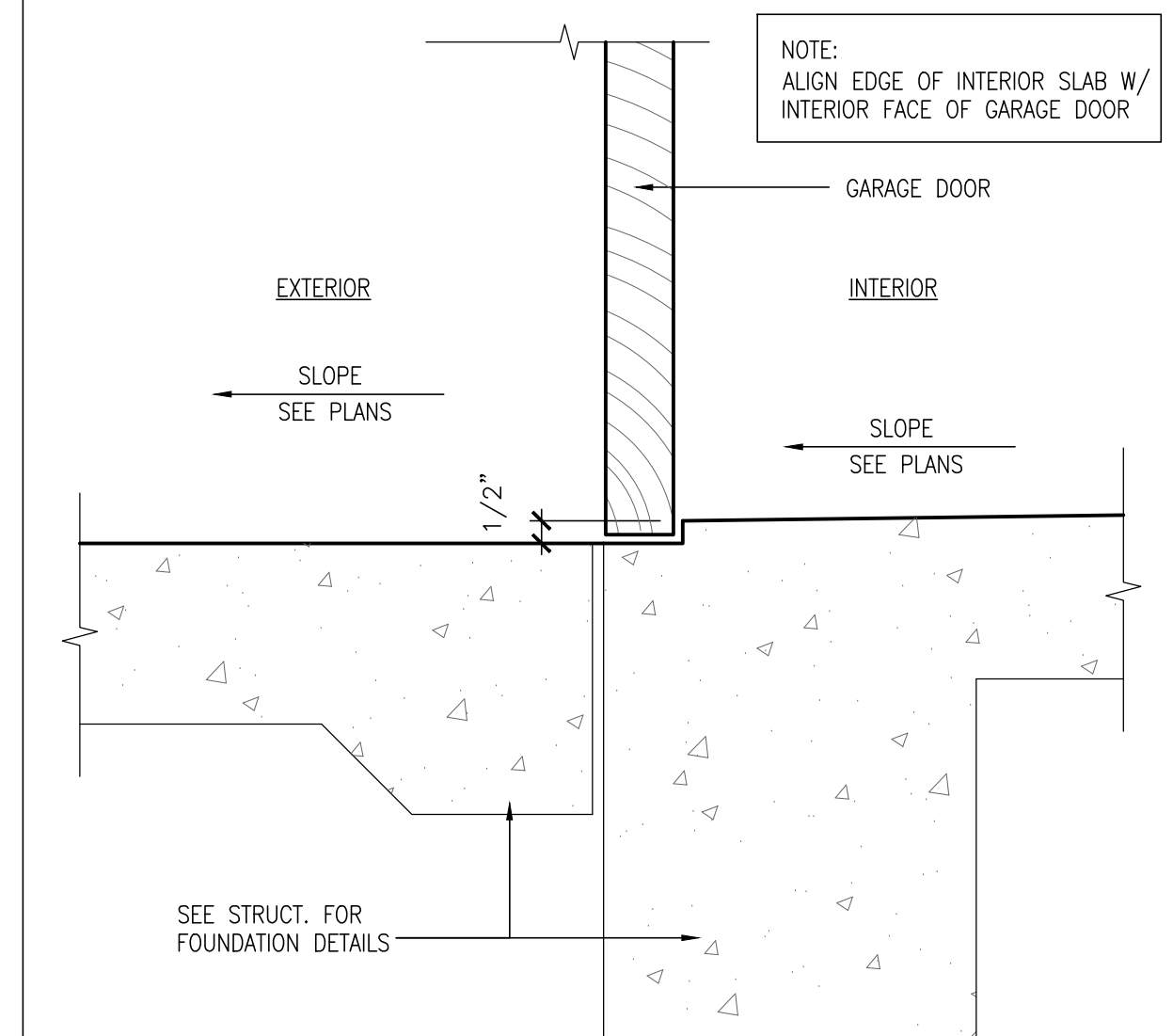
GARAGE DOOR HEAD
 3" = 1'-0"

3



GARAGE DOOR JAMB
 3" = 1'-0"

2

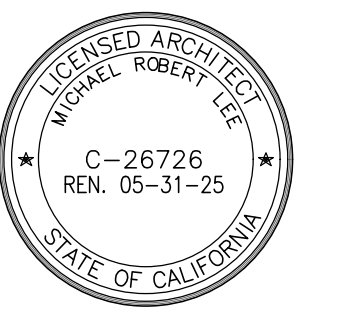


GARAGE @LIP
 3" = 1'-0"

1

**2114 & 2116
 The Strand**

2114 & 2116 The Strand
 Manhattan Beach, CA 90266



Date: 03/29/2024

Revisions	By
Coastal Submittal Set 12.11.2024	JMG
Coastal Submittal Set 02.21.2025	JMG
Coastal Submittal Set 05.22.2025	JMG

Scale: N.T.S.

Drawn by: JMG

**Architectural
 Details**

A 8.0